



APPLICATION ON NOTIFICATION – CROWN DEVELOPMENT

Type of development:	Section 131 – Crown Development
Development Number:	24026613
Applicant:	Department for Infrastructure and Transport / Department for Health and Wellbeing (c/- Grieve Gillett Architects)
Nature of Development:	Expansion of the Kingscote Hospital comprising an extension of the existing hospital building (including new basement laundry and ground floor cold shell for future kitchen), a new two-storey staff accommodation building (including eight one-bedroom units, entry road and carparking) and associated internal road infrastructure upgrades.
Subject Land:	The hospital is located at 2-7 Esplanade Road, Kingscote and the development site comprises: A1003 D20781 (CT 5302/674), A92 F209596 (CT 5513/208), A501 D47409 (CT 5540/839), A10 D64328 (CT 5928/890 and A1001 F17960 (CT 5469/766).
Planning & Design Code Version:	2024.16 (29 August 2024)
Zone:	Township Activity Centre Zone
Contact Officer:	Lee Webb
Phone Number:	08 7133 2379
Consultation Start Date:	3 October 2024
Consultation Close Date:	1 November 2024
<p>During the notification period, the application documentation can be viewed on the SA Planning Portal: https://plan.sa.gov.au/en/state_developments.</p>	

Written representations must be received by the close date (indicated above) and can either be posted, hand-delivered, or emailed to the State Commission Assessment Panel (SCAP). A representation form is provided as part of this document.

Any representations received after the close date will not be considered.

Postal Address:

The Secretary
State Commission Assessment Panel
GPO Box 1815
ADELAIDE SA 5001

Street Address:

Planning and Land Use Services
Level 9, 83 Pirie Street
ADELAIDE SA 5001

**Please call 1800 752 664 (Plan SA Help desk) beforehand to confirm access and visitation arrangements.

Email Address: spcreps@sa.gov.au

PLANNING, DEVELOPMENT AND INFRASTRUCTURE ACT 2016
S131 – CROWN DEVELOPMENT

REPRESENTATION ON APPLICATION

Applicant: Department for Infrastructure and Transport / Department for Health and Wellbeing
(c/- Grieve Gillett Architects)

Development Number: 24026613

Nature of Development: Expansion of the Kingscote Hospital comprising an extension of the existing hospital building (including new basement laundry and ground floor cold shell for future kitchen), a new two-storey staff accommodation building (including eight one-bedroom units, entry road and carparking) and associated internal road infrastructure upgrades.

Zone / Policy Area: Township Activity Centre Zone

Subject Land: The hospital is located at 2-7 Esplanade Road, Kingscote and the development site comprises: A1003 D20781 (CT 5302/674), A92 F209596 (CT 5513/208), A501 D47409 (CT 5540/839), A10 D64328 (CT 5928/890 and A1001 F17960 (CT 5469/766).

Contact Officer: Lee Webb **Phone Number** 08 7133 2379

Close Date: 1 November 2024

My Name: _____ My phone number: _____

Primary method(s) of contact: _____ Email: _____
Postal Address: _____ Postcode: _____

You may be contacted via your nominated PRIMARY METHOD(s) OF CONTACT if you indicate below that you wish to be heard by the State Commission Assessment Panel in support of your submission.

My interests are:
(please tick one)

owner of local property

occupier of local property

a representative of a company/other organisation affected by the proposal

a private citizen

The address of the property affected is: _____

Postcode _____

My interests are:
(please tick one)

I support the development

I support the development with some concerns

I oppose the development

The specific aspects of the application to which I make comment on are: _____

I: wish to be heard in support of my submission
(please tick one) do not wish to be heard in support of my submission
(Please tick one)

By: appearing personally
(please tick one) being represented by the following person
(Please tick one)

Signature: _____

Date: _____

Return Address: State Commission Assessment Panel, GPO Box 1815, Adelaide, SA 5001 /or Email:
spreps@sa.gov.au

OFFICIAL



PLANNING, DEVELOPMENT AND INFRASTRUCTURE ACT 2016

SECTION 131 - CROWN DEVELOPMENT

NOTICE OF APPLICATION FOR APPROVAL TO DEVELOPMENT NOTIFICATION PERIOD EXTENDED

Notice is hereby given that an application has been made by the **Department for Infrastructure and Transport / Department for Health and Wellbeing (c/- Grieve Gillett Architects)** for approval to expand the Kingscote Hospital. The expansion comprises an extension of the existing hospital building (including new basement laundry and ground floor cold shell for future kitchen), a new two-storey staff accommodation building (including eight one-bedroom units, entry road and carparking) and associated internal road infrastructure upgrades.

Development Number: 24026613.

The hospital is located at 2-7 Esplanade Road, Kingscote and the development site comprises: A1003 D20781 (CT 5302/674), A92 F209596 (CT 5513/208), A501 D47409 (CT 5540/839), A10 D64328 (CT 5928/890 and A1001 F17960 (CT 5469/766).

The subject land is located within the Township Activity Centre Zone of the Planning and Design Code Version 2024.16 (29 August 2024).

A copy of the planning application is available for download from the SA Planning Portal at https://plan.sa.gov.au/en/state_developments and can also be viewed in person at Planning and Land Use Services, Department for Housing and Urban Development, Level 9, 83 Pirie Street, Adelaide. Please call 1800 752 664 (Plan SA Help desk) beforehand to confirm access and visitation arrangements.

Any person or body who desires to do so may make representations concerning the application by notice in writing delivered to the Secretary, State Commission Assessment Panel (SCAP), GPO Box 1815, Adelaide SA 5001 **NOT LATER THAN FRIDAY 14 November 2024**. An online submission form is available on the SA Planning Portal, or Submissions may also be emailed to: spreps@sa.gov.au

Each person or body making a representation should state the reason for the representation and whether that person or body wishes to be given the opportunity to appear before the SCAP to further explain the representation. Submissions received may be published in the SCAP agenda papers.

Should you wish to discuss the application and the public notification procedure please contact Lee Webb on 7133 2379 or lee.webb@sa.gov.au

STATE COMMISSION ASSESSMENT PANEL

spreps@sa.gov.au

PUBLISHED IN: Adelaide Advertiser / The Islander

PUBLICATION DATE: Thursday 24 October 2024

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5302 Folio 858

Parent Title(s) CT 3846/121
Creating Dealing(s) CONVERTED TITLE
Title Issued 26/10/1995 Edition 8 Edition Issued 12/10/2015

Estate Type

FEE SIMPLE

Registered Proprietor

CY DEVELOPMENT SA PTY. LTD. (ACN: 606 025 183)
OF 13B JENKINS AVENUE ROSTREVOR SA 5073

Description of Land

ALLOTMENT 92 FILED PLAN 162396
IN THE AREA NAMED KINGSCOTE
HUNDRED OF MENZIES

Easements

NIL

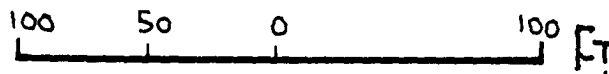
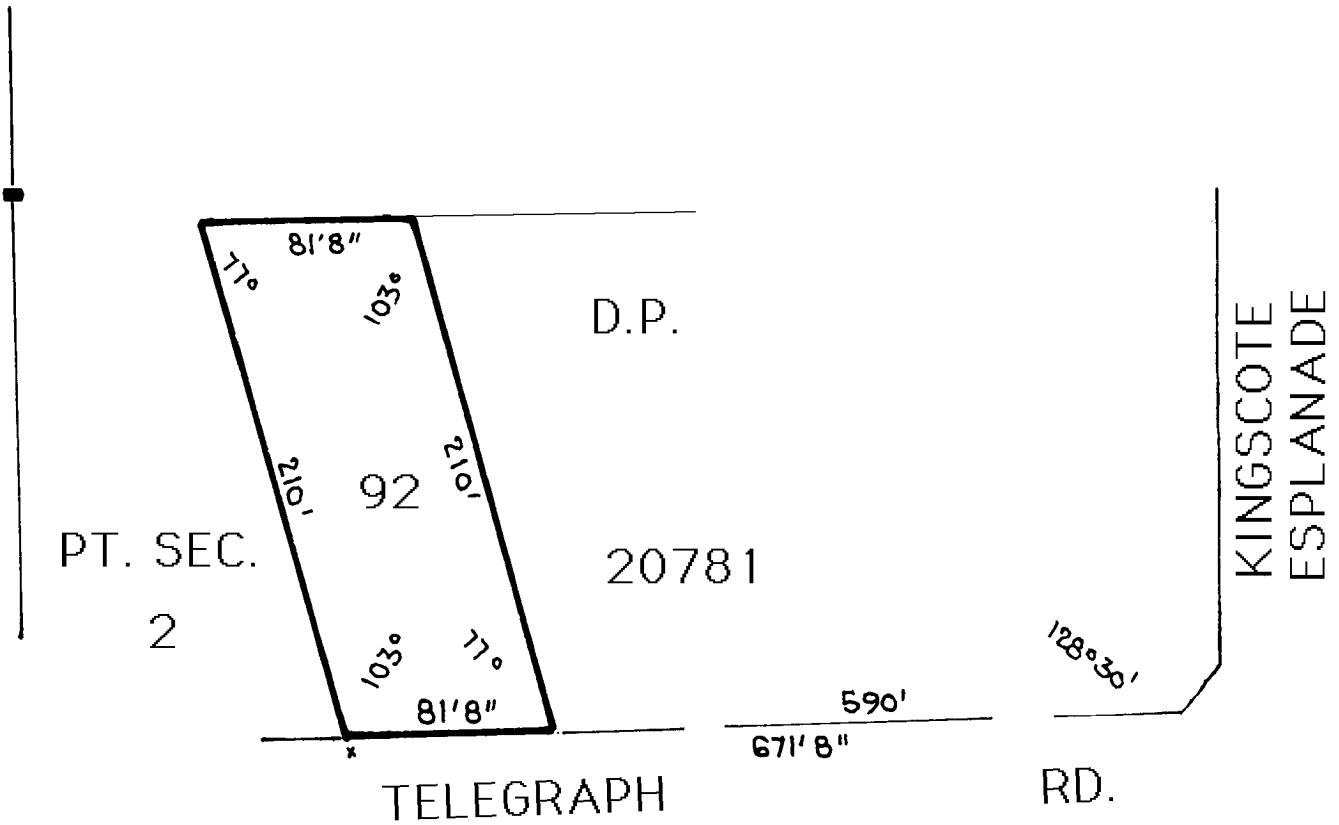
Schedule of Dealings

Dealing Number	Description
12458842	MORTGAGE TO WESTPAC BANKING CORPORATION (ACN: 007 457 141)
13147307	MORTGAGE TO LU INVESTMENTS (SA) PTY. LTD. (ACN: 166 553 224)

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL

This plan is scanned for Certificate of Title 3846/121



DISTANCES ARE IN FEET AND INCHES FOR METRIC CONVERSION	
1 FOOT	= 0.3048 metres
1 INCH	= 0.0254 metres

Note : Subject to all lawfully existing plans of division

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5302 Folio 674

Parent Title(s) CT 4299/113
Creating Dealing(s) CONVERTED TITLE
Title Issued 26/10/1995 Edition 7 Edition Issued 17/02/2016

Estate Type

FEE SIMPLE

Registered Proprietor

CY DEVELOPMENT SA PTY. LTD. (ACN: 606 025 183)
OF 13B JENKINS AVENUE ROSTREVOR SA 5073

Description of Land

ALLOTMENT 1003 DEPOSITED PLAN 20781
IN THE AREA NAMED KINGSCOTE
HUNDRED OF MENZIES

Easements

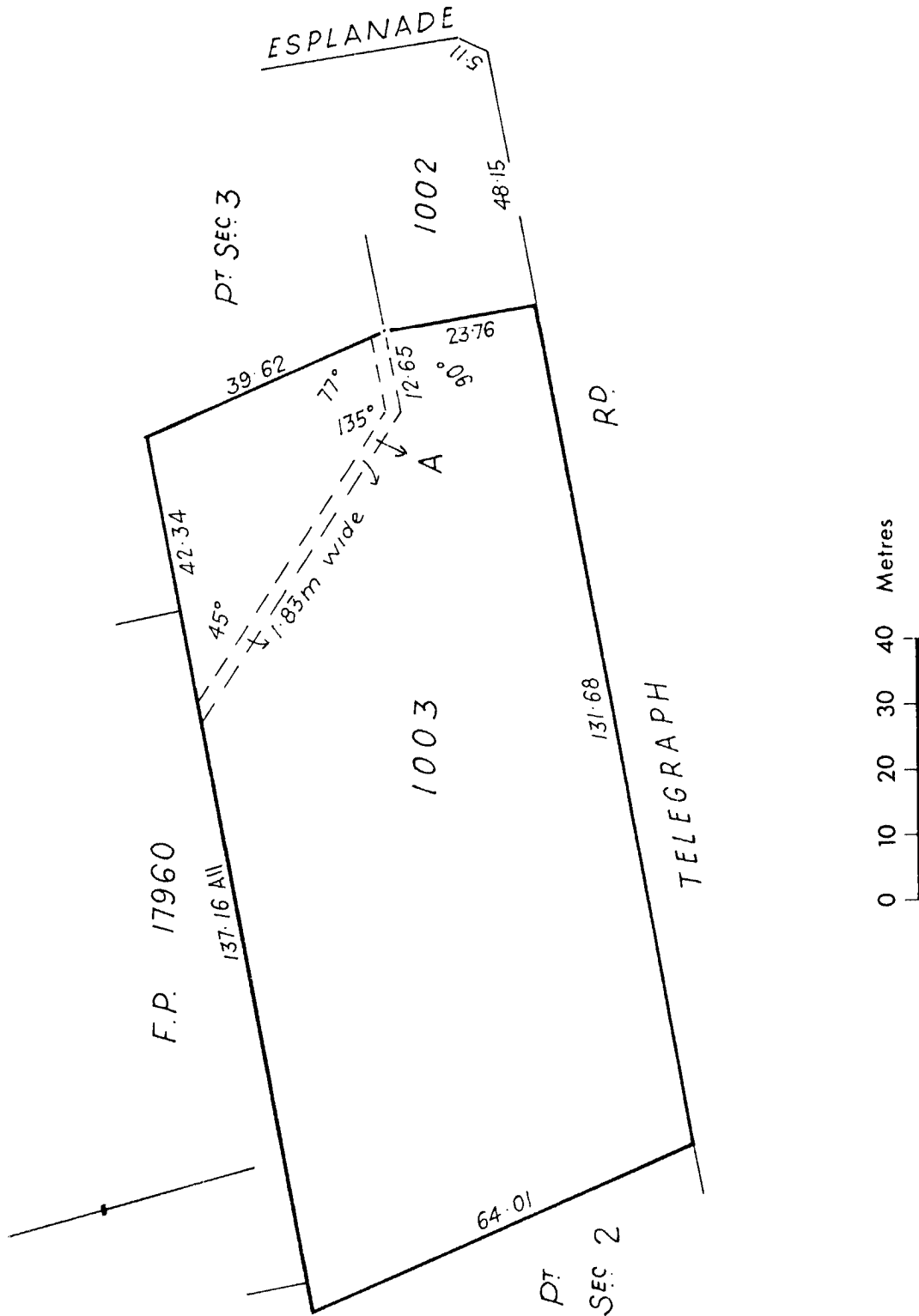
SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A TO THE COUNCIL FOR THE AREA (T 3100655)

Schedule of Dealings

Dealing Number	Description
12458841	MORTGAGE TO WESTPAC BANKING CORPORATION (ACN: 007 457 141)
13147306	MORTGAGE TO LU INVESTMENTS (SA) PTY. LTD. (ACN: 166 553 224)

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



DEPOSITED PLAN

20791 L.T.O. E

DEPOSITED PLAN NUMBER
DP 20781

ACCEPTED FOR DEPOSIT
John Martin Higgins
per Registrar-General
1415/1987

Reference Map No.
COUNCIL

D.C. of Kingscote
Development No. 591 : D.O.O. : 186
THIS IS SHEET 1 OF 1 SHEETS

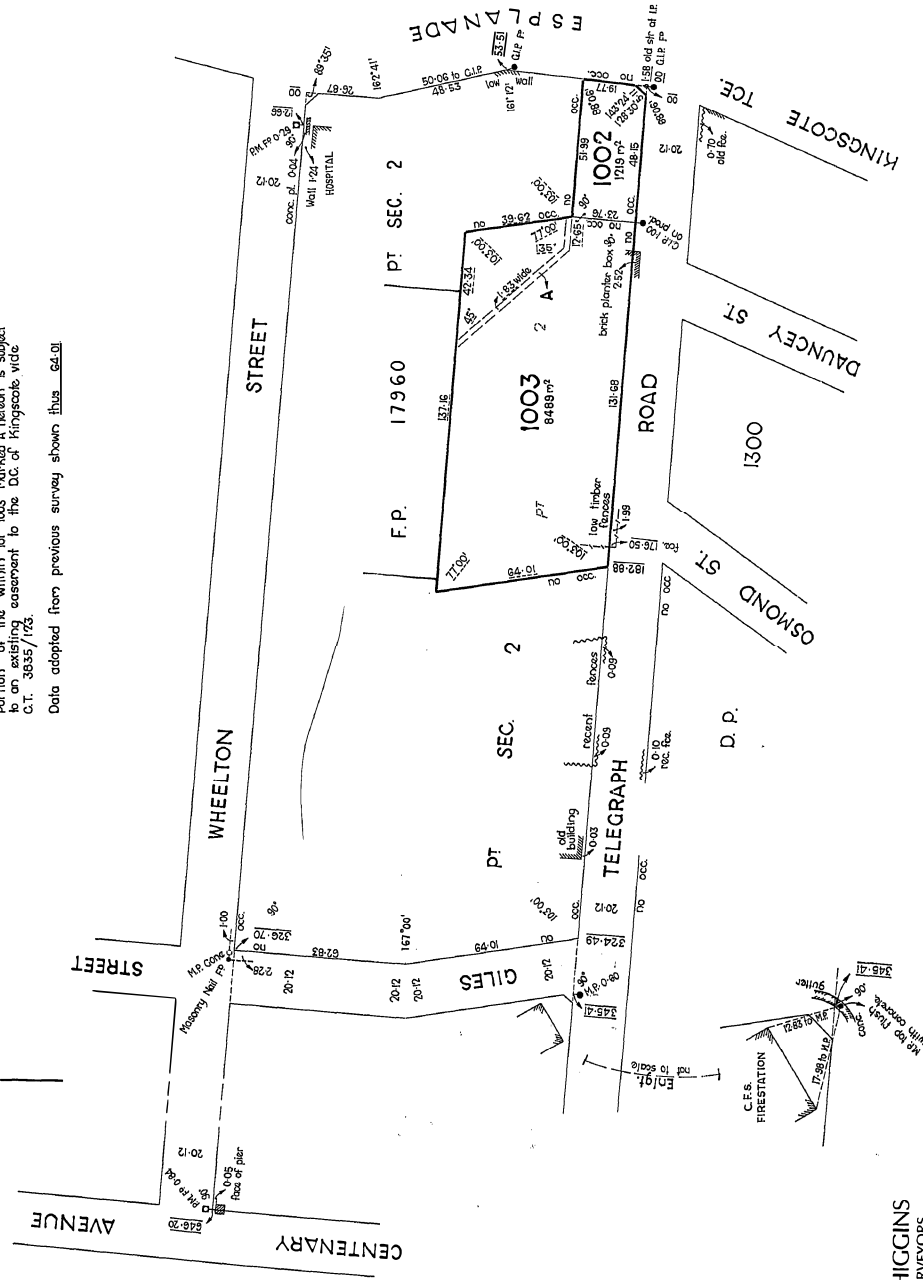
WARNING CREAMING OR FOLDING WILL LEAD TO REJECTION

Plan of Division
HUNDRED OF MENZIES
PT SECTION 2
in the area named
KINGSCOTE



CT. 4195/965

Portion of the within lot 1003, marked A, herein, is subject to an existing easement to the D.C. of Kingscote vide C.T. 3835/1973.
Data adopted from previous survey shown thus 64101



PERMANENT MARKS APPROVED
E. J. O'BRIEN GENERAL

PLAN EXAMINATION	
Checked	Examined
J.T.S.	P.S.G.
per Principal Drafting Officer SPECIALIST	

I, John Martin HIGGINS
Licensed Surveyor of South Australia
(1) This plan has been made from surveys
conducted by me or under my supervision;
(2) The field work was completed on 18/12/86;
(3) The plan and field work are to the best
of my knowledge correct and have been made
in accordance with the regulations under
the Surveyors Act, 1972.
Date 20th February 1987

Permanent mark, shown thus: Licensed Surveyor
John Martin Higgins

SMITH AND HIGGINS
LICENSED SURVEYORS
408 Rives William Street
Adelaide, S.A. 5000
Telephone: (08) 212 4457

Date: 20 Feb 1987 Reference: E. 63215

MICROFILMED
14-587

EASEMENT

3100655

MEMORANDUM OF GRANT OF EASEMENT
ISLAND TOURIST LODGE PROPRIETARY LIMITED

Grantor
- and -
THE DISTRICT COUNCIL OF KINGSFORD

Grantee
land situated in the Hundred of Kenzie
County of Carnarvon being portion of
Section 2 Certificate of Title Register
Book Volume 3153 Folio 170.

RETURN TO GRANTOR

MEMORANDUM - A Vestment of the within instrument

No. 3100655 was entered

in the Register Book Volume 3153 Folio 170

on the 15 day of May 1970

at Kingsford

APPEARED before me at

day of

within described the part executing the within instrument

being person well known to me and did freely and voluntarily sign the same.

APPEARED before me at

day of

within described the part executing the within instrument

being person well known to me and did freely and voluntarily sign the same.

APPEARED before me at

day of

within described the part executing the within instrument

being person well known to me and did freely and voluntarily sign the same.

APPEARED before me at

day of

within described the part executing the within instrument

being person well known to me and did freely and voluntarily sign the same.

APPEARED before me at

day of

within described the part executing the within instrument

being person well known to me and did freely and voluntarily sign the same.

APPEARED before me at

day of

One thousand nine hundred and

of

a person known to me and of good repute attesting witness to

this instrument and acknowledged his signature to the same

and did further declare that

the part executing the same personally known to

him the said

and that the signature of the said instrument in the

handwriting of the said

and that the said

did freely and voluntarily sign the same in the presence of

him the said

and

at the time of signing same.

(Signed).....

Griffin Hume

CORRECT for the part of 'The Real Property Act 1981'



K Griffin

Solicitors

8 MAY 1970 11:10

FEES PAID

9 APR 1970

TIME 3.00

LTO FEES 4

55 BCT

NOTING

ADVERTISING

*****9.00 - 228 56097 51-8-70

Ms. 2779341 - 3044091 also to be partially discharged. This will necessitate the temporary withdrawal of this to.

REFER
E. P. Kriewaldt
Frank Dillwyn

10/4

O. D. R.
NE 240157


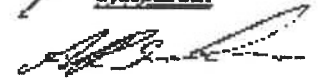
8 MAY 1970

GRIFFIN HUME & CO
SOLICITORS
ADELAIDE

NEW VOLUME 3153 FOLIO 170
BALANCE VOLUME 3702 FOLIO 10
Dist. Reg. Office Kingsford

THE DISTRICT COUNCIL OF KINGSCOTE DOIR HEREBI ACCEPT the above transfer by way of grant of easement.

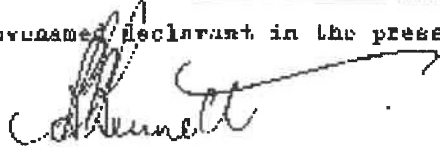
THE COMMON SEAL of THE DISTRICT COUNCIL OF KINGSCOTE was hereunto affixed pursuant to a resolution of Council on the 12th day of June 1969 in the presence of: ERIC LANCELOT WHARTON the Chairman and ANDREW BOLAND GRAHAM the District Clerk thereof:


ERIC LANCELOT WHARTON
CHAIRMAN

ANDREW BOLAND GRAHAM
DISTRICT CLERK

I ANDREW BOLAND GRAHAM the District Clerk of the withinnamed and described Grantee DO SOLEMNLY AND SINCERELY DECLARE that the value of the easement above described is TEN DOLLARS (\$10) and no more.

AND I MAKE THIS SOLEMN DECLARATION conscientiously believing the same to be true and by virtue of the provisions of the Oaths Act 1936.

DECLARED at KINGSCOTE this 12th day of June 1969 by ANDREW BOLAND GRAHAM the above named declarant in the presence of:



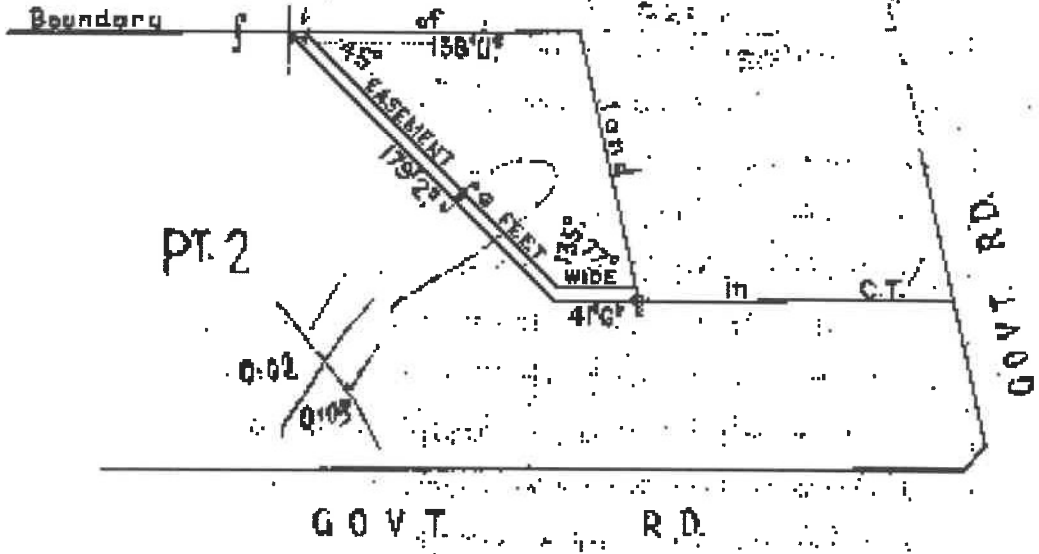


A Justice of the Peace in and for the State of South Australia.

~~3100655~~

HD. OF MENZIES,
PT. SEC. 2.
C.T. VOL. 3153 FOL. 190.

Scale 1" = 80 feet.



Registered Proprietor -
Island Tourist Lodge Pty. Ltd.

J. M. HIGGINS, M.I.S. Aust.
Licensed Surveyor.
11 Salisbury Tce, Collingwood, 5091.
Phone G5-7214. Ref. F4/1/1147.

The document is a scan of a page with extremely faint and illegible text. The content is mostly obscured by noise and low contrast, making it impossible to read. The text appears to be organized into several paragraphs, but the specific words and sentences are not discernible.

GRIFFIN, HUME & CO.

ADVISORS, SOLICITORS, NOTARIES
ADELAIDE AND BARRACLOUGH PLACE

ROBERT TROPER GUYER, M.B.
NEAL JEREMY HUME, LL.B.
Solicitors and Notaries

OUR REFERENCE: 1/1246
YOUR REFERENCE:

FIRST FLOOR
52 WYNDHAM STREET
ADELAIDE S. AUR. 5000
G.P.O. BOX 864 D. S. AUR. 5001
TELEPHONE 51 1351

2nd April, 1970.

DELLIVRE

The Registrar-General of Deeds,
Lands Titles Office,
Victoria Square,
ADELAIDE.

Dear Sir,

Memorandum of Grant of Easement - Island Tourist
Lodge Pty. Ltd. to District Council
of Kingscote

The abovementioned easement dated the 13th day of June 1969 is lodged herewith. It is not intended that a Certificate of Title should be issued for the easement therein granted until all the easements related to it have been registered. At that time it is intended that application will be made for one Certificate of Title for all of the easements all of which are directly related to each other. Therefore, for the time being will you please hold the issue of the Certificate of Title for the easement but issue a Certificate of Title for the balance of the land.

Yours faithfully,



Enc.

~~THIS~~ CERTIFICATION of TITHE ~~is~~ FROM ~~of the LAND~~ in VOL. 3153 FOLIO 150.

ISLAND TOURIST LODGE PROPRIETARY LIMITED of Manway Street Kingscote ~~is~~ ~~the~~ ~~proprietor~~ ⁵²⁵³ ✓

is the proprietor of an estate in fee simple ✓

subject, etc., or encumbrance hereon, in that piece of land ctg 2 acres 1 rood and 20 perches or thereabouts situated in the Hundred of Menzies County of South Australia being PORTION of Sec. 2

~~and~~ more particularly delineated and bounded as appears in the plan in the margin hereof and therein coloured green

Subj. r/Issd to the pt. of 20 & 20 ac. with conditions and in terms of Tr. No. 3100655 ✓
to The E.T.C. of the pt. of the said land as shd. in the sd. plan & Exhibit incd. Exhibit

3100655

which said Section is delineated in the Public Map of the said pt. deposited in the Land Office, at Adelaide ✓

M. 2423157 ✓
M. 2949341 ✓
M. 3044091 ✓

Orig as on above C.T. - Subj over piece mtd. easement in plan attached to Tr 3100655

- M/L "EASMT" ✓

SOUTH AUSTRALIA

MEMORANDUM OF GRANT OF EASEMENT

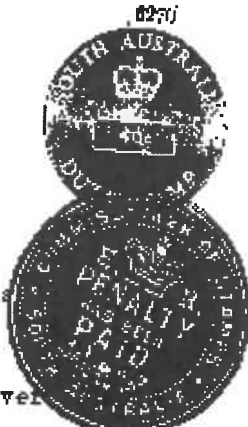
474671

ISLAND TOURIST LODGE PROPRIETARY LIMITED whose registered office is
 Murray Street Kingscote 5223 Kangaroo Island in the State of South
 registered as the proprietor of an estate in fee simple subject never
 such encumbrances liens and interests as are notified by memorandum underwritten
 or endorsed hereon in that piece of land situated in the Hundred of Menzies County
 of Carnarvon being portion of Section 2 and being the whole of the land comprised
 and described in Certificate of Title Register Book Volume 3153 Folio 190 IN
CONSIDERATION of its desire to vest the easement hereinafter set forth in THE
DISTRICT COUNCIL OF KINGSCOTE of Kingscote 5223 aforesaid for no monetary or other
 consideration DOETH HEREBY GRANT to the said The District Council of Kingscote as
 appurtenant to a Government Road ~~the fee simple of which is vested in the said The~~
~~District Council of Kingscote pursuant to the provisions of the Local Government~~
~~Act 1934-1967~~ A FULL FREE AND UNRESTRICTED RIGHT AND LIBERTY for the said The
 District Council of Kingscote together with its Councillors agents servants workmen
 contractors surveyors and inspectors from time to time and at all times hereafter
 to break surface of dig open up and use that portion of the said land above descri-
 bed marked "Easement" in the plan hereunto annexed for the purpose of laying down
 taking
 fixing up and repairing relaying or examining pipes and drains therein and of
 using and maintaining such pipes and drains whether above below or level with the
 surface of the said land above described and whether open or enclosed and for such
 purpose ~~and as appurtenant as aforesaid~~ DOETH HEREBY GRANT to the said The District
 Council of Kingscote a full free and unrestricted right and liberty of entry egress
 and regress from time to time and at all times hereafter for it its Councillors
 servants agents workmen contractors surveyors and inspectors with or without
 machinery vehicles or carriages laden or unladen in through over across and along
 the said portion of land marked "Easement" in the said plan hereunto annexed.
DATED this 13th day of June 1969.

THE COMMON SEAL of ISLAND TOURIST LODGE
PROPRIETARY LIMITED was hereunto affixed
 this 18th day of April 1969
 by order of the Directors in the presence
 of:



DIRECTOR *[Signature]*
SECRETARY *[Signature]*



1-25

PLANNING AND DESIGN CODE EXTRACT

2 TELEGRAPH RD KINGSCOTE SA 5223

Address:

Click to view a detailed interactive [SAILIS](#) in [SAILIS](#)

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Overlay

Airport Building Heights (Regulated) (*All structures over 110 metres*)

Hazards (Flooding - Evidence Required)

Key Outback and Rural Routes

Native Vegetation

Zone

Township Activity Centre

Development Pathways

■ Township Activity Centre

1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Brush fence
- Building work on railway land
- Consulting room
- Internal building work
- Office
- Partial demolition of a building or structure
- Shade sail
- Shop
- Solar photovoltaic panels (roof mounted)
- Temporary public service depot
- Water tank (above ground)
- Water tank (underground)

2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Advertisement
- Consulting room
- Office
- Replacement building
- Shop
- Temporary accommodation in an area affected by bushfire

3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Advertisement
- Consulting room
- Demolition
- Dwelling
- Fence
- Land division
- Office
- Residential flat building
- Retaining wall
- Shop
- Store
- Telecommunications facility
- Tree-damaging activity
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Township Activity Centre Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A cohesive, active, accessible and welcoming centre for local residents and visitors to shop, work, meet, entertain and relax in an attractive and safe environment.
DO 2	The range of land uses that occur in the centre provide important services to town residents, rural hinterland and the broader region.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Retail, office, entertainment, health , recreation related uses and other businesses provide a range of goods and services to the local community and the surrounding district.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) Advertisement (b) Cinema (c) Community facility (d) Consulting room (e) Dwelling (f) Educational establishment (g) Emergency services facility (h) Hospital (i) Hotel (j) Indoor recreation facility (k) Library (l) Office (m) Place of worship (n) Pre-school (o) Public transport terminal (p) Recreation area (q) Retail fuel outlet (r) Service trade premises (s) Shop

	(t) Tourist accommodation.
PO 1.2 Residential development does not prejudice the operation of existing or future retail, office, entertainment or recreation related activity within the zone.	DTS/DPF 1.2 Dwellings are: (a) developed in conjunction with non-residential uses (b) sited either behind or above non-residential uses on the same allotment
PO 1.3 Tourist accommodation and visitor attractions support the visiting public and holiday makers.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development sited and designed to achieve or maintain a vibrant and interesting streetscape within retail areas.	DTS/DPF 1.4 None are applicable.
PO 1.5 Changes in the use of land encourage the efficient reuse of commercial premises to maintain and enhance vibrancy within activity centres.	DTS/DPF 1.5 A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved: (a) the area to be occupied by the proposed development is in an existing building and is currently used as a shop, office, consulting room or any combination of these uses (b) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, areas used for the storage and collection of refuse are sited at least 10 metres from the site of a dwelling (other than a dwelling directly associated with the proposed shop) (c) if the proposed change of use is for a shop that primarily involves heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any neighbourhood-type zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions (d) if the change in use involves a gross leasable floor area greater than 250m ² and has direct frontage to an arterial road, it achieves: (i) the primary vehicle access (being the access where the majority of vehicles access / egress the site of the proposed development) from a road that is not an arterial road or (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared (e) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number, except where: (i) the building is a local heritage place or (ii) the required contribution will be made into a relevant car parking offset scheme (other than where a relevant contribution has previously been made) or (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Built Form and Character	

4 TELEGRAPH RD KINGSCOTE SA 5223

Address:

Click to view a detailed interactive [SAILIS](#) in [SAILIS](#)

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

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- Native Vegetation

Zone

Township Activity Centre

Development Pathways

- Township Activity Centre

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2. Code Assessed - Deemed to Satisfy

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- Office
- Residential flat building
- Retaining wall
- Shop
- Store
- Telecommunications facility
- Tree-damaging activity
- Verandah

4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

Property Policy Information for above selection

Part 2 - Zones and Sub Zones

Township Activity Centre Zone

Assessment Provisions (AP)

Desired Outcome	
DO 1	A cohesive, active, accessible and welcoming centre for local residents and visitors to shop, work, meet, entertain and relax in an attractive and safe environment.
DO 2	The range of land uses that occur in the centre provide important services to town residents, rural hinterland and the broader region.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Retail, office, entertainment, health , recreation related uses and other businesses provide a range of goods and services to the local community and the surrounding district.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> (a) Advertisement (b) Cinema (c) Community facility (d) Consulting room (e) Dwelling (f) Educational establishment (g) Emergency services facility (h) Hospital (i) Hotel (j) Indoor recreation facility (k) Library (l) Office (m) Place of worship (n) Pre-school (o) Public transport terminal (p) Recreation area (q) Retail fuel outlet (r) Service trade premises (s) Shop

	(t) Tourist accommodation.
PO 1.2 Residential development does not prejudice the operation of existing or future retail, office, entertainment or recreation related activity within the zone.	DTS/DPF 1.2 Dwellings are: (a) developed in conjunction with non-residential uses (b) sited either behind or above non-residential uses on the same allotment
PO 1.3 Tourist accommodation and visitor attractions support the visiting public and holiday makers.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development sited and designed to achieve or maintain a vibrant and interesting streetscape within retail areas.	DTS/DPF 1.4 None are applicable.
PO 1.5 Changes in the use of land encourage the efficient reuse of commercial premises to maintain and enhance vibrancy within activity centres.	DTS/DPF 1.5 A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved: (a) the area to be occupied by the proposed development is in an existing building and is currently used as a shop, office, consulting room or any combination of these uses (b) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, areas used for the storage and collection of refuse are sited at least 10 metres from the site of a dwelling (other than a dwelling directly associated with the proposed shop) (c) if the proposed change of use is for a shop that primarily involves heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any neighbourhood-type zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions (d) if the change in use involves a gross leasable floor area greater than 250m ² and has direct frontage to an arterial road, it achieves: (i) the primary vehicle access (being the access where the majority of vehicles access / egress the site of the proposed development) from a road that is not an arterial road or (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared (e) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number, except where: (i) the building is a local heritage place or (ii) the required contribution will be made into a relevant car parking offset scheme (other than where a relevant contribution has previously been made) or (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.
Built Form and Character	

SA HERITAGE PLACE DATABASE SEARCH

SA HERITAGE PLACES DATABASE SEARCH

[Search by Location](#)
[Search by ID](#)
[Search by Keywords](#)
[Extract by Development Plan](#)
[About Heritage Places](#)

HERITAGE PLACES

Heritage Place Details

LOCATION

Map	Show Map
Address	Telegraph Terrace KINGSCOTE
Accuracy	H - high level confidence
Development Plan	Kangaroo Island Council
Polygon Type	-

DESCRIPTION

Details (Known As)	Former Camarvon House (Island Resort)
Registered Name	
Extent of listing	
Class	Local

Local Heritage Place Class Type -

STATUS

Authorisation Date	30-OCT-2008
--------------------	-------------

REFERENCE

LGA	Kangaroo Island
Heritage Number	20520
Council Reference	KC34

SECTION 23 INFORMATION

Section 23	a - it displays historical, economic or social themes that are of importance to the local area d - it displays aesthetic merit, design characteristics or construction techniques of significance to the local area
------------	--

DISCLAIMER

While due care has been taken to ensure that the SA Heritage Places Database accurately reflects the South Australian Heritage Register and listings of Local Heritage Places in Development Plans, the State of South Australia does not accept liability for the use of the SA Heritage Database for any purpose. Users should consult the [Department for Environment and Water - Heritage South Australia](#) to confirm the listing of State Heritage Places and the relevant [Development Plan](#) for Local Heritage Places/Contributory Items.

In the majority of cases, the maps of State Heritage Places on this web site show the footprints of the most significant structures on a registered Place. However, sometimes they simply indicate the complete area of land comprising the Place. Work is proceeding to further refine the mapping of such places. It is also important to note that development control is not limited to the registered structures but extends to their setting and structures nearby (what is termed 'development affecting' a State Heritage Place). Hence it is vital that exact details of the listed place and implications for any proposed development be discussed with Heritage South Australia staff, as they cannot be deduced solely from the information on this web site. The inclusion of a place in the SA Heritage Register gives no right of public access. Permission to visit properties must be sought from the owners. The accuracy of the mapping of State Heritage Places is not guaranteed. Please contact Heritage SA (<https://www.environment.sa.gov.au/topics/heritage/sa-heritage-register>) if you believe there is an error.

GIS FILES

To access downloadable GIS files, go to [Data.SA](#).

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KANGAROO ISLAND HEALTH SERVICE INFRASTRUCTURE & ACCOMMODATION

DOCUMENT LIST

SHEET	SHEET NAME
DA00	DOCUMENT LIST AND LOCATION PLAN
DA01	SITE DEMOLITION PLAN
DA10	PROPOSED SITE PLAN
DA30	STREET ELEVATIONS

ACCOMMODATION

SHEET	SHEET NAME
AC_DA21	GROUND FLOOR SETOUT PLAN
AC_DA22	FIRST FLOOR, ROOF SETOUT PLANS & TYPICAL MODULE PLANS
AC_DA30	ELEVATIONS

HEALTH INFRASTRUCTURE

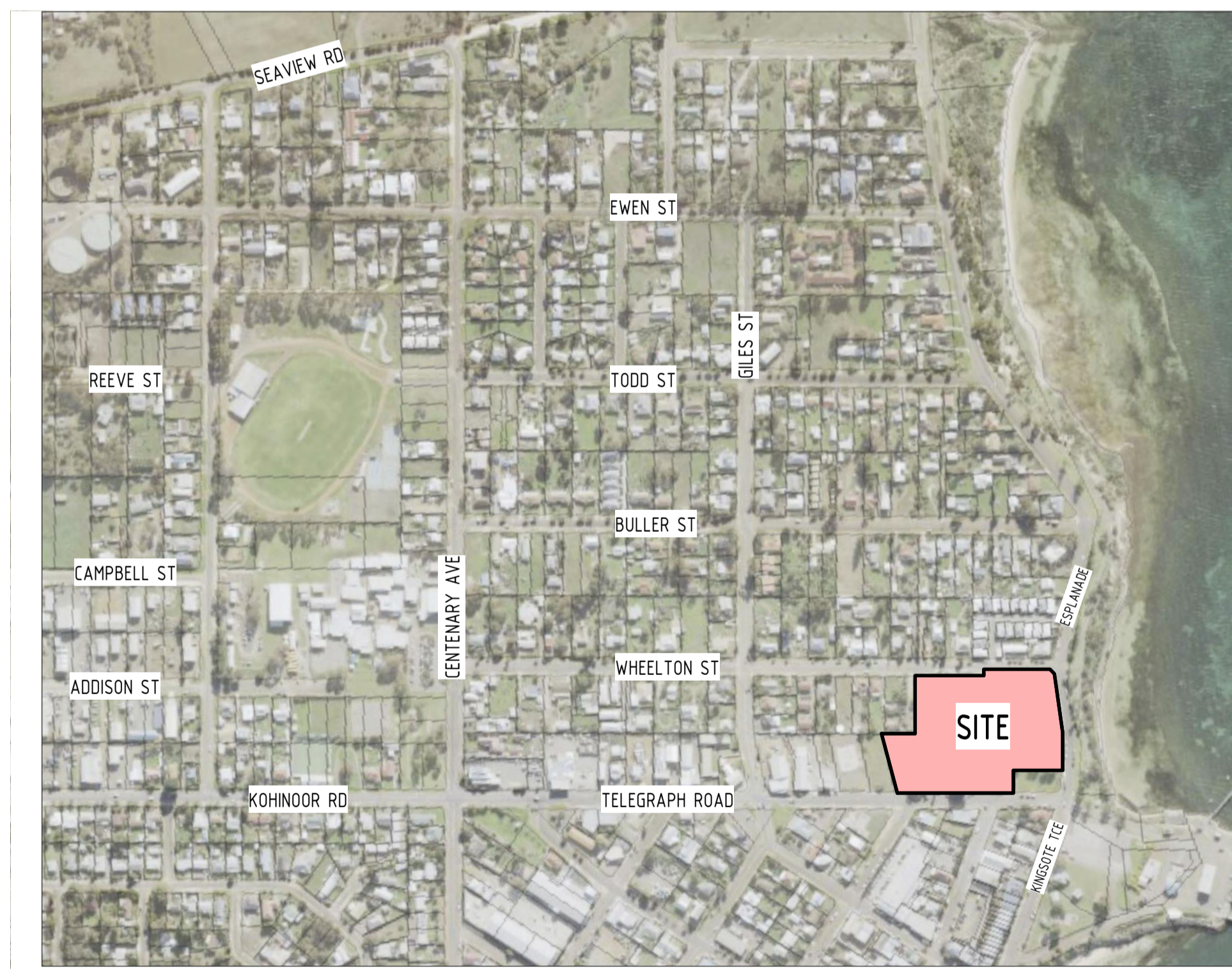
SHEET	SHEET NAME
HI_DA01	BASEMENT & GROUND FLOOR DEMOLITION PLAN
HI_DA21	PROPOSED BASEMENT & GROUND FLOOR PLAN
HI_DA22	ROOF PLAN
HI_DA30	ELEVATIONS
HI_DA51	RENDERS



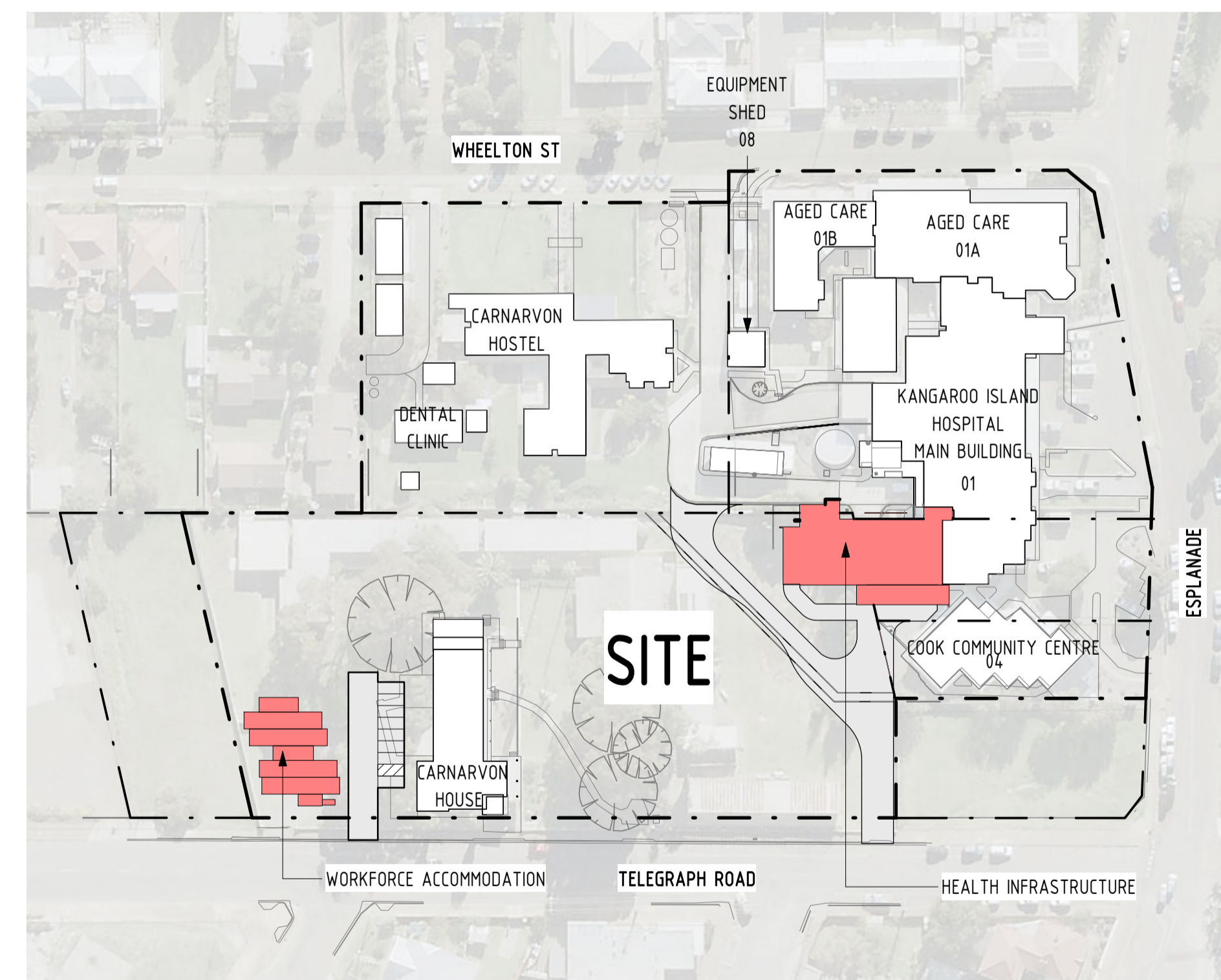
VIEW OF HEALTH INFRASTRUCTURE BUILDING



VIEW OF WORKFORCE ACCOMMODATION BUILDING

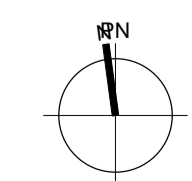


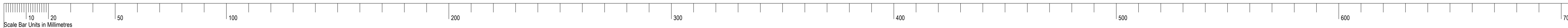
WIDER CONTEXT LOCATION PLAN - KINGSCOTE



SITE LOCATION PLAN

REV. DATE	AMENDMENTS	INITIAL
0 12.08.24	FOR APPROVAL	ST





- LEGEND**
- AC AIR CONDITIONING
 - col STEEL COLUMN
 - MOB MAIN DISTRIBUTION BOARD
 - DP DOWNPIPE
 - EG EAVES GUTTER
 - EJ EXPANSION JOINT
 - EX EXISTING
 - FB FACE BRICKWORK
 - FC FIBRE CEMENT
 - FCL FINISHED CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - MF METAL FLASHING
 - MWC METAL WALL CLADDING
 - MRS METAL ROOF SHEETING
 - PF PAINT FINISH
 - REF RENDER FINISH

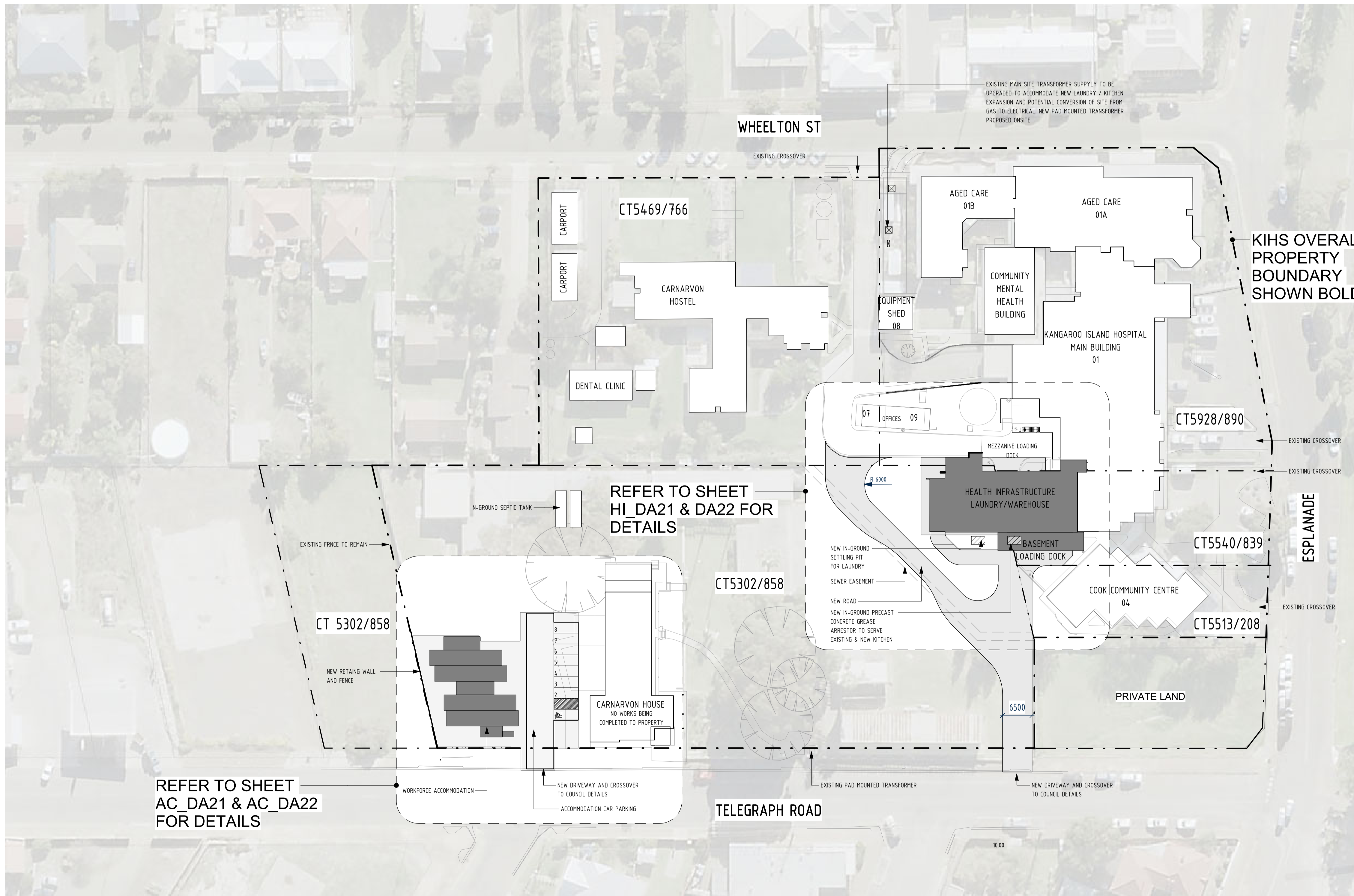
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 facsimile: +61 8 8232 0957
 email: adelaide@wga.com.au

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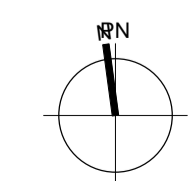
CONTRACT EXECUTION
 CONTRACTOR _____ DATE _____
 WITNESS _____ DATE _____

CONTRACT NAME
KIHS INFRASTRUCTURE & ACCOMMODATION SITE

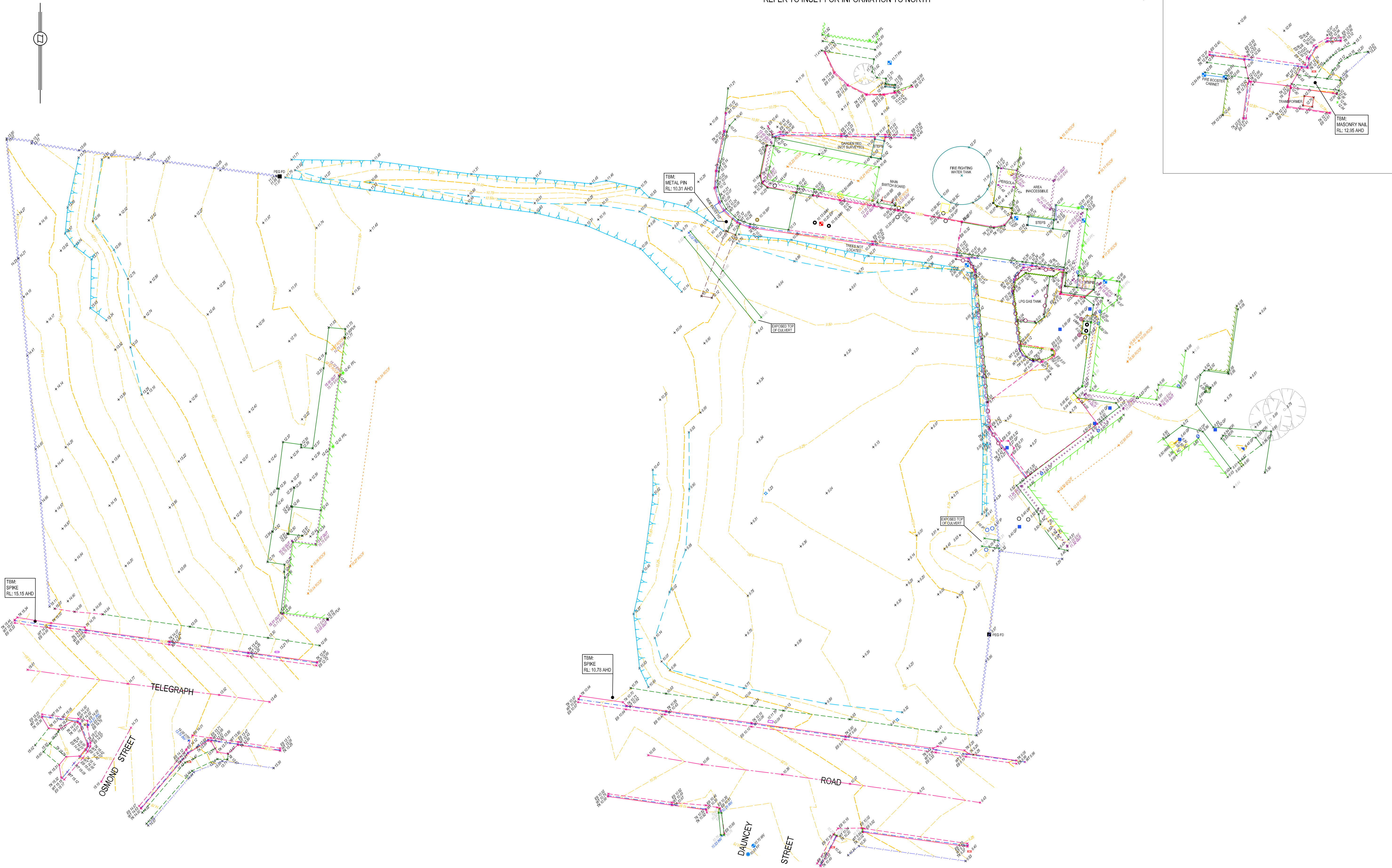
SITE ADDRESS
**2&4 TELEGRAPH ROAD
 KINGSCOTE**

DRAWING TITLE
PROPOSED SITE PLAN

CONTRACT NO. _____ DRAWN BY - CHECKED BY
 AK ST
 PSC JOB NO. 23089 SCALE - SHEET SIZE
 As indicated@A1
 DPTI ASSET NO. _____ SHEET NO.
DA10
 DPTI DRAWING NO. _____ REVISION
0



REFER TO INSET FOR INFORMATION TO NORTH



surveyors + land divisions
 info@steedsurveyors.com.au
 ACN 614 910 691

Norwood - 08 8362 7900
 23 Sylestium Road 5067
Murray Bridge - 08 8532 5200
 Murrumbidgee Building, 30 Seventh Street 5253
Kangaroo Island - 08 8559 4283

REFERENCE: 13683E1.0 30/01/24 JEH,ELT

SCALE
 0 5 10 15 20 25 METRES

ORIGINAL SHEET SIZE A1
 COORDINATE DATUM: PLANE
 HEIGHT DATUM: PSM6426/2119 RL 7.424m AHD
 CONTOUR INTERVAL: 0.25 metre
 SURVEY DATE: 24/01/24
 CLIENT: GRIEVE GILLET ARCHITECTS

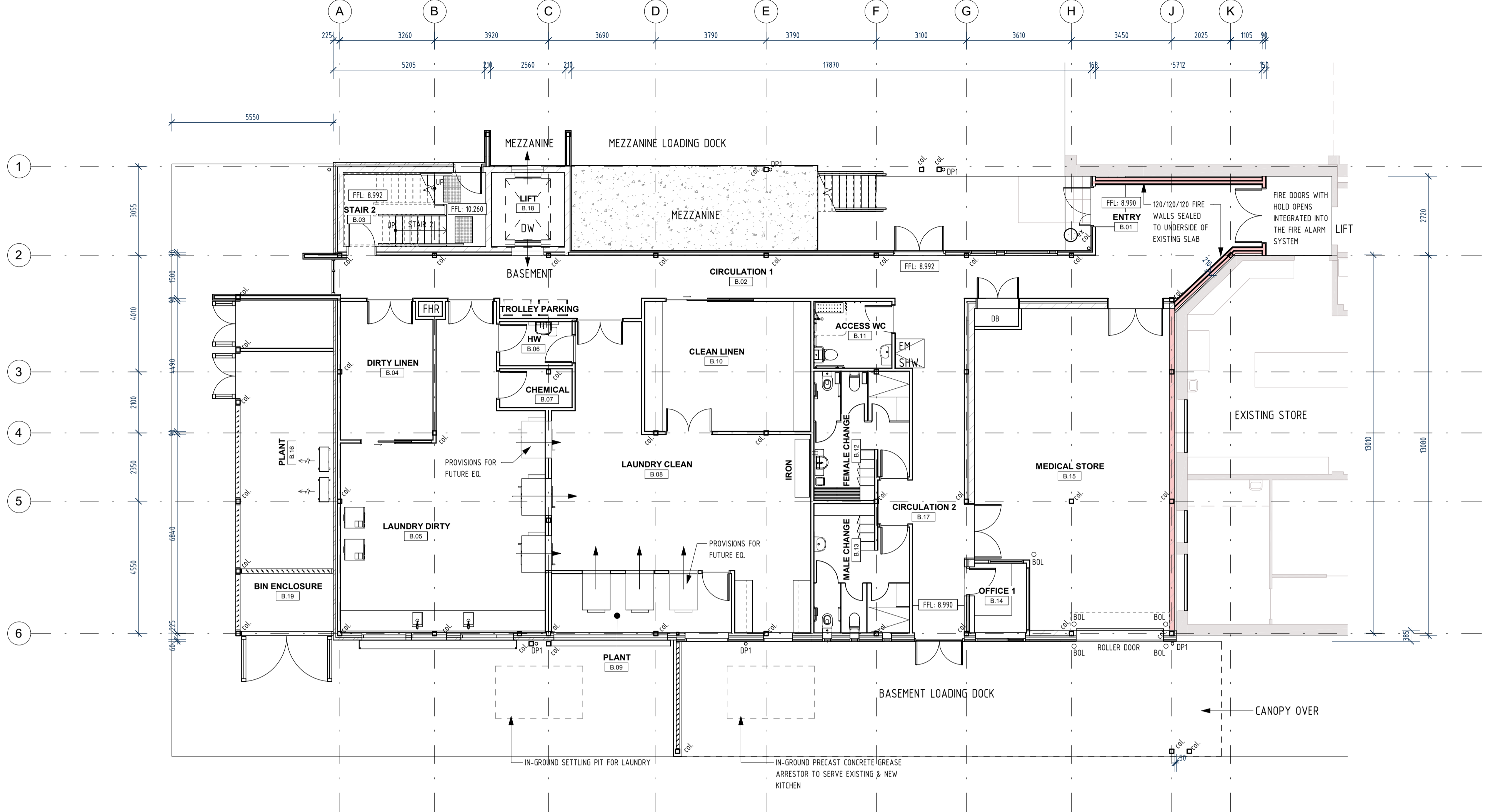
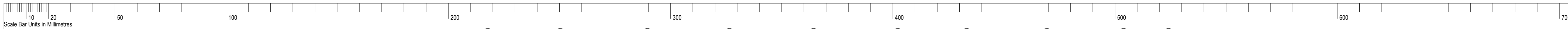
PLH = RLYNTH	FLL = FINISHED FLOOR LEVEL	DP = DOWNPIPE	MAJOR CONTOUR	EAV = EAVES
INV = INVERT	SB = SWITCHBOARD	GP = GRATED PIT	MINOR CONTOUR	PERGOLA
AC = AIR CONDITIONER	EP = ELECTRIC IP	○ TREE	BOTTOM OF BANK	ROOF = ROOFLINE/GABLE
△ DPR = DROPPER	STOBIE POLE	× NATURAL SURFACE	TOP OF BANK	EDGE OF CONCRETE
● PEG FOUND	WV = WATER VALVE		FENCE	EDGE OF PATH
○ POST	FP = FIRE PLUG		G.FENCE	TW = TOP OF RETAINING WALL
● UMH = UNCLASSIFIED MANHOLE	FH = FIRE HYDRANT		WT = WATER TABLE	WALL
● HWS = HOT WATER SYSTEM	TAP		BUILDING	CENTRELINE OF ROAD/TRACK
● SC = STEEL COVER	DTP = TOP OF PIPE		SHED	EB = EDGE OF BITUMEN
● BOLLARD	IP = INSPECTION POINT		VERANDAH	TK = TOP OF KERB
● TP = TELECOM PIT			GUT = GUTTER	○ GUARD RAIL

REFER TO CERTIFICATE OF TITLE FOR LOCATION AND DISPOSITION OF EASEMENT(S).

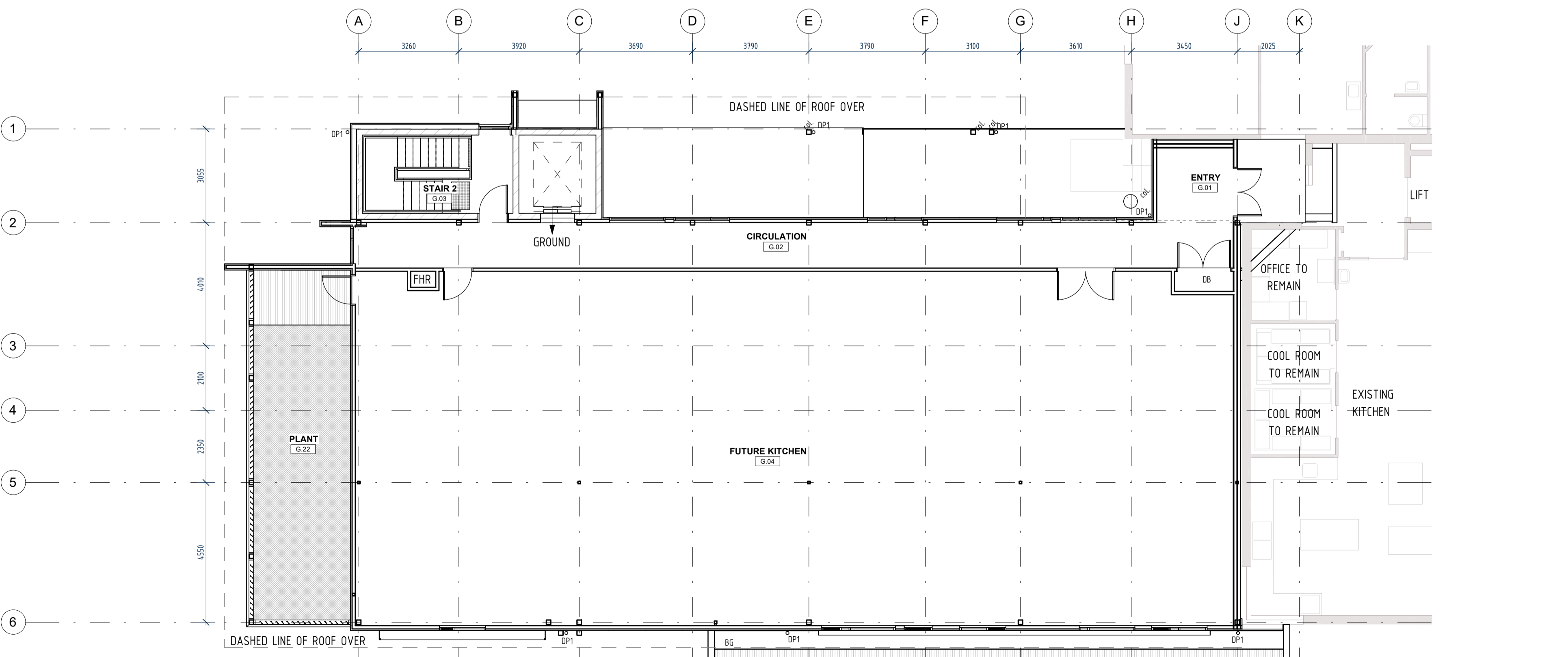
IMPORTANT NOTE:
 This plan was prepared for the purpose of designing new constructions on the land and should not be used for any other purpose. The site boundaries have not been shown and were not marked at the time of the survey. Services shown hereon have been located where possible by field survey.
 Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and recorded locations of all services.
 This note is an integral part of this plan.

REV	DATE	DESCRIPTION
1.0	30/01/24	FIRST ISSUE
		ADDITIONS & AMENDMENTS

TOPOGRAPHIC SURVEY
 2 & 4 TELEGRAPH ROAD
 ALLOT 1003 IN D20781
 CT 5302/674
 ALLOT 92 IN F162396
 CT 5302/858
KINGSCOTE



1 BASEMENT PLAN
HI_A3101 1:100



2 GROUND FLOOR PLAN
HI_A3101 1:100

- LEGEND**
- AC AIR CONDITIONING
 - col STEEL COLUMN
 - bol BOLLARD
 - CL CENTRELINE
 - DB DISTRIBUTION BOARD
 - DP DOWNPIPE
 - EG EAVES GUTTER
 - EJ EXPANSION JOINT
 - EX EXISTING
 - FB FACE BRICKWORK
 - FC FIBRE CEMENT
 - FCL FINISHED CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - MOB MAIN DISTRIBUTION BOARD
 - MFL METAL FLASHING
 - MWC METAL WALL CLADDING
 - MRS METAL ROOF SHEETING
 - PF PAINT FINISH
 - REF RENDER FINISH
 - RWT RAINWATER TANK
 - SL SLAB LEVEL
 - TOW TOP OF WALL

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email: adelaide@lucidconsulting.com.au
www.lucidconsulting.com.au

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Telephone: +61 8 1155 5588
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CONTRACT EXECUTION
CONTRACTOR DATE
WITNESS DATE

CONTRACT NAME
KIHS INFRASTRUCTURE & ACCOMMODATION HEALTH INFRASTRUCTURE

SITE ADDRESS
284 TELEGRAPH ROAD KINGSCOTE

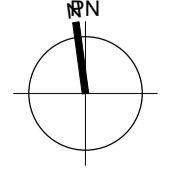
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PROPOSED BASEMENT & GROUND FLOOR PLAN

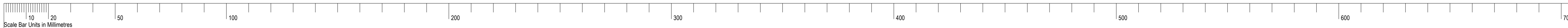
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23089 AK ST

PSC JOB NO. SCALE - SHEET SIZE
23089 1:100@A1

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HI_DA21

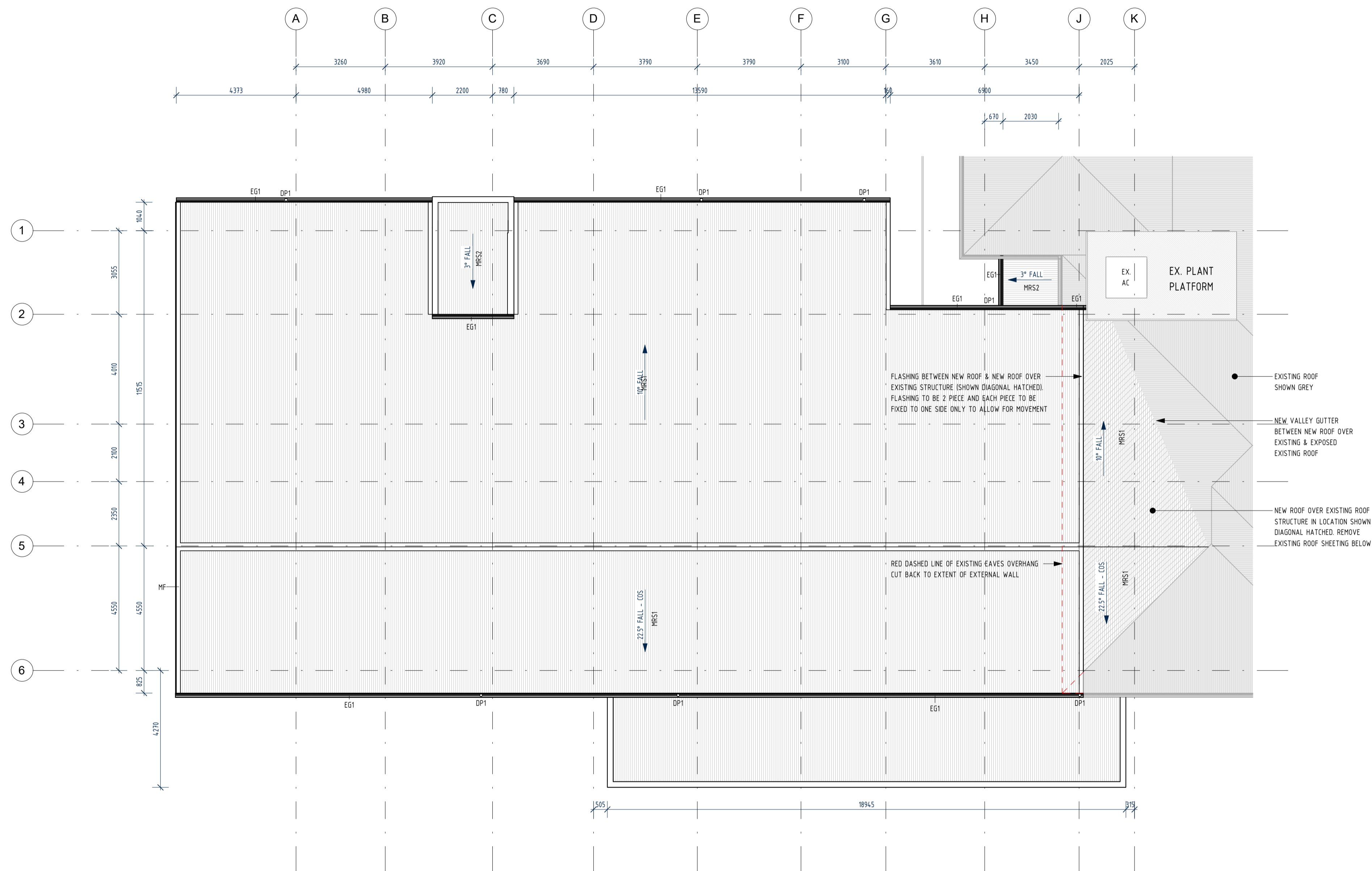
DPTI DRAWING NO. REVISION
0





- LEGEND**
- AC AIR CONDITIONING
 - col STEEL COLUMN
 - bol BOLLARD
 - CL CENTRELINE
 - DB DISTRIBUTION BOARD
 - DP DOWNPIPE
 - EG EAVES GUTTER
 - EJ EXPANSION JOINT
 - EX EXISTING
 - FB FACE BRICKWORK
 - FC FIBRE CEMENT
 - FCL FINISHED CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - MDB MAIN DISTRIBUTION BOARD
 - MF METAL FLASHING
 - MwC METAL WALL CLADDING
 - MRS METAL ROOF SHEETING
 - PF PAINT FINISH
 - REF RENDER FINISH
 - RWT RAINWATER TANK
 - SL SLAB LEVEL
 - TOW TOP OF WALL

NOTE: ALL ROOF PENETRATIONS REQUIRE PAN CAPPINGS FROM RIDGE OR HIGHEST POINT OF ROOF SHEETING



1 ROOF PLAN
 HL_A3101 1:100

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 WITNESS _____ DATE _____

CONTRACT NAME
KIHS INFRASTRUCTURE & ACCOMMODATION
HEALTH INFRASTRUCTURE

SITE ADDRESS
2&4 TELEGRAPH ROAD
KINGSCOTE

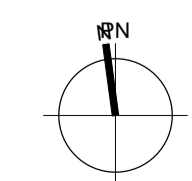
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ROOF PLAN

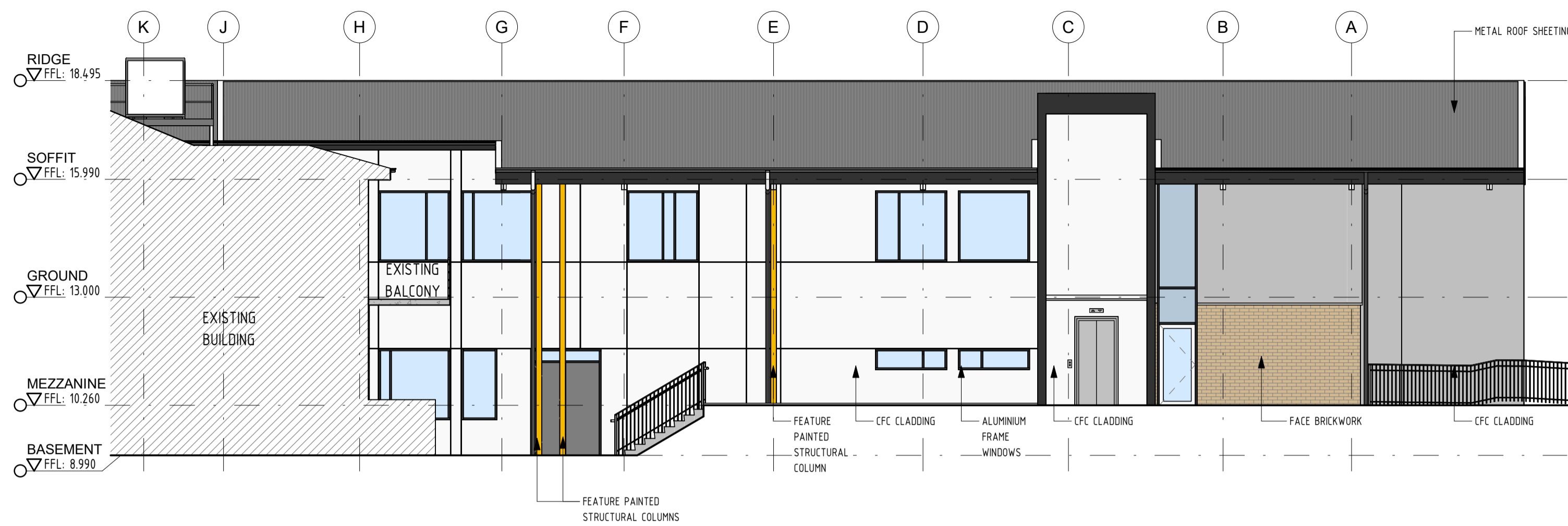
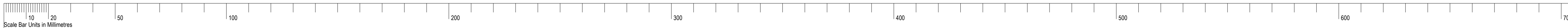
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PSC JOB NO. 23089 SCALE - SHEET SIZE
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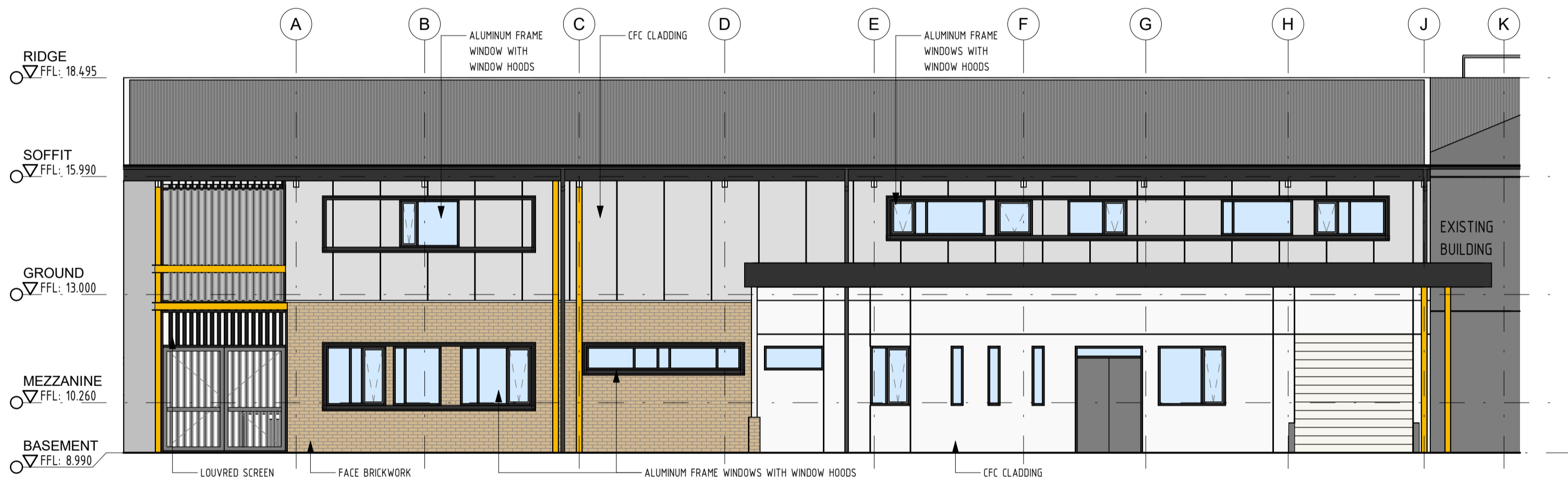
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HL_DA22

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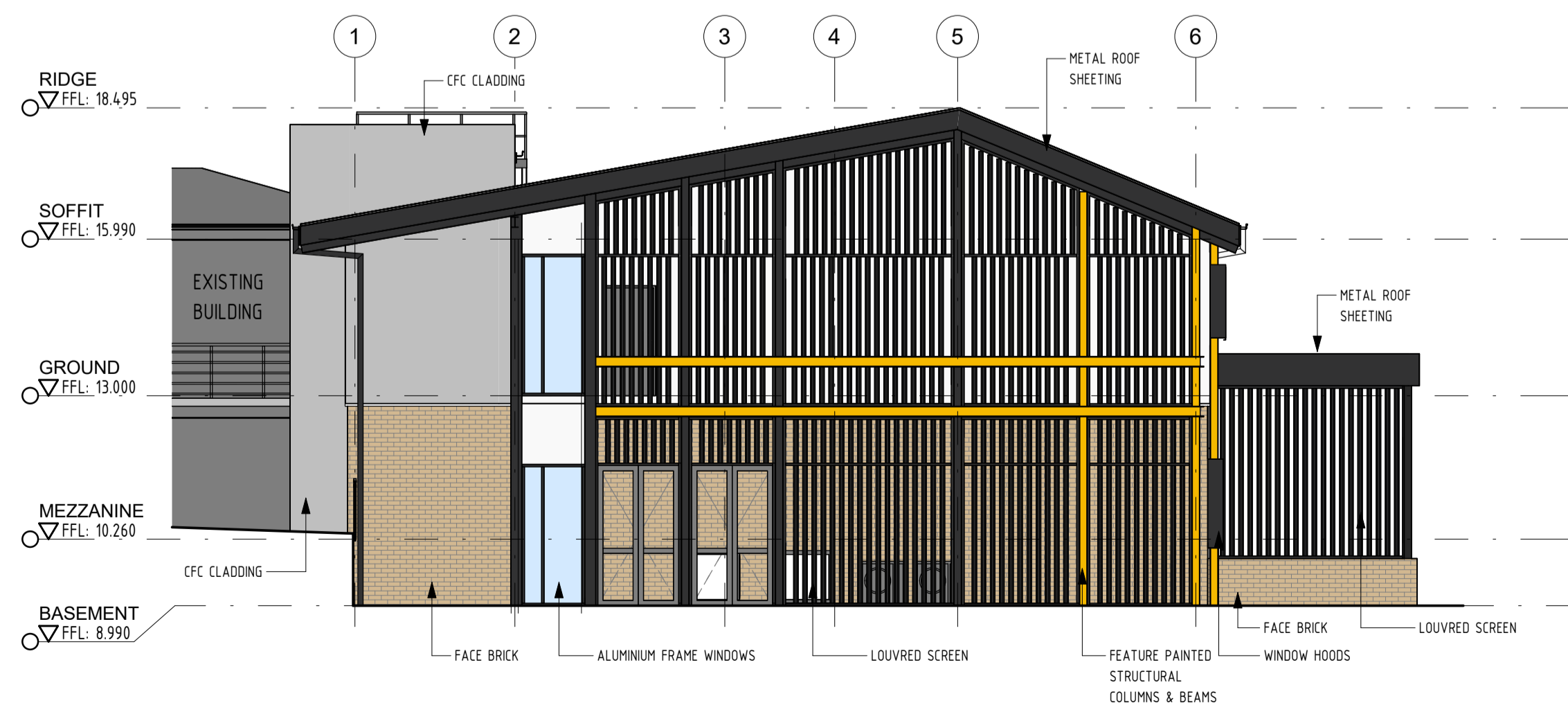




E1 NORTH ELEVATION
1:100



E2 SOUTH ELEVATION
1:100



E4 WEST ELEVATION
1:100

EXTERNAL MATERIALS LEGEND

-  **BAL**
PAINTED ALUMINIUM RAILING
-  **CFC**
PAINTED COMPRESSED FIBRE CEMENT
COLOURS AS SHOWN INDICATIVELY
-  **FB**
FACE BRICK
-  **EG**
FIXED GLAZING
-  **MRS**
METAL ROOF SHEETING
-  **WH**
WINDOW HOOD

**GRIEVE
GILLETT
ARCHITECTS**

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CONTRACTOR DATE

WITNESS DATE

CONTRACT NAME
**KIHS INFRASTRUCTURE &
ACCOMMODATION
HEALTH INFRASTRUCTURE**

SITE ADDRESS
**2&4 TELEGRAPH ROAD
KINGSCOTE**

DRAWING TITLE
ELEVATIONS

CONTRACT NO. DRAWN BY - CHECKED BY
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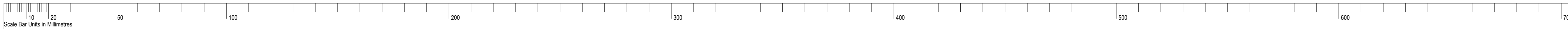
PSC JOB NO. SCALE - SHEET SIZE
23089 As indicated@A1

DPTI ASSET NO. SHEET NO.

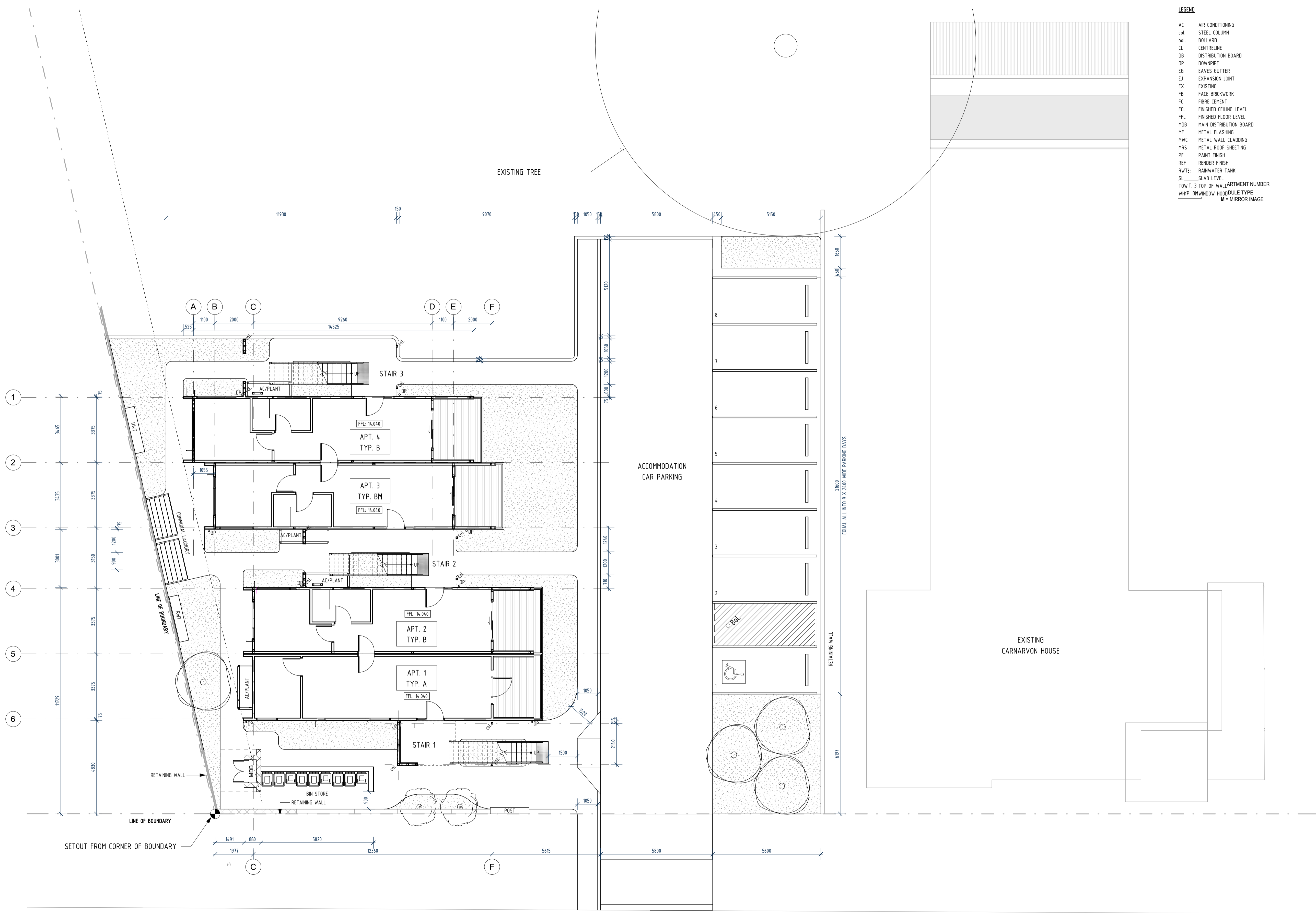
DPTI DRAWING NO. REVISION

HI_DA30

0



- LEGEND**
- AC AIR CONDITIONING
 - col. STEEL COLUMN
 - bol. BOLLARD
 - CL CENTRELINE
 - DB DISTRIBUTION BOARD
 - DP DOWNPIPE
 - EG EAVER GUTTER
 - EJ EXPANSION JOINT
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 - MRS METAL ROOF SHEETING
 - PF PAINT FINISH
 - REF RENDER FINISH
 - RWTE RAINWATER TANK
 - SL SLAB LEVEL
 - TOWT. 3 TOP OF WALL/ARTMENT NUMBER
 - WHYP. 0 WINDOW HOOD/DULE TYPE
 - M = MIRROR IMAGE



REV.	DATE	FOR APPROVAL	INITIAL
0	13.08.24	FOR APPROVAL	ST

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CONTRACT EXECUTION

CONTRACTOR	DATE
WITNESS	DATE

CONTRACT NAME
 KIHS INFRASTRUCTURE &
 ACCOMMODATION BUILDINGS

SITE ADDRESS
 2&4 TELEGRAPH ROAD
 KINGSCOTE

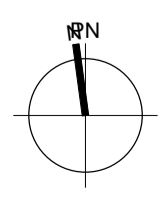
DRAWING TITLE
 GROUND FLOOR SETOUT PLAN

CONTRACT NO. _____ DRAWN BY - CHECKED BY
 Author Checker

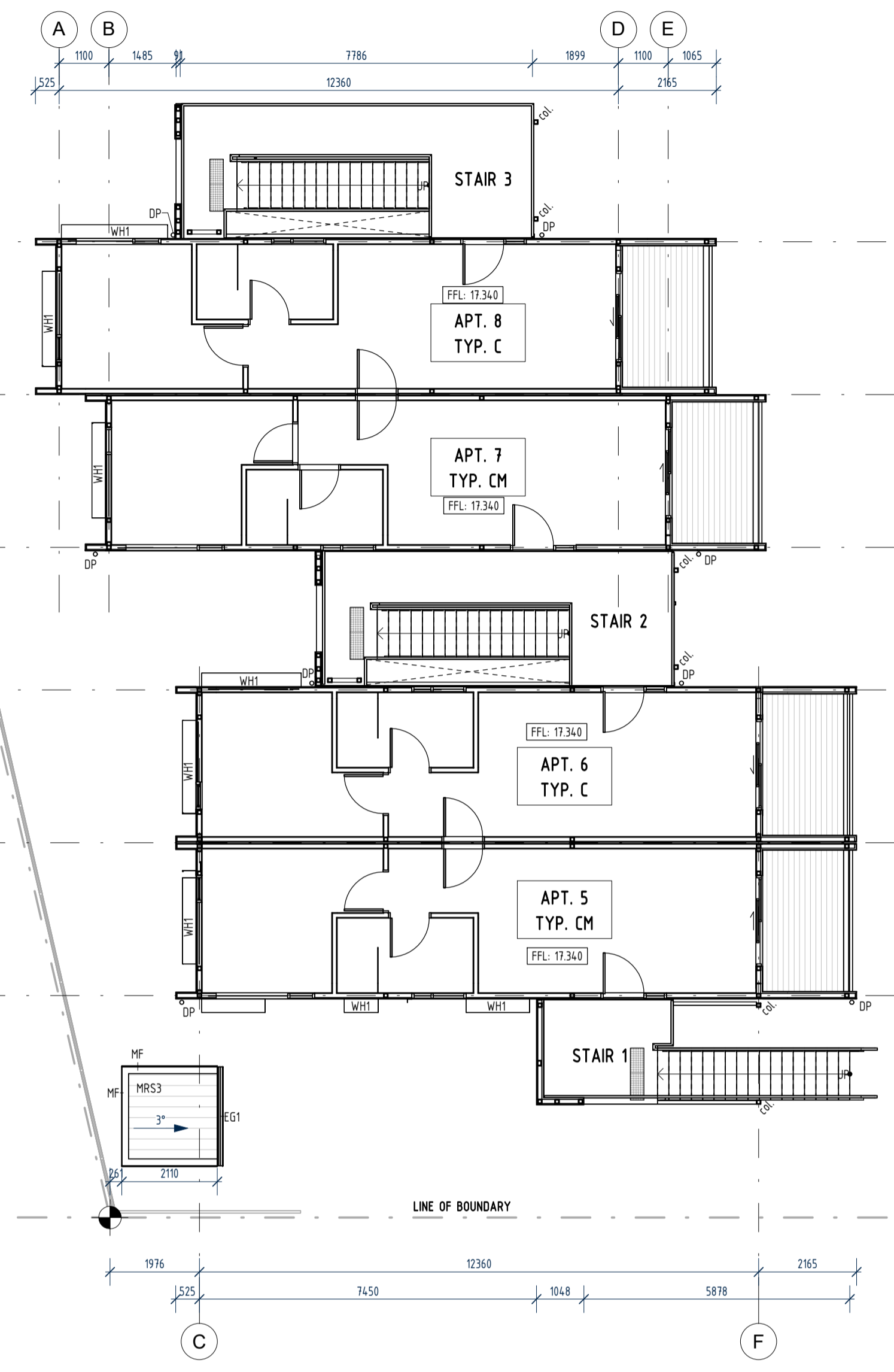
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AC_DA21

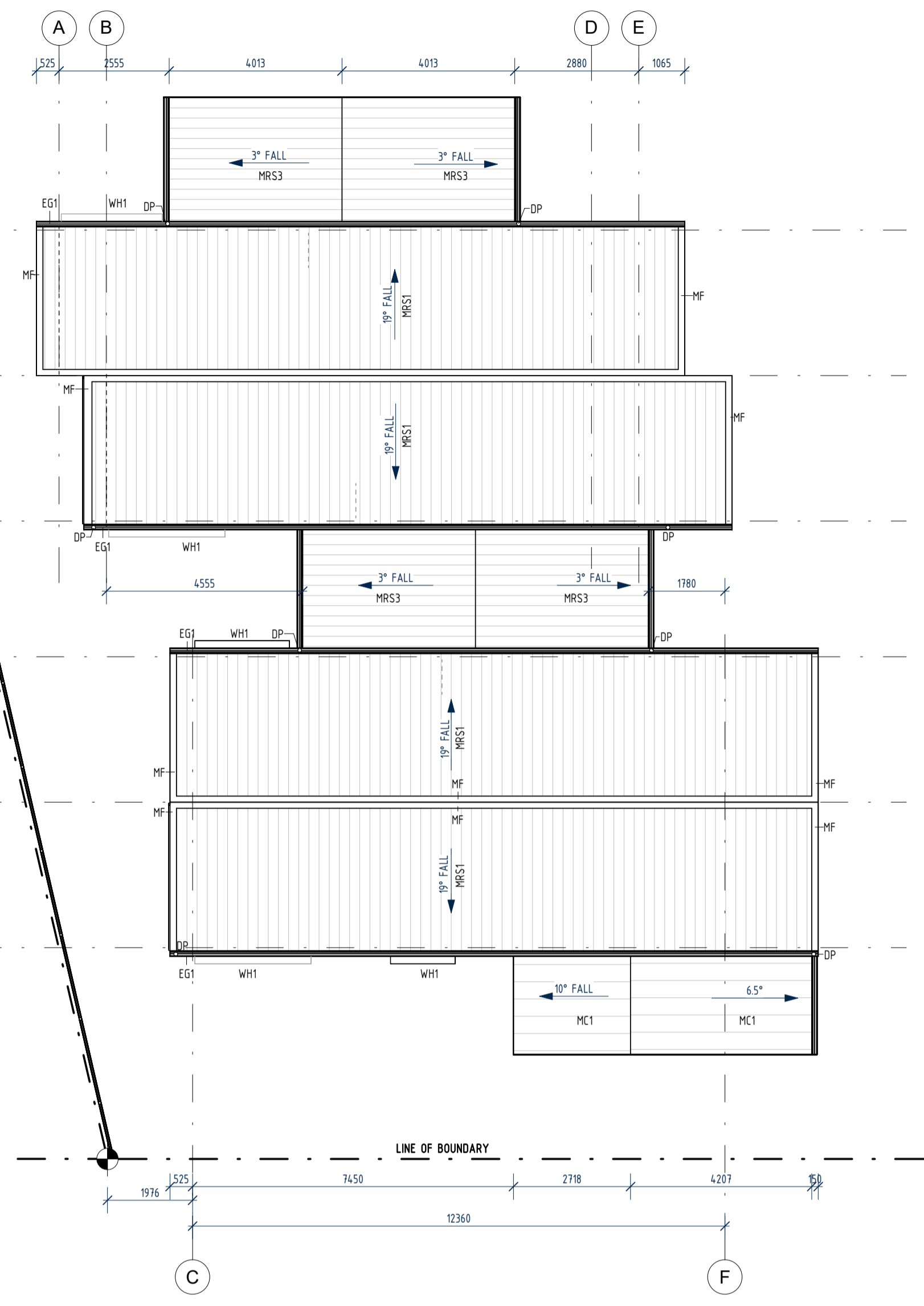
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0



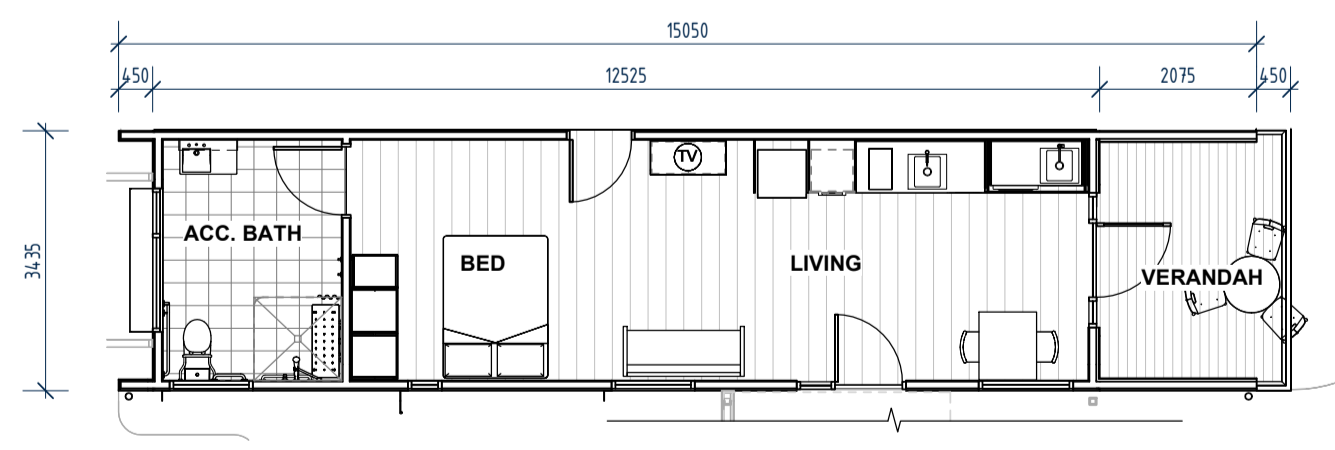
- LEGEND**
- AC AIR CONDITIONING
 - col. STEEL COLUMN
 - bol. BOLLARD
 - CL CENTRELINE
 - DB DISTRIBUTION BOARD
 - DP DOWNPIPE
 - EG EAVES GUTTER
 - EJ EXPANSION JOINT
 - EX EXISTING
 - FB FACE BRICKWORK
 - FC FIBRE CEMENT
 - FCL FINISHED CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - MDB MAIN DISTRIBUTION BOARD
 - MF METAL FLASHING
 - MWC METAL WALL CLADDING
 - MRS METAL ROOF SHEETING
 - PF PAINT FINISH
 - REF RENDER FINISH
 - RW: RAINWATER TANKS REQUIRE PAN CAPPINGS
 - SLUM RID SLAB LEVEL 31 POINT OF ROOF SHEETING
 - TOW TOP OF WALL
 - WHFE WINDOW HOOD
- APT. 3 ← APARTMENT NUMBER
 TYP. BM ← MODULE TYPE
 M ← MIRROR IMAGE



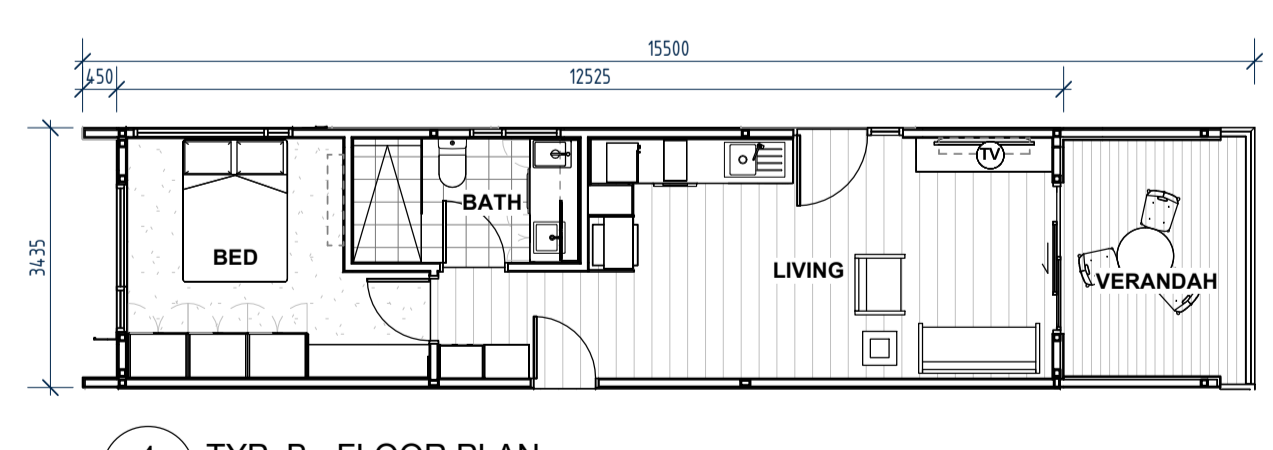
1 FIRST FLOOR SETOUT PLAN
 AC_A3101 1 : 100



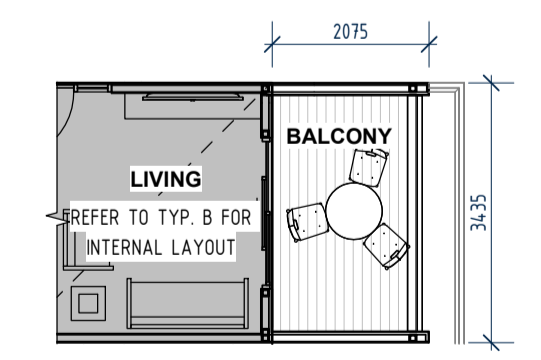
2 ROOF SETOUT PLAN
 AC_A3101 1 : 100



3 TYP. A - FLOOR PLAN
 AC_A3101 1 : 100



4 TYP. B - FLOOR PLAN
 AC_A3101 1 : 100



5 TYP. C - FLOOR PLAN DA
 AC_A3101 1 : 100

REV. DATE	AMENDMENTS	INITIAL
0 13.08.24	FOR APPROVAL	ST

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CONTRACT EXECUTION	DATE
CONTRACTOR	
WITNESS	

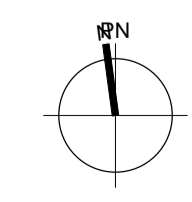
CONTRACT NAME
KIHS INFRASTRUCTURE & ACCOMMODATION BUILDINGS

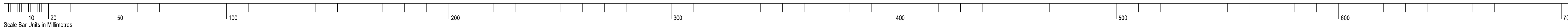
SITE ADDRESS
 2&4 TELEGRAPH ROAD
 KINGSCOTE

DRAWING TITLE
 FIRST FLOOR, ROOF SETOUT PLANS & TYPICAL MODULE PLANS

CONTRACT NO.	DRAWN BY - CHECKED BY
	Author Checker
PSC JOB NO. 23089	SCALE - SHEET SIZE 1 : 100@A1
DPTI ASSET NO.	SHEET NO.

DPTI DRAWING NO. AC_DA22
 REVISION 0





EXTERNAL MATERIALS LEGEND

BAL
PAINTED ALUMINIUM RAILING

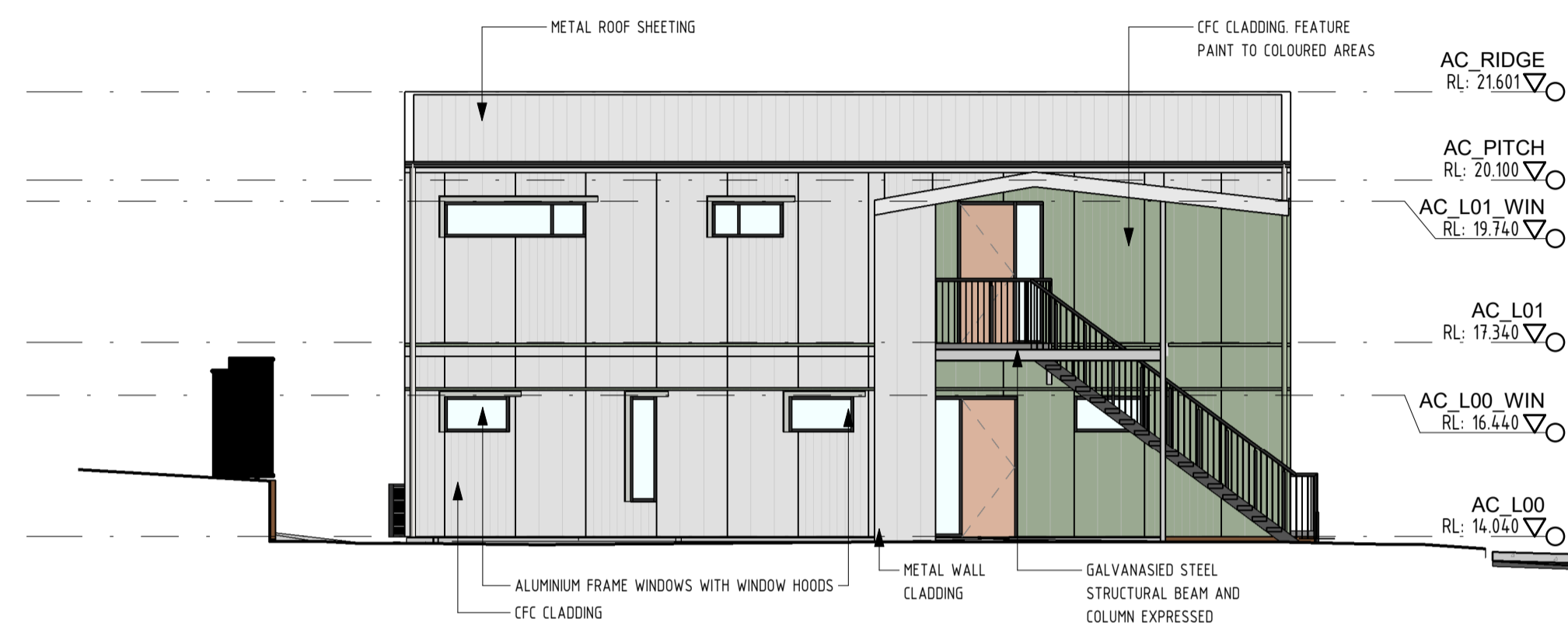
CFC
PAINTED COMPRESSED FIBRE CEMENT
COLOURS AS SHOWN INDICATIVELY

FG
FIXED GLAZING

MRS
METAL ROOF SHEETING

MWC
METAL WALL CLADDING

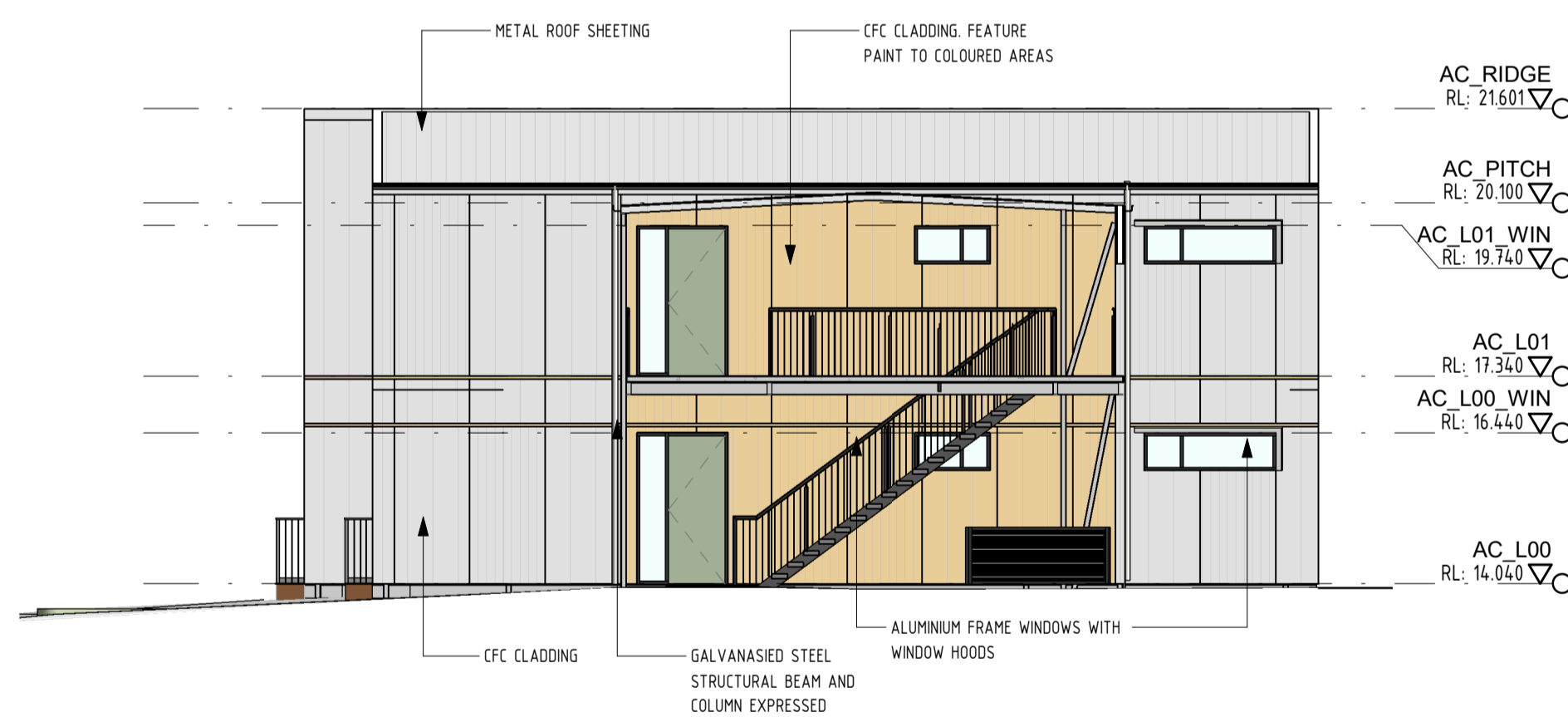
WH
WINDOW HOOD



E1 SOUTH ELEVATION
1: 100



E2 EAST ELEVATION
1: 100



E3 NORTH ELEVATION
1: 100



E4 WEST ELEVATION
1: 100

0 13.08.24 FOR APPROVAL ST

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CONTRACTOR DATE

WITNESS DATE

CONTRACT NAME
KIHS INFRASTRUCTURE & ACCOMMODATION ACCOMMODATION BUILDINGS

SITE ADDRESS
2&4 TELEGRAPH ROAD KINGSCOTE

DRAWING TITLE
ELEVATIONS

CONTRACT NO. DRAWN BY - CHECKED BY
Author Checker

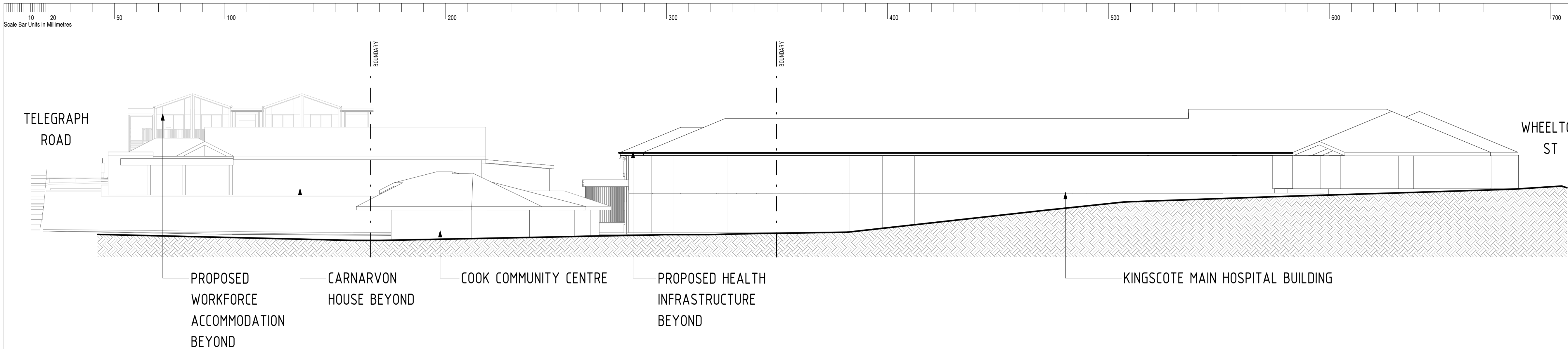
PSC JOB NO. SCALE - SHEET SIZE
23089 As indicated@A1

DPTI ASSET NO. SHEET NO.

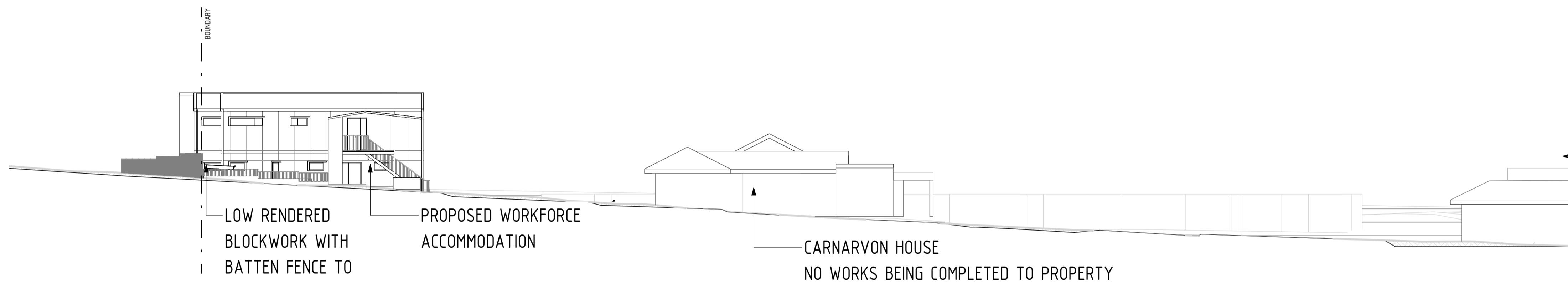
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DPTI DRAWING NO. REVISION

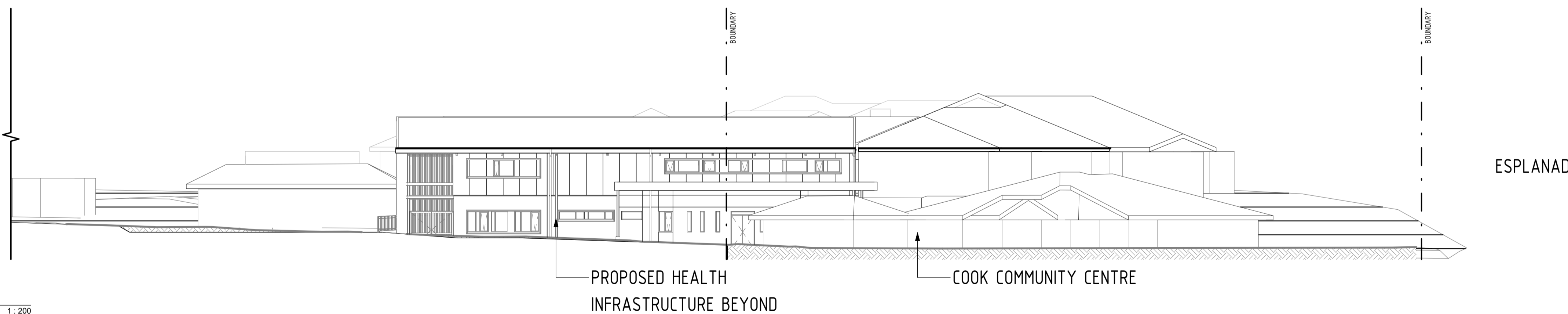
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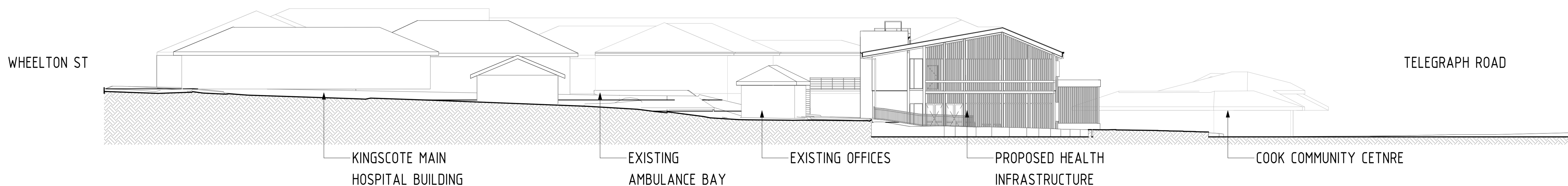
A STREET ELEVATION
ESPLANADE 1:200



B STREET ELEVATION
TELEGRAPH WEST 1:200



C STREET ELEVATION
TELEGRAPH EAST 1:200



D STREET ELEVATION
KI SERVICE ROAD 1:200

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DOCUMENTS

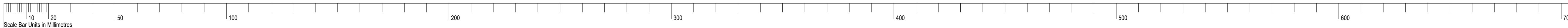
CONTRACT EXECUTION	
CONTRACTOR	DATE
WITNESS	DATE

CONTRACT NAME
**KIHS INFRASTRUCTURE &
ACCOMMODATION
SITE**

SITE ADDRESS
**2&4 TELEGRAPH ROAD
KINGSCOTE**

DRAWING TITLE
STREET ELEVATIONS

CONTRACT NO.	DRAWN BY -	CHECKED BY
PSC JOB NO.	AK	ST
DPTI ASSET NO.	23089	SCALE - SHEET SIZE
		1 : 200@A1
		SHEET NO.
		DA30
DPTI DRAWING NO.		REVISION
		0



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Resonate
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www.resonate-consultants.com

Drawing Status
FOR APPROVAL

ARTIST IMPRESSIONS

WORKFORCE ACCOMMODATION



HEALTH INFRASTRUCTURE



0 13.08.24 FOR APPROVAL ST

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CONTRACT EXECUTION
CONTRACTOR DATE

WITNESS DATE

CONTRACT NAME
**KIHS INFRASTRUCTURE &
ACCOMMODATION
HEALTH INFRASTRUCTURE**

SITE ADDRESS
**2&4 TELEGRAPH ROAD
KINGSCOTE**

DRAWING TITLE
RENDERS

CONTRACT NO. DRAWN BY - CHECKED BY
AK ST

PSC JOB NO. SCALE - SHEET SIZE
23089 @A1

DPTI ASSET NO. SHEET NO.
HI_DA51

DPTI DRAWING NO. REVISION
0



Grieve Gillett Architects

Kangaroo Island Health Service Infrastructure and Accommodation

STORMWATER MANAGEMENT PLAN

WGA231525

WGA231525-RP-CV-0001_A

1 March 2024



Revision History

REV	DATE	ISSUE	ORIGINATOR	CHECKER	APPROVER
A	01/03/2024	For Approval	CH	CH	CH

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1.2.1	Documentation	1
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- Appendix B** AERIAL PHOTOGRAPHS
- Appendix C** ENGINEERING SURVEY
- Appendix D** CALCULATIONS
- Appendix E** PRELIMINARY STORMWATER SKETCH

1 INTRODUCTION

1.1 Background

Wallbridge Gilbert Aztec (WGA) has been engaged by Grieve Gillett Architects to prepare a preliminary stormwater management report for the proposed new Accommodation buildings and an extension to the existing Hospital building to create a new “back of house” non-clinical services building. The works are located on the northern side of Telegraph Road, Kingscote on the western side of the Hospital site.

This report is intended to conceptually outline the stormwater design for the proposed development and detail the stormwater management methodology. A final detailed design should be carried out to provide construction documentation and incorporate the stormwater design principles outlined in this report. The final documentation is considered to be beyond the scope of this report.

1.2 Scope of the Assessment

The preparation of the plan comprises the scope of services listed below:

- Site visit.
- Prepare a Stormwater Management Plan detailing the proposed method of collection, treatment and the disposal of site generated stormwater runoff.
- Prepare a preliminary sketch plan showing possible site drainage infrastructure based on the Kangaroo Island Council’s requirements.

1.2.1 Documentation

The client has provided preliminary Architectural plans for the development and an engineering survey.

2 DETAILED REPORT

2.1 Development Description

It is understood the proposed development comprises the construction of new accommodation units and an extension to the main Hospital building to create space for non-clinical services. The works include the creation of the car parking spaces, internal roadways and loading areas. Refer to Appendix A for a copy of the preliminary site plan prepared by Grieve Gillett Architects.

2.2 Catchment Description

The site is located on the northern side of Telegraph Road, Kingscote, adjacent the intersection with The Esplanade.

The location for the proposed Accommodation units has recently been cleared and was previously occupied by an open grassed area, minor areas of concrete pavement and two large trees. This area generally falls from south-west to north-east, with approx. 3.5m fall over 70m.

The location of the new non-clinical services extension is currently an impervious loading area for the existing building. A portion of the footprint of the new building will extend into an area that is currently grassed.

The proposed new road is located in an area that is currently grassed. This area is generally flat, with only 200mm fall across the site, with a slight depression centrally that rises back up towards Telegraph Road.

Refer to Appendix B for a copy of the aerial photograph prior to recent clearing work and to Appendix C for a copy of the engineering survey that shows the site levels.

Below are photos that show the current site conditions.



Figure 1: Southern Side of Site Looking North-East Across Area for New Road



Figure 2: Location of Non-Clinical Extension Looking East



Figure 3: Location of Accommodation Units Looking South From Northern Boundary

2.3 Existing Stormwater Drainage

The area proposed to contain the new Accommodation buildings and associated car parking contains little underground stormwater infrastructure. The adjacent buildings (to remain) have stormwater pipes picking up roof water that discharge to the Telegraph Road kerb and gutter.

There is a large underground box culvert located adjacent the site of the proposed new non-clinical services extension that falls from north-west to south east. The exact alignment of the culvert is not known but it appears to discharge into the vacant area on the corner of Telegraph Road and The Esplanade.

There is no known underground stormwater infrastructure in the roads adjacent the site.

2.4 Council Requirements

Council's engineering department have advised the following:

- On-site stormwater detention is required to limit the flow rates from the developed site to the flow rates experienced from the pre-development conditions for the 1 in 5 year storm event.
- Water quality improvement measures are required for trafficable pavements.
- The site is not in a know 1 in 100 year flood plain.

2.5 Stormwater Management Methodology

To address Council requirements, a preliminary stormwater management methodology has been prepared for the development and is outlined below.

The extent of impervious area across the site will increase as a result of the proposed development and as such detention storage will be required to reduce the flow rate to the pre-development rates in a 1 in 5 year storm event.

The proposed Accommodation buildings will include 2 x 2,000 litre above ground rainwater tanks to act as detention storage for the stormwater runoff collected from the roof area. The car parking area will include an area of permeable pavement with 9.0m³ of detention storage created within the voids of the pavement.

The new non-clinical services extension will require a 2,000 litre detention tank to reduce the flows rates from the new roof area. The exact location of this tank will require further coordination as the project progresses.

The new road will require 7.0m³ of detention storage and this will be created in the voids of sections of permeable pavements.

The new underground stormwater systems will ultimately connect to the existing underground box culvert.

Refer to Appendix D for a copy of the detention calculations.

Stormwater quality improvements will be provided with the use of permeable pavements in selected locations across the traffic areas.

Refer to Appendix E for a copy of the sketch plan showing the proposed methodology of stormwater collection and disposal.

2.6 Summary

The Preliminary sketch plan contained within this report has been prepared to demonstrate the philosophy behind proposed management of the stormwater runoff from this development. The information provided is preliminary and will be subject to detailed design and documentation.

APPENDIX A
ARCHITECTURAL DRAWINGS



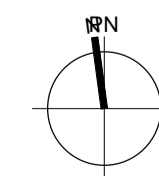
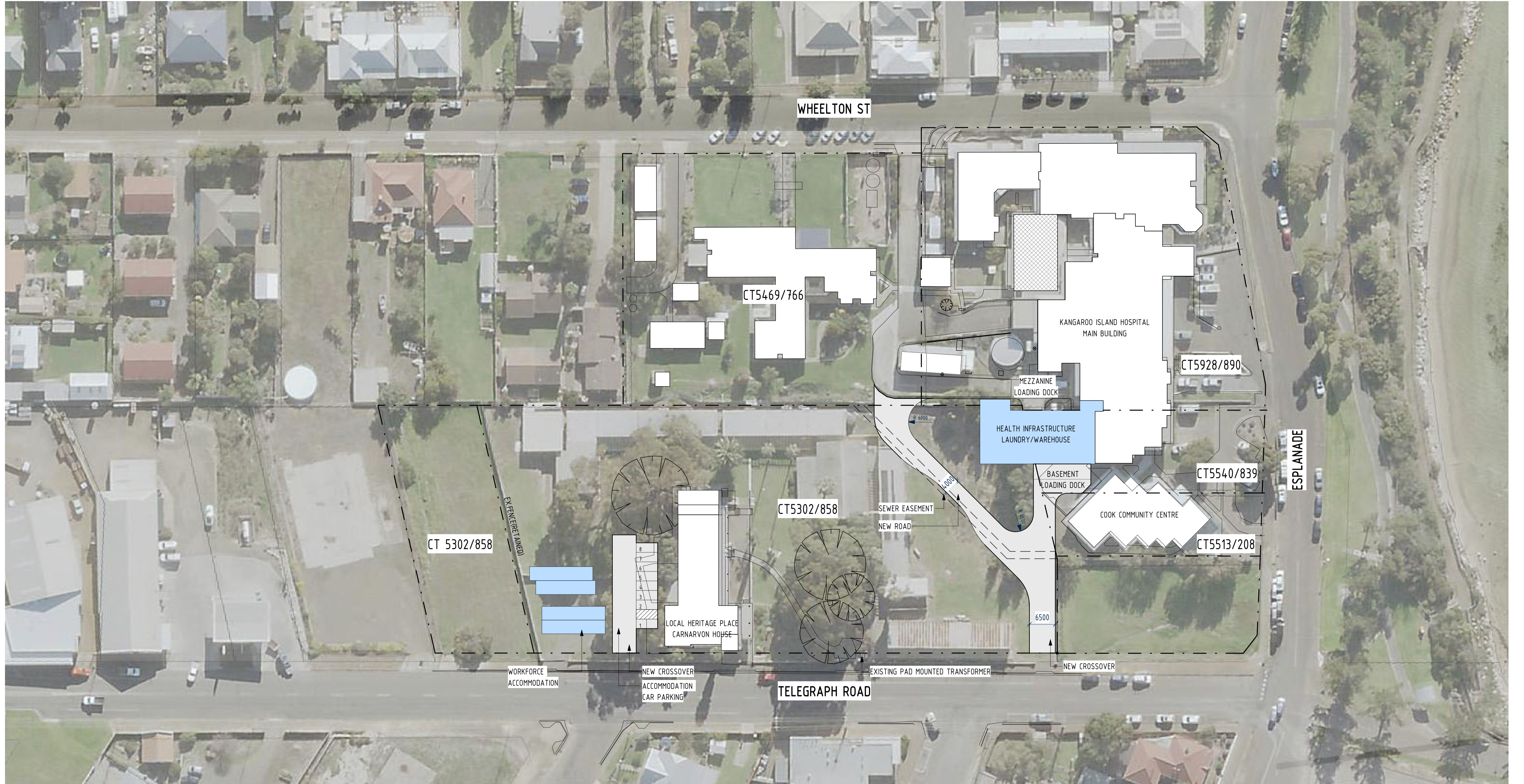


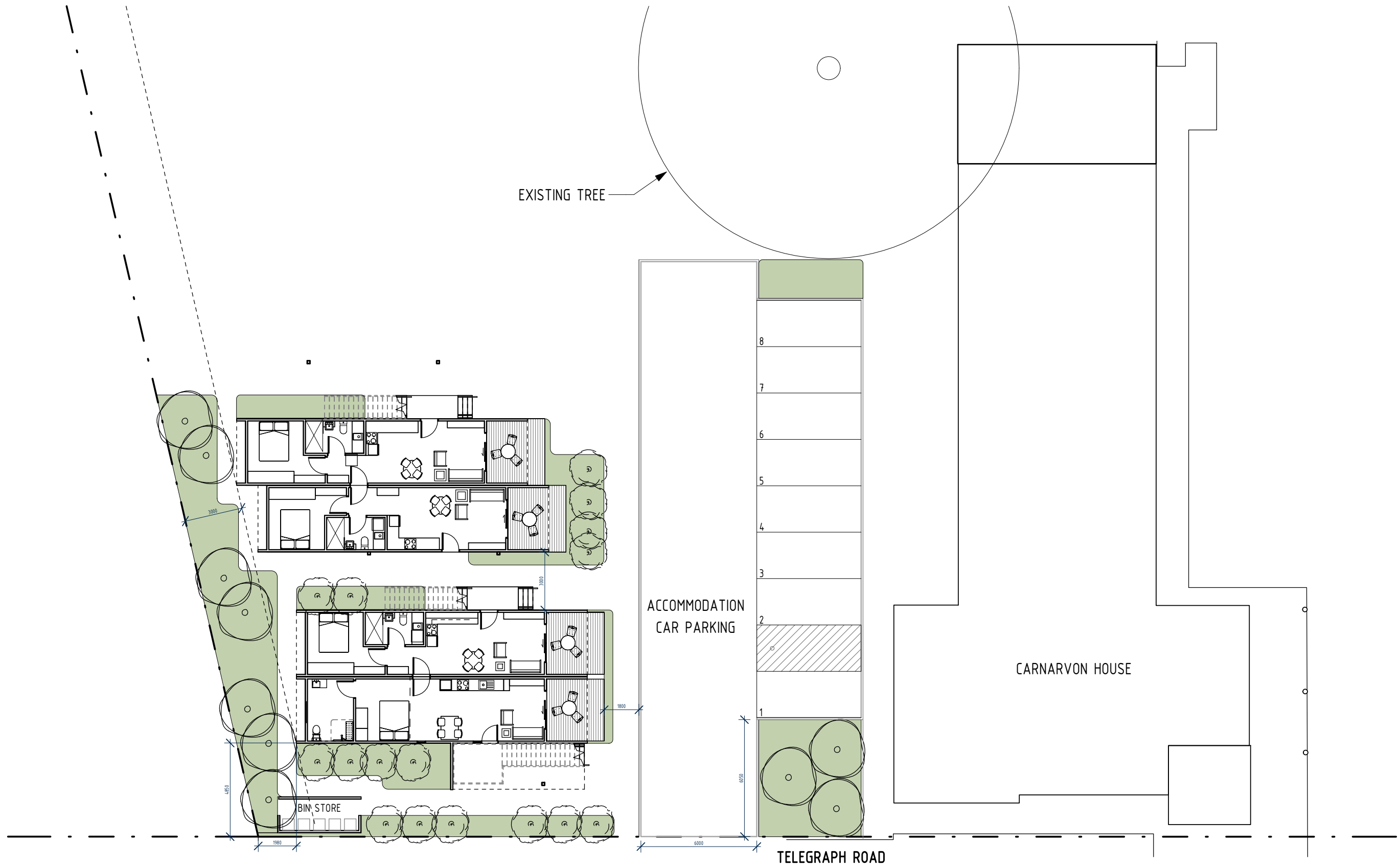
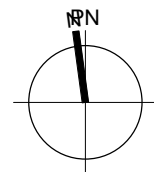
KIHS INFRASTRUCTURE & ACCOMMODATION

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PLOT FILE DATE: 06/03/2024 11:51:37 AM

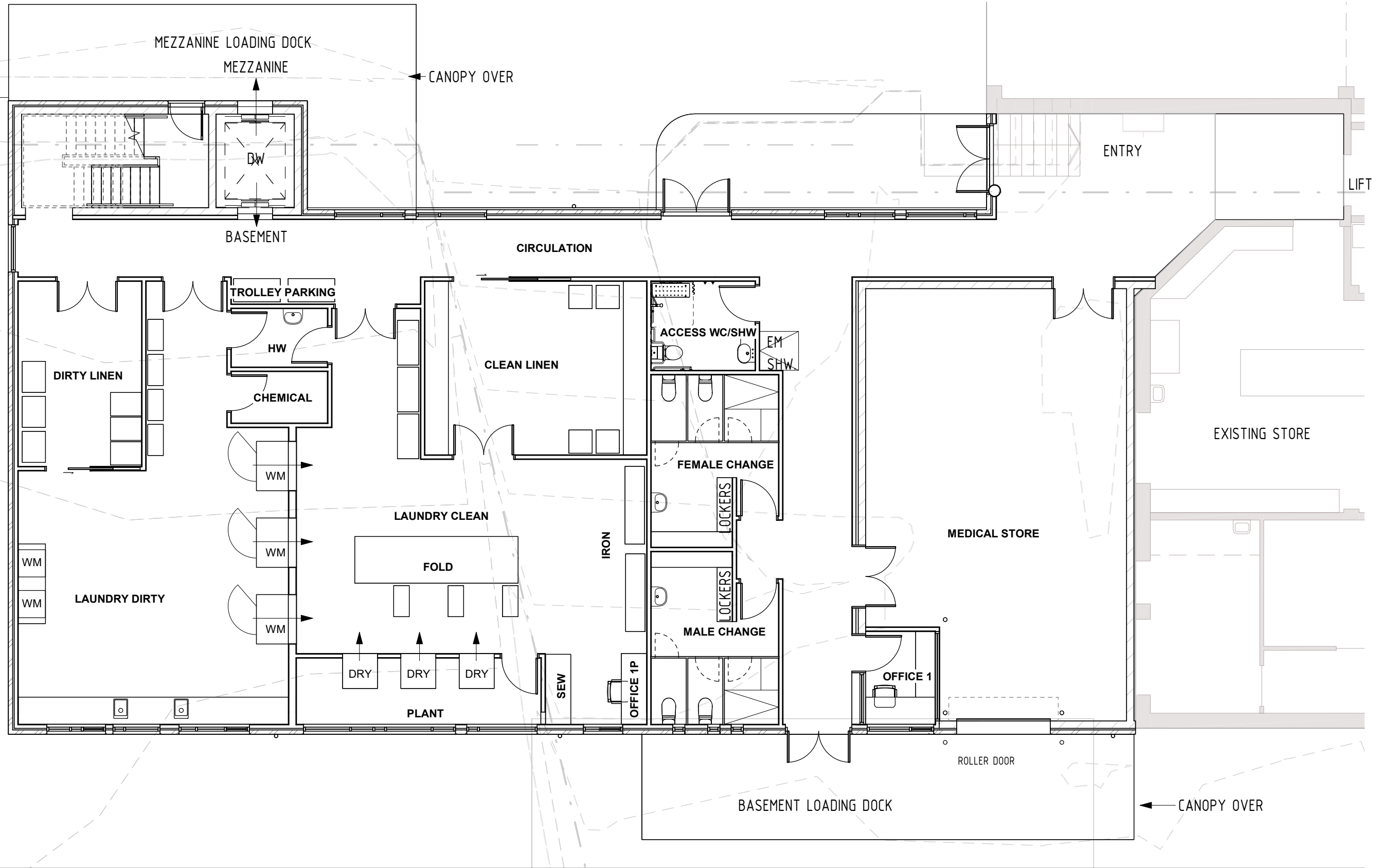
A1 SHEET



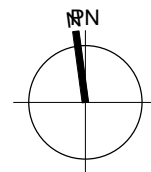


PLOT FILE DATE: 15/03/2024 11:46:27 AM PLOT FILE LOCATION: C:\Users\lavak\Documents\23089_KIHS_SERVICE_SK_R23_avakL85PP.rvt

A3 SHEET



243 Pirie Street Adelaide
 South Australia 5000
 T +61 8232 3626
 admin@ggarc.com.au
 ggarc.com.au



project 23089
 KIHS INFRASTRUCTURE &
 ACCOMMODATION
 address 2&4 TELEGRAPH ROAD
 KINGSCOTE

drawing BASEMENT FLOOR PLAN

CONCEPT DESIGN

job no. 23089
 dwg. no. HSU_SK201
 scale 1 : 100 @ A3
 date 15.03.2024
 revision 3

APPENDIX B
AERIAL PHOTOGRAPHS





Kangaroo Island Health Service



Esplanade

Esplanade

Esplanade

Esplanade

B23

B23

Telegraph Rd

B23

B23

Telegraph Rd

Osmond St

Uncey St

Fine Art Kangaroo Island

Laundromat

5

2

37

35

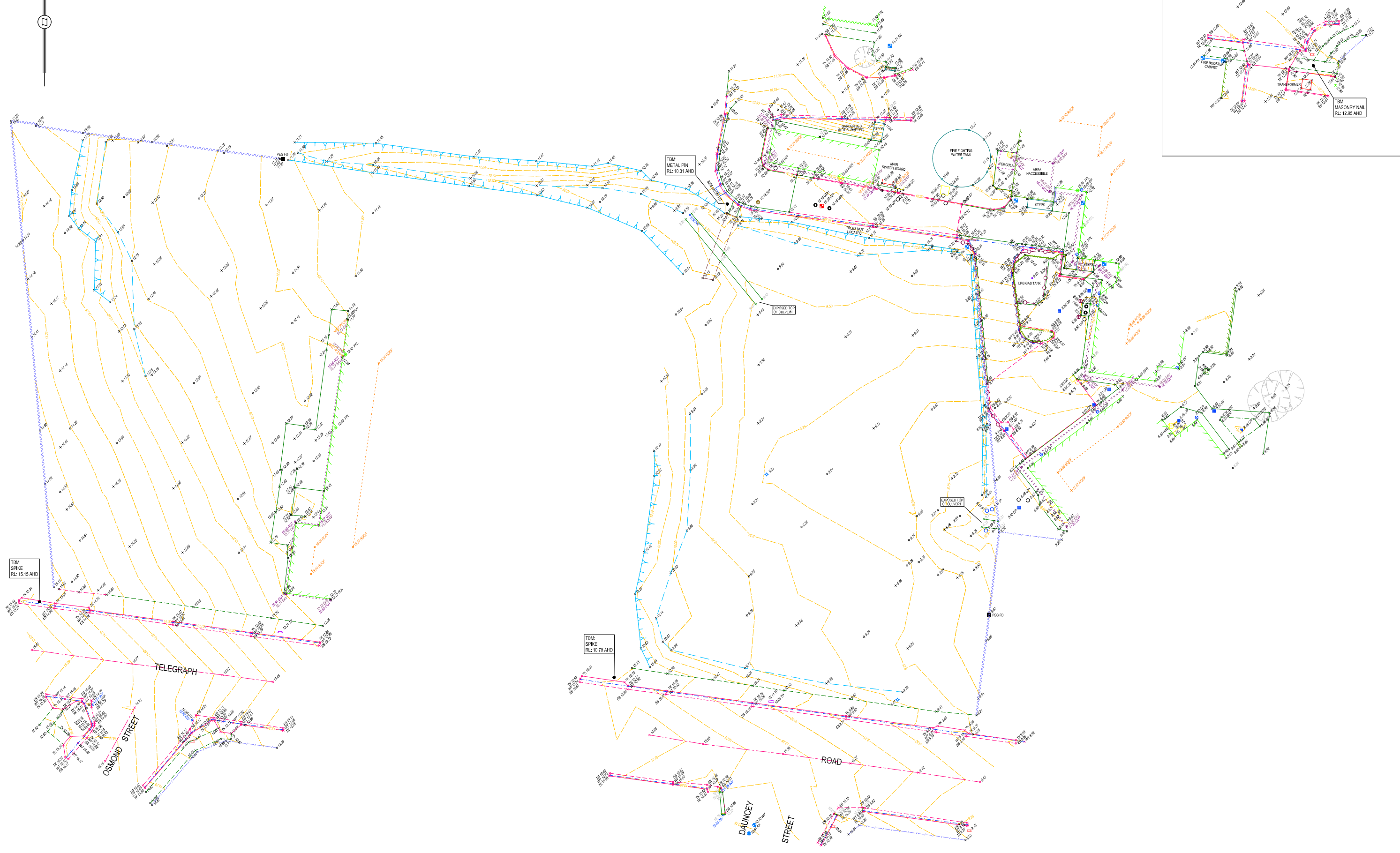
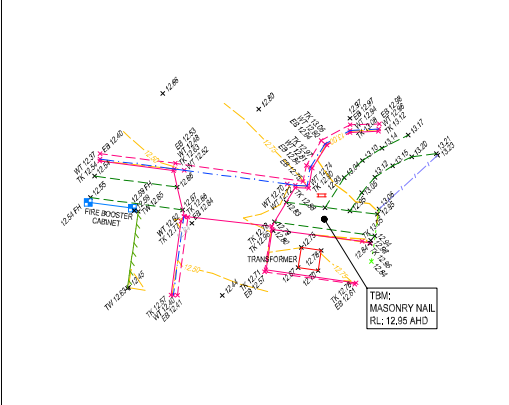
1

32

APPENDIX C
ENGINEERING SURVEY



REFER TO INSET FOR INFORMATION TO NORTH



surveyors + land divisions
 info@steedsurveyors.com.au
 ACN 614 910 691

Norwood - 08 8362 7900
 23 Sydnam Road 5267

Murray Bridge - 08 8532 5200
 Murrumbidgee Building, 30 Seventh Street 5253

Kangaroo Island - 08 8559 4283

REFERENCE: 13683E1.0 30/01/24 JEH,ELT

SCALE: 0 5 10 15 20 25 METRES

ORIGINAL SHEET SIZE A1

COORDINATE DATUM: PLANE

HEIGHT DATUM: PSM6426/2119 RL 7.424m AHD

CONTOUR INTERVAL: 0.25 metre

SURVEY DATE: 24/01/24

CLIENT: GRIEVE GILLETT ARCHITECTS

PLH = PLYNTH	FFL = FINISHED FLOOR LEVEL	DP = DOWNPIPE	MAJOR CONTOUR	EAV = EAVES
INV = INVERT	AC = AIR CONDITIONER	GP = GRATED PIT	MINOR CONTOUR	PERGOLA
SB = SWITCHBOARD	EP = ELECTRIC IP	STOBIE POLE	BOTTOM OF BANK	ROOF = ROOFLINE/GABLE
SIP = SEWER IP	WP = WATER VALVE	FP = FIRE PLUG	TOP OF BANK	EDGE OF CONCRETE
UMH = UNCLASSIFIED MANHOLE	HWS = HOT WATER SYSTEM	TAP	FENCE	EDGE OF PATH
SC = STEEL COVER	BOLLARD	DTP = TOP OF PIPE	GLFENCE	TW = TOP OF RETAINING WALL
IP = TELECOM PIT	OP = OPEN PIPE	IP = INSPECTION POINT	WT = WATER TABLE	WALL
			BUILDING	CENTRELINE OF ROAD/TRACK
			SHED	EB = EDGE OF BITUMEN
			VERANDAH	TK = TOP OF KERB
			GUT = GUTTER	GUARD RAIL

REFER TO CERTIFICATE OF TITLE FOR LOCATION AND DISPOSITION OF EASEMENT(S).

IMPORTANT NOTE:
 This plan was prepared for the purpose of designing new constructions on the land and should not be used for any other purpose. The site boundaries have not been shown and are not relied on at the time of the survey. Services shown herein have been located where possible by BMS survey.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note is an integral part of this plan.

REV	DATE	DESCRIPTION
1.0	30/01/24	FIRST ISSUE
		ADDITIONS & AMENDMENTS

TOPOGRAPHIC SURVEY

2 & 4 TELEGRAPH ROAD
 ALLOT 1003 IN D20781
 CT 5302/674
 ALLOT 92 IN F162396
 CT 5302/858
KINGSCOTE

APPENDIX D

CALCULATIONS



KIHS - Stormwater Drainage

- Council require peak flow rate from developed site in a 1 h 5yr storm event to be limited to the peak flow rate from pre-developed site.
- Accom Units
 - catchment area - $2 \times 110 \text{ m}^2 = 220 \text{ m}^2$ buildings
 - 415 m^2 road / car park
 - 200 m^2 pedestrian pavement
 - pre-development runoff coeff, $C = 0.15$
 - time of conc, $t_c = 15 \text{ mins}$
 - $Q_s \text{ pre} = 2.78 \times 0.15 \times 44.1 \times 0.022$
 - $= 0.4 \text{ l/s}$ buildings
 - $= 2.78 \times 0.15 \times 44.1 \times 0.0615$
 - $= 1.1 \text{ l/s}$ combined paving
 - post-development runoff coeff, $C = 0.90$
 - time of conc, $t_c = 10 \text{ mins}$
 - Detention required to limit roof flows to $0.4 \text{ l/s} = 3.2 \text{ m}^3$
(refer attached spreadsheet)
 - Detention required to limit pavement flows to $1.1 \text{ l/s} = 8.9 \text{ m}^3$
 - n.b. provide - $2 \times 2,000 \text{ L}$ above ground tanks for roof detention
 - voids in permeable pavement
 - $100 \text{ m}^2 \times 30\% \times 0.3 \text{ m depth}$
 - $= 9 \text{ m}^3$
- New building - catchment area = 490 m^2
 - pre-development runoff coeff $C = 0.50$ (combination of pavement + grass)
 - time of conc, $t_c = 10 \text{ mins}$
 - $Q_s \text{ pre} = 2.78 \times 0.50 \times 55.1 \times 0.049$
 - $= 3.8 \text{ l/s}$
 - post-development runoff coeff, $C = 0.90$
 - time of conc, $t_c = 10 \text{ mins}$
 - Detention required to limit roof flows to $3.8 \text{ l/s} = 2.1 \text{ m}^3$
 - n.b. provide $2,000 \text{ L}$ above ground rainwater tank for roof detention

• Road - catchment area = 770m^2

- pre-development runoff coeff, $C = 0.25$ (combination of grass & pavement)

time of conc, $t_c = 10\text{min}$

$$Q_{s\text{ pre}} = 2.78 \times 0.25 \times 55.1 \times 0.077 \\ = \underline{2.9\text{ l/s}}$$

- post-development runoff coeff, $C = 0.90$

time of conc, $t_c = 10\text{min}$

- Detention required to limit road flows to $2.9\text{ l/s} = \underline{7.0\text{ m}^3}$

nb. provide voids in permeable pavement

$$= 70\text{m}^2 \times 30\% \times 0.3\text{m depth} \\ = 7\text{m}^3$$

Location

Label: Kingscote

Latitude: 35° 39' 11"
[Nearest grid cell: 35.6625 (S)]

Longitude: 137° 38' 18"
[Nearest grid cell: 137.6375 (E)]



IFD Design Rainfall Intensity (mm/h)

Issued: 29 February 2024

Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).

[FAQ for New ARR probability terminology](#)

Table

Chart

Unit:

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	76.8	86.7	121	146	174	214	248
2 min	68.3	76.9	107	130	155	187	215
3 min	60.3	67.9	94.4	115	136	166	191
4 min	54.0	60.9	84.7	103	122	149	172
5 min	49.2	55.5	77.1	93.6	111	136	157
10 min	35.1	39.6	55.1	66.9	79.4	98.1	114
15 min	28.1	31.7	44.1	53.6	63.7	78.7	91.5
20 min	23.8	26.8	37.4	45.4	54.0	66.7	77.4
25 min	20.8	23.5	32.7	39.8	47.3	58.3	67.7
30 min	18.6	21.0	29.3	35.6	42.3	52.2	60.5
45 min	14.5	16.3	22.7	27.6	32.8	40.3	46.7
1 hour	12.0	13.6	18.9	22.9	27.3	33.4	38.7
1.5 hour	9.25	10.4	14.5	17.5	20.8	25.5	29.5
2 hour	7.64	8.60	11.9	14.4	17.2	21.0	24.3
3 hour	5.81	6.54	9.04	10.9	13.0	15.9	18.4
4.5 hour	4.40	4.94	6.82	8.25	9.78	12.0	13.9
6 hour	3.60	4.04	5.57	6.74	7.98	9.84	11.4
9 hour	2.70	3.04	4.18	5.04	5.97	7.40	8.61
12 hour	2.20	2.47	3.40	4.10	4.85	6.02	7.03
18 hour	1.64	1.84	2.53	3.05	3.60	4.49	5.25

Basic Stormwater Detention Assessment

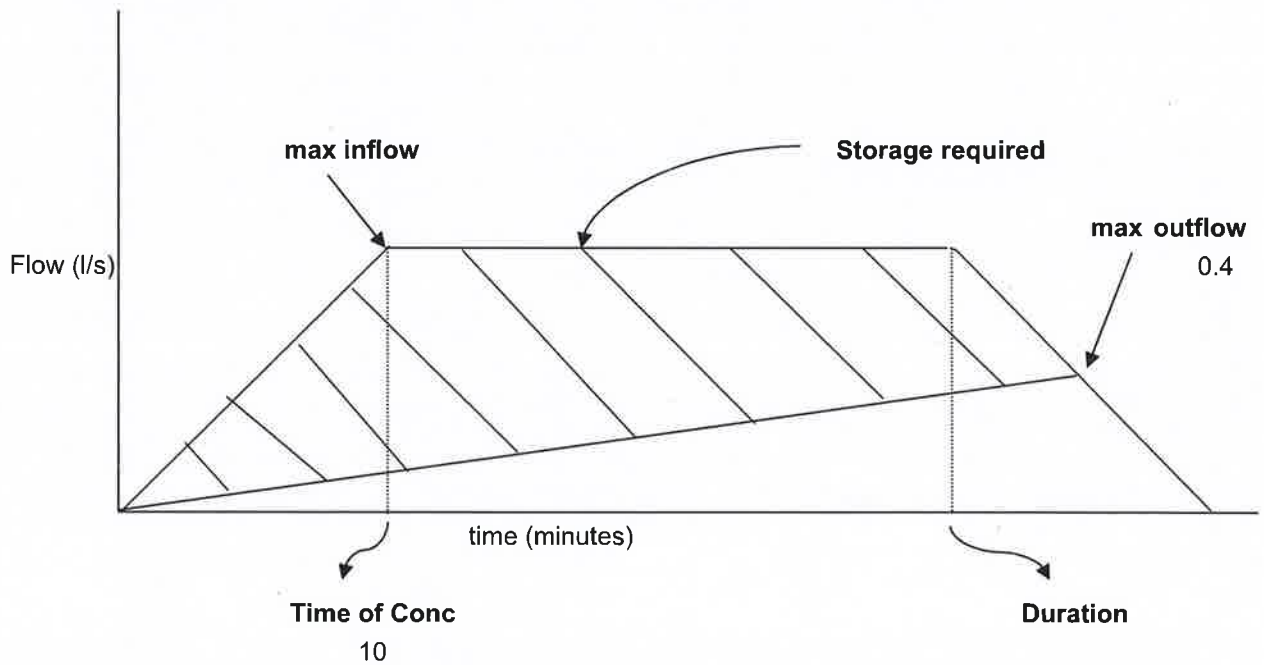
Title: KIHS Accom Unit Roof

Date: 29/02/24

Job No: WGA231525

Area	220	m ²
Coeff Permeability	0.9	
Time of conc.	10	min
ARI Storm	5 Year	▼
Max Outflow Qp	0.4	l/sec

Duration min	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
5	77.1	4.2	1.27	1.09
10	55.1	3.0	1.82	1.58
15	44.1	2.4	2.18	1.88
20	37.4	2.1	2.47	2.11
25	32.7	1.8	2.70	2.28
30	29.3	1.6	2.90	2.42
45	22.7	1.2	3.37	2.71
60	18.9	1.0	3.74	2.90
90	14.5	0.8	4.31	3.11
120	11.9	0.7	4.71	3.15
180	9.04	0.5	5.37	3.09
270	6.82	0.4	6.08	2.72



Basic Stormwater Detention Assessment

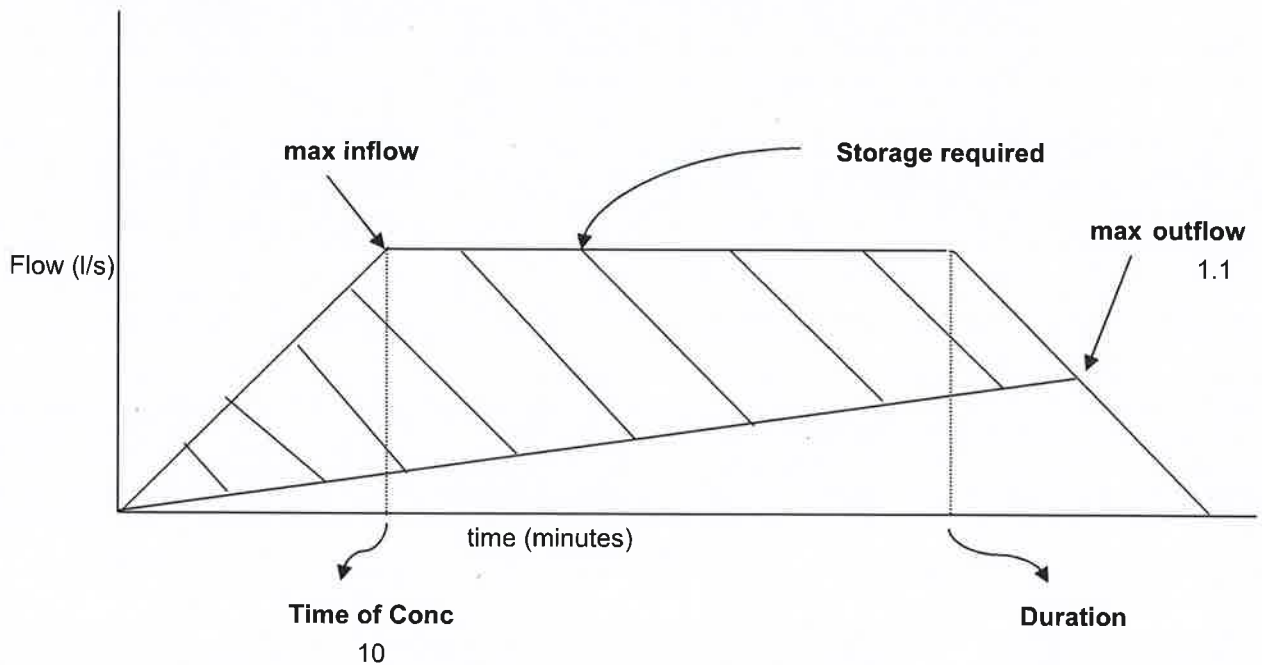
Title: KIHS Accom Unit Pavements

Date: 29/02/24

Job No: WGA231525

Area	615	m ²
Coeff Permeability	0.9	
Time of conc.	10	min
ARI Storm	5 Year	▼
Max Outflow Qp	1.1	l/sec

Duration min	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
5	77.1	11.9	3.56	3.06
10	55.1	8.5	5.08	4.42
15	44.1	6.8	6.10	5.28
20	37.4	5.8	6.90	5.91
25	32.7	5.0	7.54	6.39
30	29.3	4.5	8.11	6.79
45	22.7	3.5	9.42	7.61
60	18.9	2.9	10.46	8.15
90	14.5	2.2	12.04	8.74
120	11.9	1.8	13.17	8.88
180	9.04	1.4	15.01	8.74
270	6.82	1.0	16.99	7.75



Basic Stormwater Detention Assessment

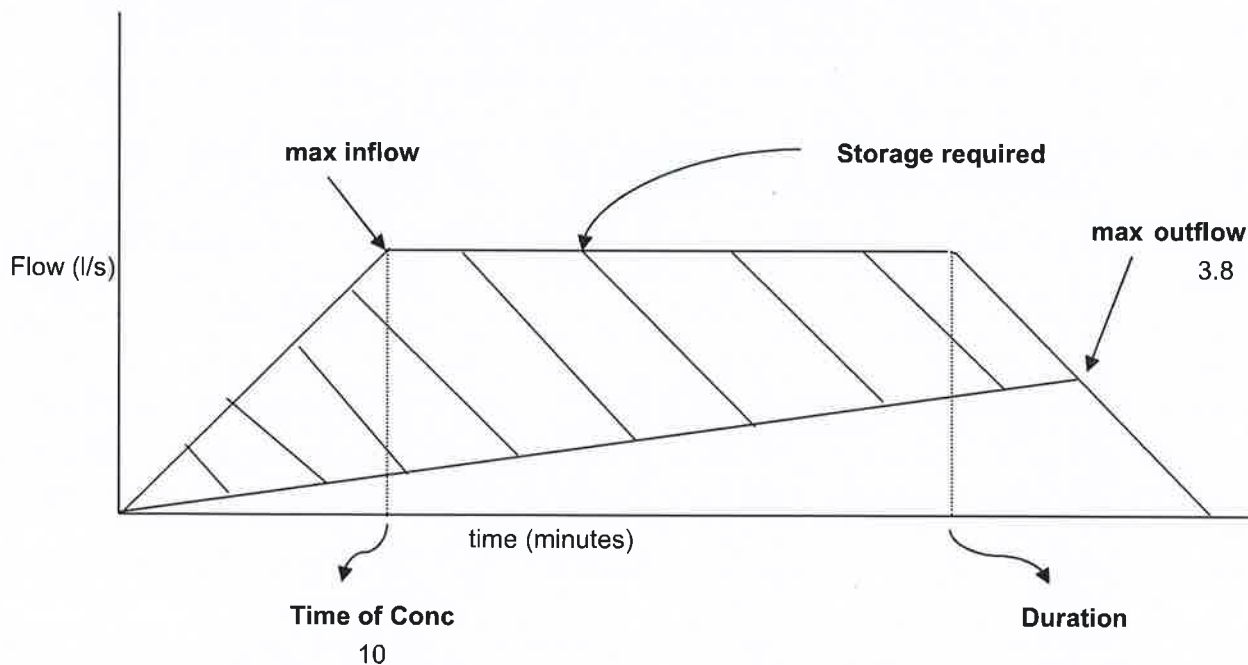
Title: KIHS Non-clinical

Date: 29/02/24

Job No: WGA231525

Area	490	m ²
Coeff Permeability	0.9	
Time of conc.	10	min
ARI Storm	5 Year	▼
Max Outflow Qp	3.8	l/sec

Duration min	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
5	77.1	9.4	2.83	1.12
10	55.1	6.7	4.05	1.77
15	44.1	5.4	4.86	2.01
20	37.4	4.6	5.50	2.08
25	32.7	4.0	6.01	2.02
30	29.3	3.6	6.46	1.90
45	22.7	2.8	7.51	1.24
60	18.9	2.3	8.33	0.35
90	14.5	1.8	9.59	-1.81
120	11.9	1.5	10.50	-4.32
180	9.04	1.1	11.96	-9.70
270	6.82	0.8	13.53	-18.39



Basic Stormwater Detention Assessment

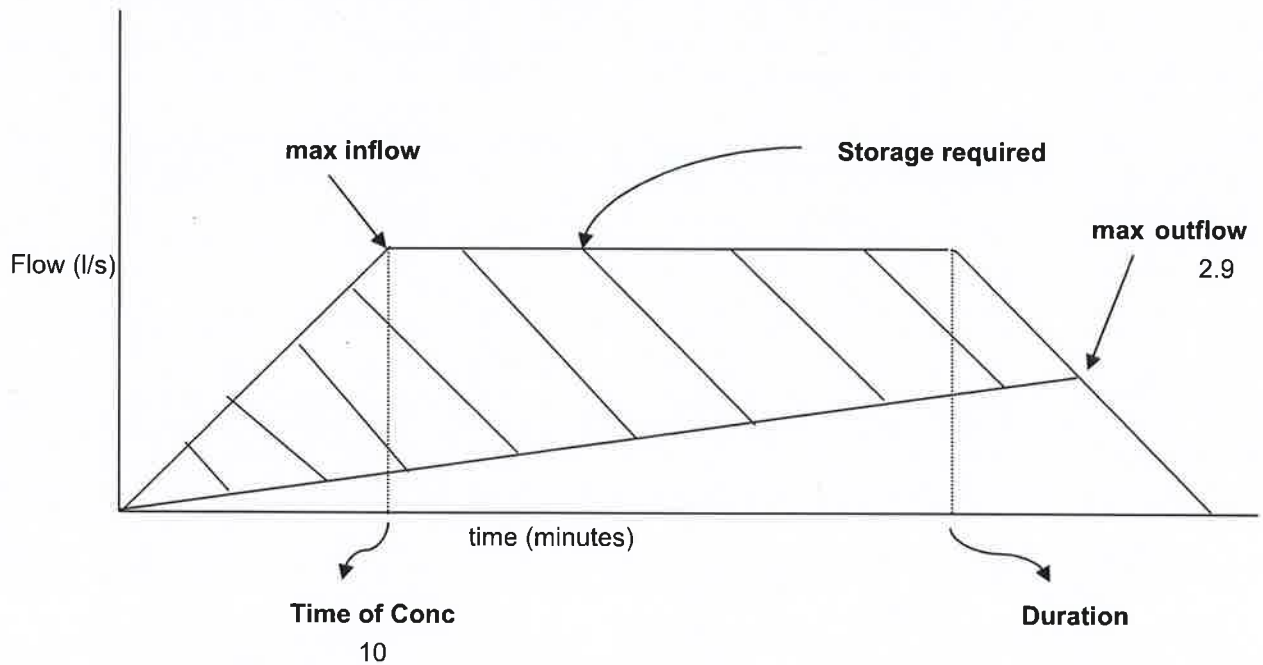
Title: KIHS Road

Date: 29/02/24

Job No: WGA231525

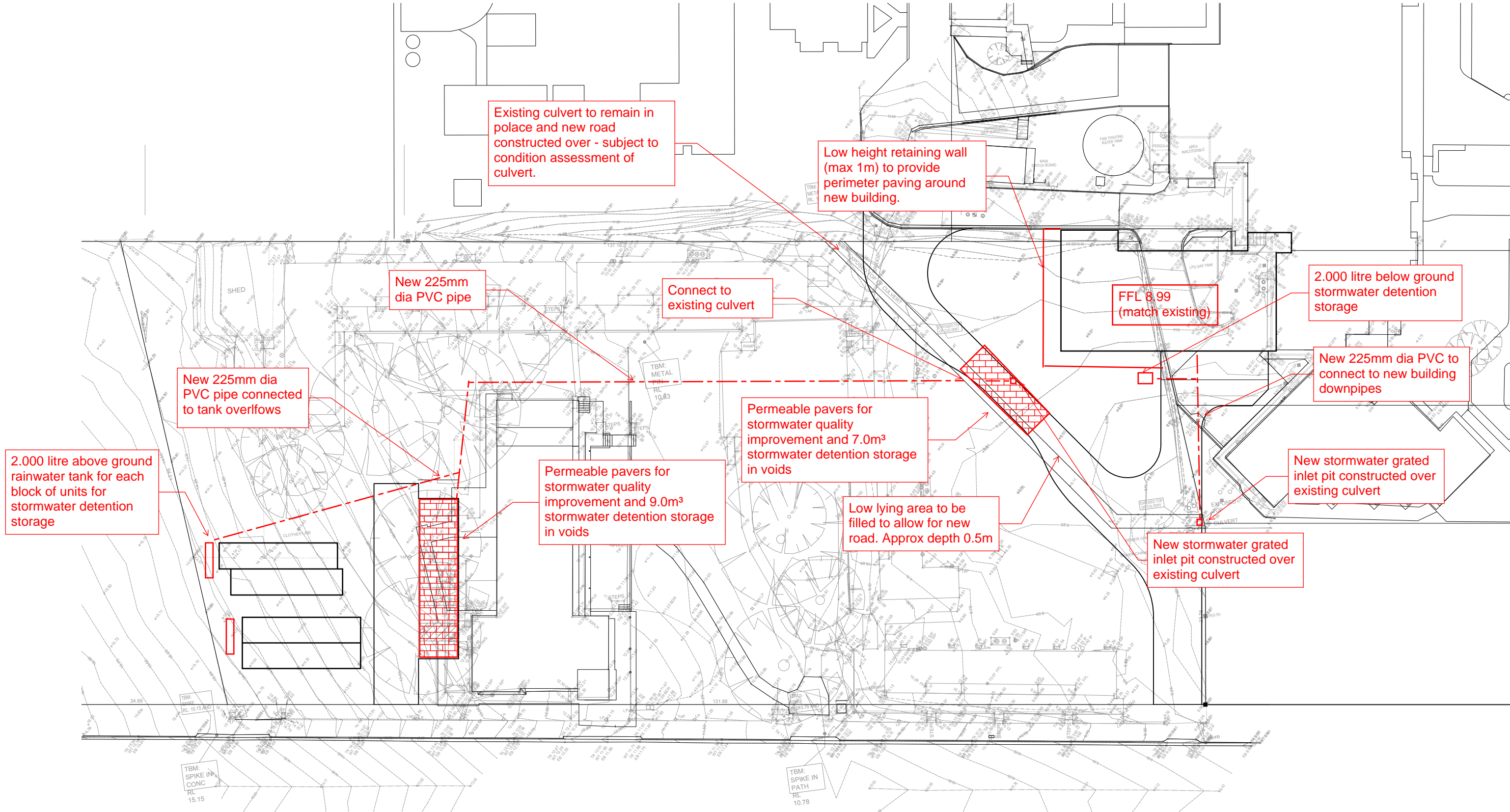
Area	770	m ²
Coeff Permeability	0.9	
Time of conc.	10	min
ARI Storm	5 Year	▼
Max Outflow Qp	2.9	l/sec

Duration min	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
5	77.1	14.8	4.45	3.15
10	55.1	10.6	6.36	4.62
15	44.1	8.5	7.64	5.47
20	37.4	7.2	8.64	6.03
25	32.7	6.3	9.44	6.40
30	29.3	5.6	10.15	6.67
45	22.7	4.4	11.80	7.01
60	18.9	3.6	13.10	7.01
90	14.5	2.8	15.07	6.37
120	11.9	2.3	16.49	5.18
180	9.04	1.7	18.79	2.26
270	6.82	1.3	21.27	-3.09

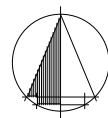
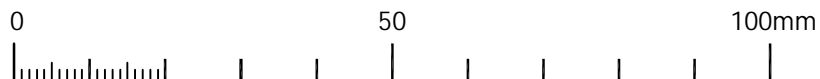


APPENDIX E
PRELIMINARY STORMWATER
SKETCH





When sheet printed full size, the scale bar is 100mm.



REV.	DATE	DESCRIPTION	DRAFT	ENG.	CHKD.
A	23.02.24	FOR APPROVAL	CH	CH	
B	29.02.24	UPDATED FOR SMP	CH	CH	
C	19.03.24	UPDATED SITE PLAN	CH	CH	

WGA

KIHS INFRASTRUCTURE & ACCOMMODATION

TELEGRAPH RD, KINGSCOTE
PRELIMINARY STORMWATER SKETCH

A3 DOCUMENT NUMBER
Project Number Sheet No. Rev
Design Drawn
CH CH
WGA231525-SK-CV-0001 **C**

WGA

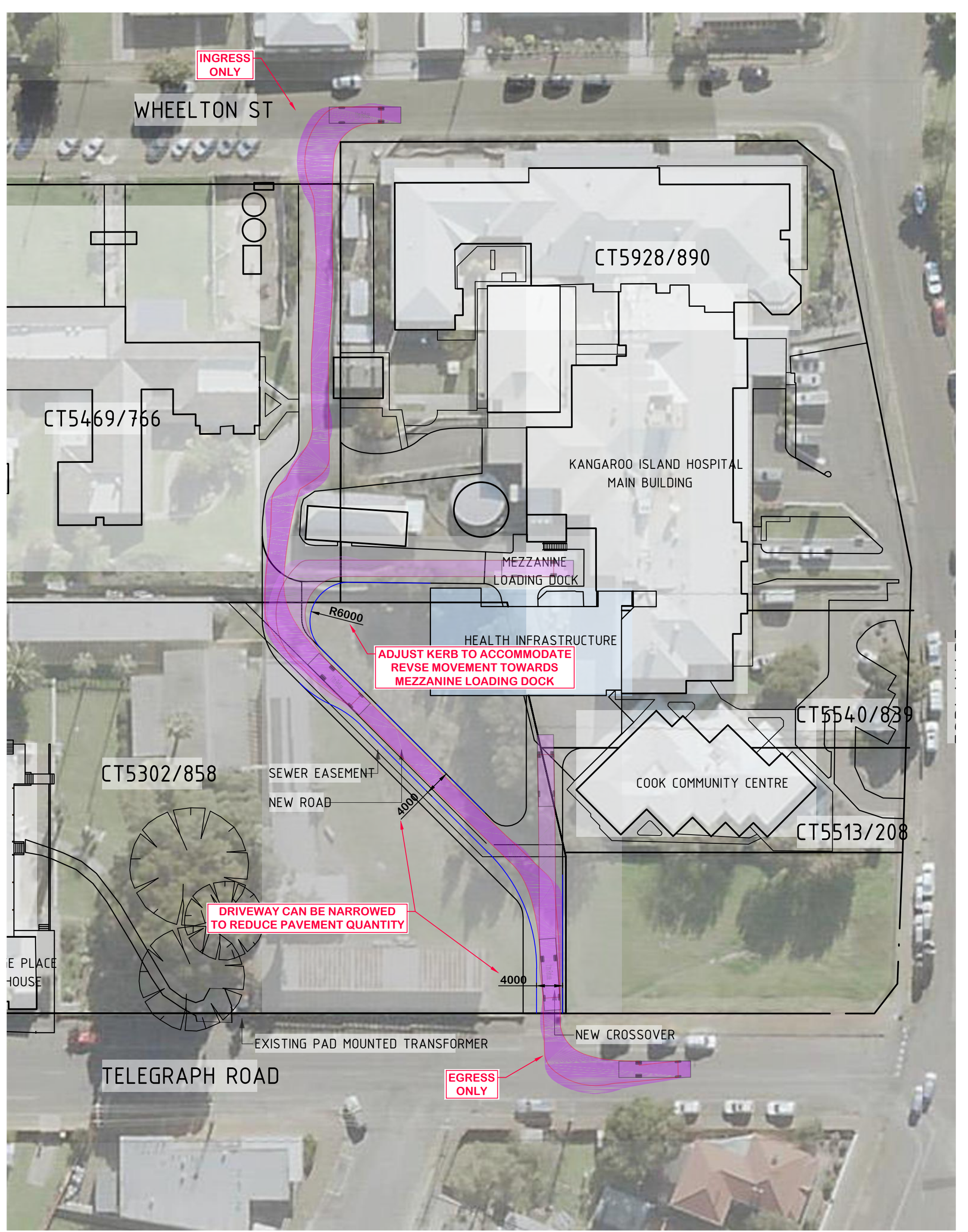
FOR FURTHER INFORMATION CONTACT:

Colin Hill
Senior Civil Engineer

T 08 8223 743
E chill@wga.com.au

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DRAWING AMENDMENTS

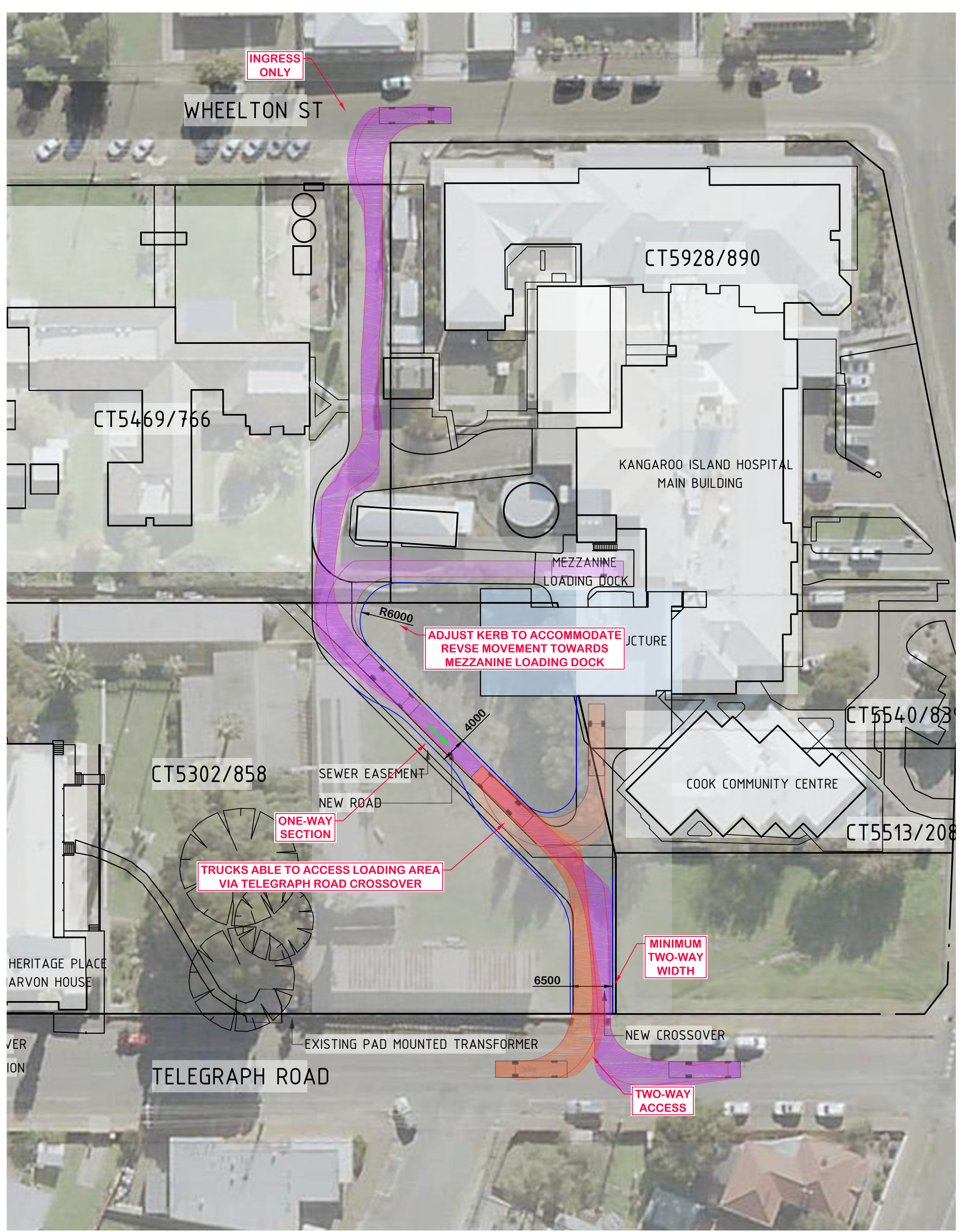
VER	DATE	DESCRIPTION	DWN	CHK
A	09/02/2024	FOR REVIEW	ABH	CGB

C23329_01A.DWG 9/2/2024 3:28 PM



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1:500
@ A3

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DRAWING AMENDMENTS

VER	DATE	DESCRIPTION	DWN	CHK
A	09/02/2024	FOR REVIEW	ABH	CGB

C23329_01A.DWG 9/2/2024 3:28 PM



N
1:500
@ A3

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