

Development Plan

Kangaroo Island Council

Consolidated – 17 September 2015

Please refer to the Kangaroo Island Council page at www.sa.gov.au/developmentplans to see any amendments not consolidated.



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Introduction Section

Amendment Record Table

The following table is a record of authorised amendments and their consolidation dates for the Kangaroo Island Council Development Plan since its inception on 7 August 2003. Further information on authorised amendments prior to this date may be researched through the relevant Council, the Department of Planning, Transport and Infrastructure or by viewing Gazette records.

Consolidated	Amendment – [Gazetted date]
7 August 2003	Kingscote (DC) and Dudley (DC) Development Plans - General PAR – [7 August 2003] Wind Farms PAR (<i>Ministerial</i>) – [24 July 2003]
14 December 2006	Bushfire Management (Part 1) PAR (<i>Ministerial</i>) – [9 November 2006]
1 November 2007	Heritage Development Plan Amendment (Interim) – [1 November 2007]
19 June 2008	Section 29(2)(b)(ii) Amendment – [19 June 2008]
30 October 2008	Heritage Development Plan Amendment – [30 October 2008]
28 May 2009	Section 29(2)(b)(ii) Amendment – [19 February 2009] Section 27(5) Amendment – [28 May 2009]
13 May 2010	Bushfires (Miscellaneous Amendments) DPA (<i>Ministerial</i>) (Interim)– [10 December 2009] General Development Plan Amendment – [13 May 2010]
24 June 2010	Statewide Bulky Goods DPA (<i>Ministerial</i>) (Interim) – [1 June 2010]
3 March 2011	Bushfires (Miscellaneous Amendments) DPA (<i>Ministerial</i>) – [9 December 2010] Statewide Bulky Goods DPA (<i>Ministerial</i>) – [13 January 2011]
22 December 2011	Statewide Wind Farms DPA (Interim) (<i>Ministerial</i>) – [19 October 2011]
26 April 2013	Termination of the Statewide Wind Farms DPA (<i>Ministerial</i>) and its removal from the Kangaroo Island Council Development Plan – [18 October 2012] Statewide Wind Farms DPA (<i>Ministerial</i>) – [18 October 2012] Section 29(2)(c) Amendment – [29 November 2012] Primary Production, Forestry and Bushfire Protection DPA – [26 April 2013]
20 February 2014	Kangaroo Island Sustainable Futures DPA (<i>Ministerial</i>) – [19 February 2014] Rural Living DPA – [19 February 2014]
17 September 2015	Section 29(2)(b)(ii) Amendment – [13 November 2014] Emu Bay DPA – [17 September 2015]

Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

Introduction to the Development Plan

Welcome to the Development Plan for the Kangaroo Island Council.

This introduction has been prepared by the Department of Planning, Transport and Infrastructure as a guide to assist you in understanding this Development Plan.

For full details about your rights and responsibilities, you are advised to refer to the *Development Act 1993* and the associated *Development Regulations 2008* and/or consult your council.

A number of guides and additional information regarding South Australia's Planning and Development Assessment System are available via the website www.dpti.sa.gov.au or by contacting the Department of Planning, Transport and Infrastructure at 136 North Terrace, Adelaide, SA 5000.

Overview of the Planning System

South Australia has an integrated planning and development system, with three distinct but interrelated parts, these being:

- Legislation
- The Planning Strategy
- Development Plans.

The **legislative framework** establishing the planning and development system and setting out its statutory procedures is provided by the *Development Act 1993* and its associated *Development Regulations 2008*. The Development Act is the core legislation enacted by the South Australian Parliament to establish the planning and development system framework and many of the processes required to be followed within that framework (including processes for assessing development applications). The Regulations provide more details about the framework and are updated from time to time by the Governor (on the advice of the Minister for Planning).

The State Government's broad vision for sustainable land use and the built development of the state is outlined in the **Planning Strategy**. The relevant volume of the Planning Strategy for this Development Plan is the Kangaroo Island Plan.

The Planning Strategy, which covers a full range of social, economic and environmental issues, informs and guides policies both across Government and in local area Development Plans. The Planning Strategy is required under section 22 of the Development Act and is updated by the State Government every few years. Local councils also prepare strategic plans which guide the same matters but at a local level. These strategic plans are not, however, development assessment tools: that is the role of Development Plans.

Development Plans are the key on-the-ground development assessment documents in South Australia. They contain the rules that set out what can be done on any piece of land across the state, and the detailed criteria against which development applications will be assessed. Development Plans cover distinct and separate geographic areas of the state. There is a separate Development Plan for each one of the 68 local council areas, plus a handful of other Development Plans covering areas not situated within local government boundaries. Development Plans outline what sort of developments and land use are and are not envisaged for particular zones (eg residential, commercial, industrial), and various objectives, principles and policies further controlling and affecting the design and other aspects of proposed developments.

What is Development?

'Development' is defined in Section 4 of the *Development Act 1993* as:

- a change in the use of land or buildings
- the creation of new allotments through land division (including Strata and Community Title division)
- building work (including construction, demolition, alteration and associated excavation/fill)

- cutting, damaging or felling of significant trees
- specific work in relation to State and Local heritage places
- prescribed mining operations
- other acts or activities in relation to land as declared by the Development Regulations.

No development can be undertaken without an appropriate **Development Approval** being obtained from the relevant authority after an application and assessment process.

How does the Development Plan relate to other legislation?

The Development Plan is a self-contained policy document prepared under and given statutory recognition pursuant to the *Development Act 1993*.

It is generally independent of other legislation but is one of many mechanisms that control or manage the way that land and buildings are used.

The Development Act and Regulations contain a number of provisions to ensure that development applications are referred to other government agencies when appropriate.

What doesn't a Development Plan do?

Development Plans are applicable only when new development is being designed or assessed. They do not affect existing development (see above for a description of what constitutes 'development').

Once a Development Approval is issued, the details contained within the application and any conditions attached to that approval are binding.

Development Plan policies guide the point in time assessment of a development application but do not generally seek to control the on-going management of land, which is the role of other legislation (eg the *Environment Protection Act 1993*, *Natural Resources Management Act 2004*, *Liquor Licensing Act 1997*).

When do you use the Development Plan?

The Development Plan should be used during a development application process. This may include:

- when undertaking or proposing to undertake 'development' (eg building a house or factory or converting an office into a shop)
- when assessing or determining a development proposal (eg by council staff, a Council or Regional Development Assessment Panel or the Development Assessment Commission)
- when you believe you could be affected by a proposed development and you are given an opportunity to comment on it as part of the assessment process.

How to read the Development Plan

Development Plans are comprised of several sections as described below.

All sections and **all** relevant provisions within each section of the Development Plan must be considered in relation to a development proposal or application.

Development Plans use three text font colours:

- (a) black text is used to identify all standard policy that forms the basis of all council Development Plans.
- (b) green text is used to identify additional council-specific policy or variables that have been included in the Development Plan to reflect local circumstances.
- (c) blue text illustrates hyperlinks to maps, overlays and tables in the Development Plan. These hyperlinks are operational only when viewing electronic versions of the Development Plan.

Development Plan Structure Overview

Advisory Section	Function
Table of Contents	Navigational aid to reference sections within the Development Plan by name and page number.
Amendment Record Table	Tabled information recording previously-authorized Development Plan amendments and their consolidation dates.
Introduction Overview of the Planning System What is Development? How does the Development Plan relate to other legislation? What doesn't a Development Plan do? When do you use the Development Plan? How to read the Development Plan	A general overview of the context, purpose and way a Development Plan is set out (this section is advisory only and not used for development assessment purposes).
Strategic Setting Metro/Outer Metro/Regional Planning Strategy Council Strategy	To be developed, but intended to reflect the relevant Planning Strategy (as it relates to the council area) and council's own local strategic investigations.
Council Preface Map	Map of the entire Development Plan boundary and its spatial relationship to other Development Plans' boundaries.
Assessment Section	Function
General Provisions Objectives Principles of Development Control	These policies apply across the whole council area and relate to a range of social, environmental, and economic development issues such as: <ul style="list-style-type: none"> ▪ site and design criteria ▪ access and vehicle parking requirements ▪ heritage and conservation measures ▪ environmental issues ▪ hazards ▪ infrastructure requirements ▪ land use specific requirements. They establish the development standards that apply to all forms of development and provide a yardstick against which the suitability of development proposals is measured.
Zone Provisions	These policies give greater certainty and direction about where certain forms of developments should be located. Maps are referenced within zones that show where land uses are suitable to be located. Generally, envisaged forms of development within a zone are identified and encouraged through carefully worded policies.

Assessment Section	Function
Desired Character Statements	These express a vision about how the zone should look and feel in the future. They may describe the valued elements of the neighbourhood or area to be retained and/or what level and nature of change is desired.
Objectives	These are the specific planning policies that determine what land uses are encouraged or discouraged in the zone. They often contain detailed provisions to further guide the scale and design of development.
Principles of Development Control	These also provide lists of complying and non-complying development and any public notification provisions that vary from those in the Development Regulations.
Policy Area	Policy areas apply to a portion of a zone and contain additional objectives, desired character statements and principles of development control for that portion.
Precincts	<p>Precincts are used to express policies for a small sub-area of a zone or a policy area.</p> <p>Precincts are used if additional site-specific principles of development control are needed to reflect particular circumstances associated with those sub-areas. They do not contain additional objectives or desired character statements.</p>
Procedural Matters	<p>All zones have a procedural matters section that identifies and lists complying, non-complying and public notification categories for various forms of development.</p> <p>Policy areas and/or precincts, which are a sub-set of the zone, share this procedural matters section. Their respective lists can be modified to accommodate policy area and precinct variations.</p>
Tables	<p>These tables provide detailed data for the assessment of certain elements of development, for example, numeric values for setbacks from road boundaries and car parking rates for certain types of development.</p> <p>Conditions for complying development are grouped into their respective tables.</p>
Mapping	
Structure Plan Maps	Structure Plan maps will commonly show the general arrangement and broad distribution of land uses; key spatial elements; and movement patterns throughout the council area and major urban areas.
Council Index Maps	<p>This is the first point of reference when determining the appropriate map(s) applying to a specific property.</p> <p>An enlargement index map may be included where needed, eg for large townships.</p>

Assessment Section	Function
Extent Map Series Location Maps	<p>Individual overlay and spatial-based maps (based on the Council Index Maps) originate from a single Location Map and 'drill down' through relevant extent maps affecting that location.</p> <p>Note: the entire council area will always be represented as the first map in the extent map series and will commence as Map 1.</p>
Overlay Maps	<p>Used to show issue areas or features that run across a number of zones, and are spatially defined to a cadastre, for example:</p> <ul style="list-style-type: none"> ▪ Transport ▪ Development Constraints ▪ Heritage ▪ Natural Resources <p>Note: issues that are not spatially defined to a cadastre can appear in this section; however they will be presented as illustrative maps only.</p>
Zone Maps	Used to determine which zone applies to which land.
Policy Area Maps	Used to depict the presence and location of any applicable policy area.
Precinct Maps	Used to depict the presence and location of any applicable precincts.
Bushfire Maps (<i>where applicable</i>) Bushfire Protection Area BPA Maps - Bushfire Risk	Bushfire Protection Area - BPA Maps are used to determine the potential bushfire risk (high, medium or general) associated with an allotment located within an area prone to bushfires.
Concept Plan Maps	<p>Concept Plans are used to depict graphically key features and conceptual layouts of how specific areas should be developed.</p> <p>Concept Plans appear at the end of the extent map series as a separate section. Concept Plans are consecutively numbered, commencing with number 1.</p>

Further info

Contact the Kangaroo Island Council

Visit the Department of Planning, Transport and Infrastructure website www.dpti.sa.gov.au

Discuss your matter with your planning consultant.

State Strategic Setting

Kangaroo Island Planning and Development Area

Kangaroo Island is one of Australia's largest off-shore islands. Due to its relative isolation from the rest of the State it faces unique economic, environmental and social circumstances, challenges and opportunities.

Economic Activity

Traditionally, the Island's economy has been based on the production of wool, cereals and some beef cattle, while industries that are growing in importance are tourism, aquaculture and forestry. The creation of economic initiatives and employment opportunities, combined with appropriate land use allocation, is sought to establish a robust and sustainable economic climate that contributes to the wellbeing of the local community.

Aquaculture

The aquaculture industry in Kangaroo Island is still emerging with significant prospects for additional inter-tidal and land-based aquaculture. The Island also offers opportunities for deep-water aquaculture. Marine aquaculture areas should be established in locations where the potential impacts on the marine environment and sensitive near shore areas are minimal.

Forestry

The forestry industry on Kangaroo Island consists of blue gum and pine plantations and there is potential for the industry to continue to contribute to the Island's economy.

However, further expansion of forestry plantations on the Island is not encouraged so as to ensure land is available on a continuous basis for a full range of other primary industries, particularly those capitalising on the Island's 'clean and green' food and wine image and that enrich visitor experiences.

Primary Industry

Dryland agriculture is still the major land use, principally for the production of wool and meat from sheep. Beef cattle, cereals, pasture hay and legume crops are also significant. Horticulture is represented in a small way in the form of vineyards, olives and the seed potato industry.

Prices for agricultural products are cyclical and subject to global markets. The dependency upon low value added products is resulting in slow demand growth and a widening margin between price at the farm gate and at retail outlets, with a resulting decline of farm incomes in real terms. If the agricultural sector of Kangaroo Island is to remain a significant industry, then new markets and practices need to continue to be identified, promoted and adopted by landholders and supported through land allocation and infrastructure provision.

Value adding of existing agricultural and natural products and activities is encouraged. The fragmentation and loss of primary production lands for rural living purposes will experience continued pressure and must be minimised.

Agricultural practices need to be sustainable.

Tourism

Tourism has shown growth over recent years and it is anticipated that tourism numbers will increase in the future. It is of extreme importance that Kangaroo Island Tourism is managed in a manner that ensures that the experiences of visitors continue to match their Kangaroo Island expectations and perceptions.

Tourism to Kangaroo Island has historically been largely dependent on the natural resources of the Island and people's perception of the quality of these resources. The concept of a 'clean and green' image for the Island is a fundamental component of tourism and other industries, and its continuing success will be dependent on a well-managed natural environment.

A range of sustainable tourism facilities, accommodation and products must be developed to suit a range of visitor budgets and experiences. However, tourism development must also consider the impact of increasing numbers on the natural environment so as not to diminish the very reason that attracts so many visitors to the Island in the first instance.

With the international growth in the nature-based tourism market, Kangaroo Island is well placed and has the potential to be one of Australia's leading eco-tourism destinations.

It is expected that the Island will continue to develop as a pre-eminent sustainable, nature-based tourism destination, but there is also a need to provide opportunities in other tourism markets around the themes of outdoor adventure and leisure activities, the coast, niche food and wine products, heritage and culture. These markets should add depth to the Island's appeal as a visitor destination and encourage longer stays.

Environment and Resources

The environment of Kangaroo Island is characterised by extensive areas of National Park and Conservation Parks, accounting for nearly 30 per cent of the Island. Kangaroo Island has:

- spectacular coastal features
- clean beaches
- freshwater streams
- unspoilt natural settings
- a small resident population
- a diversity of native fauna and flora (including rare and endangered species)
- a rare seal colony
- no rabbits or foxes; and is relatively pollution free with contamination free conditions.

The Island has a visually appealing landscape with a mix of farm pasture and natural vegetation.

Kangaroo Island offers an unspoilt Australian nature, wildlife and rural experience with the distinctive difference of an island setting. Opportunities to see Australian wildlife (including rare species) in natural habitats, the spectacular coastlines, bush landscapes and the mystique of the Island's isolation, small population and heritage, make Kangaroo Island a compelling travel destination for local, national and international visitors.

The Kangaroo Island environment rates extremely highly given its natural, unspoilt character. The Kangaroo Island environment is clearly able to be promoted as "unspoilt" and "natural".

Kangaroo Island contains some of the least disturbed inland freshwater wetlands located at the western end of the Island. Dryland salinity is threatening wetlands at the eastern end. Rising water tables and salinisation, vegetation clearance, livestock grazing, deteriorating water quality, water diversion and disruption to natural flows and introduced plants are threatening wetlands on the Island.

The ongoing management of the environment is required to ensure the protection of the Island's unique natural qualities and to maintain its reputation as a specialist tourist destination of national and world wide significance. Priorities include:

- the prevention of diseases for flora plants and fauna that threaten the existing biodiversity and ecosystems unique to the Island
- establishment of protected areas, (e.g. conservation reserves).
- addressing the Island's salinity and groundwater issues.

People, Towns and Housing

The community of Kangaroo Island has to date been able to maintain a quality of life rich in natural and cultural aspects due to the unique character of Kangaroo Island. The social well being of the community is dependent however on strengthening and improving the economy, the provision and maintenance of services and infrastructure, and the creation of training and employment opportunities in particular to retain a balanced age profile on the Island.

Towns, Settlements and Living Areas

The principal community-based facilities are located within the towns on the eastern end of the Island. The small population base limits the level of community services able to be provided economically and equitably to all settlements across the Island (the 2006 Census data states the resident population to be 4446 persons).

Population growth is encouraged to take place within the main established townships on the Island which include Kingscote, Penneshaw, American River and Parndana in order to improve the viability of community facilities, to make efficient use of support infrastructure and ensure the rural values of the Island are protected.

Kingscote

Kingscote was South Australia's first site of European Settlement in 1836. It is now and should continue to be developed as the principal town and commercial centre on Kangaroo Island. It provides a range of services and facilities including business, retails, medical and emergency services, community welfare services, sport and recreation and tourist development.

Penneshaw

Penneshaw is a major port and an important tourist gateway and service centre for the eastern end of the Island. It should retain its coastal features and character to promote development that enhances its coastal village character and heritage features. The town is experiencing increased growth through its appeal for retired persons and as a holiday house area.

American River

American River is an important tourist and local service centre. Development needs to be carefully sited and respect the scenic and conservation significance of the Pelican Lagoon Conservation Park, American River Aquatic Reserve and areas of Drooping Sheoak; an important habitat for the Island's endangered Glossy Black Cockatoo. The scale and intensity of development should be low scale with minimal impacts.

American River is well known for its boating and fishing and for the range of tourist accommodation. The establishment of additional recreational and tourist accommodation facilities should be developed and balanced with the town's unique character and fragile natural assets.

A focal point for township should be developed on relatively flat land to ensure maximum accessibility.

Parndana

Parndana is the Island's only inland town and is an important service centre for the Island and provides retail, community, sport and recreation facilities, primarily for the surrounding rural community.

A number of smaller settlements exist around the Island such as Emu Bay and Vivonne Bay with a range of holiday-related forms of accommodation including guesthouses, holiday homes, cabins and formal camping. The size and extent of these areas needs to be limited to contain any likely impacts of development on the landscape and environment which combine to make these places unique and a tourist destination in their own right.

Education/Employment

One of the main reasons for young people leaving the Island is to further their education and obtain employment. The community must find ways to provide additional education, training and job opportunities. New course delivery methods could result in Kangaroo Island being access competitive with other regional areas of the State. However, new education infrastructure - in the traditional sense - is unlikely and partnership programs with State tertiary institutions should be considered.

Infrastructure

Energy

Single wire earth return lines power much of the Island. The supply of three phase power is limited and an improved power supply network is essential to facilitate further economic development.

Planning should consider the costs and the lead times necessary to construct, extend and upgrade infrastructure, with, for example, a new under-sea cable estimated to cost well into the tens of millions of dollars.

Given the difficulty and expense of providing electricity from traditional sources to the area, technological improvements are likely to result in the potential for renewable energy sources (such as biomass, solar and wind power) being investigated and developed on Kangaroo Island.

Water Supply and Waste Disposal

Reticulated water supplies currently service the towns of Kingscote, Parndana, and Penneshaw. Upgrading of the water supply to other settlements would provide for the further residential development.

American River is currently not serviced by a reticulated water supply system which places a restriction on the development potential of the town. However, Community Wastewater Management Systems (CWMS) is due to be introduced in the near future. Parndana will have its CWMS system upgraded to incorporate stormwater collection to be re-used for the irrigation for public spaces.

Middle River Dam provides water to Kingscote and Parndana and operates at capacity during summer periods. During times of significant drought this system cannot cope with demand and subsequently other sources must be utilised.

A desalination plant services Penneshaw and has the ability to run at a higher capacity. Recent investigations into water infrastructure reveal that access to an appropriate, reliable water supply for Kangaroo Island is a significant issue which will affect economic growth and quality of life on the Island.

Council must work with State authorities and private developers to secure a reliable, safe and sustainable water supply for industry, the community and visitors to the Island. In addition, new development should incorporate maximum on-site water capture and storage (such as using larger water tanks) to alleviate the problems of water supply.

Currently most hard waste is recycled or transported to landfill sites off the Island.

Transport

Road infrastructure is critically important to the Island. The community, tourists and businesses use the major ring route on the Island, which is now sealed. On going maintenance of the roads on the Island presents a significant and potentially overwhelming financial burden on the Island's community. The upkeep of the Island's roads must be a shared commitment between the community, State and local government and the private sector to ensure the sustainable development of the Island.

As an example, the forestry industry has the potential to generate significant additional heavy vehicle movements, potentially causing significant wear and tear on the Island's existing road infrastructure. Appropriate means must be explored and implemented to ensure the financial gains of forestry on the Island are not 'shouldered' solely by the community.

Depending on the extent of the commercial development of blue gum forestry on the Island, a woodchip loading facility may be required by industry within the next 5 to 10 years to cater for the transport of harvested blue gum. Previous studies have identified Ballast Head as a potential site for a future deep sea port. This site, if appropriate, or similar sites could provide additional multi-use benefits to the Island.

The wharf at Kingscote is used for freight transportation and the wharf at Penneshaw is the terminus for the SeaLink ferry that connects with the mainland at Cape Jervis. Both wharves should be developed in order to maintain the commercial operations but to also enhance the space for public use and tourism establishments (cafes, shops etc).

Kingscote airport accommodates regular services operating between Adelaide and the Island and caters primarily for the commuter and tourist trade, as well as some minor time-sensitive freight items. Development of the Kingscote Airport should concentrate on aviation and appropriate support activities. Future development in proximity to the Airport should not jeopardise airport operations or the potential for the future expansion of the Airport.

Communication and Electronic Information

With increasing value placed on information technology, communication infrastructure will play an important role in business development in the future. Timely access to relevant information will better enable business operators to take advantage of emerging economic opportunities in the area. Availability of local calls, Internet access, broadband services and mobile phone coverage are the most commonly cited requirements.

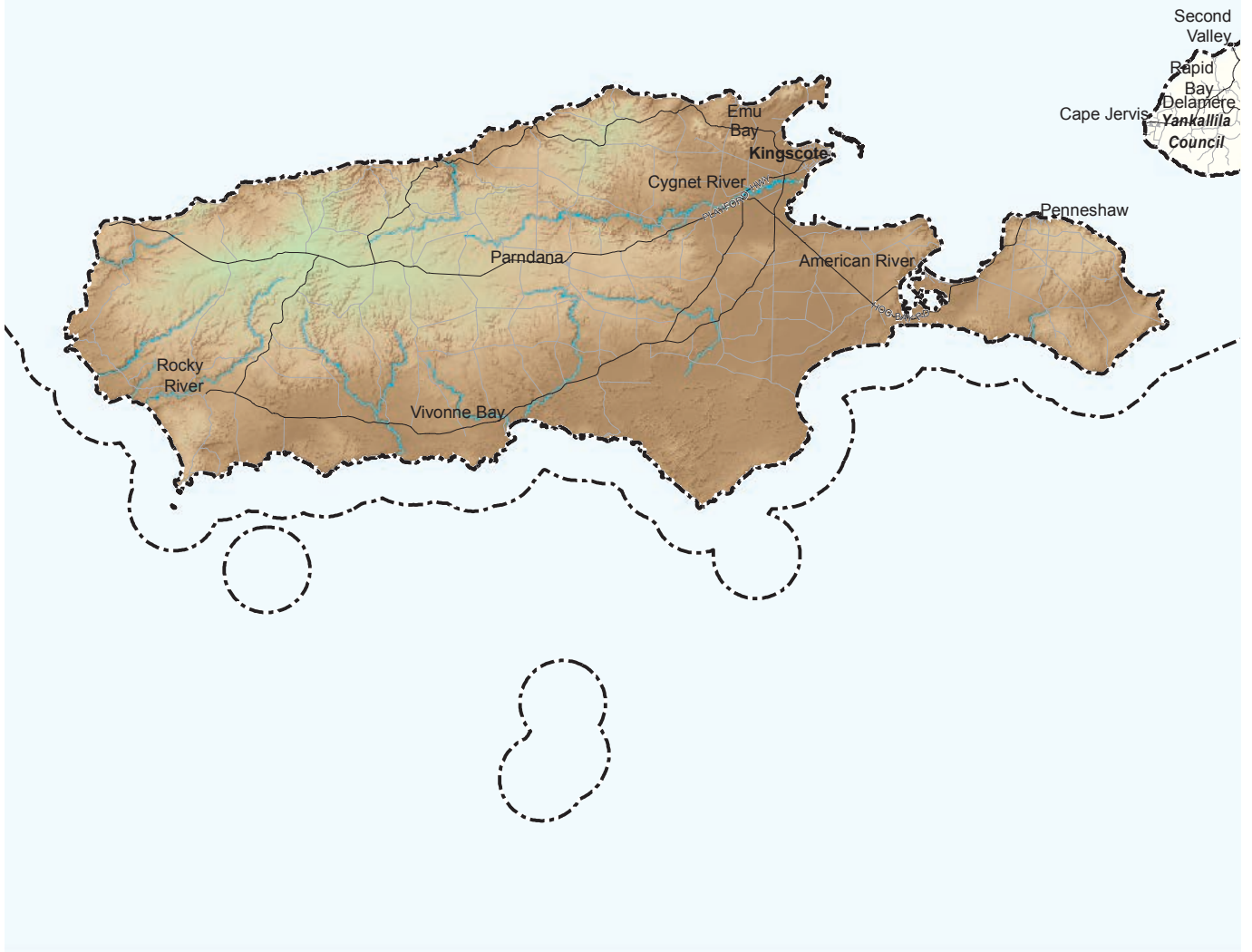
Currently the Island is serviced by a Telstra fibre optic cable which is connected to the mainland and provides a good level of services including ADSL and mobile coverage to township areas.

Improved access to information by all members of the community should be pursued including access to communication technology, wide spread internet access and access to distance education facilities for remote areas.

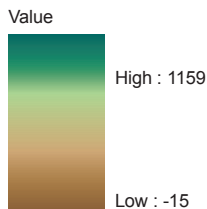
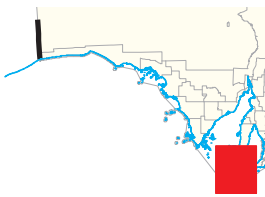
Advisory Only



**Land
Not Within a Council
Area (Coastal Waters)**



To identify the precise location of the Development Plan boundary refer to Council Index Map then select the relevant map number.



Council Preface Map

General Section

Animal Keeping

OBJECTIVES

- 1 Animals not kept at a density beyond the carrying capacity of the land or water.
- 2 Animal keeping development sited and designed to avoid adverse effects on surrounding development.
- 3 Intensive animal keeping protected from encroachment by incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Animal keeping and associated activities should not create adverse impacts on the environment or the amenity of the locality.
- 2 Storage facilities for manure, used litter and other wastes should be designed and sited:
 - (a) to be vermin proof
 - (b) with an impervious base
 - (c) to ensure that all clean rainfall runoff is excluded from the storage area
 - (d) outside the 1 in 100 year average return interval flood event area.

Horse Keeping

- 3 Stables, horse shelters or associated yards should be sited:
 - (a) at least 50 metres from a watercourse
 - (b) on land with a slope no greater than 1 in 10 metres.
- 4 A concrete drainage apron should be provided along the front of stables directing water from wash-down areas onto a suitably vegetated area that can absorb all the water, or into a constructed drainage pit.
- 5 Stables, horse shelters or associated yards should be sited at least 30 metres from any dwelling on the site and from the nearest allotment boundary to avoid adverse impacts from dust, erosion and odour.
- 6 All areas accessible to horses should be separated from septic tank drainage areas.
- 7 Development in the form of stables or shelters should have a:
 - (a) floor area of at least 3.6 metres by 3.6 metres, which is situated at least 50 millimetres above natural ground level
 - (b) minimum roof height of 2.75 metres.
- 8 Development in the form of horse keeping yards should have:
 - (a) an area of at least 40 square metres
 - (b) an impervious base with a minimum gradient of 1 in 100 or a free draining base layer (at least 40 cm deep in sand only)

- (c) a base topped with coarse sand, shell grit, pine bark or the like.

Dairies

- 9 Dairies should include a lagoon for the storage or treatment of milking shed effluent which should be located:
 - (a) at least 20 metres from a public road
 - (b) at least 200 metres from any dwelling not located on the land
 - (c) outside any 1 in 100 year average return interval flood event area of any watercourse.
- 10 Dairies and associated wastewater lagoons and liquid/solid waste storage and disposal areas should be located at a distance from nearby dwellings, public roads and outside the 1 in 100 year average return interval flood event area of any watercourse to avoid adverse impacts or nuisance by noise, smell or pollution on nearby sensitive receptors such as dwellings.

Intensive Animal Keeping

General

- 11 Intensive animal keeping operations and their various components, including holding yards, temporary feeding areas, movement lanes and similar, should not be located on land within any of the following areas:
 - (a) 800 metres of a public water supply reservoir
 - (b) the 1 in 100 year average return interval flood event area of any watercourse
 - (c) 200 metres of a major watercourse (third order or higher stream)
 - (d) 100 metres of any other watercourse
 - (e) 2000 metres of a defined and zoned township, settlement or urban area
 - (f) 500 metres of a dwelling (except for a dwelling directly associated with the intensive animal keeping facility).
- 12 Intensive animal keeping operations should include on site storage and treatment facilities for manure, used litter and other wastes and appropriate disposal of wastes.
- 13 Intensive animal keeping operations should include a drainage system to direct surface runoff from uncovered areas to appropriately designed wastewater lagoons.
- 14 Intensive animal keeping facilities and associated wastewater lagoons and liquid/solid waste disposal areas should be designed, managed and sited to avoid adverse impacts on other land uses.
- 15 Development for the purposes of intensive animal keeping should not exceed a building height of 8 metres.

Kennels

- 16 The floor of kennels should be constructed of concrete or similar impervious material and be designed to allow for adequate drainage when kennels are cleaned.
- 17 Kennels and exercise yards should be designed and sited to minimise noise nuisance to neighbours through:
 - (a) orienting their openings away from sensitive land uses such as dwellings

- (b) siting them as far as practicable from allotment boundaries, with the minimum of 200 metres from an allotment boundary
 - (c) perimeter landscaping of the allotment which has a mature height which will provide an effective visual screen between the kennels and adjoining allotments.
- 18 Kennels should occur only where there is a permanently occupied dwelling on the land.

Aquaculture Development

OBJECTIVES

- 1 Aquaculture development appropriately sited and designed to avoid adverse effects on surrounding development.
- 2 Ecologically sustainable development of the aquaculture industry.
- 3 Marine aquaculture development in marine waters that ensures fair and equitable sharing of marine and coastal resources and minimises conflict with water-based and land-based uses.

PRINCIPLES OF DEVELOPMENT CONTROL

Marine-based Aquaculture

- 1 Marine aquaculture and other offshore development should be ecologically sustainable and be located, designed, constructed and managed to:
 - (a) minimise adverse impacts on marine habitats and ecosystems, and public access to beaches, public watercourses or the foreshore
 - (b) take into account the requirements of traditional indigenous and commercial fishing grounds
 - (c) ensure satisfactory removal and disposal of litter, disused material, shells, debris, detritus, faecal matter and dead animals from the development
 - (d) prevent the build up of waste.
- 2 In marine waters, marine aquaculture (other than inter tidal aquaculture) and other offshore development should be located a minimum of 100 metres seaward of the high-water mark.
- 3 Marine aquaculture development should not significantly obstruct or adversely affect any of the following:
 - (a) areas of high public use
 - (b) areas established for recreational activities
 - (c) areas of outstanding visual, environmental, commercial or tourism value
 - (d) sites, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports.
- 4 Marine aquaculture should be sited, designed, constructed and managed to minimise interference and obstruction to the natural processes of the coastal and marine environment.
- 5 Marine aquaculture should be developed in areas where an adequate water current exists to disperse sediments and be sited a sufficient height above the sea floor to:
 - (a) prevent the fouling of waters, publicly owned wetlands or the nearby coastline
 - (b) minimise seabed damage.
- 6 Racks, floats and other farm structures associated with marine aquaculture or other offshore development should where practicable be visually unobtrusive from the shoreline.

- 7 Marine aquaculture development should:
 - (a) use feed hoppers that are painted in subdued colours and suspended as low as possible above the water
 - (b) position structures to protrude the minimum distance practicable above water
 - (c) avoid the use of shelters and structures above cages and platforms.
- 8 Marine aquaculture should be developed to maintain existing rights of way within or adjacent to a site.
- 9 Marine aquaculture access, launching and maintenance facilities should:
 - (a) where possible, use existing and established roads, tracks, ramps and paths to or from the sea
 - (b) be developed cooperatively, and co-located to serve the needs of the industry and community as a whole.
- 10 Marine aquaculture and other offshore development should be located at least:
 - (a) 550 metres from a proclaimed shipwreck
 - (b) 1000 metres seaward from the boundary of any reserve under the *National Parks and Wildlife Act*, unless a lesser distance is agreed with the Minister responsible for that *Act*.
- 11 Aquaculture development should be located so as not to obstruct nor interfere with navigation channels, access channels, frequently used natural launching sites, safe anchorage areas, known diving areas, commercial shipping lanes or activities associated with existing jetties and wharves.
- 12 Marine aquaculture development should contribute to navigational safety by being:
 - (a) suitably marked for navigational purposes
 - (b) sited to allow for safe navigation
 - (c) located at least 250 metres from a commercial shipping lane
 - (d) comprised of structures that are secured and/or weighted to prevent drifting
 - (e) able to be rehabilitated when no longer operational.

Land-based Aquaculture

- 13 Land-based aquaculture and its various components should not be located on land within any of the following areas:
 - (a) 800 metres of a public water supply reservoir
 - (b) the 1 in 100 year average return interval flood event area of any watercourse
 - (c) 200 metres of a major watercourse (third order or higher stream)
 - (d) 100 metres of any other watercourse, bore or well used for domestic or stock water supplies
 - (e) 500 metres of a defined and zoned township, settlement or urban area
 - (f) 500 metres of a dwelling (except for a dwelling directly associated with an aquaculture development).

- 14 Land-based aquaculture ponds should be sited and designed to:
 - (a) prevent surface flows from entering the ponds in a 1 in 100 year average return interval flood event
 - (b) prevent pond leakage that would pollute groundwater
 - (c) prevent any overflow that would enable the species being farmed to enter any watercourse, drainage line or other water body
 - (d) minimise the need for intake and discharge pipes to traverse sensitive coastal or riparian environments.
- 15 Buildings and structures for land based aquaculture should incorporate the following:
 - (a) if sited adjacent a main or scenic road, be setback at least 100 metres from the road boundary to ensure the scenic attractiveness of the locality is maintained
 - (b) be well screened with native vegetation
 - (c) provide a landscaped buffer area of 100 metres in width where the land adjoins rural living or rural land uses
 - (d) be limited to 8 metres height
 - (e) provide enclosed storage areas to accommodate all equipment associated with aquaculture operations in a manner which is integrated with the use of the land.
- 16 Development should ensure that pipe inlet and outlets associated with land-based aquaculture are located to minimise the potential risk of disease transmission.
- 17 Aquaculture development should recycle water and effluent in an attempt to achieve best practice.

Building near Airfields

OBJECTIVES

- 1 Development that ensures the long-term operational, safety, commercial and military aviation requirements of airfields (airports, airstrips and helicopter landing sites) continue to be met.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The height and location of buildings and structures should not adversely affect the long-term operational, safety, commercial and military aviation requirements of airfields.
- 2 Buildings and structures that exceed the airport building heights as shown on the *Overlay Maps - Development Constraints* should not be developed unless a safety analysis determines that the building/structure does not pose a hazard to aircraft operations.
- 3 Development in the vicinity of airfields should not create a risk to public safety, in particular through any of the following:
 - (a) lighting glare
 - (b) smoke, dust and exhaust emissions
 - (c) air turbulence
 - (d) storage of flammable liquids
 - (e) attraction of birds
 - (f) reflective surfaces (e.g. roofs of buildings, large windows)
 - (g) materials that affect aircraft navigational aids.
- 4 Outdoor lighting within 6 kilometres of an airport should be designed so that it does not pose a hazard to aircraft operations.
- 5 Development that is likely to increase the attraction of birds should not be located within 3 kilometres of an airport used by commercial aircraft. If located closer than 3 kilometres the facility should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 6 Dwellings should not be located within the 80 dB(A) and above contour as shown on [Concept Plan Map KI/5 – Aircraft Noise Contours](#). Individual dwellings proposed to be located within the 80 dB(A) and above contour shown on this *Concept Plan Map* should be designed and constructed to achieve the interior noise levels specified in Table 3.3 of *Australian Standard AS2021-2000 – Acoustics – Aircraft Noise Intrusion – Building Siting and Construction*. New dwellings within the 90 dB(A) should not be allowed.
- 7 The siting of buildings and structures located in the area shown as 'potential runway extension' on *Overlay Map KI/9 - Development Constraints* should not obstruct the potential extension of the Kingscote Airport runway RWY 01/19 to allow for the landing and take-off of domestic jet aircraft.

Bulk Handling and Storage Facilities

OBJECTIVES

- 1 Facilities for the bulk handling and storage of agricultural and other commodities sited and designed to minimise adverse impacts on the landscape and on and from surrounding land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Facilities for the handling, storage and dispatch of commodities in bulk should be:
 - (a) located in bulk handling, industry or primary production type zones
 - (b) sited, designed and operated to minimise risks of contamination to the environment and adverse impacts on nearby sensitive land uses and from surrounding land uses.
- 2 Development of facilities for the handling, transportation and storage of bulk commodities should have:
 - (a) areas set aside on the site of the development for the marshalling and manoeuvring of vehicles attending the site
 - (b) roadways and parking areas surfaced in a manner sufficient to control dust emissions from the site
 - (c) vehicle circulation between activity areas contained within the site and without the need to use public roads
 - (d) landscaping, using locally indigenous plant species, established within the site for the purpose of providing shade and shelter, and to assist with screening and dust filtration
 - (e) a buffer area for the establishment of dense landscaping adjacent road frontages
 - (f) security fencing around the perimeter of the site.
- 3 Temporary bunkers for storage should not compromise the efficient circulation and parking of vehicles within the site.
- 4 Access to and from the site should be designed to allow simultaneous movement of vehicles entering and exiting in a forward direction to minimise interference to other traffic using adjacent public roads.

Centres and Retail Development

OBJECTIVES

- 1 Shopping, administrative, cultural, community, entertainment, educational, religious and recreational facilities located in integrated centres.
- 2 Centres that ensure rational, economic and convenient provision of goods and services and provide:
 - (a) a focus for community life
 - (b) safe, permeable, pleasant and accessible walking and cycling networks.
- 3 Centres developed in accordance with a hierarchy based on function, so that each type of centre provides a proportion of the total requirement of goods and services commensurate with its role.
- 4 Increased vitality and activity in centres through the introduction and integration of housing.
- 5 The hierarchy of centres outside metropolitan Adelaide is as follows:
 - Regional Town Centre
 - District Town Centre
 - Town Centre (for smaller towns with a single centre zone)
 - Local Town Centre (subsidiary centres for towns with a regional or district centres).

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within centres should:
 - (a) integrate facilities within the zone
 - (b) allow for the multiple use of facilities and the sharing of utility spaces
 - (c) allow for the staging of development within the centre
 - (d) be integrated with public and community transport.
- 2 Development within centres should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.
- 3 Development within centres should provide:
 - (a) public spaces such as malls, plazas and courtyards
 - (b) street furniture, including lighting, signs, litter bins, seats and bollards, that is sited and designed to complement the desired character
 - (c) unobtrusive facilities for the storage and removal of waste materials
 - (d) public facilities including toilets, infant changing facilities for parents, seating, litter bins, telephones and community information boards
 - (e) access for public and community transport and sheltered waiting areas for passengers

- (f) lighting for pedestrian paths, buildings and associated areas
 - (g) a single landscaping theme
 - (h) safe and secure bicycle parking.
- 4 A single architectural theme should be established within centres through:
- (a) constructing additions or other buildings in a style complementary to the existing shopping complex
 - (b) renovating the existing shopping complex to complement new additions and other buildings within the centre
 - (c) employing a signage theme.
- 5 The design of undercroft or semi-basement car parking areas should not detract from the visual quality and amenity of adjacent pedestrian paths, streets or public spaces.
- 6 Undercroft or semi-basement car parking areas should not project above natural or finished ground level by more than one metre.
- 7 Residential development in centre zones should have access and car parking facilities separate from any access and car parking areas serving non-residential development.

Arterial Roads

- 8 Centres should develop on one side of an arterial road or in one quadrant of an arterial road intersection.
- 9 Centre development straddling an arterial road should:
- (a) concentrate on one side of the arterial road or one quadrant of the arterial road intersection
 - (b) minimise the need for pedestrian and vehicular movement from one part of the centre to another across the arterial road.

Retail Development

- 10 A shop or group of shops with a gross leaseable area of greater than 250 square metres should be located within a centre zone.
- 11 A shop or group of shops with a gross leaseable area of less than 250 square metres should not be located on arterial roads unless within a centre zone.
- 12 A shop or group of shops located outside of zones that allow for retail development should:
- (a) be of a size and type that will not hinder the development, function or viability of any centre zone
 - (b) not demonstrably lead to the physical deterioration of any designated centre
 - (c) be developed taking into consideration its effect on adjacent development.
- 13 Bulky goods outlets should only be located in centres zones, commercial zones or township zones.
- 14 Bulky goods outlets located within centre zones should:
- (a) complement the overall provision of facilities
 - (b) be sited towards the periphery of those zones where the bulky goods outlet has a gross leaseable area of 500 square metres or more.

Coastal Areas

OBJECTIVES

- 1 The protection and enhancement of the natural coastal environment, including environmentally important features of coastal areas such as mangroves, wetlands, sand dunes, cliff-tops, native vegetation, wildlife habitat, shore and estuarine areas.
- 2 Protection of the physical and economic resources of the coast from inappropriate development.
- 3 Preservation of areas of high landscape and amenity value including stands of vegetation, shores, exposed cliffs, headlands, islands and hill tops, and areas which form an attractive background to urban and tourist areas.
- 4 Development that maintains and/or enhances public access to coastal areas with minimal impact on the environment and amenity.
- 5 Development only undertaken on land which is not subject to or that can be protected from coastal hazards including inundation by storm tides or combined storm tides and stormwater, coastal erosion or sand drift, and probable sea level rise.
- 6 Development that can accommodate anticipated changes in sea level due to natural subsidence and probable climate change during the first 100 years of the development.
- 7 Development which will not require, now or in the future, public expenditure on protection of the development or the environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be compatible with the coastal environment in terms of built-form, appearance and landscaping including the use of walls and low pitched roofs of non-reflective texture and natural earth colours.

Environmental Protection

- 2 The coast should be protected from development that would adversely affect the marine and onshore coastal environment, whether by pollution, erosion, damage or depletion of physical or biological resources, interference with natural coastal processes or any other means.
- 3 Development should not be located in delicate or environmentally-sensitive coastal features such as sand dunes, cliff-tops, wetlands or substantially intact strata of native vegetation.
- 4 Development should not be undertaken where it will create or aggravate coastal erosion, or where it will require coast protection works which cause or aggravate coastal erosion.
- 5 Development should be designed so that solid/fluid wastes and stormwater runoff is disposed of in a manner that will not cause pollution or other detrimental impacts on the marine and on-shore environment of coastal areas.
- 6 Effluent disposal systems incorporating soakage trenches or similar should prevent effluent migration onto the inter-tidal zone and be sited at least 100 metres from whichever of the following requires the greater distance:
 - (a) the mean high-water mark at spring tide, adjusted for any subsidence for the first 50 years of development plus a sea level rise to reflect probable climate change during the first 100 years of the development

- (b) the mean high-water mark at spring tide, adjusted for any subsidence for the first 50 years of development plus a sea level rise of 1 metre
 - (c) the nearest boundary of any erosion buffer determined in accordance with the relevant provisions in this Development Plan.
- 7 Development that proposes to include or create confined coastal waters, as well as water subject to the ebb and flow of the tide should be designed to ensure the quality of such waters is maintained at an acceptable level.
- 8 Development should be designed and sited so that it does not prevent natural landform and ecological adjustment to changing climatic conditions and sea levels and should allow for the following:
- (a) the unrestricted landward migration of coastal wetlands
 - (b) new areas to be colonised by mangroves, samphire and wetland species
 - (c) sand dune drift
 - (d) where appropriate, the removal of embankments that interfere with the abovementioned processes.

Maintenance of Public Access

- 9 Development should maintain or enhance public access to and along the foreshore.
- 10 Other than small-scale infill development in a predominantly urban zone, development adjacent to the coast should not be undertaken unless it has, or incorporates an existing or proposed public reserve, not including a road or erosion buffer, of at least 50 metres width between the development and the landward toe of the frontal dune or the top edge of an escarpment. If an existing reserve is less than 50 metres wide, the development should incorporate an appropriate width of reserve to achieve a total 50 metres wide reserve.
- 11 Development that abuts or includes a scenic, conservation or recreational coastal reserve should be sited and designed to be compatible with the purpose, management and amenity of the reserve, as well as to prevent inappropriate access to the reserve.
- 12 Development, including marinas and aquaculture, should be located and designed to ensure convenient public access along the waterfront to beaches and coastal reserves is maintained, and where possible enhanced through the provision of one or more of the following:
- (a) pedestrian pathways and recreation trails
 - (b) coastal reserves and lookouts
 - (c) recreational use of the water and waterfront
 - (d) safe public boating facilities at selected locations
 - (e) vehicular access to points near beaches and points of interest
 - (f) car parking.
- 13 Where a development such as a marina creates new areas of waterfront, provision should be made for public access to, and recreational use of, the waterfront and the water.
- 14 Public access through sensitive coastal landforms, particularly sand dunes, wetlands and cliff faces, should be restricted to defined pedestrian paths constructed to minimise adverse environmental impact.

- 15 Access roads to the coast and lookouts should preferably be spur roads rather than through routes, other than tourist routes where they:
- (a) do not detract from the amenity or the environment
 - (b) are designed for slow moving traffic
 - (c) provide adequate car parking.

Hazard Risk Minimisation

- 16 Development and its site should be protected against the standard sea-flood risk level which is defined as the 1 in 100 year average return interval flood extreme sea level (tide, stormwater and associated wave effects combined), plus an allowance for land subsidence for 50 years at that site.
- 17 Commercial, industrial, tourism or residential development, and associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
- (a) site levels are at least 0.3 metres above the standard sea-flood risk level
 - (b) building floor levels are at least 0.55 metres above the standard sea-flood risk level
 - (c) there are practical measures available to protect the development against a further sea level rise of 0.7 metres above the minimum site level required by part (a).
- 18 Buildings to be sited over tidal water or which are not capable of being raised or protected by flood protection measures in future, should have a floor level of at least 1.25 metres above the standard sea-flood risk level.
- 19 Development that requires protection measures against coastal erosion, sea or stormwater flooding, sand drift or the management of other coastal processes at the time of development, or in the future, should only be undertaken if all of the following apply:
- (a) the measures themselves will not have an adverse effect on coastal ecology, processes, conservation, public access and amenity.
 - (b) the measures do not nor will not require community resources, including land, to be committed.
 - (c) the risk of failure of measures such as sand management, levee banks, flood gates, valves or stormwater pumping, is acceptable relative to the potential hazard resulting from their failure.
 - (d) binding agreements are in place to cover future construction, operation, maintenance and management of the protection measures.

Erosion Buffers

- 20 Development should be set back a sufficient distance from the coast to provide an erosion buffer which will allow for at least 100 years of coastal retreat for single buildings or small-scale developments, or 200 years of coastal retreat for large scale developments (ie new townships) unless either of the following applies:
- (a) the development incorporates appropriate private coastal protection measures to protect the development and public reserve from the anticipated erosion
 - (b) the council is committed to protecting the public reserve and development from the anticipated coastal erosion.
- 21 Where a coastal reserve exists or is to be provided it should be increased in width by the amount of any required erosion buffer. The width of an erosion buffer should be based on the following:
- (a) the susceptibility of the coast to erosion

- (b) local coastal processes
 - (c) the effect of severe storm events
 - (d) the effect of a 0.3 metres sea level rise over the next 50 years on coastal processes and storms
 - (e) the availability of practical measures to protect the development from erosion caused by a further sea level rise of 0.7 metres per 50 years thereafter.
- 22 Development should not occur where essential services cannot be economically provided and maintained having regard to flood risk and sea level rise, or where emergency vehicle access would be prevented by a 1 in 100 year average return interval flood event, adjusted for 100 years of sea level rise.

Land Division

- 23 Land in coastal areas should only be divided if:
- (a) it or the subsequent development and use of the land will not adversely affect the management of the land, adjoining land or the coast
 - (b) sand dunes, wetlands and substantially intact strata of native vegetation are maintained or consolidated within single allotments.
- 24 Land division in coastal areas outside of designated urban or settlement zones should not increase either of the following:
- (a) the number of allotments abutting the coast or a reserve
 - (b) the number of allotments, including community title allotments and those that incorporate rights of way, with direct access to the coast or a reserve.
- 25 Land should not be divided for commercial, industrial or residential purposes unless a layout can be achieved whereby roads, parking areas and development sites on each allotment are at least 0.3 metres above the standard sea-flood risk level, unless the land is, or can be provided with appropriate coastal protection measures.
- 26 Subdivision of land that has frontage to the coast should make provision for a reserve that is at least 50 metres in width along such frontage.

Protection of Economic Resources

- 27 Development should be sited, designed and managed so as not to conflict with or jeopardise the continuance of an existing aquaculture development.

Development in Appropriate Locations

- 28 Development along the coast should be in the form of infill in existing developed areas or concentrated into appropriately chosen nodes and not be in a scattered or linear form.
- 29 Development of a kind or scale (eg commercial or large-scale retail) that does not require a coastal location and would not significantly contribute to the community's enjoyment of the coast should not be located in coastal areas.

Community Facilities

OBJECTIVES

- 1 Location of community facilities including social, health, welfare, education and recreation facilities where they are conveniently accessible to the population they serve.
- 2 The proper provision of public and community facilities including the reservation of suitable land in advance of need.
- 3 Compact and economic development of the townships of Kingscote, Penneshaw, Parndana and American River as the main community centres servicing Kangaroo Island.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Community facilities should be sited and developed to be accessible by pedestrians, cyclists and public and community transport.
- 2 Community facilities should be integrated in their design to promote efficient land use.
- 3 Design of community facilities should encourage flexible and adaptable use of open space and facilities to meet the needs of a range of users over time.

Crime Prevention

OBJECTIVES

- 1 A safe, secure, crime resistant environment where land uses are integrated and designed to facilitate community surveillance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be designed to maximise surveillance of public spaces through the incorporation of clear lines of sight, appropriate lighting and the use of visible permeable barriers wherever practicable.
- 2 Buildings should be designed to overlook public and communal streets and public open space to allow casual surveillance.
- 3 Development should provide a robust environment that is resistant to vandalism and graffiti.
- 4 Development should provide lighting in frequently used public spaces including those:
 - (a) along dedicated cyclist and pedestrian pathways, laneways and access routes
 - (b) around public facilities such as toilets, telephones, bus stops, seating, litter bins, automatic teller machines, taxi ranks and car parks.
- 5 Development, including car park facilities should incorporate signage and lighting that indicate the entrances and pathways to, from and within sites.
- 6 Landscaping should be used to assist in discouraging crime by:
 - (a) screen planting areas susceptible to vandalism
 - (b) planting trees or ground covers, rather than shrubs, alongside footpaths
 - (c) planting vegetation other than ground covers a minimum distance of two metres from footpaths to reduce concealment opportunities.
- 7 Site planning, buildings, fences, landscaping and other features should clearly differentiate public, communal and private areas.
- 8 Buildings should be designed to minimise and discourage access between roofs, balconies and windows of adjoining dwellings.
- 9 Public toilets should be located, sited and designed:
 - (a) to promote the visibility of people entering and exiting the facility (eg by avoiding recessed entrances and dense shrubbery that obstructs passive surveillance)
 - (b) near public and community transport links and pedestrian and cyclist networks to maximise visibility.
- 10 Development should avoid pedestrian entrapment spots and movement predictors (eg routes or paths that are predictable or unchangeable and offer no choice to pedestrians).

Design and Appearance

OBJECTIVES

- 1 Development of a high architectural standard that responds to and reinforces positive aspects of the local environment and built form.
- 2 Roads, open spaces, buildings and land uses laid out and linked so that they are easy to understand and navigate.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The design of a building may be of a contemporary nature and exhibit an innovative style provided the overall form is sympathetic to the scale of development in the locality and with the context of its setting with regard to shape, size, materials and colour.
- 2 Buildings should be designed and sited to avoid creating extensive areas of uninterrupted walling facing areas exposed to public view.
- 3 Buildings should be designed to reduce their visual bulk and provide visual interest through design elements such as:
 - (a) articulation
 - (b) colour and detailing
 - (c) small vertical and horizontal components
 - (d) design and placing of windows
 - (e) variations to facades.
- 4 Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise:
 - (a) the visual impact of the building as viewed from adjoining properties
 - (b) overshadowing of adjoining properties and allow adequate natural light to neighbouring buildings.
- 5 Building form should not unreasonably restrict existing views available from neighbouring properties and public spaces.
- 6 Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like, should have their suspended footings enclosed around the perimeter of the building with brickwork or timber, and the use of verandas, pergolas and other suitable architectural detailing to give the appearance of a permanent structure.
- 7 The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare.
- 8 Structures located on the roofs of buildings to house plant and equipment should form an integral part of the building design in relation to external finishes, shaping and colours.
- 9 Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.

- 10 Development should provide clearly recognisable links to adjoining areas and facilities.
- 11 Buildings, landscaping, paving and signage should have a co-ordinated appearance that maintains and enhances the visual attractiveness of the locality.
- 12 Buildings (other than ancillary buildings or group dwellings) should be designed so that their main façade faces the primary street frontage of the land on which they are situated.
- 13 Where applicable, development should incorporate verandas over footpaths to enhance the quality of the pedestrian environment.
- 14 Development should be designed and sited so that outdoor storage and service areas are screened from public view by an appropriate combination of built form, solid fencing or landscaping.
- 15 Outdoor lighting should not result in light spillage on adjacent land.
- 16 Balconies should:
 - (a) be integrated with the overall architectural form and detail of the building
 - (b) be sited to face predominantly north, east or west to provide solar access
 - (c) have a minimum area of 2 square metres.
- 17 The external materials and colours of a building should not result in a detrimental impact upon the existing character of the locality.

Building Setbacks from Road Boundaries

- 18 The setback of buildings from public roads should:
 - (a) be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality
 - (b) contribute positively to the streetscape character of the locality
 - (c) not result in or contribute to a detrimental impact upon the function, appearance or character of the locality.
- 19 Except where otherwise specified, buildings and structures should be set back from road boundaries having regard to the requirements set out in [Table KI/3 - Building Setbacks from Road Boundaries](#).
- 20 Lesser setback distances may be considered where the proposed building will be substantially screened by existing vegetation, natural form and features of the land or adjacent existing buildings.

Energy Efficiency

OBJECTIVES

- 1 Development designed and sited to conserve energy and minimise waste.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should provide for efficient solar access to buildings and open space all year around.
- 2 Buildings should be sited and designed so that the open spaces associated with the main activity areas face north for exposure to winter sun.
- 3 Buildings should be sited and designed to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings.
- 4 Roof pitches should facilitate the efficient use of solar hot water services and photovoltaic cells.
- 5 Development should be designed to minimise consumption of non-renewable energy through designing the roof of buildings with a north facing slope to accommodate solar collectors.
- 6 Public infrastructure, including lighting and telephones, should be designed to generate and use renewable energy.

Forestry

OBJECTIVES

- 1 Forestry development that is designed and sited to maximise environmental and economic benefits whilst managing potential negative impacts on the environment, transport networks and surrounding land uses and landscapes.
- 2 No expansion of forestry plantations.
- 3 Existing forestry plantations in areas of high land capability replaced by farming and horticulture.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Forestry plantations should not be undertaken if they will cause or require the clearance of valued trees or substantially intact strata of vegetation, or detrimentally affect the physical environment or scenic quality of the rural landscape.
- 2 Forestry plantations should not occur:
 - (a) on land with a slope exceeding 20 degrees
 - (b) within a separation distance (which may include forestry firebreaks and vehicle access tracks) of 50 metres of either of the following:
 - (i) any dwelling including those on an adjoining allotment
 - (ii) a reserve gazetted under the *National Parks and Wildlife Act 1972* or *Wilderness Protection Act 1992*.
- 3 Forestry plantations should:
 - (a) not involve cultivation (excluding spot cultivation) in drainage lines or within 20 metres of a major watercourse (a third order or higher watercourse), lake, reservoir, wetland and sinkhole (direct connection to aquifer)
 - (b) incorporate artificial drainage lines (ie culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas
 - (c) retain a minimum 10 metre width separation distance immediately to either side of a watercourse (a first or second order watercourse) and sinkhole (no-direct connection to aquifer). This separation distance should contain locally indigenous vegetation (including grasses) and unmodified topography to ensure water flow.
- 4 Forestry plantations should incorporate:
 - (a) 7 metre wide external boundary firebreaks for plantations of 40 hectares or less
 - (b) 10 metre wide external boundary firebreaks for plantations of between 40 and 100 hectares
 - (c) 20 metre wide external boundary firebreaks, or 10 metres with an additional 10 metres of fuel-reduced plantation, for plantations of 100 hectares or greater.
- 5 Forestry plantations should incorporate vehicle access tracks:
 - (a) within all firebreaks

- (b) of a minimum width of 7 metres with a vertical clearance of 4 metres
 - (c) that are aligned to provide straight through access at junctions, or if they are a no through access track they are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles
 - (d) that partition the plantation into units not exceeding 40 hectares in area.
- 6 Forestry plantations should ensure the clearances from power lines listed in the Table following are maintained when planting trees with an expected mature height of more than 6 metres:

Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines (in metres)
500 kV	Tower	38
275 kV	Tower	25
132 kV	Tower	30
132 kV	Pole	20
66 kV	Pole	20
Less than 66 kV	Pole	20

- 7 Forestry plantations (including for carbon sequestration) should not:
- (a) adversely impact on sustainable water limits at the catchment, sub-catchment and property level
 - (b) unreasonably impact on the water needs of downstream users
 - (c) exacerbate the over-abundance of native species. Management plans should be in place and enacted to manage populations of both native species and feral species
 - (d) be established on land with high capability for farming and horticulture
 - (e) increase the total area used for forestry.
- 8 Commercial forestry plantations for carbon sequestration should:
- (a) be compatible with the biodiversity of the local landscape
 - (b) use vegetation communities appropriate to the soil type and location, in particular:
 - (i) using native species of local provenance
 - (ii) providing a suitable, biodiverse mix of overstorey, understorey and ground layer
 - (c) provide habitat connectivity along wildlife corridors, in particular considering the needs of threatened flora and fauna species in the local area
 - (d) enhance local biodiversity by providing buffers to existing remnant vegetation
 - (e) provide for adequate access and fire breaks to promote appropriate bushfire management (i.e. mosaic burns)
 - (f) be used to address land management issues (such as salinity and soil erosion)
 - (g) demonstrate evidence of compliance with Australian Government's Carbon Farming Initiatives.

Hazards

OBJECTIVES

- 1 Maintenance of the natural environment and systems by limiting development in areas susceptible to natural hazard risk.
- 2 Development located away from areas that are vulnerable to, and cannot be adequately and effectively protected from the risk of natural hazards.
- 3 Development located to minimise the threat and impact of bushfires on life and property.
- 4 Expansion of existing non-rural uses directed away from areas of high bushfire risk.
- 5 Critical community facilities such as hospitals, emergency control centres, major service infrastructure facilities, and emergency service facilities located where they are not exposed to natural hazard risks.
- 6 The environmental values and ecological health of receiving waterways and marine environments protected from the release of acid water resulting from the disturbance of acid sulphate soils.
- 7 Protection of human health and the environment wherever site contamination has been identified or suspected to have occurred.
- 8 Minimisation of harm to life, property and the environment through appropriate location of development and appropriate storage, containment and handling of hazardous materials.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should:
 - (a) be excluded from areas that are vulnerable to, and cannot be adequately and effectively protected from, the risk of natural hazards
 - (b) be sited, designed and undertaken with appropriate precautions being taken against fire, flood, coastal flooding, storm surge, landslip, earthquake, toxic emissions or other hazards such as vermin
 - (c) not occur on land where the risk of flooding is likely to be harmful to safety or damage property.
- 2 There should not be any significant interference with natural processes in order to reduce the exposure of development to the risk of natural hazards.
- 3 The location of critical community facilities or key infrastructure in areas of high natural hazard risk should be avoided.

Flooding

- 4 Development should not be undertaken in areas liable to inundation by tidal, drainage or flood waters unless the development can achieve all of the following:
 - (a) it is developed with a public stormwater system capable of catering for a 1 in 100 year average return interval flood event
 - (b) buildings are designed and constructed to prevent the entry of floodwaters in a 1 in 100 year average return interval flood event.

- 5 Development, including earthworks associated with development, should not do any of the following:
 - (a) impede the flow of floodwaters through the land or other surrounding land
 - (b) occur on land where the risk of flooding is unacceptable having regard to personal and public safety and to property damage
 - (c) increase the potential hazard risk to public safety of persons during a flood event
 - (d) aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood
 - (e) cause any adverse effect on the floodway function
 - (f) increase the risk of flooding of other land
 - (g) obstruct a watercourse.

Bushfire

- 6 The following bushfire protection principles of development control apply to development of land identified as General, Medium and High bushfire risk areas as shown on the *Bushfire Protection Area BPA Maps - Bushfire Risk*.
- 7 Development in a Bushfire Protection Area should be in accordance with those provisions of the *Minister's Code: Undertaking development in Bushfire Protection Areas* that are designated as mandatory for Development Plan Consent purposes.
- 8 Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:
 - (a) vegetation cover comprising trees and/or shrubs
 - (b) poor access
 - (c) rugged terrain
 - (d) inability to provide an adequate building protection zone
 - (e) inability to provide an adequate supply of water for fire-fighting purposes.
- 9 Residential, tourist accommodation and other habitable buildings should:
 - (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect
 - (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation
 - (c) have a dedicated and accessible water supply available at all times for fire fighting.
- 10 Extensions to existing buildings, outbuildings and other ancillary structures should be sited and constructed using materials to minimise the threat of fire spread to residential, tourist accommodation and other habitable buildings in the event of bushfire.
- 11 Buildings and structures should be designed and configured to reduce the impact of bushfire through using simple designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.
- 12 Land division for residential or tourist accommodation purposes within areas of high bushfire risk should be limited to those areas specifically set aside for these uses.

- 13 Where land division does occur it should be designed to:
- (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel
 - (b) minimise the extent of damage to buildings and other property during a bushfire
 - (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire
 - (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 14 Vehicle access and driveways to properties and public roads created by land division should be designed and constructed to:
- (a) facilitate safe and effective operational use for fire-fighting and other emergency vehicles and residents
 - (b) provide for two-way vehicular access between areas of fire risk and the nearest public road.
- 15 Olive orchards should be located and developed in a manner that minimises their potential to fuel bushfires.

Salinity

- 16 Development should not increase the potential for, or result in an increase in, soil and water salinity.
- 17 Preservation, maintenance and restoration of locally indigenous plant species should be encouraged in areas affected by dry land salinity.
- 18 Irrigated horticulture and pasture should not increase groundwater-induced salinity.

Acid Sulfate Soils

- 19 Development and activities, including excavation and filling of land, that may lead to the disturbance of potential or actual acid sulfate soils as shown on *Overlay maps – Development Constraints*, should be avoided unless such disturbances are managed in a way that effectively avoids the potential for harm or damage to any of the following:
- (a) the marine and estuarine environment
 - (b) natural water bodies and wetlands
 - (c) agricultural or aquaculture activities
 - (d) buildings, structures and infrastructure
 - (e) public health.
- 20 Development, including primary production, aquaculture activities and infrastructure, should not proceed unless it can be demonstrated that the risk of releasing acid water resulting from the disturbance of acid sulfate soils is minimal.

Site Contamination

- 21 Development, including land division, should not occur on contaminated land or on potentially contaminated land unless either of the following applies:
- (a) remediation of the site is undertaken to a standard that makes it suitable and safe for the proposed use

- (b) the site will be maintained in a condition, or the development will be undertaken in a manner, that will not pose a threat to the health and safety of the environment or to occupiers of the site or land in the locality.

Containment of Chemical and Hazardous Materials

- 22 Hazardous materials should be stored and contained in a manner that minimises the risk to public health and safety and the potential for water, land or air contamination.
- 23 Development that involves the storage and handling of hazardous materials should ensure that these are contained in designated areas that are secure, readily accessible to emergency vehicles, impervious, protected from rain and stormwater intrusion and other measures necessary to prevent:
 - (a) discharge of polluted water from the site
 - (b) contamination of land
 - (c) airborne migration of pollutants
 - (d) potential interface impacts with sensitive land uses.

Landslip

- 24 Development, including associated cut and fill activities, should not lead to an increased danger from land surface instability or to the potential of landslip occurring on the site or on surrounding land.
- 25 Development on steep slopes should promote the retention and replanting of vegetation as a means of stabilising and reducing the possibility of surface movement or disturbance.
- 26 Development in areas susceptible to landslip should:
 - (a) incorporate split level designs to minimise cutting into the slope
 - (b) ensure that cut and fill and heights of faces are minimised
 - (c) ensure cut and fill is supported with engineered retaining walls or are battered to appropriate grades
 - (d) control any erosion that will increase the gradient of the slope and decrease stability
 - (e) ensure the siting and operation of an effluent drainage field does not contribute to landslip
 - (f) provide drainage measures to ensure surface stability is not compromised
 - (g) ensure natural drainage lines are not obstructed.

Heritage Places

OBJECTIVES

- 1 The conservation of State and local heritage places.
- 2 The continued use, or adaptive re-use of State and local heritage places that supports the conservation of their cultural significance.
- 3 Conservation of the setting of State and local heritage places.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 A heritage place spatially located on *Overlay Maps - Heritage* and more specifically identified in [Table KI/5 - State Heritage Places](#) and [Table KI/4 – Local Heritage Places](#) should not be demolished, destroyed or removed, in total or in part, unless either of the following apply:
 - (a) that portion of the place to be demolished, destroyed or removed is excluded from the extent of the places identified in the Table
 - (b) the structural condition of the place represents an unacceptable risk to public or private safety.
- 2 Development of a State or local heritage place should retain those elements contributing to its heritage value, which may include (but not be limited to):
 - (a) principal elevations
 - (b) important vistas and views to and from the place
 - (c) setting and setbacks
 - (d) building materials
 - (e) outbuildings and walls
 - (f) trees and other landscaping elements
 - (g) access conditions (driveway form/width/material)
 - (h) architectural treatments
 - (i) the use of the place.
- 3 Development of a State or local heritage place should be compatible with the heritage value of the place.
- 4 Development that materially affects the context within which the heritage place is situated should be compatible with the heritage place. It is not necessary to replicate historic detailing, however design elements that should be compatible include, but are not limited to:
 - (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns

- (d) proportion and composition of design elements such as rooflines, openings, fencing and landscaping
 - (e) colour and texture of external materials.
- 5 The introduction of advertisements and signage to a State or local heritage place should:
- (a) be placed on discrete elements of its architecture such as parapets and wall panels, below the canopy, or within fascias and infill end panels and windows
 - (b) not conceal or obstruct historical detailing of the heritage place
 - (c) not project beyond the silhouette or skyline of the heritage place
 - (d) not form a dominant element of the place.
- 6 The division of land adjacent to or containing a State or local heritage place should occur only where it will:
- (a) create an allotment pattern that maintains or reinforces the integrity of the heritage place and the character of the surrounding area
 - (b) create an allotment or allotments of a size and dimension that can accommodate new development that will reinforce and complement the heritage place and the zone or policy area generally
 - (c) be of a size and dimension that will enable the siting and setback of new buildings from allotment boundaries so that they do not overshadow, dominate, encroach on or otherwise impact on the setting of the heritage place
 - (d) provide an area for landscaping of a size and dimension that complements the landscape setting of the heritage place and the landscape character of the locality
 - (e) enable the State or local heritage place to have a curtilage of a size sufficient to protect its setting.

Historic Conservation Area

Refer to [Overlay Map KI/32 - Heritage](#) to identify the Historic Conservation Area.

OBJECTIVES

- 1 The conservation of areas of historical significance.
- 2 Development that promotes, conserves and enhances the cultural significance and historic character of identified places and areas.
- 3 Development that complements the historic significance of the area.
- 4 The retention and conservation of places such as land, buildings, structures and landscape elements that contribute positively to the historic character of the area.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Places such as land, buildings, structures and landscape elements that contribute to the historic character of the area should be retained and conserved.
- 2 Buildings and structures should not be demolished in whole or in part, unless they are structurally unsafe and/or unsound and cannot reasonably be rehabilitated.
- 3 Development should take design cues from the existing historic built forms. In doing this, it is not necessary to replicate historic detailing; however design elements for consideration should be compatible with building and streetscape character and should include but not be limited to:
 - (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as roof lines, pitches, openings, fencing and landscaping
 - (e) colour and texture of external materials
 - (f) visual interest.
- 4 Front fences and gates should reflect and conserve the traditional period, style and form of the associated building.
- 5 Rear and side boundary fences located behind the front dwelling alignment should be no more than 1.8 metres in height.
- 6 Advertisements and/or advertising hoardings associated with places and areas of heritage significance should:
 - (a) be of a size, colour, shape and materials that enhances the character of the locality
 - (b) not dominate or detract from the prominence of any place and/or area of historic significance.

- 7 Development should respect the existing topography and the relationship of sites to street levels and to adjoining land and not involve substantial cut and/or fill or sites.
- 8 The division of land should occur only where it will maintain the traditional pattern and scale of allotments.

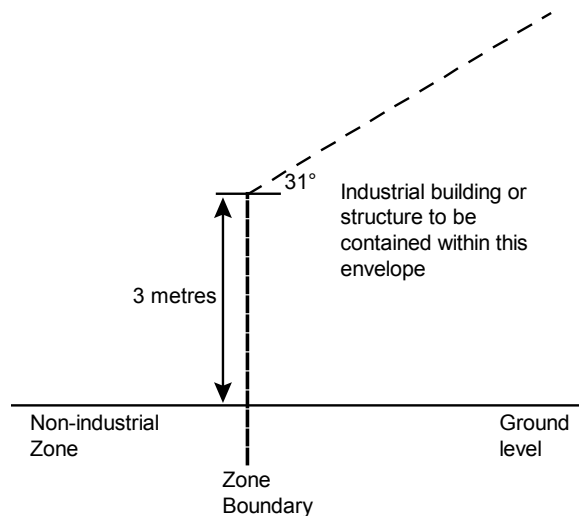
Industrial Development

OBJECTIVES

- 1 Industrial, warehouse, storage, commercial and transport distribution development on appropriately located land, integrated with transport networks and designed to minimise potential impact on these networks.
- 2 Industrial development in rural areas that is associated with farming, horticulture, fishing or aquaculture products.
- 3 Industrially zoned allotments and uses protected from encroachment by adjoining uses that would reduce industrial development or expansion.
- 4 Industrial development occurring without adverse effects on the health and amenity of occupiers of land in adjoining zones.
- 5 Compatibility between industrial uses within industrial zones.
- 6 The improved amenity of industrial areas.
- 7 Co-location of industries in townships to enable promotion and implementation of innovative waste recovery practices, methods of power generation and reuse of by-products.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Offices and showrooms associated with industrial, warehouse, storage, commercial and transport development should be sited at the front of the building with direct and convenient pedestrian access from the main visitor parking area.
- 2 Industrial development should be adequately separated from adjoining land uses where the development is likely to cause significant adverse impact on adjoining land uses.
- 3 Any building or structure on or abutting the boundary of a non-industrial zone should be restricted to a height of 3 metres above ground level at the boundary and a plane projected at 31 degrees above the horizontal into the development site from that 3 metre height, as shown in the following diagram:



- 4 Industrial development should enable all vehicles to enter and exit the site in a forward direction, where practical.
- 5 Industrial development abutting an arterial road, a non-industrial zone boundary, or significant open space should be developed in a manner that does not create adverse visual impacts on the locality.
- 6 **Industrial buildings should not exceed a height of 8 metres outside of the Industry Zone.**
- 7 Building facades facing a non-industrial zone, public road, or public open space should:
 - (a) comprise quality contemporary architecture
 - (b) use a variety of building finishes
 - (c) not consist solely of metal cladding
 - (d) contain materials of low reflectivity
 - (e) incorporate design elements to add visual interest
 - (f) avoid large expanses of blank walls.
- 8 Industrial development should occur in a manner that minimises significant adverse impact on adjoining uses due to hours of operation, traffic, noise, fumes, smell, dust, paint or other chemical over-spray, vibration, glare or light spill, electronic interference, ash or other harmful or nuisance-creating impacts.
- 9 Landscaping should be incorporated as an integral element of industrial development along non-industrial zone boundaries.
- 10 **Landscaped areas should:**
 - (a) **be at least 2 metres wide**
 - (b) **occupy at least 5 per cent of the allotment (other than in rural areas)**
 - (c) **consist of locally indigenous species with a minimum mature height of 3 metres, unless a lower mature height is necessary for safety or security purposes.**
- 11 Fencing (including colour-coated wire mesh fencing) adjacent to public roads should be set back in one of the following ways:
 - (a) in line with the building facade
 - (b) behind the building line
 - (c) behind a landscaped area that softens its visual impact.
- 12 Marine aquaculture onshore storage, cooling and processing facilities should not impair the coastline and its visual amenity and should:
 - (a) be sited, designed, landscaped and developed at a scale and using external materials that minimise any adverse visual impact on the coastal landscape
 - (b) be sited and designed with appropriate vehicular access arrangement
 - (c) include appropriate waste treatment and disposal.

Infrastructure

OBJECTIVES

- 1 Infrastructure provided in an economical and environmentally sensitive manner.
- 2 Infrastructure, including social infrastructure, provided in advance of need.
- 3 Suitable land for infrastructure identified and set aside in advance of need.
- 4 The visual impact of infrastructure facilities minimised.
- 5 The efficient and cost-effective use of existing infrastructure.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not occur without the provision of adequate utilities and services, including:
 - (a) electricity supply
 - (b) water supply
 - (c) drainage and stormwater systems
 - (d) waste disposal
 - (e) effluent disposal systems
 - (f) formed all-weather public roads
 - (g) telecommunications services
 - (h) social infrastructure, community services and facilities.
- 2 Development should only occur only where it provides, or has access to, relevant easements for the supply of infrastructure.
- 3 Development should incorporate provision for the supply of infrastructure services to be located within common service trenches where practicable.
- 4 Development should not take place until adequate and co-ordinated drainage of the land is assured.
- 5 Development in urban areas should not occur without provision of an adequate reticulated domestic quality mains water supply and an appropriate waste treatment system.
- 6 In areas where no reticulated water supply is available, buildings whose usage is reliant on a water supply should be equipped with an adequate and reliable on-site water storage system.
- 7 Electricity infrastructure should be designed and located to minimise its visual and environmental impacts.
- 8 In urban areas, electricity supply serving new development should be installed underground.

- 9 Utilities and services, including access roads and tracks, should be sited on areas already cleared of native vegetation. If this is not possible, their siting should cause minimal interference or disturbance to existing native vegetation and biodiversity.
- 10 Utility buildings and structures should be grouped with non-residential development where possible.
- 11 Development in proximity to infrastructure facilities should be sited and be of a scale to ensure adequate separation to protect people and property.

Interface Between Land Uses

OBJECTIVES

- 1 Development located and designed to minimise adverse impact and conflict between land uses.
- 2 Protect community health and amenity from adverse impacts of development.
- 3 Protect desired land uses from the encroachment of incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:
 - (a) the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants
 - (b) noise
 - (c) vibration
 - (d) electrical interference
 - (e) light spill
 - (f) glare
 - (g) hours of operation
 - (h) traffic impacts.
- 2 Development should be sited and designed to minimise negative impacts on existing and potential future land uses desired in the locality.
- 3 Development adjacent to a **Residential Zone** should be designed to minimise overlooking and overshadowing of adjacent dwellings and private open space.
- 4 Residential development adjacent to non-residential zones and land uses should be located, designed and/or sited to protect residents from potential adverse impacts from non-residential activities.
- 5 Sensitive uses likely to conflict with the continuation of lawfully existing developments and land uses desired for the zone should be designed to minimise negative impacts.
- 6 Non-residential development on land abutting a residential zone should be designed to minimise noise impacts to achieve adequate levels of compatibility between existing and proposed uses.

Noise Generating Activities

- 7 Development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant *Environment Protection (Noise) Policy* criteria when assessed at the nearest existing noise sensitive premises.
- 8 Development with the potential to emit significant noise (e.g. industry) should incorporate noise attenuation measures that prevent noise from causing unreasonable interference with the amenity of noise sensitive premises.

- 9 Outdoor areas (such as beer gardens or dining areas) associated with licensed premises should be designed or sited to minimise adverse noise impacts on adjacent existing or future noise sensitive development.
- 10 Development proposing music should include noise attenuation measures that achieve the following desired noise levels:

Noise level assessment location	Desired noise level
Adjacent existing <i>noise sensitive development</i> property boundary	Less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and Less than 5 dB(A) above the level of background noise ($LA_{90,15min}$) for the overall (sum of all octave bands) A-weighted level.
<i>Adjacent land</i> property boundary	Less than 65dB(Lin) at 63Hz and 70dB(Lin) in all other octave bands of the sound spectrum or less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and 5 dB(A) overall (sum of all octave bands) A-weighted level.

Air Quality

- 11 Development with the potential to emit harmful or nuisance-generating air pollution should incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity of sensitive uses within the locality.
- 12 Chimneys or exhaust flues associated with commercial development (including cafes, restaurants and fast food outlets) should be designed to ensure they do not cause a nuisance or health concerns to nearby sensitive receivers by:
- (a) incorporating appropriate treatment technology before exhaust emissions are released to the atmosphere
 - (b) ensuring that the location and design of chimneys or exhaust flues maximises dispersion and takes into account the location of nearby sensitive uses.

Rural Interface

- 13 The potential for adverse impacts resulting from rural development should be minimised by:
- (a) not locating horticulture or intensive animal keeping on land adjacent to townships
 - (b) maintaining an adequate separation between horticulture or intensive animal keeping and townships, other sensitive uses and, where desirable, other forms of primary production.
- 14 Traffic movement, spray drift, dust, noise, odour, and the use of frost fans and gas guns associated with primary production activities should not lead to unreasonable impact on adjacent land uses.
- 15 Existing primary production uses and mineral extraction should not be prejudiced by the inappropriate encroachment of sensitive uses such as urban development.
- 16 Development that is adjacent to land used for primary production (within either the zone or adjacent zones) should include appropriate setbacks and vegetative plantings designed to minimise the potential impacts of chemical spray drift and other impacts associated with primary production.

- 17 New urban development should provide a buffer of at least 40 metres wide (inclusive of any fuel break, emergency vehicle access or road) separating urban and rural activities.
- 18 Development within 300 metres of facilities for the handling, transportation and storage of bulk commodities should:
 - (a) not prejudice the continued operation of those facilities
 - (b) be located, designed, and developed having regard to the potential environmental impact arising from the operation of such facilities and the potential extended operation of activities.

Land Division

OBJECTIVES

- 1 Land division that occurs in an orderly sequence allowing efficient provision of new infrastructure and facilities and making optimum use of existing under utilised infrastructure and facilities.
- 2 Land division that creates allotments appropriate for the intended use.
- 3 Land division that is integrated with site features, including landscape and environmental features, adjacent land uses, the existing transport network and the availability of infrastructure.
- 4 Land division restricted in rural areas to ensure the efficient use of rural land for primary production and avoidance of uneconomic infrastructure provision.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 When land is divided:
 - (a) stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner
 - (b) a sufficient water supply should be made available for each allotment
 - (c) provision should be made for the disposal of wastewater, sewage and other effluent from each allotment without risk to health
 - (d) proposed roads should be graded, or be capable of being graded to connect safely and conveniently with an existing road or thoroughfare.
- 2 Land should not be divided if any of the following apply:
 - (a) the size, shape, location, slope or nature of the land makes any of the allotments unsuitable for the intended use
 - (b) any allotment will not have a frontage to an existing or proposed public road
 - (c) the intended use of the land would require excessive cut and/or fill
 - (d) the intended use, or the establishment of that use, is likely to lead to undue erosion of the subject land or land within the locality
 - (e) the area is unsewered and the size, shape, slope and soil structure of a proposed allotment is not suitable to accommodate an appropriate waste disposal system within the confines of the allotment
 - (f) the intended use of the land would be contrary to the zone objectives
 - (g) any single allotments are created that sit within more than one zone
 - (h) provision of services result in uneconomic costs to the community.

Design and Layout

- 3 Land divisions should be designed to ensure that areas of native vegetation and wetlands do not need to be cleared as a consequence of subsequent development or fragmented or reduced in size.

- 4 The design of a land division should incorporate:
 - (a) roads, thoroughfares and open space that result in safe and convenient linkages with the surrounding environment, including public and community transport facilities, and which, where necessary, facilitate the satisfactory future division of land and the inter-communication with neighbouring localities
 - (b) safe and convenient access from each allotment to an existing or proposed public road or thoroughfare
 - (c) areas to provide appropriate separation distances between potentially conflicting land uses and/or zones
 - (d) suitable land set aside for useable local open space
 - (e) public utility services within road reserves and where necessary within dedicated easements
 - (f) the preservation of significant natural, cultural or landscape features including State and local heritage places
 - (g) protection for existing vegetation and drainage lines
 - (h) where appropriate, the amalgamation of smaller allotments to ensure co-ordinated and efficient site development.
- 5 Land division within an area identified as being an 'Excluded Area from Bushfire Protection Planning Provisions' on [Bushfire Protection Area BPA Map KI/20 - Bushfire Risk](#) should be designed to make provisions for:
 - (a) emergency vehicle access through to the Bushfire Protection Area and other areas of open space connected to it
 - (b) a mainly continuous street pattern serving new allotments that eliminates the use of cul-de-sacs or dead end roads
 - (c) a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 6 Allotments in the form of a battleaxe configuration should:
 - (a) have a site area stipulated in the **Residential Zone** provisions excluding the area of the 'handle' of such an allotment
 - (b) provide for an access onto a public road, with the driveway 'handle' being not less than 5 metres in width nor more than 50 metres in length
 - (c) contain sufficient area on the allotment for a vehicle to turn around to enable it to egress the allotment in a forward direction
 - (d) not be created where it would lead to multiple access points onto a road which would dominate or adversely affect the amenity of the streetscape
 - (e) be avoided where their creation would be incompatible with the prevailing pattern of development.
- 7 Allotments should have an orientation, size and configuration to encourage development that:
 - (a) minimises the need for earthworks and retaining walls
 - (b) maintains natural drainage systems

- (c) faces abutting streets and open spaces
 - (d) does not require the removal of existing native vegetation to facilitate that development
 - (e) will not overshadow, dominate, encroach on or otherwise detrimentally affect the setting of the surrounding locality.
- 8 The layout of a land division should provide for efficient solar access.
- 9 Within defined townships and settlements where the land to be divided borders a river, lake, wetland or creek, the land adjoining the bank should become public open space and linked with an existing or proposed pedestrian or transport network.
- 10 Within defined townships and settlements land division should make provision for a reserve or an area of open space that is at least 25 metres wide from the top of the bank of a watercourse and that incorporates land within the 1 in 100 year average return interval flood event area.
- 11 The layout of a land division should keep flood-prone land free from development.
- 12 The arrangement of roads, allotments, reserves and open space should enable the provision of a storm drainage system that:
- (a) creates, contains and retains all watercourses, drainage lines and native vegetation
 - (b) incorporates retention and/or detention devices to maintain the volume and rate of run-off as near as possible to pre-development levels
 - (c) enhances amenity
 - (d) integrates with the open space system and surrounding area.

Roads and Access

- 13 Road reserves should be of a width and alignment that can:
- (a) provide for safe and convenient movement and parking of projected volumes of vehicles and other users
 - (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors
 - (c) allow vehicles to enter or reverse from an allotment or site in a single movement allowing for a car parked on the opposite side of the street
 - (d) accommodate street tree planting, landscaping and street furniture
 - (e) accommodate the location, construction and maintenance of stormwater drainage and public utilities
 - (f) provide unobstructed, safe and efficient vehicular access to individual allotments and sites
 - (g) allow for the efficient movement of service and emergency vehicles.
- 14 The design of the land division should facilitate the most direct route to local facilities for pedestrians and cyclists and enable footpaths, cycle lanes and shared-use paths to be provided of a safe and suitable width and reasonable longitudinal gradient.

- 15 The layout of land divisions should result in roads designed and constructed to ensure:
- (a) that traffic speeds and volumes are restricted where appropriate by limiting street length and/or the distance between bends and slow points
 - (b) there are adequate sight distances for motorists at intersections, junctions, pedestrian and cyclist crossings, and crossovers to allotments to ensure the safety of all road users and pedestrians
 - (c) that existing dedicated cycling and walking routes are not compromised.
- 16 The design of the land division should provide space sufficient for on-street visitor car parking for the number and size of allotments, taking account of:
- (a) the size of proposed allotments and sites and opportunities for on-site parking
 - (b) the availability and frequency of public and community transport
 - (c) on-street parking demand likely to be generated by nearby uses.
- 17 The layout of land divisions should incorporate street patterns designed to enhance the efficient movement of traffic and minimise trip lengths.

Land Division in Rural Areas

- 18 Rural land should not be divided if the resulting allotments would be of a size and configuration likely to impede the efficient use of rural land for any of the following:
- (a) primary production
 - (b) value adding industries related to primary production
 - (c) protection of natural resources.
- 19 Rural land should not be divided where new allotments would result in any of the following:
- (a) fragmentation of productive primary production land
 - (b) strip development along roads or water mains
 - (c) uneconomic costs to the community for the provision of services
 - (d) prejudice against the proper and orderly development of townships
 - (e) removal of native vegetation for allotment boundaries, access roads, infrastructure, dwellings and other buildings or firebreaks.

Landscaping, Fences and Walls

OBJECTIVES

- 1 The amenity of land and development enhanced with appropriate planting and other landscaping works, using locally indigenous plant species where possible.
- 2 Functional fences and walls that enhance the attractiveness of development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should incorporate open space and landscaping in order to:
 - (a) complement built form and reduce the visual impact of larger buildings (eg taller and broader plantings against taller and bulkier building components)
 - (b) enhance the appearance of road frontages
 - (c) screen service yards, loading areas and outdoor storage areas
 - (d) minimise maintenance and watering requirements
 - (e) enhance and define outdoor spaces, including car parking areas
 - (f) provide shade and shelter
 - (g) assist in climate control within buildings
 - (h) maintain privacy
 - (i) maximise stormwater re-use
 - (j) complement existing native vegetation
 - (k) contribute to the viability of ecosystems and species
 - (l) promote water and biodiversity conservation.
- 2 Landscaping should:
 - (a) include the planting of locally indigenous species
 - (b) be oriented towards the street frontage
 - (c) result in the appropriate clearance from powerlines and other infrastructure being maintained.
- 3 Landscaping should not:
 - (a) unreasonably restrict solar access to adjoining development
 - (b) cause damage to buildings, paths and other landscaping from root invasion, soil disturbance or plant overcrowding
 - (c) introduce pest plants

- (d) increase the risk of bushfire
 - (e) remove opportunities for passive surveillance
 - (f) increase autumnal leave fall in waterways
 - (g) increase the risk of weed invasion.
- 4 Fences and walls, including retaining walls, should:
- (a) not result in damage to neighbouring trees
 - (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality
 - (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance
 - (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street
 - (e) assist in highlighting building entrances
 - (f) be sited and limited in height, to ensure adequate sight lines for motorists and pedestrians especially on corner sites
 - (g) in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land
 - (h) be constructed of non-flammable materials.

Marinas and Maritime Structures

OBJECTIVES

- 1 The provision, in suitable areas, of marinas, pontoons, jetties, piers, wharves and boat moorings that cater for vessels and:
 - (a) maintain public access to the waterfront, except in locations or at times where there may be significant safety issues
 - (b) meet the needs of users
 - (c) do not compromise public safety
 - (d) preserve the structural integrity of the marine infrastructure
 - (e) minimise impacts on the natural environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Marina development may include:
 - (a) wet and dry berthing of boats
 - (b) launching and retrieval of recreational boats and associated trailer and car parking areas
 - (c) access ramps, landings, storage and other structures associated with a marina
 - (d) yachting clubrooms for maritime organisations.
- 2 Development should comply with the current *Environment Protection (Water Quality) Policy*.
- 3 The design of marinas, berths, channels, fairways, gangways and floating structures should comply with the following Australian Standards:
 - (a) *AS 3962: Guidelines for Design of Marinas*
 - (b) *AS 4997: Guidelines for the Design of Maritime Structures*.
- 4 Development should not obstruct or impair:
 - (a) navigation and access channels
 - (b) maintenance activities of marine infrastructure including revetment walls
 - (c) the operation of wharves.
- 5 Safe public access should be provided or maintained to:
 - (a) the waterfront
 - (b) known diving areas
 - (c) jetties, wharves and associated activities.

- 6 Marinas should be designed to:
- (a) facilitate water circulation and exchange
 - (b) maximise the penetration of sunlight into the water
 - (c) minimise adverse impacts on sensitive ecological areas, ecosystems and natural resources.

Mineral Extraction

OBJECTIVES

- 1 Development of mining activities in a way that contributes to the sustainable growth of the industry.
- 2 Protection of mineral deposits against intrusion by inappropriate forms of development.
- 3 Areas with scenic or conservation significance protected from undue damage arising from mining operations.
- 4 Mining operations undertaken with minimal adverse impacts on the environment and on the health and amenity of adjacent land uses.
- 5 Minimisation of the impacts from mining activities upon the existing groundwater level and the quality of groundwater resources.
- 6 Mining operations that make adequate provision for site rehabilitation.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Known reserves of economically-viable mineral deposits should be kept free of development that may inhibit their future exploitation.
- 2 Development in proximity to mining operations should not be allowed where it may be exposed to adverse impacts resulting from mining activities.
- 3 Mining in scenic and native vegetation areas should only be undertaken if:
 - (a) the proposed location is the best site in regard to minimising loss of amenity, degradation of the landscape and loss of native vegetation
 - (b) there are a limited number of known reserves of the minerals in the area or elsewhere in the State
 - (c) the extraction and transportation of materials from alternative sites to principal centres of consumption carry significantly higher costs
 - (d) the site is capable of restoration with locally indigenous plant species to counter the long-term impact on the landscape and biodiversity.
- 4 Stormwater and/or wastewater from land used for mining should be diverted into a silt retention structure so that it can be reused on-site for purposes such as truck wash-down, dust control, washing of equipment and landscape irrigation or for disposal off-site in an environmentally responsible manner.
- 5 Access to land used for mining should be sited and designed to accommodate heavy-vehicle traffic and ensure the safety of all road users.
- 6 Mining operations should:
 - (a) ensure that minimal damage is caused to the landscape
 - (b) minimise the area required for operations, and provide for the progressive reclamation of disturbed areas
 - (c) minimise disturbance to natural hydrological systems.

Separation Treatments, Buffers and Landscaping

- 7 Mining development should be sited, designed and sequenced to protect the amenity of surrounding land uses from environmental nuisance such as dust or vibration emanating from mining operations.
- 8 Mining operations that are likely to impact upon the amenity of the locality should incorporate a separation distance and/or mounding/vegetation between the mining operations (including stockpiles) and adjoining allotments to help minimise exposure to those potential impacts.
- 9 Quarry faces should be orientated away from public view.
- 10 Screening of mining areas should occur in advance of extraction commencing.
- 11 An area of densely vegetated and/or mounded land should be established around the perimeter of mining sites in order to screen excavated land and mineral processing facilities from all of the following:
 - (a) residential areas
 - (b) tourist areas
 - (c) tourist routes
 - (d) scenic routes.
- 12 Screen planting around mining operations should incorporate a mixture of trees and shrubs that:
 - (a) contribute to an attractive landscape
 - (b) suit local soil and climatic conditions
 - (c) are fast growing and/or have a long life expectancy
 - (d) are locally indigenous species.
- 13 Borrow pits for road making materials should be sited so as to cause the minimum effect on their surroundings.

Natural Resources

OBJECTIVES

- 1 Retention, protection and restoration of the natural resources and environment.
- 2 Protection of the quality and quantity of South Australia's surface waters, including inland, *marine and estuarine* and underground waters.
- 3 The ecologically sustainable use of natural resources including water resources, including *marine waters*, ground water, surface water and watercourses.
- 4 Natural hydrological systems and environmental flows reinstated, and maintained and enhanced.
- 5 Development consistent with the principles of water sensitive design.
- 6 Development sited and designed to:
 - (a) protect natural ecological systems
 - (b) achieve the sustainable use of water
 - (c) protect water quality, including receiving waters
 - (d) reduce runoff and peak flows and prevent the risk of downstream flooding
 - (e) minimise demand on reticulated water supplies
 - (f) maximise the harvest and use of stormwater
 - (g) protect stormwater from pollution sources.
- 7 Storage and use of stormwater which avoids adverse impact on public health and safety.
- 8 Native flora, fauna and ecosystems protected, retained, conserved and restored.
- 9 Restoration, expansion and linking of existing native vegetation to facilitate habitat corridors for ease of movement of fauna.
- 10 Minimal disturbance and modification of the natural landform.
- 11 Protection of the physical, chemical and biological quality of soil resources.
- 12 Protection of areas prone to erosion or other land degradation processes from inappropriate development.
- 13 Protection of the scenic qualities of natural and rural landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be undertaken with minimum impact on the natural environment, including air and water quality, land, soil, biodiversity, and scenically attractive areas.
- 2 Development should ensure that South Australia's natural assets, such as biodiversity, water and soil, are protected and enhanced.

- 3 Development should not significantly obstruct or adversely affect sensitive ecological areas such as creeks, wetlands, estuaries and significant seagrass and mangrove communities.
- 4 Development should be appropriate to land capability and the protection and conservation of water resources and biodiversity.

Water Sensitive Design

- 5 Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 6 Development should not take place if it results in unsustainable use of surface or underground water resources.
- 7 Development should be sited and designed to:
 - (a) capture and re-use stormwater, where practical
 - (b) minimise surface water runoff
 - (c) prevent soil erosion and water pollution
 - (d) protect and enhance natural water flows
 - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies
 - (f) not contribute to an increase in salinity levels
 - (g) avoid the water logging of soil or the release of toxic elements
 - (h) maintain natural hydrological systems and not adversely affect:
 - (i) the quantity and quality of groundwater
 - (ii) the depth and directional flow of groundwater
 - (iii) the quality and function of natural springs.
- 8 Water discharged from a development site should:
 - (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state
 - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 9 Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 10 Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 11 Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.
- 12 Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.

- 13 Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 14 Stormwater management systems should:
 - (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source
 - (b) utilise, but not be limited to, one or more of the following harvesting methods:
 - (i) the collection of roof water in tanks
 - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks
 - (iii) the incorporation of detention and retention facilities
 - (iv) aquifer recharge.
- 15 Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 16 Artificial wetland systems, including detention and retention basins, should be sited and designed to:
 - (a) ensure public health and safety is protected
 - (b) minimise potential public health risks arising from the breeding of mosquitoes.

Water Catchment Areas

- 17 Development should ensure watercourses and their beds, banks, wetlands and floodplains are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.
- 18 No development should occur where its proximity to a swamp or wetland will damage or interfere with the hydrology or water regime of the swamp or wetland.
- 19 A wetland or low-lying area providing habitat for native flora and fauna should not be drained, except temporarily for essential management purposes to enhance environmental values.
- 20 Along watercourses, areas of remnant native vegetation, or areas prone to erosion, that are capable of natural regeneration should be fenced off to limit stock access.
- 21 Development such as cropping, intensive animal keeping, residential, tourism, industry and horticulture, that increases the amount of surface run-off should include a strip of land at least 20 metres wide measured from the top of existing banks on each side of a watercourse that is:
 - (a) fenced to exclude livestock
 - (b) kept free of development, including structures, formal roadways or access ways for machinery or any other activity causing soil compaction or significant modification of the natural surface of the land, **unless no other access is available**
 - (c) revegetated with locally indigenous vegetation comprising trees, shrubs and other groundcover plants to filter run-off so as to reduce the impacts on native aquatic ecosystems and to minimise soil loss eroding into the watercourse.

- 22 Development resulting in the depositing of an object or solid material in a watercourse or floodplain or the removal of bank and bed material should not:
- (a) adversely affect the migration of aquatic biota
 - (b) adversely affect the natural flow regime
 - (c) cause or contribute to water pollution
 - (d) result in watercourse or bank erosion
 - (e) adversely affect native vegetation upstream or downstream that is growing in or adjacent to a watercourse.
- 23 The location and construction of dams, water tanks and diversion drains should:
- (a) occur off watercourse
 - (b) not take place in ecologically sensitive areas or on erosion-prone sites
 - (c) provide for low flow by-pass mechanisms to allow for migration of aquatic biota
 - (d) not negatively affect downstream users
 - (e) minimise in-stream or riparian vegetation loss
 - (f) incorporate features to improve water quality (eg wetlands and floodplain ecological communities)
 - (g) protect ecosystems dependent on water resources.
- 24 Irrigated horticulture and pasture should not increase groundwater-induced salinity.
- 25 Outside of zones provided for urban purposes, unsewered development with:
- (a) low pollution potential, such as dwellings, should be located at least 50 metres from any watercourse
 - (b) high pollution potential, including industry and intensive animal keeping, should be located at least:
 - (i) 200 metres from a major watercourse (third order or higher stream)
 - (ii) 100 metres from any other watercourse.
- 26 Development should comply with the current *Environment Protection (Water Quality) Policy*.

Biodiversity and Native Vegetation

- 27 Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.
- 28 Development should be designed and sited to minimise the loss and disturbance of native flora and fauna, including marine animals and plants, and their breeding grounds and habitats.
- 29 Native vegetation should be conserved and its conservation value and function not compromised by development if the native vegetation does any of the following:
- (a) provides an important habitat for wildlife or shade and shelter for livestock
 - (b) has a high plant species diversity or includes rare, vulnerable or endangered plant species or plant associations and communities

- (c) provides an important seed bank for locally indigenous vegetation
 - (d) has high amenity value and/or significantly contributes to the landscape quality of an area, including the screening of buildings and unsightly views
 - (e) has high value as a remnant of vegetation associations characteristic of a district or region prior to extensive clearance for agriculture
 - (f) is growing in, or is characteristically associated with a wetland environment.
- 30 Native vegetation should not be cleared if such clearing is likely to lead to, cause or exacerbate any of the following:
- (a) erosion or sediment within water catchments
 - (b) decreased soil stability
 - (c) soil or land slip
 - (d) deterioration in the quality of water in a watercourse or surface water runoff
 - (e) a local or regional salinity problem
 - (f) the occurrence or intensity of local or regional flooding.
- 31 Development that proposes the clearance of native vegetation should address or consider the implications that removing the native vegetation will have on the following:
- (a) provision for linkages and wildlife corridors between significant areas of native vegetation
 - (b) erosion along watercourses and the filtering of suspended solids and nutrients from run-off
 - (c) the amenity of the locality
 - (d) bushfire safety
 - (e) the net loss of native vegetation and other biodiversity.
- 32 Where native vegetation is to be removed, it should be replaced in a suitable location on the site with locally indigenous vegetation to ensure that there is not a net loss of native vegetation and biodiversity.
- 33 Development should be located and occur in a manner which:
- (a) does not increase the potential for, or result in, the spread of pest plants, or the spread of any non-indigenous plants into areas of native vegetation or a conservation zone
 - (b) avoids the degradation of remnant native vegetation by any other means including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or change to groundwater levels
 - (c) incorporates a separation distance and/or buffer area to protect wildlife habitats and other features of nature conservation significance.
- 34 Development should promote the long-term conservation of vegetation by:
- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunk of trees and beneath their canopies
 - (b) minimising impervious surfaces beneath the canopies of trees

- (c) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.

35 Horticulture involving the growing of olives should be located at least:

- (a) 500 metres from:
 - (i) a national park
 - (ii) a conservation park
 - (iii) a wilderness protection area
 - (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area
- (b) 50 metres from the edge of stands of native vegetation 5 hectares or less in area.

36 Horticulture involving the growing of olives should have at least one locally indigenous tree that will grow to a height of at least 7 metres sited at least every 100 metres around the perimeter of the orchard.

Soil Conservation

- 37 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 38 Development should be designed and sited to prevent erosion.
- 39 Development should take place in a manner that will minimise alteration to the existing landform.
- 40 Development should minimise the loss of soil from a site through soil erosion or siltation during the construction phase of any development and following the commencement of an activity.

Open Space and Recreation

OBJECTIVES

- 1 The creation of a network of linked parks, reserves and recreation areas at regional and local levels.
- 2 Pleasant, functional and accessible open spaces providing a range of physical environments.
- 3 A wide range of settings for active and passive recreational opportunities.
- 4 The provision of open space in the following hierarchy:
 - State
 - Regional
 - District
 - Neighbourhood
 - Local.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Urban development should include public open space and recreation areas.
- 2 Public open space and recreation areas should be of a size, dimension and location that:
 - (a) facilitate a range of formal and informal recreation activities to meet the needs of the community
 - (b) provide for the movement of pedestrians and cyclists
 - (c) incorporate existing vegetation and natural features, watercourses, wildlife habitat and other sites of natural or cultural value
 - (d) link habitats, wildlife corridors, public open spaces and existing recreation facilities
 - (e) enable effective stormwater management
 - (f) provides for the planting and retention of large trees and vegetation.
- 3 Open space should be designed to incorporate:
 - (a) pedestrian, cycle linkages to other open spaces, centres, schools and public transport nodes
 - (b) park furniture, shaded areas and resting places to enhance pedestrian comfort
 - (c) safe crossing points where pedestrian routes intersect the road network
 - (d) easily identified access points
 - (e) frontage to abutting public roads to optimise pedestrian access and visibility
 - (f) re-use of stormwater for irrigation purposes.
- 4 Where practical, access points to regional parks should be located close to public transport.
- 5 District level parks should be at least 3 hectares in size, and provided within 2 kilometres of all households that they serve.

- 6 Neighbourhood parks should be at least 0.5 hectares and generally closer to 1 hectare in size, and provided within 500 metres of households that they serve.
- 7 Local parks should generally be a minimum of 0.2 hectares in size, and should be centrally located within a residential area, close to schools, shops and generally within 300 metres of households that they serve.
- 8 No more than 20 per cent of land allocated as public open space should:
 - (a) have a slope in excess of 1 in 4
 - (b) comprise creeks or other drainage areas.
- 9 Signage should be provided at entrances to and within public open space to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes and park activities.
- 10 Buildings in open space, including structures and associated car parking areas, should be designed, located and of a scale that is unobtrusive and does not detract from the desired open space character.
- 11 Development in open space should:
 - (a) be clustered where practical to ensure that the majority of the site remains open
 - (b) where practical, be developed for multi-purpose use
 - (c) be constructed to minimise the extent of hard paved areas.
- 12 Open spaces and recreation areas should be located and designed to maximise safety and security by:
 - (a) ensuring that within urban areas, their edges are overlooked by housing, commercial or other development that can provide effective informal surveillance
 - (b) ensuring fenced parks and playgrounds have more than one entrance or exit when fenced
 - (c) locating play equipment where it can be informally observed by nearby residents and users during times of use
 - (d) clearly defining the perimeters of play areas
 - (e) providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks
 - (f) focusing pedestrian and bicycle movement after dark along clearly defined, adequately lit routes with observable entries and exits.
- 13 Landscaping associated with open space and recreation areas should:
 - (a) not compromise the drainage function of any drainage channel
 - (b) provide shade and windbreaks along cyclist and pedestrian routes, around picnic and barbecue areas and seating, and in car parking areas
 - (c) maximise opportunities for informal surveillance throughout the park
 - (d) enhance the visual amenity of the area and complement existing buildings
 - (e) be designed and selected to minimise maintenance costs
 - (f) provide habitat for local fauna.

- 14 Development of recreational activities in areas not zoned for that purpose should be compatible with surrounding activities.
- 15 Recreation facilities development should be sited and designed to minimise negative impacts on the amenity of the locality.

Orderly and Sustainable Development

OBJECTIVES

- 1 Orderly and economical development that creates a safe, convenient and pleasant environment in which to live.
- 2 Development occurring in an orderly sequence and in a compact form to enable the efficient provision of public services and facilities.
- 3 Development that does not jeopardise the continuance of adjoining authorised land uses.
- 4 Development that does not prejudice the achievement of the provisions of the Development Plan.
- 5 Urban development contained within existing townships and settlements and located only in zones designated for such development.
- 6 **Development of existing allotments in settlement areas to provide alternative living environments to townships.**

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not prejudice the development of a zone for its intended purpose.
- 2 Land outside of townships and settlements should primarily be used for primary production and conservation purposes.
- 3 The economic base of the region should be expanded in a sustainable manner.
- 4 Urban development should form a compact extension to an existing built-up area.
- 5 Ribbon development should not occur along the coast, water frontages or arterial roads as shown on *Overlay Maps - Transport*.
- 6 Development should be located and staged to achieve the economical provision of public services and infrastructure, and to maximise the use of existing services and infrastructure.
- 7 Where development is expected to impact upon the existing infrastructure network (including the transport network), development should demonstrate how the undue effect will be addressed.
- 8 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to not prejudice the orderly development of adjacent land.
- 9 **Development should preserve and enable the management of sites of heritage, cultural, scientific, environmental or educational importance.**
- 10 **Development should be undertaken in accordance with the following concept plan maps:**
 - [Concept Plan Map KI/1 - Tourist Accommodation](#)
 - [Concept Plan Map KI/2 - Kingscote Wharf](#)
 - [Concept Plan Map KI/3 - American River Wharf](#)
 - [Concept Plan Map KI/4 - Antechamber Bay](#)
 - [Concept Plan Map KI/5 - Aircraft Noise Contours](#).

Outdoor Advertisements

OBJECTIVES

- 1 Urban and rural landscapes that are not disfigured by advertisements and/or advertising hoardings.
- 2 Advertisements and/or advertising hoardings that do not create a hazard.
- 3 Advertisements and/or advertising hoardings designed to enhance the appearance of the building and locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The location, siting, design, materials, size, and shape of advertisements and/or advertising hoardings should be:
 - (a) consistent with the predominant character of the urban or rural landscape
 - (b) in harmony with any buildings or sites of historic significance or heritage value in the area
 - (c) co-ordinated with and complement the architectural form and design of the building they are to be located on.
- 2 The number of advertisements and/or advertising hoardings associated with a development should be minimised to avoid:
 - (a) clutter
 - (b) disorder
 - (c) untidiness of buildings and their surrounds.
- 3 Buildings occupied by a number of tenants should exhibit co-ordinated and complementary advertisements and/or advertising hoardings to identify the tenants and their type of business.
- 4 The content of advertisements should be limited to information relating to the legitimate use of the associated land.
- 5 Advertisements and/or advertising hoardings should:
 - (a) be completely contained within the boundaries of the subject allotment
 - (b) be sited to avoid damage to, or pruning or lopping of, on-site landscaping or street trees
 - (c) not obscure views to vistas or objects of high amenity value.
- 6 Advertisements and/or advertising hoardings should not be erected on:
 - (a) a public footpath or veranda post
 - (b) a road, median strip or traffic island
 - (c) a vehicle adapted and exhibited primarily as an advertisement

- (d) residential land, unless erected to fulfil a statutory requirement or as a complying type of advertisement or advertising hoarding associated with the residential use of the land.
- 7 Advertisements and/or advertising hoardings attached to buildings should not be sited on the roof or higher than the walls of a building, unless the advertisement or advertising hoarding is appropriately designed to form an integrated and complementary extension of the existing building.
- 8 Advertisements and/or advertising hoardings erected on a veranda or that project from a building wall should:
- (a) have a clearance over a footway to allow for safe and convenient pedestrian access
 - (b) where erected on the side of a veranda, not exceed the width of the veranda or project from the veranda
 - (c) where erected on the front of a veranda, not exceed the length of the veranda or project from the veranda
 - (d) where projecting from a wall, have the edge of the advertisement or advertising hoarding abutting the surface of the wall.
- 9 Advertisements should be designed to conceal their supporting advertising hoarding from view.
- 10 Advertisements should convey the owner/occupier and/or generic type of business, merchandise or services using simple, clear and concise language, symbols, print style and layout and a small number of colours.
- 11 Advertisements which perform a secondary role in identifying the business, goods or services should only be readable in the immediate vicinity of the site.
- 12 Outside of townships and country settlements advertisements other than traffic signs, tourist signs or advertisements on an existing tourist information bay display board, should not be erected in road reserves.

Safety

- 13 Advertisements and/or advertising hoardings should not create a hazard by:
- (a) being so highly illuminated as to cause discomfort to an approaching driver, or to create difficulty in the driver's perception of the road or persons or objects on the road
 - (b) being liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals
 - (c) distracting drivers from the primary driving task at a location where the demands on driver concentration are high
 - (d) obscuring a driver's view of other road or rail vehicles at/or approaching level crossings, or of pedestrians or of features of the road that are potentially hazardous (eg junctions, bends, changes in width, traffic control devices).

Freestanding Advertisements

- 14 Freestanding advertisements and/or advertising hoardings should be:
- (a) limited to only one primary advertisement per site or complex
 - (b) of a scale and size in keeping with the desired character of the locality and compatible with the development on the site.

- 15 Freestanding advertisements and/or advertising hoardings for multiple-business tenancy complexes should:
- (a) incorporate the name or nature of each business or activity within the site or complex in a single advertisement
 - (b) be integrally designed and mounted below the more predominant main complex or site identity advertisement.
- 16 Portable, easel or A-frame advertisements should be displayed only where:
- (a) no other appropriate opportunity exists for an adequate co-ordinated and permanently erected advertisement and/or advertising hoarding
 - (b) they do not obstruct or compromise the safety of pedestrians or vehicle movement
 - (c) there is no unnecessary duplication or proliferation of advertising information
 - (d) there is no damage to, or removal of, any landscaping on the site.
- 17 Portable, easel or A-frame advertisements associated with a development should be displayed only during the hours the development is open for trading.

Flags, Bunting and Streamers

- 18 Advertisements and/or advertising hoardings incorporating any flags, bunting, streamers, or suspended objects should:
- (a) be placed or arranged to complement and accord with the scale of the associated development
 - (b) other than flags, not be positioned higher than the building they are attached or related to
 - (c) not be displayed in residential areas.

Advertising along Arterial Roads

- 19 Advertising and/or advertising hoardings should not be placed along arterial roads that have a speed limit of 80 km/h or more.

Renewable Energy Facilities

OBJECTIVES

- 1 Development of renewable energy facilities that benefit the environment, the community and the state.
- 2 The development of renewable energy facilities, such as wind farms and ancillary development, in areas that provide opportunity to harvest natural resources for the efficient generation of electricity.
- 3 Location, siting, design and operation of renewable energy facilities to avoid or minimise adverse impacts on the natural environment and other land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Renewable energy facilities, including wind farms and ancillary development, should be:
 - (a) located in areas that maximize efficient generation and supply of electricity; and
 - (b) designed and sited so as not to impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips.

Wind Farms and Ancillary Development

- 2 The visual impacts of wind farms and ancillary development (such as substations, maintenance sheds, access roads and wind monitoring masts) should be managed through:
 - (a) wind turbine generators being:
 - (i) setback at least 1000 metres from non-associated (nonstakeholder) dwellings and tourist accommodation
 - (ii) setback at least 2000 metres from defined and zoned township, settlement or urban areas (including deferred urban areas)
 - (iii) regularly spaced
 - (iv) uniform in colour, size and shape and blade rotation direction
 - (v) mounted on tubular towers (as opposed to lattice towers)
 - (b) provision of vegetated buffers around substations, maintenance sheds and other ancillary structures.
- 3 Wind farms and ancillary development should avoid or minimise the following impacts on nearby property owners / occupiers, road users and wildlife:
 - (a) shadowing, flickering, reflection or glint
 - (b) excessive noise
 - (c) interference with television and radio signals and geographic positioning systems
 - (d) interference with low altitude aircraft movements associated with agriculture
 - (e) modification of vegetation, soils and habitats striking of birds and bats.

- 4 Wind turbine generators should be setback from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms) a distance that will ensure that failure does not present an unacceptable risk to safety.

Residential Development

OBJECTIVES

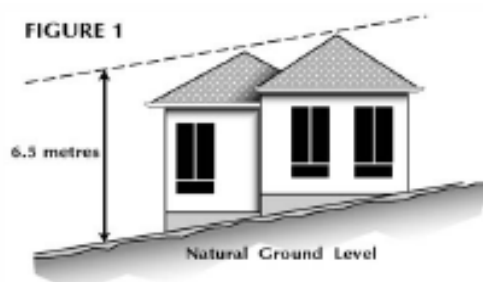
- 1 Safe, convenient, pleasant and healthy-living environments that meet the needs and preferences of the community.
- 2 An increased mix in the range and number of dwelling types available within urban boundaries to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Higher dwelling densities in areas close to centres, public and community transport and public open spaces.
- 4 The regeneration of selected areas identified at zone and/or policy area levels.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:
 - (a) the siting and construction of a dwelling and associated ancillary outbuildings
 - (b) the provision of landscaping and private open space
 - (c) convenient and safe vehicle access and off street parking
 - (d) passive energy design.
- 2 Buildings on battleaxe allotments or the like should be single storey and be designed to maintain the privacy of adjoining properties.
- 3 Residential allotments should be of varying sizes to encourage housing diversity.

Design and Appearance

- 4 Where a dwelling has direct frontage to a street the dwelling should be designed to provide surveillance and address the street.
- 5 Entries to dwellings should be clearly visible from the streets that they front to enable visitors to identify a specific dwelling easily.
- 6 Dwellings should not exceed a height of 6.5 metres above natural ground level — as depicted in Figure 1 below, this measurement should be taken to be equivalent to a theoretical line drawn 6.5 metres above and parallel to the natural ground level.



- 7 The design of residential flat buildings should:
- (a) define individual dwellings in the external appearance of the building
 - (b) provide transitional space around the entry
 - (c) ensure building entrances provide shelter, are visible and easily identifiable from the street.

Overshadowing

- 8 The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:
- (a) windows of habitable rooms, particularly living areas
 - (b) ground-level private open space
 - (c) upper-level private balconies that provide the primary open space area for any dwelling
 - (d) access to solar energy.
- 9 Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9am and 5pm on the 21 June.
- 10 Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00am and 3.00pm on 21 June to at least the smaller of the following:
- (a) half of this space
 - (b) 35 square metres of this space (with at least one of the area's dimensions measuring 2.5 metres).

In cases where overshadowing already exceeds these requirements, development must not increase the overshadowed area by more than 20 per cent.

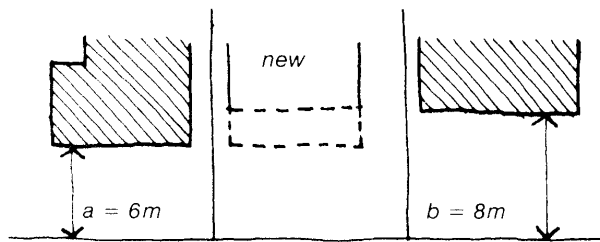
Garages, Carports and Outbuildings

- 11 Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.
- 12 Garages and carports facing the street should not dominate the streetscape.
- 13 Outbuildings should satisfy all of the following requirements:
- (a) be in association with an existing dwelling
 - (b) not be greater than 75 square metres in floor area except within the **Rural Living Zone** and **Primary Production Zone** where they should not exceed 115 square metres of floor area
 - (c) not be greater than 3.1 metres in height from natural ground level to the top of the walls
 - (d) not be greater than 3.6 metres in height from natural ground level to the top of the gable (if relevant)
 - (e) be finished in external surfaces in a colour that matches or blends with any existing dwelling on the site, and is in keeping with the character of the locality.

Street and Boundary Setbacks

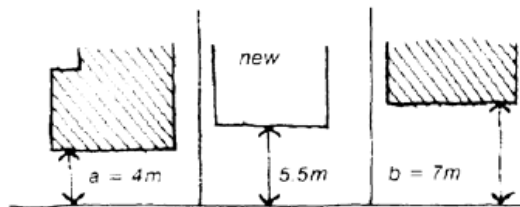
- 14 Dwellings should be set back from allotment or site boundaries to:
- (a) contribute to the desired character of the area
 - (b) provide adequate visual privacy by separating habitable rooms from pedestrian and vehicle movement.
- 15 Development fronting the primary street (excluding verandas, porches and similar) should be set back 8 metres from all roads other than where there is an established streetscape, where one of the following distances should apply:

- (a) the same distance as one or the other of the adjoining buildings, provided the difference between the setbacks of the two adjoining buildings is less than or equal to 2 metres (as shown in figure below)



When $b - a \leq 2$, setback of new dwelling = a or b

- (b) not less than the average of the setbacks of the adjoining buildings, if the difference between the setbacks of the adjoining buildings is greater than 2 metres



When $b - a > 2$,
 setback of new dwelling $\geq (a + b) \div 2$

- (c) where no building or only one building adjoins the proposed development, the predominant setback in the immediate locality.
- 16 For development on corner allotments, buildings should be set-back from the secondary road frontage within the following parameters:

Parameter	Minimum Setback distance from secondary road frontage (metres)
Single-storey portion of building	3
Two-storey portion of building	6

- 17 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:
- (a) minimise the visual impact of buildings from adjoining properties

- (b) minimise the overshadowing of adjoining properties.
- 18 Side boundary walls in residential areas should be limited in length and height to:
- (a) minimise their visual impact on adjoining properties
 - (b) minimise the overshadowing of adjoining properties.
- 19 Carports and garages should be set back from road and building frontages so as to:
- (a) contribute to the desired character of the area
 - (b) not adversely impact on the safety of road users
 - (c) provide safe entry and exit
 - (d) not dominate the appearance of dwellings from the street
 - (e) be set back at least half of one metre further than the main façade of the associated dwelling.

Site Coverage

- 20 Site coverage should be limited to ensure sufficient space is provided for:
- (a) the adequate capture of water on-site where mains water is not provided
 - (b) pedestrian and vehicle access and vehicle parking
 - (c) domestic storage
 - (d) outdoor clothes drying
 - (e) a rainwater tank
 - (f) private open space and landscaping
 - (g) front, side and rear boundary setbacks that contribute to the desired character of the area
 - (h) convenient storage of household garbage and recycling receptacles.

Private Open Space

- 21 Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:
- (a) to be accessed directly from the internal living areas of the dwelling
 - (b) generally at ground level to the side or rear of a dwelling and screened for privacy
 - (c) to take advantage of but not adversely affect natural features of the site
 - (d) to minimise overlooking from adjacent buildings
 - (e) to achieve separation from bedroom windows on adjoining sites
 - (f) to have a northerly aspect to provide for comfortable year-round use
 - (g) to not be significantly shaded during winter by the associated dwelling or adjacent development
 - (h) to be shaded in summer.

- 22 Dwellings should have associated private open space of sufficient area and shape to be functional, taking into consideration the likely needs of the occupant(s), the location of the dwelling, and the dimension and gradient of the site.
- 23 Dwellings, particularly those with ground-level habitable rooms should include private open space that conforms to the requirements identified in the following table:

Site Area of Dwelling	Minimum Area of Private Open Space	Provisions
250 square metres or greater	20 per cent of site area	Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater. One part of the space should be directly accessible from a living room and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1 in 10.
Less than 250 square metres	35 square metres	Balconies, roof patios and the like can comprise part of this area provided the area of each is 8 square metres or greater. One part of the space is directly accessible from a living room and has an area of 16 square metres with a minimum dimension of 4 metres and a maximum gradient of 1 in 10.

- 24 Private open space should not include driveways, effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space in residential flat buildings and group dwellings, and should have a minimum dimension of:
- (a) 2.5 metres for ground level or roof-top private open space
 - (b) 2 metres for upper level balconies or terraces.
- 25 Balconies should make a positive contribution to the internal and external amenity of residential buildings and should be sited adjacent to the main living areas, such as the living room, dining room or kitchen, to extend the dwelling's living space.
- 26 Rooftop gardens should be incorporated into residential flat buildings.

Site Facilities and Storage

- 27 Site facilities for group dwellings and residential flat buildings should include:
- (a) mail box facilities sited close to the major pedestrian entrance to the site
 - (b) bicycle parking for residents and visitors
 - (c) garbage and recyclable material storage areas away from dwellings
 - (d) external clothes drying areas, which are readily accessible to each dwelling and complement the development and streetscape character for dwellings which do not incorporate ground level private open space.

Visual Privacy

- 28 Direct overlooking into habitable room windows and onto the useable private open spaces of other dwellings from windows, especially from upper-level habitable rooms and external balconies, terraces and decks, should be minimised through the adoption of one or more of the following:
- (a) building layout
 - (b) location and design of windows and balconies
 - (c) screening devices
 - (d) landscaping
 - (e) adequate separation.
- 29 Permanently fixed external screening devices should be designed and coloured to blend with the associated building's external material and finishes.

Noise

- 30 Residential development close to high noise sources (eg major roads, railway lines, tram lines, industry, and airports) should be designed to locate bedrooms, living rooms and private open spaces away from those noise sources, or protect these areas with appropriate noise attenuation measures.
- 31 Residential development on sites abutting established collector or higher order roads should include front fences and walls that will supplement the noise control provided by the building facade.
- 32 The number of dwellings sharing a common internal pedestrian entry within a residential flat building should be minimised to limit noise generation in internal access ways.
- 33 External noise and light intrusion to bedrooms should be minimised by separating or shielding these rooms from:
- (a) active communal recreation areas, parking areas and vehicle access ways
 - (b) service equipment areas on the same or adjacent sites.

Car Parking and Access

- 34 Driveway crossovers should be single width and appropriately separated, and the number should be minimised to optimise the provision of on-street visitor parking.
- 35 On-site parking should be provided having regard to:
- (a) the number, nature and size of proposed dwellings
 - (b) proximity to centre facilities, public and community transport within walking distance of the dwellings
 - (c) the anticipated mobility and transport needs of the likely occupants, particularly groups such as aged persons
 - (d) availability of on-street car parking
 - (e) any loss of on-street parking arising from the development (eg an increase in number of driveway crossovers).
- 36 Parking areas servicing more than one dwelling should be of a size and location to:
- (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely

- (b) provide adequate space for vehicles to manoeuvre between the street and the parking area
 - (c) reinforce or contribute to attractive streetscapes.
- 37 On-site visitor parking spaces for group and multiple dwellings and residential flat buildings should be sited and designed to:
- (a) serve users efficiently and safely
 - (b) not dominate internal site layout
 - (c) be clearly defined as visitor spaces not specifically associated with any particular dwelling
 - (d) ensure they are not sited behind locked garages and are accessible to visitors at all times.
- 38 Driveways on arterial roads that serve more than one dwelling should be designed to cater for the simultaneous two-way movements of the largest vehicles expected to enter and exit the site.
- 39 On-site parking and manoeuvring areas servicing development abutting arterial roads should be designed to enable all vehicles to enter and exit the site in a forward direction.
- 40 Driveway widths should not exceed 30 per cent of the frontage of the allotment (excluding 'bottleaxe' allotments).
- 41 Dwellings (except supported accommodation) should provide for at least 2 car parking spaces, one of which is covered.

Undercroft Garaging of Vehicles

- 42 Undercroft garaging of vehicles should occur only where:
- (a) the overall height and bulk of the development does not adversely impact on streetscape character or the amenity of adjacent properties
 - (b) vehicles can safely exit from the site without compromising pedestrian safety or causing conflict with other vehicles
 - (c) driveway gradients provide for safe and functional entry and exit
 - (d) driveways and adjacent walls, fencing and landscaping are designed to provide adequate sightlines from vehicles to pedestrians using the adjacent footpath
 - (e) openings into undercroft garage areas are designed to integrate with the main building so as to minimise visual impact
 - (f) landscaping, mounding and/or fencing is incorporated to improve its presentation to the street and to adjacent properties
 - (g) the overall streetscape character of the locality is not adversely impaired (eg visual impact, building bulk, front setbacks relative to adjacent development).
- 43 Semi-basement or undercroft car parking should be suitably integrated with building form.
- 44 In the case of semi-basement car parks where cars are visible, adequate screening and landscaping should be provided.

Dependent Accommodation

- 45 Dependent accommodation (ie accommodation for dependent persons where the living unit is connected to the same services of the main dwelling) should be developed on the same allotment as the existing dwelling only where:
- (a) the site is of adequate size and configuration
 - (b) the accommodation has a small floor area relative to the associated main dwelling
 - (c) adequate outdoor space is provided for the use of all occupants
 - (d) adequate on-site car parking is provided
 - (e) the building is designed to, and comprises colours and materials that will, complement the original dwelling
 - (f) the building is attached to the associated main dwelling.

Swimming Pools and Outdoor Spas

- 46 Swimming pools, outdoor spas and associated ancillary equipment and structures should be sited so as to protect the privacy and amenity of adjoining residential land.

Short-Term Workers Accommodation

OBJECTIVES

- 1 A range of appropriately located accommodation types supplied to meet the housing needs of seasonal and short-term workers.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Accommodation intended to be occupied on a temporary basis by persons engaged in employment relating to the production or processing of primary produce including minerals should be located within existing townships or within primary production areas, where it directly supports and is ancillary to legitimate primary production activities or related industries.
- 2 Buildings used for short-term workers accommodation should:
 - (a) be designed and constructed to enhance their appearance
 - (b) provide for the addition of a carport, verandas or pergolas as an integral part of the building
 - (c) where located outside of townships, not jeopardise the continuation of primary production on adjoining land or elsewhere in the zone
 - (d) be supplied with service infrastructure such as power, water, and effluent disposal sufficient to satisfy the living requirements of workers.
- 3 Short-term workers accommodation should not be adapted or used for permanent occupancy.
- 4 A common amenities building should be provided for temporary forms of short-term accommodation such as caravan and camping sites.

Siting and Visibility

OBJECTIVES

- 1 Protection of scenically attractive areas, particularly natural, rural and coastal landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to minimise its visual impact on:
 - (a) the natural, rural or heritage character of the area
 - (b) areas of high visual or scenic value, particularly rural and coastal areas
 - (c) views from the coast, near-shore waters, public reserves, tourist routes and walking trails
 - (d) the amenity of public beaches.
- 2 Buildings should be sited in unobtrusive locations and, in particular, should:
 - (a) be grouped together
 - (b) where possible be located in such a way as to be screened by existing vegetation when viewed from public roads.
- 3 Buildings outside of urban areas and in undulating landscapes should be sited in unobtrusive locations and in particular should be:
 - (a) sited below the ridgeline
 - (b) sited within valleys or behind spurs
 - (c) sited in such a way as to not be visible against the skyline when viewed from public roads
 - (d) set well back from public roads, particularly when the allotment is on the high side of the road.
- 4 Buildings and structures should be designed to minimise their visual impact in the landscape, in particular:
 - (a) the profile of buildings should be low and the rooflines should complement the natural form of the land
 - (b) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land
 - (c) large eaves, verandas and pergolas should be incorporated into designs so as to create shadowed areas that reduce the bulky appearance of buildings.
- 5 The nature of external surface materials of buildings should not detract from the visual character and amenity of the landscape.
- 6 The number of buildings and structures on land outside of urban areas should be limited to that necessary for the efficient management of the land..

- 7 Driveways and access tracks should be designed and constructed to blend sympathetically with the landscape and to minimise interference with natural vegetation and landforms.
- 8 Development should be screened through the establishment of landscaping using locally indigenous plant species:
 - (a) around buildings and earthworks to provide a visual screen as well as shade in summer, and protection from prevailing winds
 - (b) along allotment boundaries to provide permanent screening of buildings and structures when viewed from adjoining properties and public roads
 - (c) along the verges of new roads and access tracks to provide screening and minimise erosion.

Sloping Land

OBJECTIVES

- 1 Development on sloping land designed to minimise environmental and visual impacts and protect soil stability and water quality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development and associated driveways and access tracks should be sited and designed to integrate with the natural topography of the land and minimise the need for earthworks.
- 2 Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that:
 - (a) minimises their visual impact
 - (b) reduces the bulk of the buildings and structures
 - (c) minimises the extent of excavation and fill
 - (d) minimises the need for, and the height of, retaining walls
 - (e) does not cause or contribute to instability of any embankment or cutting
 - (f) avoids the silting of watercourses
 - (g) protects development and its surrounds from erosion caused by water run-off.
- 3 Driveways and access tracks across sloping land should be accessible and have a safe, all-weather trafficable surface.
- 4 Development sites should not be at risk of landslip.
- 5 Development on steep land should include site drainage systems to minimise erosion and avoid adverse impacts on slope stability.
- 6 Steep sloping sites in unsewered areas should not be developed unless the physical characteristics of the allotments enable the proper siting and operation of an effluent drainage field suitable for the development intended.
- 7 The excavation and/or filling of land outside townships and urban areas should:
 - (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation
 - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment
 - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion
 - (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.

Supported Accommodation

OBJECTIVES

- 1 Provision of well designed supported accommodation for community groups with special needs.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Supported accommodation (including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses) should be:
 - (a) located within walking distance of essential facilities such as convenience shops, health and community services and public and community transport
 - (b) located where on-site movement of residents is not unduly restricted by the slope of the land
 - (c) sited and designed to promote interaction with other sections of the community, without compromising privacy
 - (d) of a scale and appearance that reflects the residential style and character of the locality
 - (e) provided with public and private open space and landscaping to meet the needs of residents.
- 2 Supported accommodation should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:
 - (a) ground-level access or lifted access to all units
 - (b) internal communal areas and private spaces
 - (c) an interesting and attractive outlook from units and communal areas for all residents, including those in wheelchairs
 - (d) useable recreation areas for residents and visitors, including visiting children
 - (e) adequate living space allowing for the use of wheelchairs with an attendant
 - (f) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry
 - (g) storage areas for items such as boats, trailers and caravans
 - (h) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles
 - (i) mail boxes and waste disposal areas within easy walking distance of all units.
- 3 Access roads within supported accommodation developments should:
 - (a) not have steep gradients
 - (b) provide convenient access for emergency vehicles, visitors and residents
 - (c) provide space for manoeuvring cars and community buses

- (d) include kerb ramps at pedestrian crossing points
 - (e) have level-surface passenger loading areas.
- 4 Car parking associated with supported accommodation should:
- (a) be conveniently located on site within easy walking distance of resident units
 - (b) be adequate for residents, staff, service providers and visitors
 - (c) include private parking spaces for independent living units
 - (d) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles
 - (e) include covered and secure parking for residents' vehicles
 - (f) have slip-resistant surfaces with gradients not steeper than 1 in 40
 - (g) allow ease of vehicle manoeuvrability
 - (h) be designed to allow the full opening of all vehicle doors
 - (i) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise
 - (j) be appropriately lit to enable safe and easy movement to and from vehicles.

Telecommunications Facilities

OBJECTIVES

- 1 Telecommunications facilities provided to meet the needs of the community.
- 2 Telecommunications facilities sited and designed to minimise visual impact on the amenity of the local environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Telecommunications facilities should:
 - (a) be located to meet the communication needs of the community
 - (b) use materials and finishes that minimise visual impact
 - (c) have antennae located as close as practical to the support structure
 - (d) be located primarily in industrial, commercial, business, office, centre and rural zones
 - (e) where technically feasible, be co-located with other telecommunications facilities
 - (f) incorporate landscaping to screen the development, particularly equipment shelters and huts
 - (g) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points and significant vistas.
- 2 Telecommunications facilities in areas of high visitation and community use should use innovative design techniques (eg sculpture and other artworks) where possible and where the resulting design would positively contribute to the character of the area.
- 3 Telecommunications facilities should be located in residential zones only if sited and designed to minimise visual impact by:
 - (a) using existing buildings and vegetation for screening
 - (b) where possible, incorporating the facility within an existing structures that may serve another purpose maintaining that structure's character
 - (c) taking into account the size, scale, context and characteristics of existing structures, landforms and vegetation so as to complement the local environment.
- 4 Telecommunications facilities should not have a direct or significant effect on the amenity, character and settings of **Historic Conservation Areas**, local heritage places, State heritage places or State Heritage Areas.

Tourism Development

OBJECTIVES

- 1 Environmentally sustainable and innovative tourism development.
- 2 Tourism development that assists in the conservation, interpretation and public appreciation of significant natural and cultural features including State or local heritage places.
- 3 Tourism development that sustains or enhances the local character, visual amenity and appeal of the area.
- 4 Tourism development that protects areas of exceptional natural value, allows for appropriate levels of visitation, and demonstrates a high quality environmental analysis and design response which enhances environmental values.
- 5 Tourism development in rural areas that does not adversely affect the use of agricultural land for primary production.
- 6 Tourism development that contributes to local communities by adding vitality to neighbouring townships, regions and settlements.
- 7 Increased opportunities for visitors to stay overnight.
- 8 Ensure new development, together with associated bushfire management minimise the threat and impact of bushfires on life and property while protecting the environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Tourism development should have a functional or locational link with its natural, cultural or historical setting.
- 2 Tourism development and any associated activities should not damage or degrade any significant natural and cultural features.
- 3 Tourism development should ensure that its scale, form and location will not overwhelm, over commercialise or detract from the intrinsic natural values of the land on which it is sited or the character of its locality.
- 4 Tourism development should, where appropriate, add to the range of services and accommodation types available in an area.
- 5 Any upgrading of infrastructure to serve tourism development should be consistent with the landscape and the intrinsic natural values of the land and the basis of its appeal.
- 6 Car parking should be designed in clusters instead of large expanses.

Tourism Development in Association with Dwelling(s)

- 7 Tourist facilities developed on the site of a dwelling should not detrimentally affect residential amenity.
- 8 Car parking for tourist accommodation associated with a dwelling should be provided at the rate of one space for each guest room or suite of rooms, and ensure that:
 - (a) parking areas are attractively developed and landscaped, or screen fenced, and do not dominate the street frontage

- (b) the bedrooms of residential neighbours are suitably shielded from noise and headlight glare associated with guest vehicle movements
- (c) a domestic character is retained through the scale and appearance of landscaping and paving materials that provide a suitable all-weather surface.

Tourism Development Outside Townships and Settlements

- 9 Tourist developments located within areas of high conservation value, high indigenous cultural value, high landscape quality or significant scenic beauty should demonstrate excellence in design to minimise potential impacts or intrusion.
- 10 Tourism developments in rural areas should be sited and designed to minimise adverse impacts on either of the following:
- (a) the surrounding agricultural production or processing activities
 - (b) the natural, cultural or historical setting of the area.
- 11 Buildings and structures to accommodate tourists and associated activities should:
- (a) not exceed a building height of 6.5 metres (from natural ground level)
 - (b) have a minimum setback of 100 metres from any of the following:
 - (i) public roads or be no closer to a public road than existing buildings on the subject land, whichever is the lesser
 - (ii) adjoining allotment boundaries
 - (iii) the high water mark
 - (iv) cliff facesunless it can be demonstrated that a lesser setback would achieve one or more of the following:
 - (v) will achieve a superior outcome in respect to the requirements of the relevant zone, policy area or precinct than if the minimum setback was applied
 - (vi) would assist in avoiding areas of high value remnant native vegetation
 - (vii) would provide a comparatively safer location in respect to exposure to bushfire hazard, including along access roadways
 - (viii) would not result in unacceptable exposure to coastal flood and erosion process or stormwater inundation.
- 12 Development providing accommodation for tourists should be designed to minimise the potential for buildings to be converted into or used as a dwelling(s) where:
- (a) if the development comprises multiple tourist accommodation units – by ensuring that facilities, access driveways, parking areas, amenities and the like are shared
 - (b) if the development involves a single accommodation unit on a site or allotment in the **Coastal Conservation Zone, Conservation Zone or Water Protection Zone**, one or more of the following characteristics is evident:
 - (i) the structure provides basic shelter and limited internal space (eg cabin, hikers-hut)

- (ii) one or more of the functional areas typically found in a dwelling (eg, laundry, kitchen) is absent
 - (iii) the structure is of a temporary or semi-permanent nature.
- 13 Development comprising multiple tourist accommodation units (including any facilities and activities for use by guests and visitors, including conference facilities) should:
 - (a) ensure buildings and structures are clustered on the same allotment
 - (b) for larger scale developments (ie those proposing or resulting in more than 25 accommodation units), have direct or convenient access to a sealed public road.
- 14 Tourism developments in rural areas:
 - (a) should primarily be developed in association with one or more of the following:
 - (i) agricultural, horticultural, viticultural or winery development
 - (ii) heritage places and areas
 - (iii) public open space and reserves
 - (iv) walking and cycling trails
 - (v) interpretive infrastructure and signs
 - (vi) rural industries that primarily use ingredients sourced primary from the Island's farms and coastal waters
 - (b) may involve the provision of facilities and accommodation associated with outdoor adventure, recreation and leisure activities.
- 15 Where appropriate, tourism developments in areas outside townships and settlements should:
 - (a) adapt and upgrade existing buildings of heritage value
 - (b) seek to improve conditions in disturbed or degraded areas on the site.
- 16 Advertisements associated with tourism developments should:
 - (a) not exceed 0.5 square metres in area for each display
 - (b) be limited to no more than two per site
 - (c) be located on the same site as the tourist development
 - (d) not be internally illuminated.
- 17 Tourism development in rural areas should occur only where it:
 - (a) incorporates a separation distance or buffers to avoid conflict with existing rural industries or agriculture or otherwise is designed to overcome the potential impacts associated with the adjoining land use (such as noise, dust, spray drift, odour and traffic)
 - (b) will not give rise to demands for infrastructure and services, especially on public lands, that are inappropriate to the purpose of the zone and/or policy area.

- 18 Tourism development, particularly in remote areas should be designed to minimise energy and water demands and incorporate alternative, sustainable technologies that use renewable energy sources and/or treat and reuse stormwater and wastewater to minimise reliance on mains services.
- 19 Natural features, signs and walkways should be used to manage and minimise potential risks of visitors damaging areas of cultural or natural significance, fragile areas, and areas of highest environmental value.
- 20 The visual and ambient impact of vehicles should be minimised by placing roadways and parking areas in unobtrusive locations.

Transportation and Access

OBJECTIVES

- 1 A comprehensive, integrated, affordable and efficient air, rail, sea, road, cycle and pedestrian transport system that will:
 - (a) provide equitable access to a range of public and private transport services for all people
 - (b) ensure a high level of safety
 - (c) effectively support the economic development of the State
 - (d) have minimal negative environmental and social impacts
 - (e) maintain options for the introduction of suitable new transport technologies.
- 2 Development that:
 - (a) provides safe and efficient movement for all motorised and non-motorised transport modes
 - (b) ensures access for vehicles including emergency services, public infrastructure maintenance and commercial vehicles
 - (c) provides off street parking
 - (d) is appropriately located so that it supports and makes best use of existing transport facilities and networks.
- 3 A road hierarchy that promotes safe and efficient transportation in an integrated manner throughout the State.
- 4 Provision of safe, pleasant, accessible, integrated and permeable pedestrian and cycling networks.
- 5 Safe and convenient freight movement throughout the State.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Land uses arranged to support the efficient provision of sustainable transport networks and encourage their use.

Movement Systems

- 2 Development should be integrated with existing transport networks, particularly road corridors, as shown on *Overlay Maps - Transport*, and designed to minimise its potential impact on the functional performance of the transport networks.
- 3 Transport corridors should be sited and designed so as to not unreasonably interfere with the health and amenity of adjacent sensitive land uses.
- 4 Roads should be sited and designed to blend with the landscape and be in sympathy with the terrain.

- 5 Land uses that generate large numbers of visitors such as shopping centres and areas, places of employment, schools, hospitals and medium to high density residential uses should be located so that they can be serviced by existing transport networks and encourage active transport modes.
- 6 Development generating high levels of traffic, such as schools, shopping centres and areas, entertainment and sporting facilities, should incorporate passenger pick-up and set down areas. The design of such areas should ensure interference to existing traffic is minimised and give priority to pedestrians, cyclists and public and community transport users.
- 7 The location and design of public and community transport set-down and pick-up points should maximise safety and minimise the isolation and vulnerability of users.
- 8 Development should provide safe and convenient access for all anticipated modes of transport including cycling, walking, public and community transport, and motor vehicles.
- 9 Development at intersections, pedestrian and cycle crossings, and crossovers to allotments should maintain or enhance sightlines for motorists, cyclists and pedestrians to ensure safety for all road users and pedestrians.
- 10 Driveway cross-overs affecting pedestrian footpaths should maintain the level of the footpath.
- 11 Development should discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive land uses such as schools.
- 12 Industrial/commercial vehicle movements should be separated from passenger vehicle car-parking areas.
- 13 Development should make sufficient provision on site for the loading, unloading and turning of all traffic likely to be generated.

Cycling and Walking

- 14 Development should ensure that a permeable street and path network is established that encourages walking and cycling through the provision of safe, convenient and attractive routes with connections to adjoining streets, paths, open spaces, schools, public transport stops and activity centres.
- 15 Development should provide access, and accommodate multiple route options, for cyclists by enhancing and integrating with:
 - (a) open space networks
 - (b) recreational trails
 - (c) parks
 - (d) reserves
 - (e) recreation areas.
- 16 Cycling and pedestrian networks should be designed to be permeable and facilitate direct and efficient passage to neighbouring networks and facilities.
- 17 New developments should give priority to and not compromise existing designated bicycle routes. Where development coincides with, intersects or divides a proposed bicycle route or corridor, development should incorporate through-access for cyclists.
- 18 Developments should encourage and facilitate cycling as a mode of transport by incorporating end-of-journey facilities including:
 - (a) showers, changing facilities, and secure lockers

- (b) signage indicating the location of bicycle facilities.
- 19 Pedestrian facilities and networks should be designed and provided in Accordance with relevant provisions of the *Australian Standards and Austroads Guide to Traffic Engineering Practice Part 13*.
- 20 Cycling facilities and networks should be designed and provided in accordance with the relevant provisions of the *Australian Standards and Austroads Guide to Traffic Engineering Practice Part 14*.

Access

- 21 Development should have direct access from an all weather public road.
- 22 Development should be provided with safe and convenient access which:
 - (a) avoids unreasonable interference with the flow of traffic on adjoining roads
 - (b) accommodates the type and volume of traffic likely to be generated by the development or land use
 - (c) is sited and designed to minimise any adverse impacts on the occupants of and visitors to neighbouring properties.
- 23 Development should not restrict access to publicly owned land.
- 24 The number of vehicle access points onto arterial roads as shown on *Overlay Maps - Transport* should be minimised, and where possible access points should be:
 - (a) limited to local roads
 - (b) shared between developments.
- 25 The number of access points for cyclists and pedestrians onto all adjoining roads should be maximised.
- 26 Development with access from arterial roads or roads as shown on *Overlay Maps - Transport* should be sited to avoid the need for vehicles to reverse on to the road.
- 27 Driveways, access tracks and parking areas should be designed and constructed to:
 - (a) follow the natural contours of the land
 - (b) minimise excavation and/or fill
 - (c) minimise the potential for erosion from run-off
 - (d) avoid the removal of existing vegetation
 - (e) be consistent with *Australian Standard AS 2890 Parking facilities*.

Access for People with Disabilities

- 28 Development should be sited and designed to provide convenient access for people with a disability.
- 29 Where appropriate and practical, development should provide for safe and convenient access to the coast and beaches for disabled persons.

Vehicle Parking

- 30 Development should provide off-street vehicle parking and specifically marked disabled car parking places to meet anticipated demand in accordance with [Table KI/2 - Off Street Vehicle Parking Requirements](#).

- 31 Development should be consistent with *Australian Standard AS 2890 Parking facilities*.
- 32 Vehicle parking areas should be sited and designed in a manner that will:
- (a) facilitate safe and convenient pedestrian linkages to the development and areas of significant activity or interest in the vicinity of the development
 - (b) include safe pedestrian and bicycle linkages that complement the overall pedestrian and cycling network
 - (c) not inhibit safe and convenient traffic circulation
 - (d) result in minimal conflict between customer and service vehicles
 - (e) avoid the necessity to use public roads when moving from one part of a parking area to another
 - (f) minimise the number of vehicle access points to public roads
 - (g) avoid the necessity for backing onto public roads
 - (h) where reasonably possible, provide the opportunity for shared use of car parking and integration of car parking areas with adjoining development to reduce the total extent of vehicle parking areas and the requirement for access points
 - (i) not dominate the character and appearance of a centre when viewed from public roads and spaces
 - (j) provide landscaping that will shade and enhance the appearance of the vehicle parking areas.
- 33 Vehicle parking areas should be designed to reduce opportunities for crime by:
- (a) maximising the potential for passive surveillance by ensuring they can be overlooked from nearby buildings and roads
 - (b) incorporating walls and landscaping that do not obscure vehicles or provide potential hiding places
 - (c) being appropriately lit
 - (d) having clearly visible walkways.
- 34 Where parking areas are not obviously visible or navigated, signs indicating the location and availability of vehicle parking spaces associated with businesses should be displayed at locations readily visible to customers.
- 35 Parking areas that are likely to be used during non daylight hours should provide floodlit entrance and exit points and site lighting directed and shaded in a manner that will not cause nuisance to adjacent properties or users of the car park.
- 36 Parking areas should be sealed or paved in order to minimise dust and mud nuisance.
- 37 Stormwater from parking areas should be collected for reuse, with overflow discharged to the Council stormwater system.
- 38 Parking areas should be line-marked to indicate parking bays, movement aisles and direction of traffic flow.

Waste

OBJECTIVES

- 1 Development that, in order of priority, avoids the production of waste, minimises the production of waste, reuses waste, recycles waste for reuse, treats waste and disposes of waste in an environmentally sound manner.
- 2 Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including, soil, plant and animal biodiversity, human health and the amenity of the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:
 - (a) avoiding the production of waste
 - (b) minimising waste production
 - (c) reusing waste
 - (d) recycling waste
 - (e) recovering part of the waste for re-use
 - (f) treating waste to reduce the potentially degrading impacts
 - (g) disposing of waste in an environmentally sound manner.
- 2 The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.
- 3 Development should avoid or minimise as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).
- 4 Untreated waste should not be discharged to the environment, and in particular to any water body.
- 5 Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.
- 6 Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:
 - (a) screened and separated from adjoining areas
 - (b) located to avoid impacting on adjoining sensitive environments or land uses
 - (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system
 - (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water

- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

Wastewater

- 7 The disposal of wastewater to land should only occur where methods of wastewater reduction and reuse are unable to remove the need for its disposal, and where its application to the land is environmentally sustainable.
- 8 Wastewater storage lagoons should not be sited in any of the following areas:
 - (a) within land subject to a 1 in 100 year average return interval flood event
 - (b) within 50 metres of the top of the bank of a watercourse
 - (c) within 500 metres of the coastal high water mark
 - (d) where the base of the lagoon would be below any seasonal water table.
- 9 Wastewater storage lagoons should be avoided within a water protection area within the meaning of Part 8 of the *Environment Protection Act 1993*.
- 10 Wastewater storage lagoons should be sufficiently separated from adjacent land uses that may be sensitive to adverse odours.
- 11 Wastewater storage lagoons should be designed and constructed in accordance with the current *Environment Protection (Water Quality) Policy*.

Waste Treatment Systems

- 12 Development that produces any effluent should be connected to an approved waste treatment system which may include sewage, community wastewater management systems, or on-site wastewater treatment and disposal methods.
- 13 The methods for, and siting of, effluent and waste storage, treatment and disposal systems should minimise the potential for environmental harm and adverse impacts on:
 - (a) the quality of surface and groundwater resources
 - (b) public health
 - (c) the amenity of a locality
 - (d) sensitive land uses.
- 14 Waste treatment should only occur where the capacity of the treatment facility is sufficient to accommodate likely maximum daily demands including a contingency for unexpected high flows and breakdowns.
- 15 Any domestic waste treatment system or effluent drainage field should be located within the allotment of the development that it will service.
- 16 A dedicated on-site effluent disposal area should not include any areas to be used for, or could be reasonably foreseen to be used for, private outdoor open space, driveways, car parking or outbuildings.

- 17 The spreading or discharging of treated liquid or solid waste onto the ground should only occur where the disposal area consists of soil and vegetation that has the capacity to store and use the waste without contaminating soil or surface or ground water resources or damaging crops.
- 18 Stock slaughter works, poultry processors, saleyards, piggeries, cattle feedlots, milking sheds, milk processing works, fish processing works, wineries, distilleries, tanneries and fellmongeries, composting works and concrete batching works should have a wastewater management system that is designed so as not to discharge wastes generated by the premises:
 - (a) into any waters
 - (b) onto land in a place where it is reasonably likely to enter any waters by processes such as:
 - (i) seepage
 - (ii) infiltration
 - (iii) carriage by wind, rain, sea spray, or stormwater
 - (iv) the rising of the watertable.
- 19 Winery waste management systems should be designed to ensure:
 - (a) surface runoff does not occur from the wastewater irrigation area at any time
 - (b) wastewater is not irrigated onto waterlogged areas, land within 50 metres of a creek, or swamp or domestic or stock water bore, or land subject to flooding, steeply sloping land, or rocky or highly permeable soil overlaying an unconfined aquifer
 - (c) wastewater is not irrigated over an area which is within 50 metres of any residence on neighbouring land or 10 metres of any type of publicly owned land
 - (d) wastewater is released using low trajectory low pressure sprinklers, drip irrigators or agricultural pipe, and is not sprayed more than 1.5 metres into the air or in fine droplets if there is a potential for the spread of diseases from the wastewater
 - (e) stormwater run-off from areas which are contaminated with grape or grape products is drained to winery waste management systems during vintage periods
 - (f) stormwater from roofs and clean hard paved surfaces is diverted away from winery waste management systems and disposed of in an environmentally sound manner or used for productive purposes.

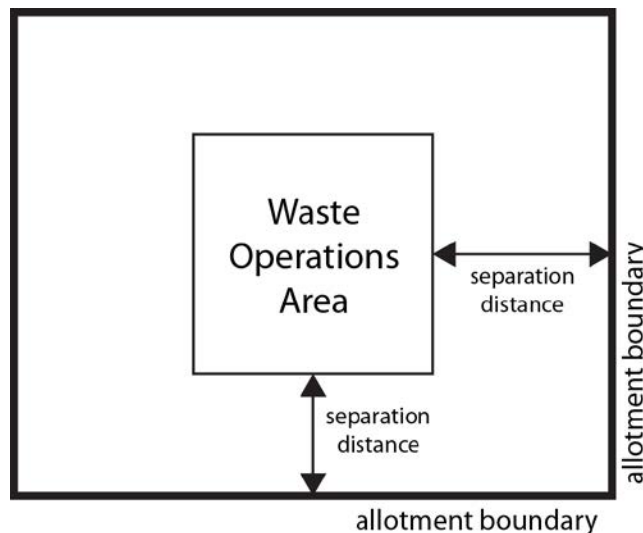
Waste Management Facilities

OBJECTIVES

- 1 The orderly and economic development of waste management facilities in appropriate locations.
- 2 Minimisation of human and environmental health impacts from the location and operation of waste management facilities.
- 3 Protection of waste management facilities from incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Waste management facilities should be located and designed to minimise adverse impacts on both the site and surrounding areas from the generation of surface water and groundwater pollution, traffic, noise, odours, dust, vermin, weeds, litter, gas and visual impact.
- 2 Waste management facilities in the form of land fill and organic processing facilities should not be located in existing or future township, living, residential, centre, office, business, institutional or environmental protection, conservation, landscape, water protection and open space areas.
- 3 Waste management facilities should not be located where access to the facility requires, or is likely to involve, the use of non-arterial roads in adjacent residential areas.
- 4 Waste management facilities should be appropriately separated from sensitive land uses and environmentally-sensitive areas. The separation distance between the waste operations area and sensitive uses should be incorporated within the development site as illustrated in the figure below. The waste operations area includes all closed, operating and future cells.



- 5 Only land uses and activities that are compatible with both a waste management facility and any adjacent land uses may be located within the separation distance.
- 6 Separation and/or noise attenuation should be used to ensure noise generation associated with the waste management operation does not unreasonably interfere with the amenity of sensitive land uses.
- 7 Sufficient area should be provided within the waste operations area for the:
 - (a) maximum expected volume of material on the site at any one time

- (b) containment of potential groundwater and surface water contaminants
 - (c) diversion of clean stormwater away from the waste and potentially-contaminated areas.
- 8 Landscaping should be provided to screen views of the processing facilities and operational areas.
- 9 Waste management sites should be accessed by appropriately constructed and maintained roads.
- 10 Traffic circulation movements within any waste management site should:
- (a) be of a dimension and constructed to support all vehicles transporting waste
 - (b) enable all vehicles to enter and exit the site in a forward direction.
- 11 Suitable access for emergency vehicles should be provided to and within waste management site.
- 12 Chain wire mesh or pre-coated painted metal fencing to a minimum height of 2 metres should be erected on the perimeter of a waste management facility site to prevent access other than at entry points.
- 13 Plant, equipment or activities that could cause a potential hazard to the public should be enclosed by a security fence.
- 14 Litter control measures that minimise the incidence of wind blown litter should be provided.
- 15 The waste operations area of a landfill or organic waste processing facility should be sited:
- (a) at least 3 kilometres from an airport used by commercial aircraft to minimise the risk of bird strikes to aircraft
 - (b) at least 1.5 kilometres from an airport used by piston aircraft
 - (c) at least 500 metres from:
 - (i) the boundaries of the allotment
 - (ii) the nearest dwelling, shop, office, public institution or other building designed primarily for human occupation in the case of an organic waste processing facility for the composting of waste
 - (d) at least 250 metres from a public open space reserve, forest reserve, national park, conservation zone or policy area
 - (e) at least 100 metres from:
 - (i) the nearest surface water (whether permanent or intermittent)
 - (ii) a 1 in 100 year average return interval flood event area.
- 16 The waste operations area of a landfill should not be located on land:
- (a) that is subject to land slipping
 - (b) with ground slopes greater than 10 per cent, except where the site incorporates a disused quarry.
- 17 The waste operations area of an organic waste processing facility should not be located on land:
- (a) that is subject to land slipping
 - (b) with ground slopes greater than 6 per cent

- (c) where the interface of the engineered landfill liner and natural soils would be within any of the following:
 - (i) 15 metres of unconfined aquifers bearing groundwater with less than 3000 mg/L total dissolved salts
 - (ii) 5 metres of groundwater with a water quality of 3000 to 12 000 mg/L total dissolved salts
 - (iii) 2 metres of groundwater with a water quality of greater than 12 000 mg/L total dissolved salts.
- 18 Where required, a leachate barrier should be provided between the operational areas and underlying soil and groundwater.
- 19 Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should make sustainable use of landfill gas emissions. For smaller landfill activities, if the sustainable use of the landfill gas emissions is not practical or feasible, flaring should be used to avoid gases being vented directly to the air.

Zone Section

Airfield Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating aircraft operations, passenger terminals, airport and aviation-related light industrial, service industrial, warehouse and storage purposes.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone accommodates the Kingscote Aerodrome, which is essential in serving the transport needs of the Island. To ensure the continued and improved operation of the airport, development within the zone will need to be compatible with the airport and not result in conflicts between land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - air passenger or air freight terminal
 - aircraft related facilities
 - airport
 - fuel depot
 - light industry ancillary to and in association with aviation activities
 - recreation area
 - service industry ancillary to and in association with aviation activities
 - shop within the terminal building
 - warehouse ancillary to and in association with aviation activities.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Development that would be adversely affected by noise and other hazards caused by airport activities should not be undertaken in the zone.
- 4 Development should not impede the use of the zone for aviation purposes.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Commercial and light industrial development located on the airport site should:
 - (a) facilitate the more efficient operation of the airport
 - (b) be sited in defined clusters
 - (c) not adversely affect the amenity of surrounding land uses.

Land Division

7 Land should not be divided unless it facilitates the more efficient operation and use of the airport.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Community centre	
Consulting room	
Dwelling	
Educational establishment	Except where ancillary to and in association with aviation activities.
Hospital	
Horticulture	
Hotel	
Intensive animal keeping	
Motel	
Nursing home	
Place of worship	
Pre-school	
Shop	Except where located within the terminal building.
Tourist accommodation	
Waste reception, storage, treatment or disposal	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Air passenger or air freight terminal Aircraft related facilities Airport Fuel depot in association with aviation activities Light industry ancillary to and in association with aviation activities. Recreation area Service industry ancillary to and in association with aviation activities. Shop within the terminal building Warehouse ancillary to and in association with aviation activities.	All forms of development not listed as Category 1

Business and Community Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a mix of small scale shops, offices, community, residential, recreational and health care facilities to serve the local community.
- 2 Development that is grouped together to service the requirements of the local community and the visiting public.
- 3 Development that is integrated in function and provides a coordinated base to promote efficient service delivery.
- 4 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 5 Residential development in conjunction with non-residential development.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will accommodate community, educational, recreational and health care facilities for the general public's benefit.

The zone will interlink with adjacent open space areas and Emu Bay township activities – and provide corridors for pedestrian and cycle connectivity linking surrounding urban and rural living areas.

Where development abuts open space it should reinforce and enhance the natural setting through the retention of existing native vegetation and planting of local indigenous native species. Development will be appropriately sited with respect to site constraints in proximity to the watercourse.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - advertisement
 - community centre
 - consulting room
 - dwelling associated with a non-residential development
 - educational establishment
 - emergency services facility
 - hall
 - health facility
 - hospital
 - library
 - office
 - place of worship
 - public administration office
 - recreation centre

- restaurant
 - shop with a gross leasable area of 250 square metres or less
 - theatre.
- 2 Development listed as non-complying is generally inappropriate.
 - 3 Development should be grouped together and limited in scale and function to service the local community and the visiting public.
 - 4 Residential development should only be undertaken if it would not inhibit or prejudice the operation of existing or future non-residential activity within the zone.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Built-form should be:
 - (a) set well back from public roads
 - (b) clustered, where practicable, to ensure that the majority of any site remains open in appearance
 - (c) designed and constructed of materials and colours which will complement the natural setting
 - (d) screened or softened in appearance by landscaping including the planting of perimeter landscape buffer areas around buildings and car parks.
- 7 Dwellings should be located only behind or above non-residential uses on the same allotment.
- 8 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 9 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Dwelling	Except where it is associated with a non-residential development.

Form of development	Exceptions
Fuel depot	
Horticulture	
Industry	
Intensive animal keeping	
Major public service depot	
Motor repair station	
Petrol filling station	
Place of worship	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is 250 square metres or less.
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Coastal Conservation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 To enhance and conserve the natural features of the coast including visual amenity, landforms, fauna and flora.
- 2 Low-intensity recreational uses located where environmental impacts on the coast will be minimal.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone defines the coastal areas of high landscape or conservation value and incorporates policy to ensure the preservation of the coastal landscape resource.

Pelican Lagoon, Prospect Hill and Sapphire town Peninsula in particular, have been identified as having high conservation value and should be protected. In addition, the high scenic value of Chapman River and the surrounding area at Antechamber Bay should be protected for camping and recreational use.

However, the coastal environment plays an important role in Kangaroo Island's economy and the tourist attraction provided by the coastal environment, coastal scenery and abundant wildlife is expected to see growth in visitor numbers that will need to be appropriately managed and catered for. The provision of facilities, including tourist accommodation and recreational facilities, may be established in the zone provided they are sited and designed in a manner that is subservient to the natural and coastal environment and adverse impact on natural features, landscapes, habitats and cultural assets is minimised.

The preference is that tourism development, including any associated access driveways and ancillary structures, be located on cleared areas or areas where environmental improvements can be achieved. Development should be located away from fragile coastal environments and significant habitat or breeding grounds.

In order to reinforce the Island's scenic and landscape experiences, tourism development should maintain a strong visual impression of a sparsely developed or undeveloped coastline from public roads and land-based vantage points.

The design and siting of tourist accommodation should ensure emphasis is given to raising consciousness and appreciation of the natural, rural, coastal and cultural surroundings.

Upgrading of existing dwellings is encouraged in order to meet various criteria, including approved waste control and effluent disposal systems, the raising of living areas above the level of hazard risk for flooding and inundation or to reduce the level of hazard risk, and other environmental considerations.

It is envisaged that development is not undertaken on coastal dune systems, tidal wetlands, mangroves, sand dunes or other environmentally sensitive areas.

The desired character of the zone does not seek to encroach on the existing use rights of farmers.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection works
 - conservation works
 - interpretive signage and facilities
 - tourism/visitor facilities
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Buildings and structures should mainly be for essential purposes, such as shelters and toilet facilities associated with public recreation, navigation purposes or necessary minor public works.
- 4 Development involving the removal of shell grit or sand, other than for coastal protection works purposes, or the disposal of domestic and industrial waste should not be undertaken.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 7 Development should:
 - (a) not adversely impact on the ability to maintain the coastal frontage in a stable and natural condition
 - (b) minimise vehicle access points to the area that is the subject of the development
 - (c) be landscaped with locally indigenous plant species to enhance the amenity of the area and to screen buildings from public view
 - (d) utilise external low reflective materials and finishes that will minimise glare and blend in with the features of the landscape.
- 8 Buildings or structures should be unobtrusively located, limited to a height of 6.5 metres above natural ground level, and be of such size and design, including materials and colours, to harmonise and blend naturally with the landscape and natural features of the zone.
- 9 Where public access is necessary in sensitive locations, walkways and fencing should be provided to effectively control access.
- 10 Sheds, garages, outbuildings and farm buildings, should be erected only as ancillary uses to an existing dwelling or for the continued management of any existing farm.
- 11 Development should not prejudice the landscape quality and natural bushland of the zone.
- 12 Tourist accommodation should complement the natural landscape and be designed in a way that minimises impact on the natural environment.

Land Division

- 13 Land should not be divided except where:
 - (a) no additional allotments are created wholly or partly within the zone

- (b) there is no increase in the number of allotments with direct access to the coast or a reserve including by creation of land under rights of way or community titles.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 1 Reeves Point

- 14 Development undertaken in the precinct should only comprise those structures that contribute to the historic character of the area or are necessary for its public enjoyment.

Precinct 2 Vivonne Bay

- 15 New dwellings and the upgrade of existing dwellings should:
 - (a) not exceed one-storey in height other than where required to increase the elevation to minimise the potential for personal or property damage as a result of inundation
 - (b) not be located closer to the waterfront than any part of the existing dwelling
 - (c) be connected to an approved wastewater and effluent disposal system.

Landscape Protection Policy Area 1

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

An area containing outstanding landscape qualities, where particular care will be taken to ensure the scenic beauty and natural features of the coastal landscape are maintained.

Some parts of the policy area in association with various National Parks, Conservation Parks, Marine Park and Wilderness Protection Areas create a coastline that is relatively free from buildings and structures. Further development in such areas should reinforce this by ensuring new buildings and structures are appropriately separated from one another and avoid an over concentration of development in any one locality that would detract from the natural experiences.

Other than in respect to distant views, development comprising multiple units to accommodate tourists will be sited to avoid overlooking other similar developments so that visitor experiences of and investment in the natural assets of the Island can be positively maintained and secured.

PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Development should be compatible with conservation and enhancement of the coastal environment and scenic beauty of the policy area.
- 3 Development in the policy area should be primarily associated with existing farming activities or in the form of low-key tourism facilities and accommodation in appropriate locations.

Land Division

- 4 No additional allotments should be created in the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

No other forms of development are complying in the zone.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Except in association with conservation works or tourist information purposes.
Amusement machine centre	
Bus Depot	
Caravan Park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except where located within Precinct 2 Vivonne Bay or used for administering either or both of the following: (a) <i>National Parks and Wildlife Act 1972</i> (a) <i>Wilderness Protection Act 1992</i> .
Educational establishment	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	

Form of Development	Exceptions
Land division	Except where: <ul style="list-style-type: none"> (a) no additional allotments are created wholly or partly within the zone (b) it results in allotments of greater than 2 hectares (c) there is no increase in the number of allotments with frontage or direct access to the coast.
Marina	
Motor repair station	
Nursing home	
Office	Except where used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i> .
Petrol filling station	
Place of worship	
Pre-school	
Prescribed Mining Operations	
Public service depot	
Road transport terminal	
Service trade premises	
Shop	Except where ancillary to and in association with tourist accommodation and either of the following apply: <ul style="list-style-type: none"> (a) it is a restaurant (b) other than a restaurant, the gross leasable area does not exceed 50 square metres.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation within the Landscape Protection Policy Area 1.	Except where all of the following criteria are satisfied: <ul style="list-style-type: none"> (a) the building(s) are one storey and no more than 6.5 metres in height from natural ground level (b) the total number of accommodation units existing and proposed does not exceed 25.
Tourist accommodation within Precinct 1 Reeves Point.	
Warehouse	
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Coastal protection works	Shop
Conservation works	Tourism/visitor facilities i.e. picnic areas, public shelters and visitor information displays
Interpretive signage and facilities	Tourist accommodation setback a minimum of 100 metres from land within an adjoining allotment used for farming or horticulture

Coastal Open Space Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Coastal land protected from development other than that necessary for conservation, recreational activity and public facilities.
- 2 Preservation and upgrading of the scenic character of the coastal landscape and foreshore areas fronting urban areas, townships or settlements.
- 3 Development of foreshore areas for recreational use with essential conveniences and facilities for the public.
- 4 Land subject to inundation or susceptible to erosion kept free of development.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The primary role of this zone is to maintain the coastal areas in front of existing settlements as open space, protect the remnant coastal features, maintain appropriate coastal protection strategies, preserve public access to these areas and encourage uses that will enhance the communities' enjoyment of the coast.

It is envisaged that suitable sites for public recreation and allied uses will be established within appropriate accessible areas of the coast.

Development of these areas will be for public use and enjoyment and will develop with low scale buildings and structures which will complement the natural landscape of the locality.

The existing informal camping ground adjacent to the American River Town Centre will be retained to cater specifically for tent camping only. The provision or upgrading of toilet amenities and waste receptacles will provide a small level of service for campers and assist in keeping the area free from pollution; however further development or expansion of the area is not envisaged.

Opportunity exists for a small scale shop/kiosk to be located within the southern portion of the public reserve (Lot 100, TP 110802, Hamilton Drive) along the foreshore at Emu Bay.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are considered appropriate in the zone:
 - barbecue, picnic table, shelter
 - coastal protection works
 - community recreation facility directly related to water activities (such as sailing clubs, boat ramps)
 - jetty
 - play ground, play equipment
 - public car parking.

- 2 The provision of facilities should be related to the demand for such facilities so as to prevent oversupply and inappropriate siting.
- 3 Development should be for public purposes and use.
- 4 Development that does not require a coastal location should not be located in the zone.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should not diminish the ability of the public to use and enjoy the coast or to gain access to the foreshore.
- 7 Community facilities including shelters, boat ramps, public conveniences and kiosks, should be sited in convenient and accessible locations linked to the surrounding vehicular and pedestrian movement networks.
- 8 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 9 Buildings should not be erected in the zone unless for any of the following:
 - (a) toilet blocks or for other public health purposes
 - (b) shelter or to be used in association with an existing or proposed camping area
 - (c) mooring, servicing, handling, fuelling or launching of boats and other waterborne craft
 - (d) public or community recreation uses.
- 10 Development within the informal tent camping area adjacent the American River Town Centre should be of a minor nature only and not negatively impact on the natural environment or result in disturbance to sand dunes or clearance of vegetation.

Land Division

- 11 Land division should not be undertaken except where it will facilitate an appropriate use within the zone, no additional allotments are created and there is no increase in the number of allotments with frontage or direct access to the coast.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Bus depot	
Caravan park	
Cemetery	

Form of Development	Exceptions
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except a replacement detached dwelling on Crown Land.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Land division	Except where one of the following applies: (a) no additional allotments are created wholly or partly within the zone (b) to accommodate an existing dwelling on Crown Land.
Motel	
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area does not exceed 80 square metres.
Stadium	

Form of Development	Exceptions
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Coastal protection works	
Play ground, play equipment	
Shelter	

Coastal Settlement Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The protection of the natural coastal environment from inappropriate development.
- 2 Existing dwellings upgraded to enhance amenity and incorporating environmental improvements.
- 3 Land subject to inundation or susceptible to erosion kept free of development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Development within the zone is largely in the form of holiday shacks with some permanent living. The desired character is to retain the low scale and low maintenance beach nature of existing dwellings and overall built form.

Development in these areas will have regard to the attractive natural environment setting and to the existing low scale and density of development. Specific design elements include: orientation of buildings and structures, building heights, bulk and scale, low pitched roofs of non reflective texture, materials and colours selection and landscaping.

The zone contains several policy areas and precincts.

It is envisaged that future development undertaken in the precincts of Nepean Bay, D'Estrees Bay and Harriet River Estate will primarily be single detached dwellings and recreation facilities for holiday makers and permanent residents.

Development at Sapphoretown and Island Beach will consist of primarily detached dwellings for a mix of holiday makers and permanent residents and include the provision of small-scale facilities to service the local population.

Caravan parks and camping grounds may be suitable in certain parts of these precincts. Layout, facilities and appearance of such development will be of a high standard, compatible with adjoining uses and not liable to create pollution through unsatisfactory disposal of wastes. Extensive landscaping will incorporate locally occurring indigenous species to preserve and enhance the appearance of the locality.

Some of the land in the Nepean Bay Precinct is low lying and may be affected by coastal flooding. Development will need to be built to specific levels to meet the presently predicted flooding risk.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - barbecue, picnic table, shelter
 - camping ground
 - caravan park
 - coastal protection work

- community recreation facility directly related to water activities (such as boat ramps)
 - detached dwelling on an existing allotment
 - outbuilding associated with a dwelling
 - recreation facility including play ground, play equipment
 - tourist/visitor facilities (other than accommodation).
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
 - 3 Dwellings located along the coastline and existing at 12 December 1994 on Crown land, or land owned by the Crown or a Minister of the Crown should be upgraded to assist environmental improvements, including by the provision of approved waste control systems and effluent disposal, building setbacks and site coverage requirements, and reduction of the level of hazard risk.
 - 4 Not more than one dwelling should be erected on an allotment.
 - 5 Where there is an existing dwelling on an allotment, ancillary buildings should be limited to:
 - (a) one garage and one shed
 - (b) rainwater tank(s) and tank stand(s)
 - (c) open-sided garden structures, eg pergolas and gazebos.
 - 6 Outbuildings should only be constructed in association with an existing dwelling and should not exceed 54 square metres in total floor area.
 - 7 Rainwater tanks and associated stands should only be erected in association with an existing dwelling.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Development should:
 - (a) minimise vehicle access points to the area that is the subject of the development
 - (b) ensure access to the coast is sited to avoid adverse impact on the environment
 - (c) be landscaped with local indigenous species in order to enhance the amenity of the area and to screen buildings from public view
 - (d) be sited so that views to the coast are maintained where possible.
- 10 Additions or alterations to or replacement of an existing dwelling should:
 - (a) not exceed one-storey in height other than where required to increase the elevation to minimise the potential for personal or property damage as a result of inundation
 - (b) not be sited closer to the waterfront than any part of the existing dwelling
 - (c) be connected to an approved wastewater and effluent disposal system
 - (d) not impair the amenity of the locality through appropriate siting, design and use of building materials.
- 11 There should be no land-based disposal of sewage and sullage in the zone with all sewage and sullage being disposed through a sewerage scheme or into a septic tank connected to a Community Wastewater Management System.

- 12 The alteration of or addition to an existing dwelling that increases the total living area beyond 90 square metres should ensure the resulting floor level is sufficiently high to offer protection from probable sea level rise.
- 13 Maximum site coverage of all buildings (excluding driveways and car parking areas) should not exceed:
 - (a) 50 per cent for allotments of less than 800 square metres area
 - (b) 400 square metres floor area for allotments of 800 square metres or greater.
- 14 Buildings should be single storey limited to 6.5 metres in height from natural ground level.
- 15 The alteration of, addition to, or replacement of an existing lawfully erected dwelling should be set-back a minimum distance of one metre from any side property boundary.

Land Division

- 16 Land should not be divided unless the division is for the purpose of any of the following:
 - (a) creating an allotment to accommodate an existing dwelling
 - (b) creating a public road or a public reserve
 - (c) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 3 Nepean Bay

- 17 The minimum allotment size within a plan of division should be 1500 square metres.
- 18 Buildings and structures should not be established:
 - (a) on a site with a level of less than 2.5 metres Australian Height Datum
 - (b) where any floor level will be less than 2.75 metres Australian Height Datum.

Precinct 4 D'Estrees Bay

- 19 The minimum allotment size within a plan of division should be 10 hectares.
- 20 Buildings and structures should not be established:
 - (a) on a site with a level of less than 3.3 metres Australian Height Datum
 - (b) where any floor level will be less than 3.55 metres Australian Height Datum.

Precinct 5 Harriet River Estate

- 21 The minimum allotment size within a plan of division should be 1500 square metres.
- 22 Buildings and structures should not be established:
 - (a) on a site with a level of less than 3 metres Australian Height Datum
 - (b) where any floor level will be less than 3.25 metres Australian Height Datum.

Precinct 6 Island Beach

- 23 Development in Island Beach should not occur unless for detached dwellings or tourist accommodation.
- 24 Tourist accommodation should not occur unless:
 - (a) it accommodates no more than 12 tourist accommodation bed spaces
 - (b) the combined floor area of all buildings does not exceed 30 per cent of the area of the allotment.
- 25 Buildings and structures should not be established:
 - (a) on a site with a level of less than 2.5 metres Australian Height Datum
 - (b) where any floor level will be less than 2.75 metres Australian Height Datum.
- 26 Land division should not occur within the precinct.

Precinct 7 Sapphire town

- 27 Development in Sapphire town should not occur unless for detached dwellings or tourist accommodation.
- 28 Buildings and structures should not be established:
 - (a) on a site with a level of less than 2.5 metres Australian Height Datum
 - (b) where any floor level will be less than 2.75 metres Australian Height Datum.
- 29 Land division should not occur within the precinct.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road within an 80 km/h speed restriction or less (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Cemetery	
Commercial forestry	
Consulting room	
Crematorium	
Dairy	
Educational establishment	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	

Form of Development	Exceptions
Land division within Precinct 6 Island Beach and Precinct 7 Sapphire town .	Except for: <ul style="list-style-type: none"> (a) an adjustment of allotment boundaries where no additional allotments are created wholly or partly within the precincts (b) a division of land for the purposes of creating one or more of the following: <ul style="list-style-type: none"> (i) a road reserve (ii) a public reserve (c) an allotment to accommodate an existing dwelling lawfully erected before 12 September 1994 on Crown land, or land owned by the Crown or a Minister of the Crown.
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed Mining Operations	
Public service depot	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area does not exceed 80 square metres.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development are designated:

Category 1	Category 2
Farming	
Farm building	

Commercial Zone

Refer to the [Map Reference Table](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of commercial and business land uses.
- 2 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 3 Small-scale low-impact uses to provide a transition between development within the zone and adjacent zones.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will be developed with appropriate land uses to support the function of each township and the wider sustainable development of Kangaroo Island.

Development within the zone will be of an appropriate scale, use high quality and low reflective external materials with colour and siting to minimise visual impacts, and will enhance the amenity of the locality and views from public roads, particularly when viewed from the top of the hills overlooking Penneshaw, and on the approach into Kingscote and American River.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulky goods outlet
 - consulting room
 - light industry
 - motor vehicle related business other than wrecking yard
 - office
 - petrol filling station
 - service industry
 - service trade premises
 - shop
 - store
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Retail development in the zone should not hinder the development or function of any centre zone.
- 4 Shops, other than a bulky goods outlet, should have a gross leasable area less than 250 square metres.
- 5 Industry development should not occur on land abutting the Residential Zone, Deferred Urban Zone, Town Centre Zone or any Coastal Zone boundaries.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Buildings should not exceed a height of either:
 - (a) one storey or 6.5 metres in height, when sited less than 50 metres from a zone boundary
 - (b) two storeys or 8 metres in height, when sited greater than 50 metres from a zone boundary.
- 8 Development opposite “The Lane” road reserve within Penneshaw should be limited to service industry activities given the nature of neighbouring land uses in the locality.
- 9 Where commercial and industrial development occurs at the portion of Charing Cross Road located outside of Penneshaw, it should incorporate a 20 metre landscaped buffer adjacent the Kingscote to Penneshaw Road and Charing Cross Road.
- 10 Access points should be limited to Charing Cross Road.
- 11 Landscaping should have the following dimensions:
 - (a) occupying at least 10 per cent of the allotment
 - (b) at least 3 metres wide along boundaries with any road or road reserve
 - (c) at least 2 metres wide at the rear of the allotment where it abuts a public road or zone boundary.

Land Division

- 12 Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
 - (a) an area of not less than 1000 square metres
 - (b) an average width of at least 20 metres.
- 13 Land division creating any additional allotments within the Commercial Zone at Parndana, to the south west of Parndana (corner of Playford Highway and Rowland Hill Highway), to only be serviced by an internal road system accessed from Rowland Hill Highway.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Dairy	
Dwelling	
Educational establishment	

Form of Development	Exceptions
Farm building	
Farming	
Fuel depot	
Horticulture	
Hospital	
Industry	Except a light industry or service industry.
Intensive animal keeping	
Land division	Except for a land division where both of the following apply, where: <ul style="list-style-type: none"> (a) it is located within the Commercial Zone at Parndana to the south west of Parndana (corner of Playford Highway and Rowland Hill Highway) (b) all new allotments created are serviced by an internal road system accessed from Rowland Hill Highway.
Nursing home	
Place of worship	
Pre-school	
Prescribed mining operations	
Road transport terminal	
Shop or group of shops	Except where it achieves one of the following: <ul style="list-style-type: none"> (a) the gross leasable area does not exceed 250 square metres (b) the shop is a bulky goods outlet.
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment, or disposal	
Winery	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Bulky goods outlet	
Consulting room	
Light industry	
Motor vehicle related business other than a wrecking yard.	
Office	
Petrol filling station	
Service industry	
Service trade premises	
Shop with a gross leasable area that does not exceed 250 square metres.	
Store	
Warehouse	

Conservation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The conservation and enhancement of the natural environment and natural ecological processes for their historic, scientific, landscape, faunal habitat, biodiversity and cultural values.
- 2 Provision of opportunities for the public to experience and appreciate the significance of the native vegetation and original remnant natural habitat of the area through low-impact recreational activities and interpretive facilities.
- 3 Land division enabling security of tenure for existing lawfully erected dwellings on Crown land, or land owned by the Crown or a Minister of the Crown.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Conservation areas, including National, Conservation and Marine Parks and Wilderness Protection Areas, will continue to provide representative samples of the countryside and shoreline.

Facilities for the use of visitors including picnic areas, shelters, huts / bothies, camp sites, toilets, and similar public amenities as well as various forms of low-key, short stay tourist accommodation such as semi-permanent tents and lodges are anticipated provided they are appropriately sited and designed in a manner that is subservient to the natural and coastal environment and adverse impact on natural features, landscapes, habitats and cultural assets is minimised.

The siting of tourism development, including any associated access driveways and ancillary structures, on cleared or degraded areas is preferred. Development should be located away from fragile coastal environments and significant habitat or breeding grounds.

There is some land on Kangaroo Island where the flora and fauna have developed naturally and are still not noticeably affected by human intervention. These areas will be kept free of artificial improvements so that visitors may experience a completely natural environment. Such areas will remain as wilderness areas in order to preserve their special character.

There is a need to preserve the natural character of land bordering rivers and at river mouths.

Land division will not occur except to accommodate an existing, lawfully erected dwelling, or to realign boundaries and will be required to meet various criteria, including in relation to approved waste control systems and effluent disposal, direct access to a public road, land division requirements, public access to the waterfront, the creation of waterfront reserves for conservation purposes, and other environmental considerations.

Dwelling additions or replacement dwellings will be supported where they meet various criteria in order to assist environmental improvements, including the provision of approved waste control systems and effluent disposal, building set-backs and site coverage requirements, the raising of living areas above the level of hazard risk due to flooding or inundation or to reduce the level of hazard risk, and other environmental considerations.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - directional, identification and/or interpretative advertisements and/or advertising hoardings for conservation management and tourist information purposes
 - facilities associated with the interpretation and appreciation of natural and cultural heritage such as public amenities, camping grounds, remote shelters, huts / bothies
 - scientific monitoring structures or facilities
 - structures for conservation management purposes
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 Development should be undertaken in a manner which minimises the effect on natural landscape features, flora and fauna and their habitat corridors, land adjoining water, scenic routes or scenically attractive areas.
- 5 Development should use the following measures to avoid impacting detrimentally on the natural environment, processes and/or conservation qualities of land in the zone:
 - (a) minimising the extent of earthworks
 - (b) minimising the extent of vehicle access servicing that development
 - (c) minimising the extent of local indigenous vegetation removal
 - (d) being sited in an unobtrusive manner preferably below hilltops or prominent ridgelines
 - (e) screening the visual impact by planting locally indigenous species having due regard to bushfire risk
 - (f) utilising external low reflective materials and finishes that will minimise glare and blend in with the features of the landscape.
- 6 Where public access is necessary in the zone, the construction of recreational trails and appropriate fencing such as post and wire should be provided to control the movement of the public whilst minimising the impact on biodiversity.
- 7 Signage should only be installed where it is relevant to the conservation values and promotion of the objectives of the zone, and should be:
 - (a) restricted to those needed for direction, identification and interpretation
 - (b) discrete in design, colour and of a size of no more than 2 square metres.

Land Division

- 8 Land division should not result in an additional number of allotments partly or wholly within the zone unless for the purposes of one or more of the following, to:
 - (a) accommodate an existing lawfully erected dwelling

- (b) create a public road
- (c) create a public reserve.

9 Boundary realignments may be undertaken to assist in the management of native vegetation.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precinct.

Precinct 8 Freehold

10 Not more than one detached dwelling should be constructed on an existing allotment within the precinct.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

No other forms of development are complying in the zone.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Except where in association with conservation works or tourist information purposes.
Amusement machine centre	
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	<p>Except where one of the following applies:</p> <ul style="list-style-type: none"> (a) a detached dwelling will be used for the purposes of administering either or both of the following: <ul style="list-style-type: none"> (i) <i>National Parks and Wildlife Act 1972</i> (ii) <i>Wilderness Protection Act 1992</i> (b) a detached dwelling that results in no more than one dwelling on an allotment within Precinct 8 Freehold.

Form of Development	Exceptions
Educational establishment	
Farm building	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	<p>Except for where one or more of the following applies:</p> <ul style="list-style-type: none"> (a) an adjustment of allotment boundaries where no additional allotments are created wholly or partly within the zone (b) a division of land for the purposes of creating one or more of the following: <ul style="list-style-type: none"> (i) a road reserve (ii) a public reserve (c) creating an allotment to accommodate an existing lawfully erected dwelling.
Marina	
Motor repair station	
Nursing home	
Office	<p>Except where used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i>.</p>
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Road transport terminal	
Service trade premises	
Shop	<p>Except where:</p> <ul style="list-style-type: none"> (a) it is a restaurant (b) other than a restaurant, the gross leasable area does not exceed 50 square metres.
Stadium	
Stock sales yard	

Form of Development	Exceptions
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
<p>Directional, identification and/or interpretative advertisements and/or advertising hoardings for conservation management and tourist information purposes.</p> <p>Facilities associated with the interpretation and appreciation of natural and cultural heritage and public amenities.</p> <p>Scientific monitoring structures or facilities.</p> <p>Shop</p> <p>Structures for conservation management purposes.</p> <p>Tourist accommodation setback a minimum of 100 metres from land within an adjoining allotment used for farming or horticulture.</p>	

Deferred Urban Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a restricted range of rural uses that are not prejudicial to development of the land for urban purposes and maintain the rural appearance of the zone.
- 2 A zone comprising land to be used primarily for broad-acre cropping and grazing purposes until required for future urban expansion.
- 3 Prevention of development likely to be incompatible with long-term urban development, or likely to be detrimental to the orderly and efficient servicing and conversion of the land for urban use.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone exists in several areas, namely around the towns of American River, Emu Bay, Kingscote, Parndana, and Penneshaw.

Development within the zone is expected to maintain the 'status quo' and not intensify the use of land, including the division of land, which has been identified as potentially being required for the expansion of existing developed areas. In the meantime, the zone will be characterised by farming development conducted in an orderly manner.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - farming
 - recreation area.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Development should not be undertaken if it will be prejudicial to the orderly and economic development of future urban land uses within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

Land Division

- 5 Land division should not occur unless it is in the form of an alteration to the boundaries of an allotment and no additional allotments are created in the zone.

- 6 The alteration of allotment boundaries should only occur in order to achieve one or more of the following:
- (a) correct an anomaly in the placement of allotment boundaries with respect to the location of existing buildings or structures
 - (b) improve the management of the land for the purpose of primary production
 - (c) enable the provision of public infrastructure.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement	
Advertising hoarding	
Amusement machine centre	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	Except a detached dwelling that does not result in more than one dwelling on an allotment.
Educational establishment	
Fuel depot	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Motel	

Form of Development	Exceptions
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Road transport terminal	
Service trade premises	
Shop	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Farming	
Recreation area	

District Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre that accommodates a range of retail facilities, offices, consulting rooms, and cultural, community, public administration, entertainment, educational, religious and residential facilities to serve the community and visitors within the surrounding district.
- 2 Development of a visually and functionally cohesive and integrated district centre.
- 3 A centre accommodating medium to high-density residential development in conjunction with non-residential development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The development of this zone will reinforce the District Town Centre as the primary retail and business centre for the Island.

The District Town Centre will continue to develop as the major gateway for tourists to the Island with scope for a full range of tourist accommodation and associated facilities.

Retention and enhancement of the existing character and streetscape of Dauncey Street as derived by the continuity of facades and preservation of existing groups of buildings of architectural or historical interest is encouraged.

It is envisaged that Kingscote Terrace is developed for tourist accommodation and related purposes such as restaurants.

Telegraph Road functions as a key entrance to the zone. As such, the street's amenity will be an important factor to bear in mind for development along this road.

Integration of the wharf area and environs with the District Town Centre with a range of tourist related uses including a marina and recreation areas is encouraged.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bank
 - child care centre
 - civic centre
 - consulting room
 - dwelling in conjunction with non-residential development
 - educational establishment
 - emergency services facility
 - entertainment facility
 - health facility
 - hospital

- hotel
 - indoor games centre
 - library
 - motor repair station
 - office
 - place of worship
 - playing field
 - pre-school
 - residential flat building in conjunction with non-residential development
 - restaurant
 - retirement village
 - shop (including discount department store)
 - supermarket
 - supported accommodation
 - swimming pool
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Medium to high-density residential development and development comprising a variety of residential and non-residential uses may be undertaken provided such development does not prejudice the operation of existing or future retail activity within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Development should be sited and designed to promote linkages between the various developments within the centre and adjoining main roads.
- 6 Facilities within the centre should be sited and designed with a view to promoting after-hours use to reinforce the centre as the focus of social activity in the district.
- 7 Undercroft or semi-basement car parking areas should not project above natural or finished ground level by more than 0.5 metres.
- 8 Dwellings should be located only behind or above non-residential uses on the same allotment.
- 9 Medium density development should typically be in the form of 2 to 3 storey buildings.
- 10 Building heights should not exceed three storeys above natural ground level.
- 11 Tourism development should consist of hotels, bed and breakfast accommodation, or serviced apartments.
- 12 Intense shop developments such as supermarkets should not be developed along Kingscote Terrace.
- 13 Development should maximise the creation of ground level active frontages.

Land Division

- 14 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

Core Retail Policy Area 2

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The co-ordinated expansion of commercial and retail development in addition to residential development in association with non-residential land uses.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area will continue to develop as the zone's and Island's primary retail centre.

Future development in Dauncey Street will reinforce its role as the major shopping and commercial precinct of the Island. Development will retain and enhance the existing character and streetscape of Dauncey Street as derived by the continuity of facades and preservation of existing groups of buildings of architectural or historical interest.

It is envisaged that residential development will only occur above non-residential, active ground floor uses, which will add to the vibrancy and vitality of the policy area.

Improved linkages between the policy area, wharf area and the foreshore are encouraged to enhance accessibility and movement within the town centre and to improve the centre's vibrancy and viability.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - bank
 - consulting room
 - dwelling in conjunction with non-residential development
 - minor discount department store
 - office
 - restaurant
 - shop
 - supermarket.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Buildings should be constructed to the street boundary with minimal setbacks between buildings unless providing for access to the rear of allotments.
- 4 Development in Dauncey Street should incorporate the use of verandas, over the footpath, to provide shelter for pedestrians.

Telegraph Road Policy Area 3

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The expansion and integration of commercial and retail development in a co-ordinated manner to present a high quality gateway to the zone.
- 2 Development to be carefully sited and designed to minimise detrimental impacts on the adjoining **Residential Zone**.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The role of this policy area as a key entrance and gateway to the zone will be further evolved to create a well defined primary entrance to Kingscote and its District Town Centre. As such, development will establish integrated and cohesive streetscapes along Telegraph Road with buildings constructed on or close to the street boundary.

Car parking areas will be located behind buildings and integrated where possible to minimise the access points to Telegraph Road.

New development will improve the amenity of the policy area by improving the appearance of land and buildings and providing shelter for pedestrians.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - bank
 - child care centre
 - consulting room
 - community health centre
 - emergency services facility
 - office
 - service trade premises
 - shop
 - supermarket (maximum of 450 square metres in floor area).

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Buildings should be constructed to the street boundary with minimal setbacks between buildings unless providing for access to the rear of allotments.
- 4 Car parking areas should be established at the rear of buildings on the site and should be integrated between sites where possible.
- 5 Development should have a maximum of two storeys and have the primary entrances orientated towards the street.

Tourist Policy Area 4

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The co-ordinated expansion of commercial and retail development in addition to residential development in association with non-residential land uses.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Future development within the policy area will be critical to the success of the town as a destination for the substantial number of tourists visiting the Island each year.

The policy area offers a unique and attractive outlook to the ocean with the main focus being the Ozone Hotel. The natural attributes of this policy area make it a highly desirable location for future development.

Tourist accommodation is encouraged in the policy area in conjunction with hospitality related activities including cafes, restaurants and small-scale retail outlets. To avoid eroding the centre's historic assets, building heights are limited to three storeys with building design to be complimentary to the historic buildings within the zone which are characterised by limestone and natural materials.

The wharf and surrounds and foreshore abuts the policy area and contains significant underutilised land and assets which will be developed with appropriate recreation areas and commercial development opportunities which will maximise its tourism potential and appeal as a 'destination'.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - restaurant
 - shop
 - tourist accommodation.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Buildings should generally be constructed to the street boundary with minimal setbacks between buildings.
- 4 Intense shop developments such as supermarkets should not be developed along Kingscote Terrace.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Dwelling	Except: (a) where in conjunction with a non-residential development (b) located within the Core Policy Area 2 or Telegraph Road Policy Area 3 .
Fuel depot	
Horticulture	
Industry	
Major public service depot	
Road transport terminal	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Industry Zone

Refer to the [Map Reference Table](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating a wide range of industrial, warehouse, storage and transport land uses.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This is the primary zone to accommodate the Islands industrial activities ranging from light to general industries.

Parts of the zone abut the **Residential Zone** boundary. This can give rise to conflict in terms of noise, dust, visual appearance and the like. To alleviate this, it is envisaged that industrial development will make extensive use of buffers and landscaping within car parking areas and allotment boundaries that adjoin residential land.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - depot
 - industry
 - store
 - transport distribution
 - warehouse
 - waste management facility.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 In areas where a uniform street setback pattern has not been established, buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and landscaping between buildings and the road):
 - (a) buildings up to a height of 6 metres (from natural ground level) should be sited at least 8 metres from the primary street alignment
 - (b) buildings exceeding a height of 6 metres (from natural ground level) should be sited at least 10 metres from the primary street alignment
 - (c) where an allotment has two street frontages, no building should be erected within 3 metres of the secondary street alignment.

- 5 To minimise potential noise impacts on the amenity of the **Residential Zone** or **Rural Living Zone**, building facades facing them should:
 - (a) not contain openings or entrance ways that would result in the transmission of noise towards the zones
 - (b) have appropriate buffers or setbacks to mitigate potential noise transmission from openings or entrance ways.
- 6 Any external plant and equipment (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.
- 7 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.
- 8 Development on allotments adjacent to Emu Bay Road or a zone boundary should incorporate a 10 metre wide intensively landscaped buffer.
- 9 Buildings should not exceed 12 metres in height (from natural ground level).
- 10 Development should minimise access points onto Emu Bay Road.

Land Division

- 11 Land division should create allotments that:
 - (a) are of a size and shape suitable for the intended use
 - (b) have an area of not less than 2000 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated
 - (c) have a frontage to a public road of at least 30 metres.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Community centre	

Form of Development	Exceptions
Consulting room	
Dwelling	Except where it is: (a) ancillary to industrial development (b) necessary to support the operation of the development (c) located on the same allotment.
Educational establishment	Except where it is: (a) ancillary to industrial development (b) necessary to support the operation of the development (c) located on the same allotment.
Horticulture	
Hospital	
Hotel	
Motel	
Nursing home	
Office	Except where it is: (a) ancillary to industrial development (b) necessary to support the operation of the development (c) located on the same allotment.
Pre-school	
Place of worship	
Shop or group of shops	Except where the gross leasable area does not exceed 250 square metres.
Tourist accommodation	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
General industry	Waste management facility

Open Space Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone:
 - (a) in which the open space character is preserved to provide a visual contrast to the surrounding urban area
 - (b) comprising open space that accommodates a range of public and private activities in an open and natural setting, including:
 - (i) passive and active recreation land uses
 - (ii) habitat conservation and restoration.
- 2 A parkland that:
 - (a) provides an open space corridor.
 - (b) promotes the use, awareness and preservation of the environment and enhancement of natural or semi natural habitats for the movement of wildlife and conservation of biodiversity.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The primary role of this zone is to maintain the open space parkland belt that surrounds the township of Emu Bay.

Pedestrian, cycle and recreation facilities, such as drinking fountains and barbecues, will be incorporated into the parkland; however, facilities for sports competitions or events are inappropriate.

Landscaping should ensure that any remnant native vegetation is incorporated into the landscape design and that locally indigenous vegetation is utilised wherever possible.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - conservation work
 - farming
 - outbuilding associated with open space maintenance
 - lighting
 - playground
 - recreation area
 - sporting club facility
 - structure associated with a public facility such as car parking, picnic/barbeque area, shelter and toilet
 - toilet block and barbeque facility.

- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should allow for unstructured passive and active recreation

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Development should only occur where it is integral to the aesthetic, drainage or recreation function of the zone.
- 6 Buildings should be:
 - (a) restricted in size and number
 - (b) sited so as not to detract from the open natural character of the zone
 - (c) constructed of materials which blend with the landscape.
- 7 Development should ensure coordinated design with an emphasis on the creation of pedestrian areas.
- 8 Landscaped buffers should be provided around the perimeter of recreation or sporting facilities.
- 9 Landscaping should comprise locally indigenous species and incorporate existing remnant vegetation.
- 10 Vehicular access or crossings should not occur through the parkland.
- 11 Development should ensure that public access to the parkland is retained and enhanced for cyclists and pedestrians.
- 12 Development, landscaping, and paths for pedestrians and cyclists should:
 - (a) take into account the changing flow regime and width of waterways and
 - (b) be constructed of permeable material where practical to reduce stormwater runoff.

Land Division

- 13 Land division should not be undertaken except where:
 - (a) it will facilitate the development of an envisaged uses in the zone
 - (b) no additional allotments are created.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	
Educational establishment	
Fuel depot	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Motel	
Motor repair station	
Nursing home	
Office	Except where in association with recreation facilities
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is 50 square metres or less.

Form of development	Exceptions
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Primary Production Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The long term continuation of primary production.
- 2 Economically productive, efficient and environmentally sustainable primary production.
- 3 Allotments of a size and configuration that promote the efficient use of land for primary production.
- 4 Protection of primary production from encroachment by incompatible land uses and protection of scenic qualities of rural landscapes.
- 5 Accommodation of wind farms and ancillary development.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The farming and rural character of Kangaroo Island is a feature which is a strong economic and tourism asset. It is envisaged that development within the zone will reinforce these roles. Inappropriate development, unsightly structures, indiscriminate land fragmentation for purposes other than primary production and poor land management will quickly erode its economic potential and special character. As such, careful control over the nature, integrity and siting of development needs to occur.

Development within the zone will retain native vegetation and protect existing ecosystems to ensure the heritage and environmental significance of Kangaroo Island can continue to underpin the Island's character and values.

The Island's agricultural economy, landscape character and natural environmental features need to be protected based on best practice farm management. The Kangaroo Island Natural Resource Management Board's Natural Resources Management Plan provides a useful framework for the preparation of farm management plans. Industry and warehousing may be developed where it supports primary production, processing, storage and distribution of local primary produce.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines
- visible from scenic routes and valuable scenic and environmental areas
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

The Island's land ownership pattern generally reflects relatively large holdings which should be maintained. The creation of smaller titles will only be considered in response to genuine value added economic opportunities directly associated with primary production. The creation of any smaller allotments will be linked to outcomes which reinforce economic productivity and environmental improvement with regard to primary production and which is sensitively designed and sited in keeping with the areas' natural and rural character. It is intended that the zone caters for a second dwelling on an allotment where there is a demonstrated need for this form of housing to accommodate on-site workers, but this is not to result in the further division of the land. The second dwelling will need to be designed and located to minimise the potential for adverse impacts on farm activities and the rural landscape. Land fragmentation for the purposes of rural living is not desired within the zone.

The intent of the zone is primarily to strengthen the role and value of primary production. The quality of Island produce is high and the burgeoning food and wine industries is a testimony to this. However, the opportunity also exists to provide tourist accommodation and tourism activities within the zone where such development is designed to put people back in touch with the natural and rural environment, or would positively contribute to the Island's tourism experiences. It is expected that such development will cater primarily for the "get away" nature or adventure orientated market which is environmentally conscious, although other niche tourism development opportunities will also be considered where they strengthen the Island's tourism appeal.

The design and siting of tourist accommodation should ensure emphasis is given to raising consciousness and appreciation of natural surroundings and should be sited where it does not undermine the primary intent of the zone for primary production. Tourism development will be encouraged in areas that are of low capability for farming or horticulture.

The introduction of home based industry within the zone is one means of achieving value added economic development. The intention is to allow for a range of home based industries where the primary components and ingredients used to create the industry products are derived from the land or from the surrounding rural locality. Home based industry is not meant to involve the servicing, repair or restoration of vehicles or vehicle parts, the carrying out of manufacturing activities at the scale of general, light and service industry.

The policies stated below aim to ensure that home based industry development is undertaken in a manner compatible with the rural nature of the zone.

Examples of the types of home based industries which may be appropriate within the zone include metwurst smoking, storage, craft production, woodcarving, pottery making, needlework and jam production.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

1 The following forms of development are envisaged in the zone:

- bulk handling and storage facility
- conference facility (in association with tourist accommodation or tourism facilities)
- dairy farming
- farming
- farm building
- home based industry
- horticulture
- intensive animal keeping
- land-based aquaculture
- tourist accommodation (including through the diversification of existing farming activities and conversion of farm buildings)
- tourism activities and facilities
- wind farm and ancillary development
- wind monitoring mast and ancillary development.

- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.
- 4 Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
 - (a) it has a direct relationship with primary production
 - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
 - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
 - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
 - (e) the use would be inappropriate within a township
 - (f) the capacity of the infrastructure, including roads, is capable of supporting the use without detriment to existing users.
- 5 A shop should be:
 - (a) ancillary to:
 - (i) primary production or processing uses
 - (ii) tourist accommodation or other tourist development
 - (b) located on the same site as the primary use.
- 6 Buildings should primarily be limited to farm buildings, a detached dwelling and/or short-term workers accommodation associated with primary production on the allotment and residential outbuildings that are:
 - (a) grouped together on the allotment and set back from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads
 - (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.
- 7 A dwelling should only be developed if:
 - (a) there is a demonstrated connection with farming or other primary production
 - (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the zone
 - (c) it is located more than 500 metres from an existing intensive animal keeping operation unless used in association with that activity
 - (d) it does not result in more than one dwelling per allotment.

- 8 Not more than one dwelling should be erected on any allotment unless the following criteria are met:
- (a) the allotment area is 40 hectares or greater
 - (b) the allotment is used as an operative farm
 - (c) the dwelling is for a managers residence, farm hand or for short term workers accommodation and:
 - (i) is located within 100 metres of an existing dwelling on the same allotment
 - (ii) is of universal design to support 'ageing in place'
 - (iii) shares a common power and water supply (where a mains water supply is connected) and waste water treatment system (upgraded to meet current environmental and health requirements) with the existing dwelling
 - (iv) shares the existing dwelling's access/egress point to the road network
 - (v) is located at least 40 metres from all adjoining property boundaries
 - (vi) does not result in more than two dwellings being erected on the allotment.
- 9 Domestic outbuildings should be ancillary to a dwelling and be no greater than 115 square metres in area.
- 10 Industrial development should not be undertaken unless it involves the handling and processing of local primary products and allied activities.
- 11 Horticulture development should have a minimum separation distance from sensitive receptors as outlined in the following table:

Sensitive Receptor Type	Minimum Separation Distance (metres)
Stand of native vegetation greater than 5 hectares in area	50
Watercourse, land-based aquaculture development	100
Dwelling, caravan park, residential marina, tourist accommodation	300

A lesser separation distance may be appropriate where established in conjunction with a suitable vegetative buffer, designed to minimise the potential risk of transfer of sprays, dust and noise from horticultural activities to a sensitive receptor. The design of the buffer should take account of the increased risks associated with prevailing winds and topography.

- 12 Biodiversity planting should only be established where reasonably required, without compromising the land for farming and horticultural use.

Form and Character

- 13 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 14 Development should not occur within 500 metres of a National Park, Conservation Park, Wilderness Protection Area or significant stands of native vegetation if it will increase the potential for, or result in, the spread of pest plants.
- 15 Dwellings or other buildings which could reasonably be used for habitation should not be located within 500 metres of the **Industry Zone**.

- 16 The type and volume of traffic likely to be generated by a development or land use should not:
- (a) unreasonably interfere with the flow of traffic on the external road network, both adjoining the site of the development and more widely
 - (b) result in the need for upgrading, or additional maintenance of, the road network
 - (c) result in uneconomic costs to the community for the provision of road services.

Tourism Development

- 17 Tourism developments should not exceed a building height of 6.5 metres above natural ground level.
- 18 Tourism development:
- (a) should not be located on land that has a high capability for farming or horticulture, or compromise established rural activities
 - (b) may comprise a range of tourist accommodation, recreational and leisure activities at various scales that complement the existing tourism offerings in the locality.

Home Based Industries

- 19 Home based industry development should not be undertaken unless:
- (a) the building used for the industry is located:
 - (i) on the same allotment as a dwelling occupied by a person who carries on the industry
 - (ii) as far as practicable from dwellings on adjoining land
 - (b) the site is located greater than 50 metres from a watercourse.

Land Division

- 20 Land division, including boundary realignments, should only occur where the allotments created have a minimum area of 100 hectares.
- 21 Land divisions, including boundary realignments, which proposes the creation of allotments of an area less than 100 hectares, should only be undertaken where:
- (a) it can be demonstrated that a significant and genuine commitment to the land uses on the allotments to be created has occurred or will occur
 - (b) the land uses proposed for each allotment will result in genuine value added economic opportunities directly associated with primary production
 - (c) it supports outcomes which reinforce economic productivity and environmental improvement with regard to primary production
 - (d) a sustainable water supply of sufficient quantity and quality is available to supply the land uses
 - (e) the proposed allotment areas are capable of supporting the land uses with reasonable investment and management inputs
 - (f) the land uses will be compatible with adjacent land uses
 - (g) the arrangement of the allotments has taken into account an assessment of the land with respect to land capability, soil types, erosion control, rockiness, topography, watercourses, runoff, wind conditions, vegetation and rural land use classification

- (h) the arrangement of the allotments and land uses will not result in adverse environmental impacts, including to water resources and vegetation.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are designated as complying subject to the conditions contained, where applicable, in [Table KI/1 - Conditions of Complying Development](#).

- farming
- farm building.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road within an 80 km/h speed restriction or less (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
All buildings and structures in the 'Potential runway extension' area shown on Overlay Map KI/9 - Development Constraints	Except for a farm building
Commercial forestry	
Community centre	
Consulting room	
Dwelling	Except a dwelling where located 500 metres or more from any of the following: <ul style="list-style-type: none"> (a) the Industry Zone (b) an existing intensive animal keeping operation, and the dwelling is not associated with the intensive animal keeping operation and either (i) or (ii) is satisfied: <ul style="list-style-type: none"> (i) it will not result in more than one dwelling on an allotment where the allotment is less than 40 hectares in area (ii) it will not result in more than two dwellings on an allotment where the allotment measures 40 hectares or more. Where it involves two dwellings, one of the dwellings will be used for a manager's residence, farm

Form of Development	Exceptions
	<p>hand or for short term workers accommodation and all of the following criteria is satisfied:</p> <ul style="list-style-type: none"> (A) it is located on an allotment used as an operative farm (B) there is one shared access/egress point to the road network (C) it is located at least 40 metres from all adjoining property boundaries.
Educational establishment	
Horticulture involving the growing of olives	<p>Except where the location for the growing of olives achieves (a) and (b):</p> <ul style="list-style-type: none"> (a) at least 500 metres from all of the following: <ul style="list-style-type: none"> (i) a national park (ii) a conservation park (iii) a wilderness protection area (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area (b) 50 metres from the edge of a substantially intact stratum of native vegetation 5 hectares or less in area.
Hospital	
Hotel	
Indoor recreation centre	
Land division	<p>Except where either of the following apply:</p> <ul style="list-style-type: none"> (a) each allotment is at least 100 hectares in area and has a frontage to a public road of greater than 200 metres (b) the allotment will contain an existing building or buildings (or a building or buildings that are substantially complete) involved in the processing, packaging and/ or transportation of farming, horticultural or aquaculture products.
Motor repair station	
Nursing home	
Office	<p>Except where ancillary to and in association with primary production or tourism development.</p>
Petrol filling station	
Pre-school	
Primary school	
Service trade premises	
Shop or group of shops	<p>Except where ancillary to and in association with primary production, rural industry or tourist accommodation and achieves either of the following:</p> <ul style="list-style-type: none"> (a) it is a restaurant (b) other than a restaurant, the gross leasable area does not exceed 250 square metres.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
<p>Horticulture (excluding the growing of olives) where the setback from a dwelling is greater than 100 metres.</p>	<p>Dwellings where the setback from horticulture is less than 100 metres.</p> <p>Horticulture involving the growing of olives.</p> <p>Horticulture (excluding the growing of olives) where the setback from a dwelling is less than 100 metres.</p> <p>Shop</p> <p>Tourist accommodation setback a minimum of 100 metres from land within an adjoining allotment used for farming or horticulture</p> <p>Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:</p> <ul style="list-style-type: none"> (a) an existing dwelling or tourist accommodation that is not associated with the wind farm (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan). <p>Wind monitoring mast and ancillary development.</p>

Recreation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating sporting, entertainment, cultural and recreational activities and associated spectator and administrative facilities.
- 2 Development of integrated recreational areas and facilities that accommodate a range of activities accessible to the community.
- 3 Buildings and facilities designed to high architectural standards and established within a landscaped setting, including tree plantings around buildings and car parking areas.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

At Penneshaw, the zone should develop to provide for a range of passive and active public and private recreational opportunities for the town and the wider community of Kangaroo Island.

The location of the zone at Penneshaw provides opportunities to link the town centre and foreshore areas with the zone to create accessible areas for residents and visitors and to maximise the town's unique assets and to improve the vibrancy of the town centre.

Care should be taken to minimise impacts from recreation based development on adjoining residential development.

The zone at Brownlow, Parndana and Penneshaw encompass existing golf courses. Future development will reinforce the recreation focus of the zone such as the upgrade or extension of club rooms or function facilities.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - car parking
 - clubrooms associated with sports facilities
 - entertainment, cultural and exhibition facilities
 - golf course
 - indoor and outdoor recreation facilities
 - lighting for night use of facilities
 - playground
 - shops or groups of shops ancillary to recreation development
 - showground
 - special event
 - spectator and administrative facilities ancillary to recreation development
 - swimming pool.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

- 3 A shop or group of shops should only be developed in this zone where:
- (a) it is ancillary to recreation and sport development
 - (b) the total gross leasable area **does not exceed 250** square metres.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Strong thematic landscaping should be instituted on individual sites to improve the landscape, provide shade and shelter, create interest, provide habitat, retain existing native vegetation, use locally indigenous plant species in plantings where possible and define different activity areas.
- 6 All car-parking areas should be shaded and screened with vegetation to improve the amenity of the zone.

Land Division

- 7 No additional allotments should be created wholly or partly within the zone.
- 8 Land division or the rearrangement of existing allotment boundaries should take place as part of a co-ordinated development scheme, or as a rationalisation of land holdings that is designed to allow more efficient and economic use of land consistent with the objectives for the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Consulting room	
Crematorium	
Dwelling	
Farming	
Farm building	
Fuel depot	
Hotel	
Horticulture	
Hospital	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.

Form of Development	Exceptions
Motel	
Motor repair station	
Nursing home	
Office	Except where associated with recreation activities.
Petrol filling station	
Public service depot	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area does not exceed 250 square metres.
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Car parking	Tourist accommodation
Clubroom associated with sport facility.	
Golf course	
Playground	
Recreation facility	
Shop or group of shops where the gross leasable area does not exceed 250 square metres and is ancillary to recreation development.	
Special event	
Spectator and administrative facilities ancillary to recreation development.	

Residential Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A residential zone comprising a range of dwelling types.
- 2 Increased dwelling densities in close proximity to centres, public transport routes and public open spaces.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Residential growth in the townships of Kingscote, Penneshaw, American River, Parndana, Emu Bay and Baudin Beach will develop to create safe, pleasant and cohesive living environments facilitated by the redevelopment of underutilised land and integrated high quality development.

Increasing densities in existing residential areas will occur prior to expansion into undeveloped and poorly serviced areas. The consolidation of existing residential areas will be directly influenced by the level of infrastructure provision available in each township. It is essential that all new development makes efficient use of existing infrastructure through appropriate infill development or the orderly and economic extensions to existing developed areas.

Kingscote, as the major service provider on the Island, presents the best opportunity for appropriate forms of medium density development including aged care and retirement housing.

Residential development in Penneshaw will be consolidated on existing residential land and should be sensitive in terms of design and appearance as many areas of Penneshaw are elevated and highly visible.

American River's character is dominated by its mix of residential and holiday homes, which includes small, compact shack development, low density residential homes and elevated homes within a bush setting. Future development will maintain the rural surrounds and native vegetation within the town. Land that accommodates large stands of Drooping Sheoak, which is Glossy Black Cockatoo habitat, should not be fragmented by development or land division. The open nature of the elevated hills alongside the entrance road to the town will be protected to maintain high amenity levels and development will maintain view lines to Pelican Lagoon. The compact holiday shacks adjacent to the wharf will be retained with future development to reflect their existing informal character, siting, scale and materials. The open space surrounding the shacks will be improved to encourage better use by residents and visitors.

Residential development in Parndana will increase housing diversity, quality and variety in order to meet the housing requirements of different household types, particularly for the needs of seasonal workers.

Residential forms of temporary accommodation including intensive uses such as hotels, motels and hostels are not envisaged within the zone.

Small-scale non residential uses, which provide an important function by way of providing goods or services to the surrounding local community and include convenience shops, doctors surgery, dentist and child care facilities, are permissible within the zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - small-scale non-residential uses that serve the local community, for example:
 - child care facilities
 - health and welfare services
 - open space
 - primary and secondary schools
 - recreation areas
 - shops, offices or consulting rooms
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.
- 4 Non-residential development such as shops, schools and consulting rooms should be of a nature and scale that:
 - (a) serves the needs of the local community
 - (b) is consistent with the character of the locality
 - (c) does not detrimentally impact on the amenity of nearby residents.
- 5 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 per cent of the allotment or building site frontage width, whichever is the lesser distance.
- 8 Dwellings should be connected to a Community Wastewater Management System.
- 9 Dwellings that can be connected to a Community Wastewater Management System should have a minimum site area (and in the case of group dwellings and residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling Type	Site Area (square metres)	Minimum Frontage (metres)
Detached	450 minimum	15
Semi-detached	250 minimum	10
Group dwelling	350 average	15
Residential flat building	250 average	15
Row dwelling	250 minimum	10

- 10 Dwellings that cannot be connected to a Community Wastewater Management System should have a minimum site area of 1200 square metres that is capable of appropriately accommodating a suitable onsite wastewater treatment and disposal system. A lesser site area may be appropriate where it can be demonstrated that an onsite wastewater treatment and disposal system that complies with, or can comply with, the relevant public and environmental health legislation applying to the type of the proposed system, can be accommodated on the same site.
- 11 Tourist accommodation should be of a scale that is compatible with the residential character of the area.
- 12 Buildings should not be erected unless:
 - (a) the building height does not exceed 6.5 metres
 - (b) no expanse of high, unbroken, walling is exposed to view from public areas
 - (c) the building is benched into the natural slope of the site to minimise the extent of fill
 - (d) where appropriate, the staggering of the upper and lower-storeys is undertaken in split levels to follow the slope of the land.

Dudley Policy Area 5

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Residential development of a low-density, low-scale built form.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Development in the policy area will be consistent with and complement the low-scale and low-density nature of development within the policy area.

New development will be designed to enhance the character of buildings and should be single storey in nature and should be characterised by lively colour schemes, rectangular floor plan, flat roofs with generous overhangs, lightweight construction and open front gardens with minimal fencing.

The area between the front alignment of any dwelling and the road boundary of any public road will be kept free of any fencing.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Not more than one dwelling should be constructed per allotment.
- 4 Development should take the appearance of single storey detached dwellings which complement and reinforce the unique character of existing dwellings.
- 5 New development should be consistent with the siting, scale, colour, building form and lightweight construction materials of existing dwellings within the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are designated as complying subject to the conditions contained in [Table KI/1 - Conditions for Complying Development](#):

- domestic outbuilding that is ancillary to an existing dwelling.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and /or advertising hoarding	
Amusement machine centre	
Consulting rooms	Except where: (a) the total floor area is less than 50 square metres (b) the site does not front an arterial road.
Crematorium	
Dairy	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Motor repair station	
Office	Except where: (a) the total floor area is less than 50 square metres (b) the site does not front an arterial road.
Petrol filling station	
Public service depot	
Restaurant	
Road transport terminal	
Service trade premises	

Form of Development	Exceptions
Shop or group of shops	Except where: (a) the gross leasable area does not exceed 250 square metres (b) the site does not front an arterial road.
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Rural Living Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone consisting of large allotments, detached dwellings, **tourist accommodation, supported accommodation** and rural activities that do not adversely impact the amenity of the locality.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone has a high standard of amenity that will be retained, primarily through extensive vegetation, screening of buildings, structures and uses of land. The development of detached dwellings on large allotments is intended.

Parts of the zone have coastal frontages which feature coastal dunes, which will be protected from excavation and similar interference. Indeed, the natural landform of the zone is valued and further excavation and filling of land is not encouraged.

Development throughout the zone will be largely self-sufficient in terms of water supply and effluent disposal. To maximise water re-use, development will be expected to provide for rainwater storage and on-site sewage treatment systems that allows re-use of water for irrigation.

Domestic outbuildings will be considered where accompanied by an application for a dwelling and built in association with the dwelling or on a staged basis consistent with an agreed staging plan for the domestic outbuilding and dwelling that accompanies the application – outbuildings will not be allowed to be used for human habitation.

Parts of the zone (not all locations) have been included into precinct areas to reflect differences in land use and land division policy – these precincts include:

- **Precinct 9 Brownlow KI**
- **Precinct 10 Muston**
- **Precinct 11 Parndana**
- **Precinct 12 Penneshaw**
- **Precinct 13 Pelican Lagoon South**
- **Precinct 14 Stokes Bay**
- **Precinct 15 Snelling Beach**
- **Precinct 16 Vivonne Bay**
- **Precinct 17 Pelican Lagoon North**
- **Precinct 18 Emu Bay West**
- **Precinct 19 Emu Bay East**
- **Precinct 20 Emu Bay South Mixed Use.**

Specific Desired Character statements exist for the following precincts:

Precinct 11 Parndana

Development within this precinct will not affect the quality of views from the Playford Highway.

Precinct 13 Pelican Lagoon South

This precinct is intended for rural living dwellings within an open landscaped setting. A range of large allotment sizes is to be provided consistent with the existing pattern of rural living allotments, and to allow scope for new allotments through rationalisation of boundary alignments and division of larger allotments.

The land located north of Hog Bay Road and abutting Pelican Lagoon is not suitable for further subdivision – this area will only be developed with low impact land uses that are complimentary to the adjoining Coastal Conservation Zone and be revegetated with native vegetation indigenous to the locality.

As buildings will be visible from the Prospect Hill Lookout, buildings within the precinct will have external building materials and finishes that blend with the natural landscape and be sited to ensure retention of native vegetation.

Any re-vegetation of the barren landscape to prevent erosion should comprise of indigenous species. All buildings will be set well back from road boundaries.

Precinct 14 Stokes Bay

This precinct is intended for low density rural living in a natural landscaped and coastal setting. Development is to comprise detached dwellings located in small discrete pockets of rural living development within the location of Stokes Bay.

For development to occur, building envelopes need to be identified for each allotment that are of sufficient size to accommodate a dwelling and ancillary outbuildings, to protect and preserve areas of vegetation and incorporate vegetation buffers. Development will be designed in such a manner that causes minimal impact on the natural features of the land and is of a low profile with natural earthy colours to blend with the rural and coastal location.

Precinct 15 Snelling Beach

This precinct is intended for low density rural living in a natural landscaped and coastal setting. Development is to comprise detached dwellings of rural living development within the location of Snelling Beach.

For development to occur, building envelopes need to be identified for each allotment that are of sufficient size to accommodate a dwelling and ancillary outbuildings that takes account of relevant site constraints. That is, buildings must be designed and located to establish deep setbacks from the North Coast Road (and with landscape screening), whilst at the same time not encroaching on the steep slopes of the foothills and are designed and/or located to mitigate against any localised flooding from the Middle River.

Development will be designed in such a manner that causes minimal impact on the natural features of the land and is of a low profile with natural earthy colours to blend with the rural and coastal location.

Precinct 16 Vivonne Bay

This precinct is intended for low density rural living in a natural landscaped setting on the fringe of the township of Vivonne Bay.

Development will be set well back from property boundaries within the precinct and will be well landscaped with indigenous plant species to promote privacy and to provide for the screening of buildings and structures from neighbouring properties and public roadways.

Land division will seek to minimise access points to the South Coast Road through shared use of access driveways or alternate access arrangements from the adjoining local roads.

The area to the east of Vivonne Bay, inclusive of the general store, is a compact area that acknowledges the predominant established use of the land. There will be no further division of this area and significant development that might impact on the environment will not be undertaken.

Precinct 17 Pelican Lagoon North

This precinct is intended for low density rural living in a natural landscaped setting on the outer fringe of Island Beach.

Development will be set well back from property boundaries within the precinct and will take advantage of existing vegetation to screen development. Additional landscaping with indigenous plant species will be undertaken to promote privacy and to provide for the screening of buildings and structures from neighbouring properties and public roadways.

Direct vehicular access to Hog Bay Road is to be avoided and options for use of a service road or alternative access shall be considered.

Precinct 18 Emu Bay West

This precinct is intended for low density rural living in a natural landscaped setting on the fringe of the township of Emu Bay.

Development will be set well back from property boundaries within the precinct and will be well landscaped with indigenous plant species to promote privacy and to provide for the screening of buildings and structures from neighbouring properties and public roadways.

Development will be of a low profile and exhibit a high level of architectural design in respect to the precinct area being elevated land within a coastal setting.

Precinct 19 Emu Bay East

This precinct is intended for low density rural living in a natural landscaped setting on the fringe of the township of Emu Bay.

Development will be set well back from property boundaries within the precinct and will be well landscaped with indigenous plant species to promote privacy and to provide for the screening of buildings and structures from neighbouring properties and public roadways.

Development will be appropriately sited with respect to site constraints in proximity to the watercourse.

Precinct 20 Emu Bay South Mixed Use

This precinct will provide the opportunity for a wide range of developments to occur including low density residential development and comprehensive developments such as tourist accommodation (including associated land uses and facilities), retirement living or aged care accommodation.

Comprehensive developments will be designed and sited to complement the character of the existing township and the surrounding natural environment.

Development within the precinct will be respectfully designed and located with regard to maintaining the open rural living/town fringe character of the area and enhancing the precinct as a gateway to the Emu Bay township.

Development will be set well back from property boundaries within the precinct and will be well landscaped with indigenous plant species to promote privacy and to provide for the screening of buildings and structures from neighbouring properties and public roadways.

Development will provide linkages through to the Emu Bay township and coastal areas in the form of pedestrian paths and bikeways.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bed and breakfast
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition
 - farming
 - farm building
 - stable
 - tourist accommodation and associated land uses and facilities.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 There should be no more than one dwelling per allotment.
- 4 The keeping of animals should be ancillary to and in association with the residential use of the land.
- 5 The keeping of horses should only be undertaken if the horses are accommodated within a stable or shelter with supplementary feeding to maintain pasture cover.
- 6 Horticulture should be limited to 25 per cent of the total allotment area.

Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 8 Buildings on allotments fronting Playford Highway should be set back at least 30 metres from the road boundary.
- 9 Domestic outbuildings should be ancillary to a dwelling and be no greater than 115 square metres in area.
- 10 To minimise impacts from sprays, dust and noise, allotments abutting land used for current and future horticultural activities should be:
 - (a) established between the dwelling and this allotment boundary
 - (b) designed to take account of the increased risk associated with prevailing winds and topography
 - (c) established prior to a dwelling being erected and should be at least 40 metres in width
 - (d) vegetated to assist with screening of dust and chemical spray drift.
- 11 Development should not occur on land where slope poses an unacceptable risk of soil movement, landslip or erosion.
- 12 Development of sloping sites (greater than 1-in-5) or development that would be highly visible from the surrounding area, should be sited and designed to:
 - (a) provide a stable and readily accessible building site
 - (b) reduce the visual bulk of the building (refer to Figure 1)
 - (c) incorporate roof lines which complement the natural slope of the land (refer to Figure 2).



SLOPE USED TO
ADVANTAGE - A DECK
IS PREFERABLE TO
LAND FILL.

Figure 1

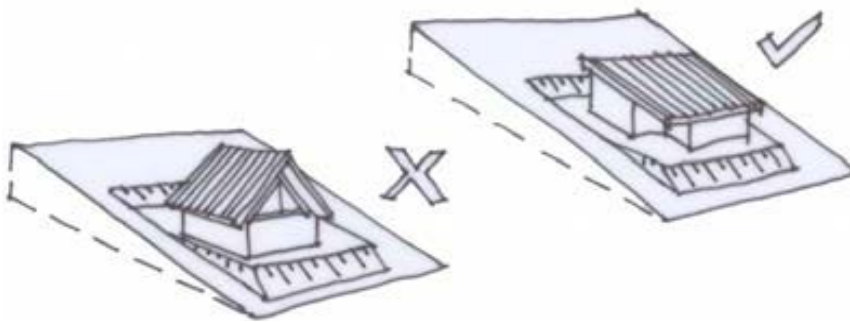


Figure 2

- 13 Retaining walls should be designed in such a way that:
- (a) they comprise a stepped series of low walls
 - (b) the area immediately surrounding the retaining wall can be screened with landscaping.
- 14 The height of any retaining wall should not exceed (refer to Figure 3):
- (a) 0.5 metres if located forward of the building line
 - (b) 1 metre if located elsewhere on the site.

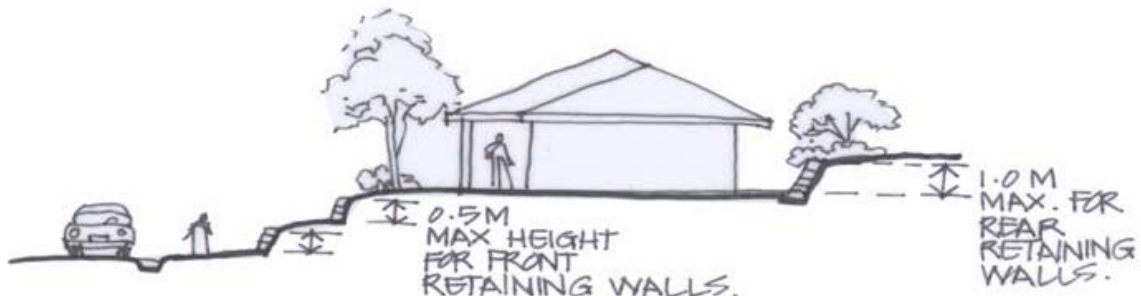


Figure 3

- 15 The excavation and/or filling of land should:
- (a) be kept to a minimum so as to preserve the natural form of the land and native vegetation and minimise the impact of scouring (refer to Figures 4, 5 and 6)

- (b) result in stable scree slopes, which are covered with top soil and landscaped so as to preserve and enhance the natural character of the zone.

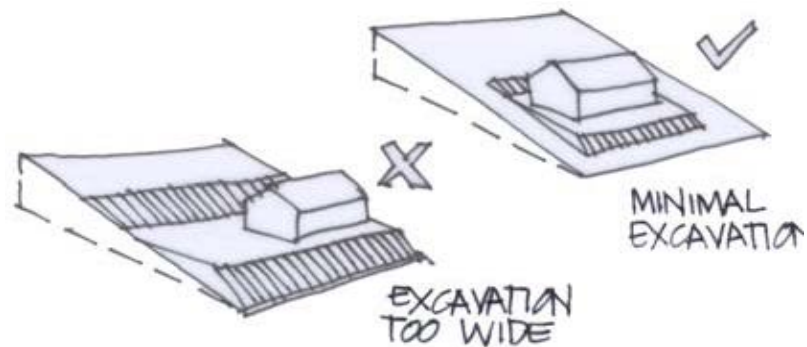


Figure 4

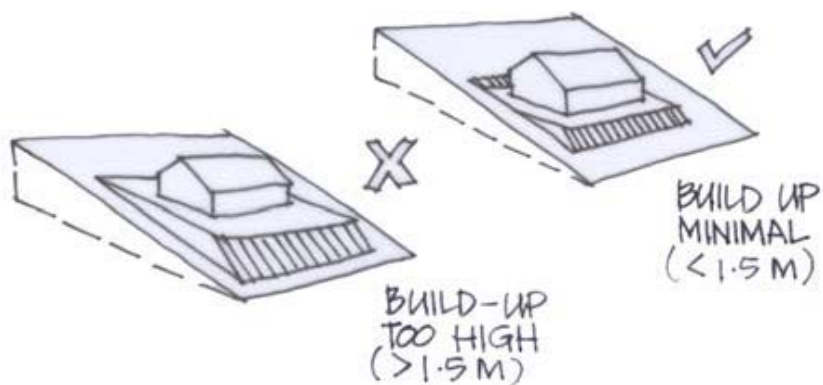


Figure 5

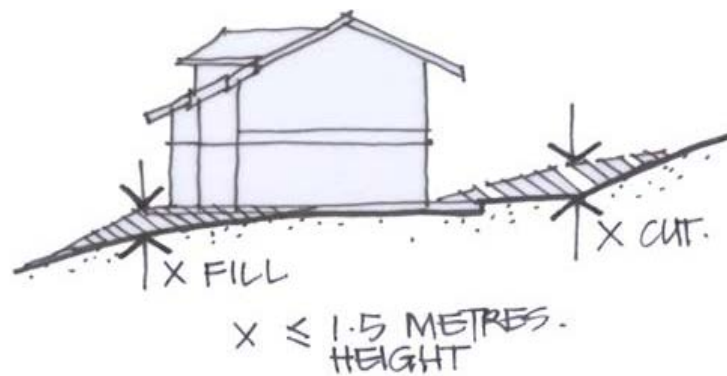


Figure 6

- 16 Driveways and access tracks should follow the contours of the land so as to reduce their visual impact and erosion from water run-off.

Land Division

- 17 Other than as specified within the precinct specific provisions, the division of land should not be undertaken if:
- (a) the area of a proposed allotment is less than 2 hectares
 - (b) the frontage of any proposed allotment to a public road is less than 50 metres.

- 18 The division of land should not be undertaken if the dimensions of any proposed allotment are such that the ratio of depth to frontage is greater than 4-in-1.
- 19 Land division which proposes the creation of an allotment with an area less than specified by the zone or relevant precinct provisions should only be undertaken where it can be demonstrated that:
- (a) the proposed allotment can accommodate development which is consistent with that envisaged by the desired character for the zone or relevant precinct
 - (b) the proposed land division is linked to a development that is consistent with the desired character for the zone or relevant precinct
 - (c) a sustainable water supply of sufficient quantity and quality is available to supply the intended land use
 - (d) the allotments are of a suitable size to promote sustainable treatment and disposal of wastewater
 - (e) the arrangement of the allotment boundaries will not result in adverse environmental impacts, such as undue removal of vegetation, impact from natural hazards or impact on the natural features of the land
 - (f) the allotments have safe and convenient access to a formed public road.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 9 Brownlow KI

- 20 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 21 Land division should create allotments of greater than 5000 square metres.

Precinct 10 Muston

- 22 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 23 Land division should create allotments of greater than 2000 square metres.

Precinct 11 Parndana

- 24 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 25 Land division should:
- (a) create allotments of greater than 5000 square metres
 - (b) be designed to ensure no public road access is provided off Playford Highway
 - (c) provide a 20 metre wide buffer strip adjacent Playford Highway, with access to allotments provided by an internal road network via local roads.

Precinct 12 Penneshaw

- 26 Development should not be undertaken unless it is consistent with the desired character for the precinct.

27 Land division should create allotments of greater than 5000 square metres.

Precinct 13 Pelican Lagoon south

28 Development should not be undertaken unless it is consistent with the desired character for the precinct.

29 Except for land north of Hog Bay Road land division should create allotments of 15 hectares or greater.

30 No land division and/or boundary realignments should occur in the area north of Hog Bay Road.

Precinct 14 Stokes Bay

31 Development should not be undertaken unless it is consistent with the desired character for the precinct.

32 Building development should be of single storey design and have a maximum height of 5.1 metres.

33 Land division should create allotments of 1 hectare or greater.

Precinct 15 Snelling Beach

34 Development should not be undertaken unless it is consistent with the desired character for the precinct.

35 Building development should be located:

- (a) between 30 and 60 metres from the allotment's frontage to North Coast Road
- (b) so that the finished floor level is no higher than 20 metres AHD elevation
- (c) on land that is not subject to inundation in a 1-in-100 year average return interval flood event.

36 Building development should be of single storey design demonstrating:

- (a) a finished floor level not exceeding 600 millimetres above the natural ground surface of the building at any one corner of the building
- (b) a building height not exceeding 4.5 metres measured between the finished floor level and the top of the roofline
- (c) minimal landform modification to minimise cut and fill scarring of the land.

37 The cutting and/or filling of land should:

- (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation
- (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment
- (c) only be undertaken if the resultant slope can be stabilised to prevent erosion
- (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.

38 Land division should create allotments of 2 hectares or greater.

Precinct 16 Vivonne Bay

- 39 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 40 Land division should create allotments of 5 hectares or greater.

Precinct 17 Pelican Lagoon north

- 41 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 42 Land division should create allotments of 5 hectares or greater.

Precinct 18 Emu Bay West

- 43 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 44 Land division should create allotments of 1 hectare or greater.

Precinct 19 Emu Bay East

- 45 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 46 Land division should create allotments in the range of 0.5 to 1 hectare.

Precinct 20 Emu Bay South Mixed Use

- 47 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 48 Land division should result in allotments of at least 1500 square metres.
- 49 Comprehensive developments should:
 - (a) not dominate, over commercialise or detract from the natural or rural character of the area
 - (b) be sited in unobtrusive areas and behind vegetated buffers where practicable
 - (c) be setback at least 30 metres from all public roads
 - (d) be no greater than two storeys in height or 6.5 metres above natural ground level
 - (e) demonstrate a high standard of urban design incorporating architectural features which:
 - (i) provide shelter in the form of verandahs, canopies and awnings to external elevations
 - (ii) avoid large areas of blank wall which are visible from public roads, internal and external open space areas or adjoining land
 - (f) ensure services including associated functions and areas are screened from view and separated physically and visually from public spaces
 - (g) include an approved waste water disposal system.
- 50 Non-residential development should only occur where it is ancillary to and in association with a comprehensive development such as tourist accommodation (including associated land uses and facilities), retirement living or aged care accommodation.

- 51 Non-residential development should be limited in scale and function to service the local community and visitors to the region.
- 52 All buildings and structures should be sited and designed so as to be unobtrusive with particular attention on the incorporation of:
- (a) a low profile
 - (b) low light-reflecting materials
 - (c) external materials of a natural colour which blend with the natural environment
 - (d) landscaping to provide screening
 - (e) adequate arrangements for the safe and appropriate disposal of wastewater and stormwater.
- 53 Comprehensive developments should incorporate landscaping in accordance with the following:
- (a) be comprised extensively of planted indigenous or native species to restore and enhance the natural character of the locality
 - (b) be integrated and form linkages within the precinct and to adjoining public and township areas.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road within an 80 km/h speed restriction or less (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Bed and breakfast	Except where it accommodates no more than 12 tourist accommodation bed spaces.
Building development in Precinct 15 Snelling Beach	Except where the building: <ul style="list-style-type: none"> (a) is situated between 30 and 60 metres from the allotment's frontage to North Coast Road (b) has a finished floor level no higher than 20 metres AHD elevation

Form of Development	Exceptions
Commercial forestry	
Consulting room	Except a veterinary consulting room.
Crematorium	
Dwelling	Except where one of the following applies: <ul style="list-style-type: none"> (a) it is a detached dwelling and it achieves all of the following: <ul style="list-style-type: none"> (i) it does not result in more than one dwelling on the allotment (ii) it is located at least 500 metres from an Industry Zone, Airfield Zone, Deferred Urban Zone or an existing intensive animal keeping operation (b) it is in the form of tourist accommodation or supported accommodation and it is located within Precinct 20 Emu Bay South Mixed Use.
Fuel depot	
General industry	
Hotel	
Intensive animal keeping	
Land division within any of the following precincts: <ul style="list-style-type: none"> (a) Precinct 13 Pelican Lagoon South (b) Precinct 14 Stokes Bay (c) Precinct 15 Snelling Beach (d) Precinct 16 Vivonne Bay (e) Precinct 17 Pelican Lagoon North 	Except for where one or more of the following applies: <ul style="list-style-type: none"> (a) an adjustment of allotment boundaries where no additional allotments are created wholly or partly within the zone (b) a division of land for the purposes of creating one or more of the following: <ul style="list-style-type: none"> (i) a road reserve (ii) a public reserve (c) the following minimum allotments areas are met: <ul style="list-style-type: none"> (i) within Precinct 13 Pelican Lagoon South: 15 hectares (ii) within Precinct 14 Stokes Bay: 1 hectare (iii) within Precinct 15 Snelling Beach: 2 hectares (iv) within Precinct 16 Vivonne Bay: 5 hectares (v) within Precinct 17 Pelican Lagoon North: 5 hectares (d) no additional allotments and/or boundary realignments to allotments are created north of Hog Bay Road within Precinct 13 Pelican Lagoon South.
Major public service depot	
Motor repair station	
Petrol filling station	
Restaurant	Except where associated with tourist accommodation in Precinct 20 Emu Bay South Mixed Use .
Road transport terminal	
Service trade premises	

Form of Development	Exceptions
Shop or group of shops	Except where it achieves one of the following: (a) the gross leasable area does not exceed 80 square metres (b) it is a restaurant and it is associated with tourist accommodation in Precinct 20 Emu Bay South Mixed Use .
Special industry	
Stock sales yard	
Stock slaughter works	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Farming	Bed and breakfast where the total number of tourists that can be accommodated does not exceed 12 persons
Farm building	Building to be used for storage purposes that does not exceed 115 square metres in area
Horticulture that does not exceed 25 per cent of the total allotment area	Tourist accommodation in Precinct 20 Emu Bay South Mixed Use
Outbuilding that does not exceed 115 square metres in area where associated with a dwelling	
Stable	

Tourist Accommodation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating sustainable tourist accommodation, entertainment and recreational facilities.
- 2 To provide a variety of tourist, recreational and service facilities and a range of accommodation forms in an integrated bushland village environment.
- 3 To provide a diversity of support facilities such as a tavern, restaurant, and visitor service centre to serve holiday makers, visitors and local residents.
- 4 Minimise the impact of development on the wilderness character of the locality.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The opportunity exists to provide a range of sustainable tourist accommodation, entertainment and recreational facilities within the zone. The tourist character of the zone will be emphasised so as to encourage longer term visitation across the Island, and so alleviate the trend for rushed day trips. Development will be designed and sited to minimise visual and physical impacts.

Tourist accommodation and related facilities will be of a high quality, integrated and low profile built form relative to the topography and vegetation of their sites. Development should have regard to the attractive natural environment setting and to the existing low density nature of development within the locality. Design elements including orientation of buildings and structures, building heights, colour, paving and landscaping choices should achieve a co-ordinated development. Detached dwellings will primarily be ancillary to and in association with the management of a tourist accommodation facility.

Retail and commercial support facilities will be located and designed to link with other nodes of development within the zone, and will be designed with easy access to the road network.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - recreational facilities
 - tourist accommodation
 - shop or group of shops.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 A shop or group of shops should not exceed a gross leasable area of 250 square metres.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Buildings and structures should be designed and constructed to minimise detrimental impacts between the tourist development and private land.

Land Division

- 6 Land division liable to prejudice the development of tourist accommodation facilities in this zone should not be undertaken.

Antechamber Bay Policy Area 6

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The establishment of low-impact, small-scale nature retreat style tourist accommodation and recreational facilities at Antechamber Bay.
- 2 Protection of the scenic attractiveness and natural environment of Chapman River and Antechamber Bay localities.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Development at Antechamber Bay may include buildings with a mezzanine, split-level or loft-style design, provided the profile of buildings, particularly the upper-floor level plan and roof design, is low and the bulk of built-form is minimised and external colours and materials blend with the natural features of the site and locality.

The natural character and scenic attractiveness of the Chapman River and Antechamber Bay localities will be preserved and enhanced by development. The opportunity exists to provide for a small-scale nature retreat form of tourist accommodation of minimal impact on the environment within the **Tourist Accommodation Zone** at Antechamber Bay. Development will be designed and sited to minimise visual and physical impacts.

Tourist accommodation and related facilities will be of a high quality, integrated and low profile built form relative to the topography and vegetation of their sites. Development will have regard to the attractive natural environment setting and to the existing low density nature of development in the locality. Design elements including orientation of buildings and structures, building heights, colour, paving and landscaping choices will achieve a co-ordinated development. Detached dwellings will primarily be ancillary to and in association with the management of a tourist accommodation facility.

Nature retreat accommodation can generally be described as small-scale accommodation, designed to put people back in touch with the natural environment. These retreats will be of extremely low environmental impact, with simple but comfortable facilities. Accommodation units generally range from a single “lodge” style structure to self-catering detached cottages, bunkhouses or a combination of these. Nature retreat style accommodation will cater primarily for the “get-away” nature or adventure orientated market, which is environmentally conscious, and not primarily comfort driven. Emphasis will be given to raising the consciousness and appreciation of natural surroundings.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - small-scale tourist accommodation
 - outdoor recreational facilities.
- 2 Residential development should only be undertaken where it is for the establishment of a detached dwelling required for, and associated with, the management of a tourist accommodation facility.

- 3 Retail and commercial support facilities should be:
 - (a) small-scale, with a maximum area of 250 square metres
 - (b) ancillary facilities incorporated within tourist accommodation development.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 There should be a maximum of two access points from Cape Willoughby Road servicing the policy area.

Emu Bay Policy Area 7

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The co-ordinated expansion of tourist accommodation facilities at Emu Bay.
- 2 Protection of the scenic attractiveness and coastal environment of the locality.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The coastal character and attractive setting of the Emu Bay locality will be preserved and enhanced by development.

Tourist accommodation and related facilities will be of a high quality, integrated and low profile built form relative to the topography and vegetation of their sites.

Development will be designed and sited to minimise visual and physical impacts from local roads or adjoining properties having regard to the attractive natural environment setting and to the existing low density nature of development within the locality. Design elements including orientation of buildings and structures, building heights, colour, paving and landscaping choices will achieve a co-ordinated development.

Detached dwellings will primarily be ancillary to and in association with the management of a tourist accommodation facility.

It is not intended that land be developed for traditional residential dwellings or that land be subdivided for traditional residential dwelling allotments.

The division of land is envisaged to help facilitate investment associated with a tourist accommodation facility.

The eastern side of Hamilton Drive (Lot 100, DP 57161) is intended to develop principally with low profile, single storey development and maintain large open space areas for low key tourist accommodation including camping, caravan / camper vehicles and small self-contained accommodation units along with allied conveniences such as kiosk / cafe. Land within the zone to the western side of Hamilton Drive (Section 384, HP 110800, and Section 388, HP 110800) is intended to capitalise upon its elevation through natural topography and obtainable views over and beyond the foreshore developments - this land envisages more substantial tourism development potentially including townhouse apartments, guest houses and boutique hotel or bed and breakfast style accommodation options up to two storeys in height.

Opportunity exists for the relocation of the existing caravan park (located on Section 388, HP 110800) to its former location (Lot 100, DP 57161) to make better use of existing community infrastructure adjacent to the beach – this will function as a caravan and tourist park facility. This would also help facilitate the redevelopment of Section 384, HP 110800, and Section 388, HP 110800, for a broader range of tourist accommodation development.

Development will be largely self-sufficient in terms of water supply and effluent disposal (in localities where common effluent schemes are not accessible). To maximise water re-use, development will be expected to provide for rainwater storage and on-site sewage treatment systems that allows re-use of water for irrigation.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - caravan park
 - outdoor recreational facilities
 - recreation facilities
 - shops ancillary to and in association with tourist accommodation
 - tourist accommodation.
- 2 Development should be low impact, comprising of caravan and tourist park style accommodation and outdoor recreation facilities within Lot 100, DP 57161.
- 3 Development should provide for a range of tourist accommodation development within Section 384, HP 110800, and Section 388, HP 110800.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Maximum site coverage of all buildings (excluding driveways and car parking areas) should not exceed 30 per cent.

Visitor Policy Area 8

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 The co-ordinated upgrading and limited expansion of the caravan and camping facilities at Penneshaw.
- 2 Protection of the scenic attractiveness and coastal environment of the locality, including the underlying dune and existing native vegetation.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The caravan park site and associated recreational facilities will be renewed with appropriate development to create a low scale tourist facility which integrates with and complements the surrounding area.

Detached dwellings will primarily be ancillary to and in association with the management of a tourist accommodation facility.

Development will be integrated and connected with the adjoining Town Centre Zone and adjacent foreshore area by pedestrian links and orientation of development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - caravan park
 - outdoor recreational facilities
 - recreation facilities
 - shops ancillary to and in association with tourist accommodation.
- 2 Development should be low-impact, small-scale caravan park style tourist accommodation and outdoor recreational facilities.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Builder's yard	
Consulting room	
Dwelling	Except for a single dwelling to facilitate site manager's accommodation associated with the management of a tourist accommodation facility.
Farm building	
Fuel depot	
Industry	
Horticulture	
Intensive animal keeping	
Junk yard	
Land division	Except where one or more of the following applies: <ul style="list-style-type: none"> (a) it involves the rearrangement of titles where no additional allotment is created (b) it is within Emu Bay Policy Area 7, where associated with an envisaged form of development. it is within Emu Bay Policy Area 7, where associated with an envisaged form of development.
Motor sales premises	
Petrol filling station	
Prescribed mining operations	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area does not exceed 250 square metres.
Stock sale yards	
Stock slaughter works	
Timber yard	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Caravan park	
Recreational facility	
Shop or group of shops with a gross leasable area that does not exceed 250 square metres.	
Tourist accommodation	

Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating a wide range of retail, office, administrative, community, cultural and entertainment facilities appropriate to the needs of the community.
- 2 Conservation and upgrading of buildings of historic character.
- 3 Rationalisation of vehicular access, car parking and major pedestrian movement paths to provide a safer, more efficient and more attractive environment.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone is characterised by small and limited retail and commercial development and it is envisaged that future development is consistent with this scale. To this effect, increased use of pedestrian and cycle transport modes are intended to reduce the overall dependency on motor vehicles. Also, opportunities to exploit shared and managed use of car parking areas is also desired.

The town centre of American River is connected to the wharf area where development will be orderly and compact in nature. This will result in clear linkages to the remainder of the town centre area through unified access, landscape treatment and signage. The public realm makes for an important element of the wharf area, so free and open public access is sought while also accommodating operational wharf functions.

The town centre at Penneshaw is near to wharf areas providing a key sea access point between the mainland and the Island. The relationship between the town centre and wharf areas will be important to maintain and strengthen through legible pedestrian and car linkages, consistent landscaping themes, and built form and design elements that recognise the significance of the area as a 'gateway' to the Island.

In addition, the coastal setting of the townships and natural character and function of adjacent coastal areas is important to retain.

Development within the Parndana town centre will provide a legible and accessible focal point for residents and visitors alike. As such, development is anticipated to comprise of service, retail and restaurant/café type land uses. New development will provide active and engaging street frontages with car parking and service areas located at the rear of allotments.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulky goods outlet
 - café
 - consulting room
 - cultural centre
 - entertainment facility
 - fitness studio
 - hotel

- meeting room
 - motor repair station
 - office
 - petrol filling station
 - restaurant
 - service trade premises
 - shop
 - tourist accommodation
 - tourist facility.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 A dwelling should be established only where it is associated with and ancillary to an existing, or part of a proposed use envisaged for the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Buildings should not exceed two storeys on land abutting the following road reserves:
- (a) Middle Terrace at Penneshaw
 - (b) Tangara Drive at American River.
- 6 Buildings should not exceed two storeys above natural ground level.

Land Division

- 7 New allotments should have a minimum area of 1200 square metres, unless the provision of adequate services and infrastructure can be demonstrated.

American River Policy Area 9

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the desired character of the policy area.
- 2 Development that retains and promotes the small village atmosphere and its coastal setting.
- 3 New retail and community facilities located adjacent to the Tangara Drive and wharf locality.
- 4 The wharf area developed as a public realm, allowing for free and open access to the community and visitors whilst accommodating operational constraints.

DESIRED CHARACTER

Development within the town centre will retain its small village atmosphere and existing tourism and coastal character while developing to fulfil its role as one of the main service providers on the Island and activity hub for both residents and visitors.

The American River wharf area will be developed to become a small but vibrant commercial and community hub in order to provide a focal point for the town centre. However, it will continue to operate as a working wharf but will assume a stronger tourism focus, with public spaces and working wharf spaces clearly defined.

The remainder of the town centre will comprise a mix of developments including commercial, retail, and hospitality services. Development will protect view lines to Pelican Lagoon, enhance legibility and pedestrian movement within the town centre and create strong linkages between the foreshore, wharf and rest of the town centre.

PRINCIPLES OF DEVELOPMENT CONTROL

Form and Character

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Maximum site coverage of all buildings (excluding driveways and car parking areas) should not exceed 50 per cent.
- 3 Development should be consistent with the size and character of the existing form of development.

Christmas Cove Policy Area 10

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Development in the policy area will facilitate primarily marina and tourism orientated development to prevent fragmentation of town centre services and functions. This area is well placed to capitalise on the views to Christmas Cove and to service the boat harbour.

PRINCIPLES OF DEVELOPMENT CONTROL

Form and Character

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Development should be orientated to facilitate the appropriate function of the marina in addition to tourist related activities.

Parndana Policy Area 11

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development to establish an integrated and cohesive streetscape in Cook Street.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Cook Street will continue to be developed as Parndana's designated town centre. Future development is envisaged to reinforce its role as the town's focal point by enhancing its attractiveness and functionality, thus increasing its appeal to residents and visitors alike.

The significance of the town centre will be reinforced via formalisation of car parking and public spaces, and by the implementation of a tree planting strategy.

The development of a town centre is vital as Parndana's population expands and its capacity to service tourism and the surrounding districts is further enhanced.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 All the envisaged land uses identified in the zone are applicable to the policy area other than wharf facilities.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 New development should maintain and re-establish a continuous frontage of built form along the Cook Street frontage.
- 4 The height of development should not exceed two storeys above natural ground level.
- 5 Development should be consistent with the existing predominant built form with regard to scale, roof pitch and building alignment.
- 6 Car parking should be located at the rear of the building on the site.

Penneshaw Policy Area 12

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that retains and promotes the small village atmosphere and its coastal setting.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Penneshaw will further develop to 'capture' the significant tourist market, and will expand its international reputation as the art and cultural hub of the Island. Development within the town centre will provide for the tourist market and complement and reinforce its historic and quaint seaside character.

It is envisaged that the Transaction Centre building and environs will be developed into a vibrant town centre and will be developed with a town square to provide a public space in which to hold exhibitions, community events or for people to partake in leisure activities. Further development focusing on active land uses and street frontages along North Terrace in the form of cafes, restaurants and tourist facilities is encouraged that capitalises on the extensive views to the mainland and builds upon its role as a focal point for tourism and restaurants.

Future development will complement efforts in the adjacent **Wharf Zone** to create a welcoming gateway to Kangaroo Island and establish a high quality pedestrian environment that enhances public access and safety to the Penneshaw town centre for people arriving by sea.

PRINCIPLES OF DEVELOPMENT CONTROL

Form and Character

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Development should be small-scale in nature, reflecting the size and character of the existing form of development.
- 3 New development should maintain and re-establish a continuous frontage of built form along public street frontages.
- 4 Development should promote a consistency of built form with regard to scale, roof pitch and building alignment.
- 5 The existing Transaction Centre should be maintained and further developed as an important community asset and should be linked to the development of future public open space in proximity to the site.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Dairy	
Dwelling	Except a dwelling that is: <ul style="list-style-type: none"> (a) ancillary to a non-residential development (b) necessary to support the operation of the development (c) located on the same allotment.
Farming	
Farm building	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Major public service depot	
Road transport terminal	
Special industry	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Township Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Services and facilities grouped together to meet the needs of the local community and the visiting public.
- 2 Increased mix in the range of dwellings available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Conservation and enhancement of the scale, main road streetscape and scenic rural setting of the township.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone provisions apply to the townships of Parndana and Brownlow KI. Parndana is centrally located within the Island on the main road between Kingscote and Flinders Chase National Park and is a small-scale rural service centre. Scope for small-scale population growth is provided within the township boundary with service industries and rural living on the southern fringe.

Brownlow KI is a small village, south of Kingscote, overlooking Nepean Bay and is to be retained as a low key destination distinct from Kingscote.

The zone will accommodate a range of low density residential development, community facilities, small-scale tourist based development and shops.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facilities
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - educational establishment
 - recreation area
 - shop or group of shops
 - small-scale tourist development
 - supported accommodation
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Residential development should be mainly in the form of low-density detached dwellings, with a limited range of increased density development.

- 4 Business and commercial development should be of a scale and function consistent with the role of the township as a local service centre supplying a range of goods and services to the local community, the surrounding district and visitors to the area.
- 5 Industry uses should be restricted to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.
- 6 A shop or group of shops should have a gross leasable area that does not exceed 250 square metres.
- 7 Hotels, guest houses and serviced apartments should each have a maximum of 20 tourist accommodation bed spaces.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Development of a business, commercial or industrial nature should be consolidated with existing facilities to establish identifiable service centres.
- 10 Maximum site coverage of dwellings and associated buildings (excluding driveways and car parking areas) should not exceed 40 per cent.
- 11 Buildings within Parndana and Brownlow KI should not be erected unless:
 - (a) the building height does not exceed 6.5 metres (from natural ground level)
 - (b) the building is benched into the natural slope of the site without extensive scarring of the site
 - (c) their design incorporates staggering of the upper and lower storeys to follow the slope of the land.
- 12 Unless where appropriately protected by a levee system, buildings and structures should not be established in Brownlow KI:
 - (a) on a site with a level of less than 2.6 metres Australian Height Datum
 - (b) where any floor level will be less than 2.85 metres Australian Height Datum.

Land Division

- 13 Allotments should vary in size and be suitable to facilitate a use of land consistent with the objectives for the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are designated as complying subject to the conditions contained in [Table KI/1 - Conditions for Complying Development](#):

- domestic outbuilding that is ancillary to an existing dwelling.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Crematorium	
Dairy	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area does not exceed 250 square metres.
Special industry	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	Except where it is in the form of a recycling collection depot.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development are designated:

Category 1	Category 2
Recreation area	
Small-scale tourist development	

Water Protection Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Protection of surface and underground water resources from pollution, contamination or unsustainable use.
- 2 Development excluded from the zone where it is liable to contribute to the contamination or pollution of surface and underground water resources or the reduction of aquifer recharge.
- 3 Extensive areas of locally indigenous plant species established and retained in order to safeguard the catchment and recharge characteristics of the water resource.
- 4 Accommodation of wind farms and ancillary development.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

A safe and reliable water supply is essential for the sustainable development of Kangaroo Island.

Further development within the zone which could have a potential detrimental impact on the quality or quantity of the water resource is not appropriate.

It is desirable that efforts are made to minimize any pollution effects from existing development within the zone.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines
- visible from scenic routes and valuable scenic and environmental areas
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - broadacre cropping
 - grazing
 - wind farm and ancillary development
 - wind monitoring mast and ancillary development.

- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.
- 4 Development should be compatible with the zone's use as a catchment and storage area.
- 5 Activities which produce strong organic or other wastes should not be established within the zone.
- 6 Recreation areas or other recreational or visitor facilities should not prejudice the protection of the watershed and the character and amenity of the locality.
- 7 Development should not:
 - (a) prejudice the protection of the water catchment
 - (b) affect the quality and quantity of the catchment's water resources
 - (c) inhibit the potential of the aquifer to recharge
 - (d) involve the storage or disposal of hazardous substances
 - (e) involve the storage of chemicals in quantities that require a licence under the *Environment Protection Act 1993*
 - (f) generate waste of a quantity that affects surface or underground water resources.
- 8 Land should not be used for farming or horticulture unless the depth to the watertable is greater than 2 metres from the ground surface.
- 9 Land should not be used for farming or horticulture unless consideration is given to:
 - (a) the risk of pollution or adverse impacts on dependent ecosystems
 - (b) the risk of any increase in salinity levels of either surface or groundwater supplies
 - (c) the avoidance of adverse impacts on downstream properties in terms of water flow and discharge of pollutants
 - (d) the availability of surface and/or sub-surface water required to sustain the proposed activity
 - (e) the capability of the soil structure and the land to support the proposed activity
 - (f) avoiding any land prone to water logging or subject to flooding through irrigation
 - (g) compatibility with land uses on adjacent land
 - (h) the risk of the watertable falling or rising significantly as a result of excessive irrigation.
- 10 Diversion or storage dams used for irrigation should be located off-stream, with the storage capacity of the dams not exceeding 50 per cent of the median annual runoff from the allotment.
- 11 Buildings should not be erected unless necessary for farming or horticulture activities.

- 12 Restaurants (including as part of a motel) should:
- (a) not be sited:
 - (i) within areas subject to inundation by a 1-in-100 year average return interval flood event or sited on land fill which would interfere with the flow of such flood waters
 - (ii) on land with a slope more than 20 per cent (1-in-5)
 - (b) be setback a minimum of 25 metres from any bore, well or watercourse, where a watercourse is identified as a blue line on a current series 1:50 000 Government standard topographic map or where there is observed a clearly defined bed and banks where water flows at any time and includes all:
 - (i) dams or reservoirs that collect water flowing in a watercourse
 - (ii) lakes through which water flows
 - (iii) channels into which water has been diverted
 - (iv) any known underground seepage condition.

Form and Character

- 13 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 14 Irrigated areas should not be sited where they may impact upon a watercourse, lake or well.
- 15 Irrigation bores should be sited so as not to impact upon effluent disposal fields or bores used for non-irrigation purposes.

Land Division

- 16 Land should not be divided unless to alter the boundaries of an allotment for the purpose of increased primary production efficiency or productivity and the allotments created are greater than 100 hectares in area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road within an 80 km/h speed restriction or less (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Bus depot	
Caravan Park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	Except where used for the purposes of administering the: <ul style="list-style-type: none"> (a) <i>National Parks and Wildlife Act 1972</i> (b) <i>Wilderness Protection Act 1992</i>.
Educational establishment	
Fuel depot	
Horse keeping	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
<i>Land based aquaculture</i>	
Land division	Except where it achieves all of the following: <ul style="list-style-type: none"> (a) no additional allotments are created partly or wholly within the zone (b) allotments greater than 40 hectares are created.

Form of Development	Exceptions
Motel	<p>Except where all of the following criteria are satisfied:</p> <p>(a) in relation to building(s) providing temporary accommodation:</p> <ul style="list-style-type: none"> (i) is not located in areas subject to inundation by a 1-in-100 year average return interval flood event or situated on land fill which would interfere with the flow of such flood waters (ii) be connected to an approved waste treatment system (iii) not have any part of a septic tank effluent drainage field or any other wastewater disposal area (eg irrigation area) located within 50 metres of a watercourse, where a watercourse is identified as a blue line on a current series 1:50000 Government standard topographic map or where there is observed a clearly defined bed and banks where water flows at any time, and when accommodating eleven guests or more any effluent generated is not disposed onto land: <ul style="list-style-type: none"> (A) in a high rainfall zone (>900 millimetres/year) (B) within 200 metres of a major watercourse (3rd or higher order) (iv) not have a wastewater disposal area located on any land with a slope greater than 20 per cent (1-in-5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres (v) not have a septic tank or any other wastewater treatment facility located on land likely to be inundated by a 1-in-10 year average return interval flood event (vi) is sited at least 25 metres from any watercourse (vii) the number of tourist accommodation bed spaces existing and proposed does not exceed a maximum of 25 <p>(b) in relation to the restaurant component:</p> <ul style="list-style-type: none"> (i) the method of waste water disposal does not involve the storage of waste water in holding tanks (ii) it does not result in more than 75 seats for customer dining purposes on the allotment (iii) the development is setback at least 25 metres from a bore, well or watercourse identified as a blue line on a current series 1:50 000 Government standard topographic map or where there is observed a clearly defined bed and banks in which water may flow at any time (iv) no part of the development is undertaken in areas subject to inundation by a 1-in-100 year average return interval flood or sited on land fill that would interfere with the flow of such flood waters.
Motor repair station	
Nursing home	

Form of Development	Exceptions
Office	Except where it achieves at least one of the following: <ul style="list-style-type: none"> (a) in association with and ancillary to primary production activities (b) used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i>.
Petrol filling station	
Place of worship	
Pre-school	
Prescribed Mining Operations	
Public service depot	
Restaurant	Except where ancillary to and in association with primary production or tourist accommodation and all of the following criteria are satisfied: <ul style="list-style-type: none"> (a) the method of waste water disposal does not involve the storage of waste water in holding tanks (b) it does not result in more than 75 seats for customer dining purposes on the allotment (c) the development is setback at least 25 metres from a bore, well or watercourse identified as a blue line on a current series 1:50 000 Government standard topographic map or where there is observed a clearly defined bed and banks in which water may flow at any time (d) no part of the development is under taken in areas subject to inundation by a 1-in-100 year average return interval flood or sited on land fill that would interfere with the flow of such flood waters.
Road transport terminal	
Service trade premises	
Shop (other than a restaurant)	Except where ancillary to and in association with primary production or tourist accommodation and all of the following criteria are satisfied: <ul style="list-style-type: none"> (a) the gross leasable area does not exceed 250 square metres (b) development is set back more than 50 metres from a bore, well or the top of the bank of a watercourse.
Stadium	
Stock sales yard	
Stock slaughter works	

Form of Development	Exceptions
Tourist accommodation	Except where all of the following criteria are satisfied: <ul style="list-style-type: none"> (a) is not located in areas subject to inundation by a 1-in-100 year average return interval flood event or situated on land fill which would interfere with the flow of such flood waters (b) be connected to an approved waste treatment system (c) not have any part of a septic tank effluent drainage field or any other wastewater disposal area (eg irrigation area) located within 50 metres of a watercourse, where a watercourse is identified as a blue line on a current series 1:50 000 Government standard topographic map or where there is observed a clearly defined bed and banks where water flows at any time, and when accommodating eleven guests or more any effluent generated is not disposed onto land: <ul style="list-style-type: none"> (i) in a high rainfall zone (>900 millimetres/year) (ii) within 200 metres of a major watercourse (3rd or higher order) (d) not have a wastewater disposal area located on any land with a slope greater than 20 per cent (1-in-5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres (e) not have a septic tank or any other wastewater treatment facility located on land likely to be inundated by a 1-in-10 year average return interval flood event (f) is sited at least 25 metres from any watercourse (g) the number of tourist accommodation bed spaces existing and proposed does not exceed a maximum of 25.

Waste reception, storage, treatment or disposal

Wrecking yard

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
	<p>Shop</p> <p>Tourist accommodation setback a minimum of 100 metres from land within an adjoining allotment used for farming or horticulture</p> <p>Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:</p> <ul style="list-style-type: none"> (a) an existing dwelling or tourist accommodation that is not associated with the wind farm

Category 1

Category 2

- (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists
- (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan).

Wind monitoring mast and ancillary development

Wharf Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A functional and diverse zone accommodating a mix of commercial, business, tourism, and community facilities together with activities associated with the transportation of passengers and freight by sea-going vessels, public recreation and mooring of boats for recreational or commercial use.
- 2 Wharf areas developed as a public realm, allowing for free and open access to the community and visitors whilst accommodating operational constraints.
- 3 Development that does not adversely impact on the amenity of adjacent land use for residential or tourist accommodation purposes.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone encompasses the Kingscote and Penneshaw wharf areas that will be characterised by a diversity of port related activities, together with community, tourist, recreational and commercial fishing facilities that make the most of the coastal location. The range of services and facilities established in the zone will complement the role and function of the respective town centres.

Through the siting and design of buildings, provision of links with the surrounding areas, use of open space, and the adoption of unified landscape treatments and signage, the zone will create a strong sense of arrival for people entering the Island by sea, establish legible routes for visitors to access the adjacent town centre, and provide passive recreational elements in which to enjoy the coastal setting and explore the coastal foreshore. Pedestrian paths, boardwalks and viewing platforms may be provided in appropriate locations along the foreshore.

Development within the zone will be sympathetic to the port related character, historic town elements and create an integrated environment through built form, scale, and the use of materials and colours that is visually attractive and incorporates shelter and protection.

As operational wharfs, provision will also made for car and truck parking, boating facilities and interpretive facilities.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - boat fuelling facility
 - boat ramp or other boat launching facility
 - breakwater
 - coastal protection works
 - community facility / meeting room
 - consulting room
 - commercial fishing support services
 - conference facility
 - freight transportation facilities

- institutional facility
 - light industry
 - marina, a boat mooring or a boat storage facility
 - marine harbour or channel
 - navigation aid structure
 - office
 - recreation facilities
 - rock wall / retaining wall
 - service trade premises
 - shop or group of shops
 - tourism facilities
 - tourist accommodation
 - jetty / wharf
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 A shop or group of shops (excluding a restaurant) should have a gross leasable area that does not exceed 450 square metres.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Development within the Kingscote wharf area should be in accordance with [Concept Plan Map KI/2 - Kingscote Wharf](#) and not unduly impact on penguin habitat.
- 6 Development should provide safe and convenient access for vehicles, cyclists and pedestrians via well defined linkages, with car parking provided in accordance with the requirements of [Table KI/2 - Off Street Vehicle Parking Requirements](#).
- 7 The bulk and scale of development should be compatible with adjoining land uses.
- 8 Car parking and facilities for trade vehicles should be provided:
- (a) appropriate to the intensity of the use
 - (b) at the rear or side of premises where possible.
- 9 Advertisements and advertising hoardings should not include:
- (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 10 Land division should create allotments that vary in size and are suitable for a variety of commercial activities.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Builder's yard	
Dwelling	Except one of the following built in conjunction with a non-residential development on the same allotment: (a) group dwelling (b) row dwelling (c) residential flat building.
Fuel depot	
General industry	
Horse keeping	
Intensive animal keeping	Except aquaculture.
Motor sales premises	
Petrol filling station	Except in relation to wharf related activities.
Prescribed mining operations	
Road transport terminal	
Shop or group of shops	Except where: (a) it is a restaurant (b) other than a restaurant, the gross leasable area does not exceed 450 square metres.
Special industry	
Stock sales yard	
Stock slaughter works	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Boat fuelling facility	All forms of development not listed as Category 1
Boat ramp or other boat launching facility	
Breakwater	
Coastal protection works	
Community facility	
Commercial fishing support services	
Conference facility / meeting room	
Consulting room	
Freight transportation facilities	
Institutional facility	
Jetty / wharf	
Light industry	
Marina, a boat mooring or a boat storage facility	
Marine harbour or channel	
Navigation aid structure	
Office	
Recreation facilities	
Rock wall / retaining wall	
Service trade premises	
Shop or group of shops	
Tourism facilities	
Tourist accommodation	
Warehouse	

Table Section

Table KI/1 - Conditions for Complying Development

Form of Development	Compliance Criteria / Conditions
Domestic outbuilding that is ancillary to an existing dwelling	<ol style="list-style-type: none"> 1 Being setback a minimum of eight metres from the road frontage and being no closer to the road than the dwelling to which it relates. 2 The domestic outbuilding being: <ol style="list-style-type: none"> (a) not greater than 54 square metres in area (b) not greater than 3.1 metres in height to the eaves (c) not greater than 3.6 metres in height to the top of the gable (if relevant) (d) ancillary to a dwelling (e) of a size that does not result in the total floor area of buildings on the site exceeding 50 per cent of the area of the site (f) sited no closer than one metre to a property boundary other than a road boundary.
Farm building	<ol style="list-style-type: none"> 1 No farm building being erected which exceeds a height of eight metres from existing ground level to the top of the roofline. 2 The external cladding or walling material and roof sheeting being comprised of new materials, or used materials where the soundness and uniform appearance of the materials is not in anyway damaged or holed. 3 The building is set back a minimum of 100 metres from a public road.

Table KI/2 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Billiard saloon	1 per 15 square metres floor area of the place.
Boarding house	1 per 3 beds.
Bowling alley	1 per 15 square metres floor area of the place.
Bowling club	20 per bowling green.
Clubroom	1 per 15 square metres floor area of the place.
Community centre	1 per 15 square metres total floor area.
Concert hall	1 per 7 seats.
Consulting rooms	2 for each surgery.
Dance hall	1 per 15 square metres floor area of the place.
Dwelling (as cabins available for rent)	1 per dwelling.
Exhibition hall	1 per 15 square metres floor area of the place.
Funeral parlour	1 per 7 chapel seats plus provision for vehicles operated by parlour.
General, light, service or special industry	1 per 150 square metres total floor area or 1 per 3 employees (whichever provides the larger parking area)
Guest house	1 per 3 beds.
Gymnasium	1 per 15 square metres floor area of the place.
Hospital	1 per 3 beds.
Hostel	1 per 3 beds.
Hotel	1 per 3 square metres of bar floor area plus 1 per 9 square metres of lounge bar or beer garden floor area or 1 per 5 guest rooms (whichever provides the larger parking area).
Meeting hall	1 per 7 seats.
Motel	1 per 3 guest rooms or residential units plus 1 per 15 square metres total floor area of restaurant (if provided).
Multiple dwelling, residential flat building	1 per dwelling unit, plus 1 per 3 dwelling units for visitor parking.
Nursing home	1 per 3 beds.
Office	1 per 35 square metres of floor area providing office accommodation with the minimum of 2 car parking spaces.
Place of worship	1 per 7 seats.
Plant nursery (retail)	1 per 200 square metres total floor area or car parking area equal to eight per cent of the site (whichever provides the larger area)

Form of Development	Number of Required Car Parking Spaces
Public meeting hall (other than mentioned elsewhere)	1 per 15 square metres floor area of the place.
Reception hall	1 per 6 square metres floor area devoted to reception area.
Restaurant	1 per 15 square metres total floor area.
Service station	7 spaces for customer and employee use.
Shops	1 per 25 square metres total floor area.
Showroom	1 per 150 square metres total floor area.
Stadium	1 per 20 square metres of floor area of the place.
Store	1 per 150 square metres total floor area or 1 per 3 employees (whichever provides the larger parking area).
Squash courts	2 per court.
Supported accommodation	1 per 10 residents plus 1 per 2 staff plus one per 5 residents (for visitors).
Theatre	1 per 7 seats.
Warehouse	1 per 150 square metres total floor area or 1 per 3 employees (whichever provides the larger parking area).

Table KI/3 - Building Setbacks from Road Boundaries

Road Boundary	Setback distance from road boundary (metres)
Country road boundary being any road boundary or portion of a road boundary lying within any of the following zones: (a) Airfield Zone (b) Coastal Open Space Zone (c) Coastal Conservation Zone (d) Conservation Zone (e) Primary Production Zone (f) Water Protection Zone.	100 except for wind farms and ancillary development
Road boundary being any road boundary or portion of a road boundary lying within the Rural Living Zone.	30 15 (for a detached dwelling within Precinct 20 Emu Bay South Mixed Use)
Township road boundary being any road boundary or portion of a road boundary lying within any of the following zones: (a) Business and Community Zone (b) Coastal Settlement Zone (c) Commercial Zone (d) District Town Centre Zone (e) Industry Zone (f) Open Space Zone (g) Recreation Zone (h) Residential Zone (i) Tourist Accommodation Zone (j) Town Centre Zone (k) Township Zone (l) Wharf Zone.	8

Table KI/4 - Local Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Hog Bay Road AMERICAN BEACH	Moreton farmhouse, barn and stone wall; front and side elevations, roof form and veranda of dwelling, stone outbuilding and stone wall	114	F215365	CT 5807/974	a b d	20566
Redbanks Road AMERICAN RIVER	House (former school)	4	D32641	CT 5069/537	a d	20608
Ryberg Road AMERICAN RIVER	House	301	D64735	CT 5921/8	a d	20609
Scenic Drive (cnr Redbanks Road) AMERICAN RIVER	Art Gallery & Tea Rooms	13	D68259	CT 5952/525	a d	20610
Scenic Drive AMERICAN RIVER	Shop (former General Store)	701	D68489	CT 5950/436	a d	20611
Wattle Avenue cnr Ryberg Road AMERICAN RIVER	Memorial Hall	239	F181081	CT 5656/640	a d	20615
North Coast Road BAY OF SHOALS	Former school building; front and side elevations, roof form excluding rear addition	341	H110800	CT 5670/143	a b c	20603
Brownlow Road BROWNLOW K.I.	Cottage; front and side elevations, roof form	2	D15181	CT 5696/962	a d	20606
Arranmore Road CYGNET RIVER	Arranmore - ruin	2 3 4	F143617 F143617 F143617	CT 5265/347 CT 5265/347 CT 5265/347	a b d	20581
Duck Lagoon Road CYGNET RIVER	Tilka - ruin	263	H110800	CT 5792/746	a b d	20585
Playford Highway CYGNET RIVER	Former school building; front, side and rear elevations, roof form excluding later additions	12	D45227	CT 5351/110	a b c	20582
Franks Road Cnr Franks & Kingscote-Penneshaw Road DUDLEY EAST	Dwelling "Fas Kally"; front and side elevations, roof form, verandas	3	F101554	CT 5110/44	a b d	20564
Government Road DUDLEY EAST	House	140	F180982	CT 5799/460	a d	20536
Willoughby Road DUDLEY EAST	House (former Post Office)	95	F214709	CT 5773/79	a d	20552

Kangaroo Island Council
Table Section
Table KI/4 - Local Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Wilson River Road DUDLEY EAST	Brakenmore - Pug & pine cottage; whole of cottage	142W	H110200	CT 5773/988	a b d	20563
Hog Bay Road DUDLEY WEST	Muckle Roe farmhouse and outbuildings; front and side elevations, roof form, stone outbuildings	50	D38689	CT 5199/481	a b d	20567
Hog Bay Road DUDLEY WEST	Frogmore farmhouse and former schoolroom; dwelling front and side elevations, roof forms, verandas; whole of former schoolroom excluding interior	3	D19422	CT 5829/49	a b d	20565
Hog Bay Road near Pelican Lagoon HAINES	Prospect Hill	510 404	H110200 H110500	CR 5760/419 CR 5760/439	c e f	20577
Charing Cross Road KANGAROO HEAD	Dwelling; ruin including outbuildings	5	D18679	CT 5464/352	a b d	20597
45 Chapman Terrace KINGSCOTE	House and fence	766	F180798	CT 5729/303	a d	20631
51 Chapman Terrace KINGSCOTE	Guest House (Seaview); External form under main roof, materials, open veranda and original detailing of the original guest house and the masonry fence.	117	D1662	CT 5810/823	a d	20632
57 Chapman Terrace KINGSCOTE	Dwelling; front and side elevations, roof form, veranda and front fence	81	F36390	CT 5273/794	a d e	20625
59 Chapman Terrace KINGSCOTE	Dwelling; front and side elevations, roof form, front fence and veranda excluding veranda enclosure and carport	82	D44677	CT 5352/506	a d	20626
67 Chapman Terrace KINGSCOTE	Ozone Hotel	753	F180785	CT 5487/456	a d	20633
Cnr Commercial Street Cnr Commercial & Dauncey Streets KINGSCOTE	Shop (Landmark Real Estate)	91	F171114	CT 5328/855	a d	20634
1 Commercial Street KINGSCOTE	Former house	89	F219050	CT 5956/83	a d	20642

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Dauncey Street KINGSCOTE	Queenscliffe Family Hotel, Rear Wall & Town Square	29 30 48 49 3	D1300 D1300 D1300 D1300 F161103	CT 5935/647 CT 5935/647 CT 5935/647 CT 5935/649 CT 5935/648	a d	20638
17 Dauncey Street KINGSCOTE	Dwelling; front and side elevations, roof form and veranda	3	D4142	CT 5579/822	a b e	20624
43 Dauncey Street (cnr Murray Street) KINGSCOTE	Kingscote Town Hall	33	D1300	CT 5502/889	a d	20636
46 Dauncey Street KINGSCOTE	House	770	F180802	CT 5779/597	a d	20637
61 Dauncey Street KINGSCOTE	Shop	92	F170325	CT 5323/985	a d	20639
62 Dauncey Street (cnr Murray Street) KINGSCOTE	ANZ Bank	1	D32574	CT 5221/921	a d	20640
65 Dauncey Street KINGSCOTE	Hall (RAOB)	104	D60800	CT 5889/449	a d	20641
Esplanade Kingscote KINGSCOTE	Settler's Memorial	350	H110800	CR 5757/364	a d	20506
49 Esplande Road KINGSCOTE	Dwelling; front and side elevations, roof form and veranda	804	F180836	CT 5804/715	d	20617
15 Franklin Street KINGSCOTE	Dwelling; front and side elevations, roof form and veranda	201	F36406	CT 5291/880	a d	20627
16 Franklin Street KINGSCOTE	House (former schoolmaster's house)	10	F103566	CT 5135/121	a d	20502
18 Franklin Street KINGSCOTE	Scout Hall (former school)	777	F180809	CT 5661/699	a d	20503
3 Giles Street KINGSCOTE	House	714	F180746	CT 5473/531	a d	20504
9 Giles Street KINGSCOTE	House	7	F102180	CT 5117/833	a d	20505
13 Giles Street KINGSCOTE	Dwelling; front and side elevations, roof form and veranda	1	F160447	CT 5293/152	a d	20618
9 Kingscote Terrace KINGSCOTE	House	720	F180752	CT 5779/590	a d	20509

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Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
11 Kingscote Terrace KINGSCOTE	House	719	F180751	CT 5809/272	a d	20510
17 Kingscote Terrace KINGSCOTE	House	12	D30783	CT 5319/965	a d	20511
19 Kingscote Terrace KINGSCOTE	House (Seymour)	1	D1300	CT 5330/482	a d	20512
61 Kohinoor Road KINGSCOTE	Dwelling; front and side elevations, roof form and verandas	92	F162898	CT 5301/364	a b d	20628
26 Kohinoor Road KINGSCOTE	House	13	D1691	CT 5307/75	a d	20513
Murray Street KINGSCOTE	Church; The overall external form, materials, original doors and windows, cement dressing and original facade detailing, excluding rear lean-to additions.	93	D1300	CT 5786/406	a d	20517
1 Murray Street KINGSCOTE	Shop (The Gallery)	2	F1473	CT 5555/293	a d	20515
9 Murray Street KINGSCOTE	Office	745	F180777	CT 5677/393	a d	20516
North Coast Road KINGSCOTE	Eucalyptus distillery - ruin	400	D69789	CT 5956/187	b	20600
North Coast Road KINGSCOTE	Dover Farm - ruin	400	D69789	CT 5956/187	a b d	20601
Osmond Street (cnr Drew Street) KINGSCOTE	St Albyn's Anglican Church	57	D1300	CT 5810/515	a d	20518
11 Osmond Street KINGSCOTE	Dwellings; front and side elevations, roof form and veranda of single storey dwelling, excluding rear lean-to addition; whole of "Doll's House" excluding interior, porch, pergola and shutters	67	D1300	CT 5786/402	a d	20619
17 Osmond Street KINGSCOTE	House (The Captain's Retreat)	64	D1300	CT 5821/841	a d	20519
21 Osmond Street (cnr Commercial Street) KINGSCOTE	Dwelling; front and side stone elevations, roof form, excluding lean-to additions	2	D12644	CT 5104/553	a d	20620
Telegraph Terrace KINGSCOTE	Former Carnarvon House (Island Resort)	100	D61961	CT 5896/924	a d	20520

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
12 Wheelton Street KINGSCOTE	House	31	D1807	CT 5481/868	a d	20522
14 Wheelton Street KINGSCOTE	House	51	D65437	CT 5925/549	a d	20523
17 Wheelton Street KINGSCOTE	House	92	D1807	CT 5837/138	a d	20524
Seagers Road MACGILLIVRAY	Former "Hawks Nest" homestead; whole of ruin	107 111 90	H110600 H110600 H110600	CL 1320/4 CL 1320/4 CL 1320/4	a b d	20570
Hog Bay Road PELICAN LAGOON	Dwelling (former farmhouse); front and side elevations, roof form and verandas	20	D63398	CT 5907/350	a b d	20573
Hog Bay Road PELICAN LAGOON	Salt Lake Cottage; front and side elevations	12	D48558	CT 5656/20	a b d	20576
PELICAN LAGOON	Cottage; front and side elevations, roof and veranda form	233 234	H110200 H110200	CT 5573/650 CT 5573/650	a b d	20595
Frenchmans Terrace (cnr Cheopis Street) PENNESHAW	House (Rock Cottage)	53	T110201	CT 5818/527	a d	20535
Howard Drive PENNESHAW	Former School (National Trust Museum)	88	T110201	CR 5758/168	a d	20541
Howard Drive PENNESHAW	House (Christmas Cove Cottage)	134	F180976	CT 5754/272	a d	20542
Howard Drive PENNESHAW	House (Surbiton)	21	F43176	CT 5976/395	a d	20543
Howard Drive PENNESHAW	Former Methodist Church	3	T110201	CT 5528/3	a d	20540
Howard Drive PENNESHAW	Dwelling (former Council Chambers, former hospital); front and side elevations, roof form and veranda excluding rear additions and veranda enclosure	106	D30593	CT 5511/950	a b c d	20538
Howard Drive PENNESHAW	Former Shop (Valentine Store)	2	T110201	CT 5646/927	a d	20539
North Terrace PENNESHAW	House (Johnston's Cottage)	16	T110201	CT 5819/194	a d	20545
South Terrace (cnr Rapide Drive) PENNESHAW	House	141	F180983	CT 5437/921	a d	20549

Kangaroo Island Council
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Table KI/4 - Local Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
South Terrace PENNESHAW	House	84	T110201	CT 5267/869	a d	20548
Thomas Wilson Street PENNESHAW	Penneshaw Hotel and Stables; overall form, materials and detailing of original stone hotel and stable, excluding later additions and veranda)	17	T110201	CT 5254/603	a c f	20546
Thomas Wilson Street PENNESHAW	Police Station and Outbuildings	18 19	T110201 T110201	CT 5916/280 CT 5916/281	a d	20550
Warawee Terrace PENNESHAW	House	2	F19244	CT 5123/583	a d	20551
Willoughby Road PENNESHAW	House (Seaview Lodge)	3	F3045	CT 5135/432	a d	20554
South Coast Road SEDDON	Kaiwarra; whole of original stone cottage, excluding veranda enclosure and later addition	22	D60356	CT 5885/224	a b d	20571
Timber Creek Road Sir Cecil Hincks Memorial Reserve SEDDON	Monument - remnant floor slab and timber gantry	80	H111100	CR 5756/698	c e	20586
Emu Bay Road WISANGER	Dwelling, "Emu Bay Homestead"; front and side elevations, roof form, veranda	75	H110800	CT 5554/483	a d	20591
North Coast Road WISANGER	Whittaker's Cottage - ruin	200	D63923	CT 5914/172	a b d e	20589
North Coast Road WISANGER	Ruin	366	H110800	CT 5554/480	a	20592
Off North Coast Road West of Bay of Shoals, South East of Emu Bay WISANGER	Salt Lake - lake	453	H110800	CR 5760/442	a c f	20604

Note: This table was last updated on 11 February 2010.

Table KI/5 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Pelican Lagoon, near AMERICAN RIVER	Threshing Floor, Pelican Lagoon Conservation Park	S641	H110200	CR 5685/178	a c	14737
near AMERICAN RIVER	D'Estrees Bay Whaling Site, Cape Gantheaume Conservation Park	A104 S414 S395	D47500 H110500 H110500	CR 5528/47 CR 5685/179 CR 5765/348		14422
AMERICAN RIVER	Threshing Floor, Cape Gantheaume Conservation Park	S282	H110500	CR 5685/179	a b c d	14738
Off Willoughby Road ANTECHAMBER BAY VIA PENNESHAW	Farmhouse ('Freshfields') and Graves	S63	H110200	CT 5302/540	c g	10394
Lierich Drive BALLAST HEAD VIA AMERICAN RIVER	Fish Canning Factory Site	S384	H110500	CR 5744/563	c	14743
Point Morrison BALLAST HEAD VIA AMERICAN RIVER	Dwelling - Jacob Seaman's Hut Site (Ruin)	A92	F175367	CT 5358/316	a c	14752
Playford Highway CAPE BORDA VIA KINGSCOTE	Harveys Return Cemetery, Flinders Chase National Park	S18	H111200	CR 5778/21		12354
CAPE BORDA VIA KINGSCOTE	Cape Borda Lighthouse (originally 'Flinders Light'), Keepers' Cottages & Museum (former Store), Flinders Chase National Park	S53	H111200	CR 5393/98		10399
CAPE BORDA VIA KINGSCOTE	Harveys Return Landing Site, Flinders Chase National Park	S11	H111200	CR 5685/176		12353
Willoughby Road CAPE WILLOUGHBY VIA PENNESHAW	Cape Willoughby Lighthouse Tower (excluding modern lantern), Cape Willoughby Conservation Park	S412	H110200	CR 6032/994		10391
Duck Lagoon Road CYGNET RIVER VIA KINGSCOTE	Farm and Eucalyptus Oil Distillery Ruins, Duck Lagoon	S421	H110800	CR 5757/377	c	14741
CYGNET RIVER VIA KINGSCOTE	Dwelling & Eucalyptus Oil Distillery Ruins	A887	F180919	CT 5371/976	c	14740

Kangaroo Island Council
Table Section
Table KI/5 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
near EMU BAY VIA KINGSCOTE	Cape d'Estaing to Emu Bay (west) and Emu Bay (east) to Boxing Bay Coastline (designated place of palaeontological significance)	S415	H110800	CR 5765/375	b c d	14548
		S416	H110800	CR 5765/376		
		S423	H110800	CR 5765/377		
		S500	H110800	CR 5765/394		
		S429	H110800	CR 5744/569		
		S431	H110800	CR 5744/570		
		A98	T110802	CR 5862/290		
		A1000	D70632	CR 5967/728		
Maupertuis Bay FLINDERS CHASE VIA KINGSCOTE	David Kilpatrick's Grave, Flinders Chase National Park	A51	D38340	CR 5778/21	a	14746
FLINDERS CHASE VIA KINGSCOTE	Cape du Couedic Lighthouse, Flinders Chase National Park	A1	F31869	CR 5778/21		10398
FLINDERS CHASE VIA KINGSCOTE	Weirs Cove Jetty, Funnelway & Store Ruin, Flinders Chase National Park	Q55	D38340	CR 5778/21		10402
FLINDERS CHASE VIA KINGSCOTE	Cape du Couedic Lighthouse Keepers' Cottages, Stable & Store, Flinders Chase National Park	Q55	D38340	CR 5778/21		12351
FLINDERS CHASE VIA KINGSCOTE	Rocky River Homestead, Flinders Chase National Park	Q55	D38340	CR 5778/21		12588
Off South West River Road KARATTA VIA KINGSCOTE	Grassdale Homestead (also known as Edwards' Cottage) and Sealers' Sites, Kelly Hill Conservation Park	A152	D38341	CR 5685/175	c	14645
Cassini Road, near KINGSCOTE	Cassini Station Complex and Mulberry Tree	A2	F8523	CT 5495/488	a b c	14750
		A1	F8523	CT 5825/100		
Lot 140 Centenary Avenue KINGSCOTE	Dwelling ('Hope Cottage')	A140	D1691	CT 5498/954		10401
Off Cordes Road KINGSCOTE	'The Bluff' Cottage (Formerly 'Reeves' Cottage, 'Seaview Farm')	Q23	D75867	CT 6021/719		14406
6 Dauncey Street KINGSCOTE	Combined Shop/Dwelling (originally Barrett's Store)	A755	F180787	CT 5860/786		12374

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Reeves Point KINGSCOTE	Reeves Point Settlement Site (site of the first official settlement in the Colony), including cemetery, well and mulberry tree	A94 & 95 S444 S445 A802 S458 S459 S490 S499 A803	F171221 H110800 H110800 F180834 H110800 H110800 H110800 H110800 F180835	CR 5350/941 CR 5550/690 CR 5524/86 CT 5796/284 CR 5756/680 CR 5756/681 CR 5756/688 CR 5756/689 CT 5804/714		10980
South of KINGSCOTE	Former Faulding's Eucalyptus Plantation	S84	H110600	CL 1325/46	c g	14739
KINGSCOTE	Old Government Quarry	S445 S446 S466 S490	H110800 H110800 H110800 H110800	CR 5524/86 CR 5524/87 CR 5524/88 CR 5756/688		14039
Frenchmans Terrace PENNESHAW	Frenchman's Rock Monument, Well & Pine Trees	A96	T110201	CR 5756/672	a f	14651
Hog Bay Road PENNESHAW	Penneshaw Cemetery	S494	H110200	CT 527/145	c f	14747
Off Howard Drive PENNESHAW	Christmas Cove (designated place of geological significance)	A91 A100	T110201 H110200 D72454	CR 5228/52 N/A CT 5981/854	c g	14751
Ironstone Hill & Alex's Lookout (between) PENNESHAW	Threshing Floor	A101	D46200	CT 5998/794	c	14736
Willson River Road PENNESHAW	Dwelling - Rock Villa, Hog Bay River Station	A2	F816	CT 5516/946	a b	14749
near PENNESHAW	Bates Farmhouse, Threshing Floor & Roller, Baudin Conservation Park	S92	H110200	CR 5684/441		14112
Between Cape Bouguer & Cape Kersaint STUN'SAIL BOOM	Tilka Huts, Shed and Graves Site	A17	F3512	CT 5221/838	a	14744
WISANGER VIA KINGSCOTE	Former Wisanger School	A1 S485	D13145 H110800	CR 5351/264 CR 5756/687		10977

Note: this table was last updated on [17 June 2010](#) and is an extract from the South Australian Heritage Register established under Section 13(1) of the *Heritage Places Act 1993*. In the event of a discrepancy between this extract and the South Australian Heritage Register, the South Australian Heritage Register shall prevail.

Mapping Section

Spatial Extent Maps
Bushfire Risk Maps
Concept Plan Maps

Map Reference Tables

Index Maps

Map Reference

[Council Index Map](#)

[Enlargement Index Map - East](#)

[Enlargement Index Map - West](#)

Zone Maps

Zone Name	Map Numbers
Airfield Zone	KI/9
Business and Community Zone	KI/22
Coastal Conservation Zone	KI/2, KI/3, KI/4, KI/5, KI/6, KI/7, KI/10, KI/11, KI/12, KI/13, KI/14, KI/15, KI/16, KI/17, KI/18, KI/19, KI/21, KI/22, KI/23, KI/24, KI/26, KI/27, KI/28, KI/29, KI/30, KI/31, KI/32, KI/33, KI/35, KI/36
Coastal Open Space Zone	KI/12, KI/14, KI/22, KI/23, KI/24, KI/27, KI/32, KI/33
Coastal Settlement Zone	KI/12, KI/14, KI/21, KI/26, KI/27, KI/29, KI/30, KI/35
Commercial Zone	KI/12, KI/23, KI/24, KI/25, KI/27, KI/32, KI/33, KI/34
Conservation Zone	KI/1, KI/2, KI/5, KI/6, KI/7, KI/9, KI/8, KI/10, KI/15, KI/16, KI/17, KI/18, KI/19, KI/20, KI/21, KI/33, KI/36
Deferred Urban Zone	KI/4, KI/22, KI/24, KI/25, KI/27, KI/32
District Town Centre Zone	KI/24
Industry Zone	KI/23
Open Space Zone	KI/22
Primary Production Zone	KI/2, KI/3, KI/4, KI/5, KI/6, KI/7, KI/8, KI/9, KI/10, KI/11, KI/12, KI/13, KI/14, KI/15, KI/16, KI/17, KI/18, KI/19, KI/20, KI/21, KI/22, KI/23, KI/25, KI/26, KI/27, KI/28, KI/30, KI/31, KI/32, KI/33, KI/34, KI/35, KI/36
Recreation Zone	KI/23, KI/25, KI/32, KI/33
Residential Zone	KI/22, KI/23, KI/24, KI/25, KI/27, KI/31, KI/32, KI/33
Rural Living Zone	KI/2, KI/7, KI/12, KI/14, KI/15, KI/19, KI/23, KI/24, KI/25, KI/27, KI/28, KI/29, KI/30, KI/32, KI/33, KI/34, KI/35, KI/37 and KI/38
Tourist Accommodation Zone	KI/16, KI/17, KI/22, KI/32, KI/33
Town Centre Zone	KI/25, KI/27, KI/32, KI/33
Township Zone	KI/23, KI/25
Water Protection Zone	KI/6, KI/7, KI/17, KI/18
Wharf Zone	KI/24, KI/33

Historic Conservation Area Maps

Area Name	<i>shown within Overlay Maps - Heritage</i>
Historic Conservation Area	KI/32

Policy Area Maps

Policy Area Name	Map Numbers
Landscape Protection Policy Area 1	KI/4, KI/5, KI/6, KI/7, KI/10, KI/11, KI/12, KI/13, KI/17, KI/18, KI/19, KI/21, KI/23, KI/26, KI/35, KI/36
Core Retail Policy Area 2	KI/24
Telegraph Road Policy Area 3	KI/24
Tourist Policy Area 4	KI/24
Dudley Policy Area 5	KI/33
Antechamber Bay Policy Area 6	KI/16
Emu Bay Policy Area 7	KI/22
Visitor Policy Area 8	KI/32, KI/33
American River Policy Area 9	KI/27
Christmas Cove Policy Area 10	KI/32
Parndana Policy Area 11	KI/25
Penneshaw Policy Area 12	KI/32, KI/33

Precinct Maps

Precinct Name	Map Numbers
Precinct 1 Reeves Point	KI/24
Precinct 2 Vivonne Bay	KI/36
Precinct 3 Nepean Bay	KI/26
Precinct 4 D'Estrees Bay	KI/21
Precinct 5 Harriet River Estate	KI/35
Precinct 6 Island Beach	KI/29, KI/30
Precinct 7 Sapphoretown	KI/12, KI/14, KI/27, KI/29
Precinct 8 Freehold	KI/20, KI/21
Precinct 9 Brownlow KI	KI/23
Precinct 10 Muston	KI/28
Precinct 11 Parndana	KI/25
Precinct 12 Penneshaw	KI/15, KI/32, KI/33, KI/34
Precinct 13 Pelican Lagoon south	KI/14

Precinct Name	Map Numbers
Precinct 14 Stakes Bay	KI/37
Precinct 15 Snelling Beach	KI/38
Precinct 16 Vivonne Bay	KI/19, KI/35
Precinct 17 Pelican Lagoon	KI/14, KI/30
Precinct 18 Emu Bay West	KI/22
Precinct 19 Emu Bay East	KI/4, KI/22
Precinct 20 Emu Bay South Mixed Use	KI/22

Overlay Maps

Issue	Map Numbers
Location	KI/1, KI/2, KI/3, KI/4, KI/5, KI/6, KI/7, KI/8, KI/9, KI/10, KI/11, KI/12, KI/13, KI/14, KI/15, KI/16, KI/17, KI/18, KI/19, KI/20, KI/21, KI/22, KI/23, KI/24, KI/25, KI/26, KI/27, KI/28, KI/29, KI/30, KI/31, KI/32, KI/33, KI/34, KI/35, KI/36
Transport	KI/1, KI/4, KI/8, KI/9, KI/10, KI/11, KI/12, KI/13, KI/14, KI/15, KI/23, KI/24, KI/25, KI/26, KI/27, KI/30, KI/31, KI/32, KI/33, KI/34
Development Constraints	KI/3, KI/4, KI/7, KI/9, KI/10, KI/11, KI/12, KI/13, KI/14, KI/20, KI/22, KI/23, KI/24, KI/26, KI/27, KI/28, KI/29
Heritage	KI/1, KI/3, KI/4, KI/5, KI/8, KI/9, KI/10, KI/12, KI/13, KI/14, KI/15, KI/16, KI/17, KI/18, KI/19, KI/20, KI/21, KI/22, KI/23, KI/24, KI/29, KI/30, KI/32, KI/33

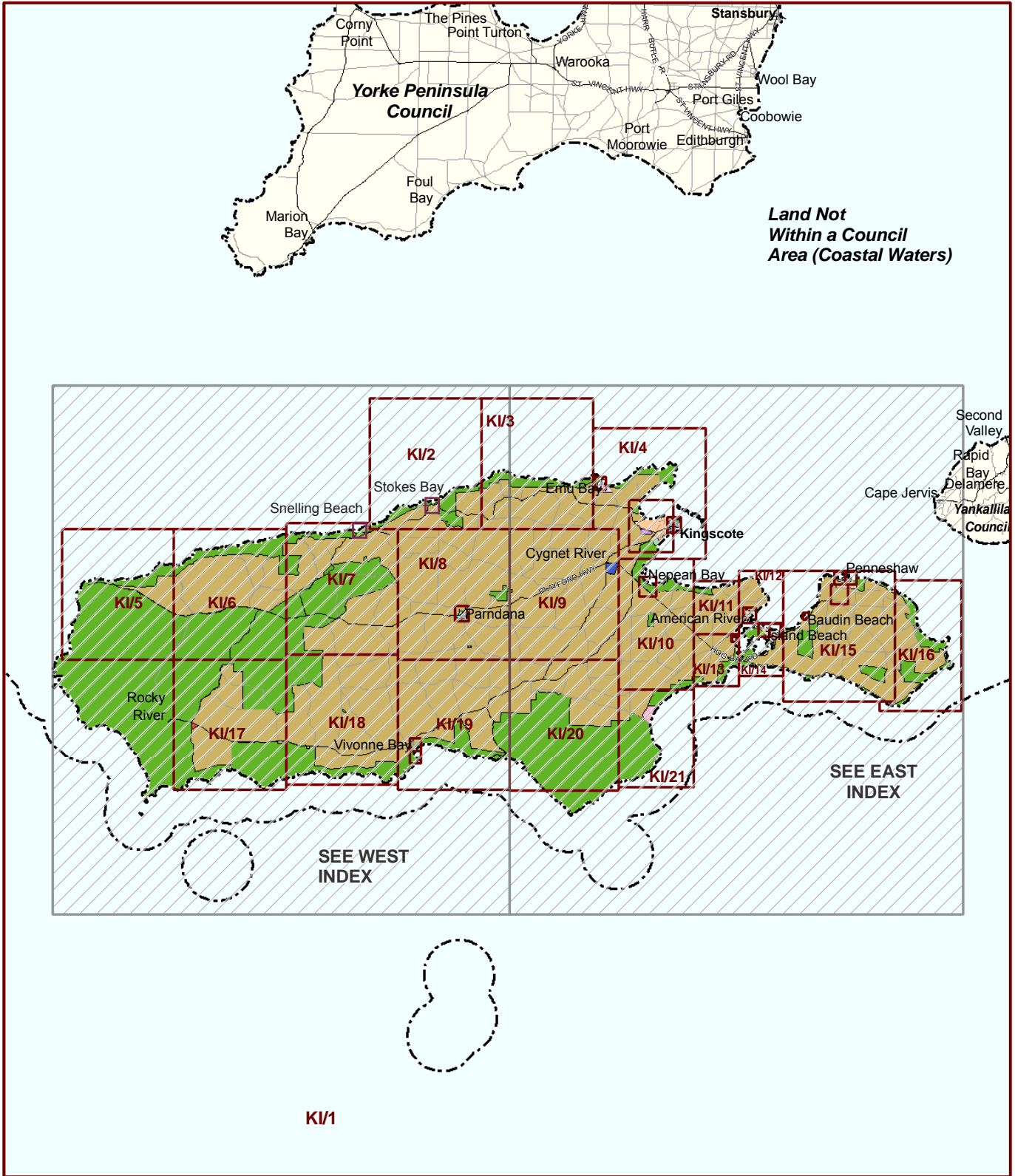
Bushfire Protection Overlay Maps

Bushfire Map Type	BPA Map Numbers
Bushfire Protection - Bushfire Risk	KI/1, KI/2, KI/3, KI/4, KI/5, KI/6, KI/7, KI/8, KI/9, KI/10, KI/11, KI/12, KI/13, KI/14, KI/15, KI/16, KI/17, KI/18, KI/19, KI/20, KI/21, KI/22, KI/23, KI/24, KI/25, KI/26

Concept Plan Maps

Concept Plan Map Title	Map Numbers
Tourist Accommodation	Concept Plan Map KI/1
Kingscote Wharf	Concept Plan Map KI/2
American River Wharf	Concept Plan Map KI/3
Antechamber Bay	Concept Plan Map KI/4
Aircraft Noise Contours	Concept Plan Map KI/5

Spatial Extent Maps

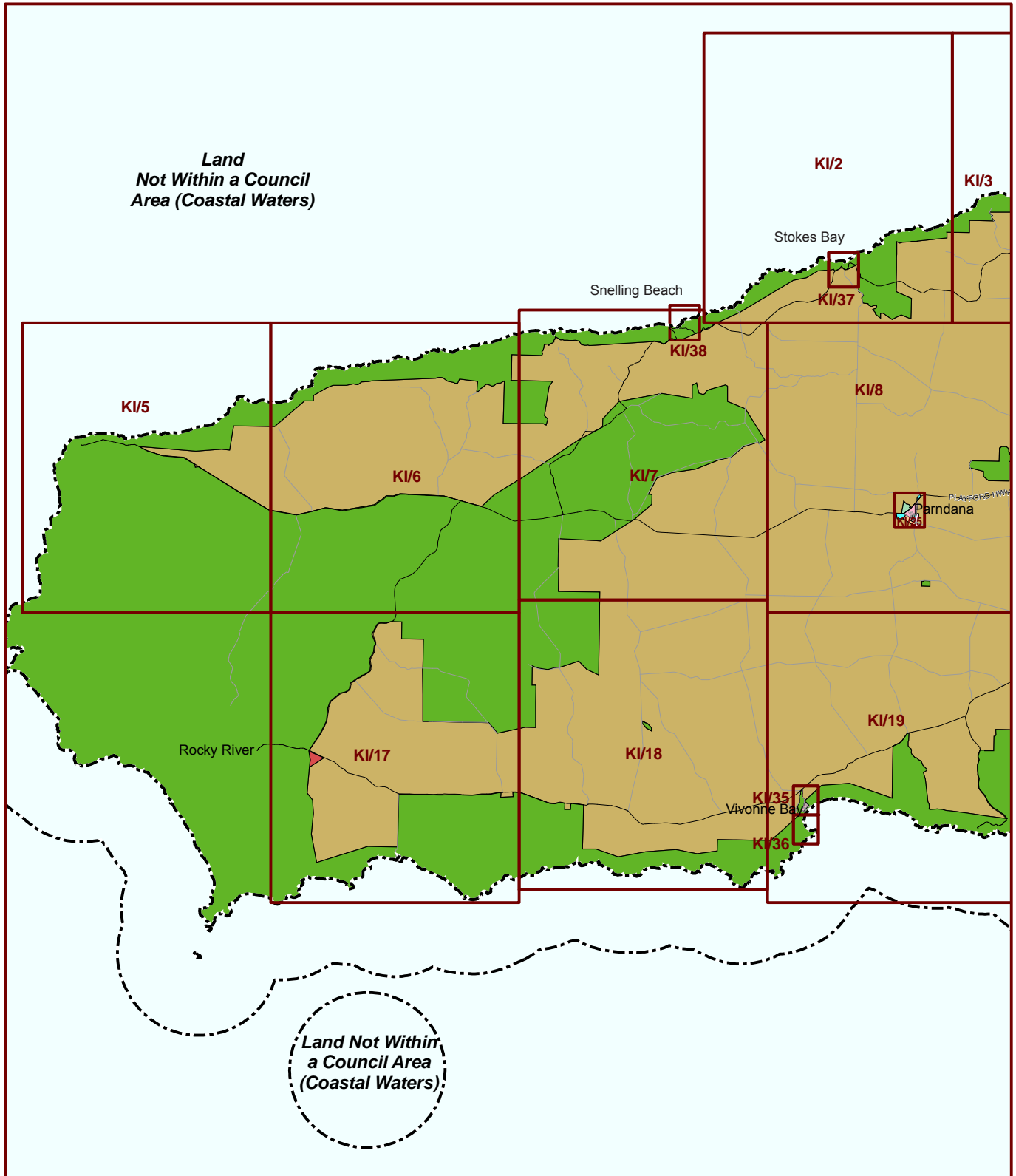


For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps KI/1 to Map KI/38 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.



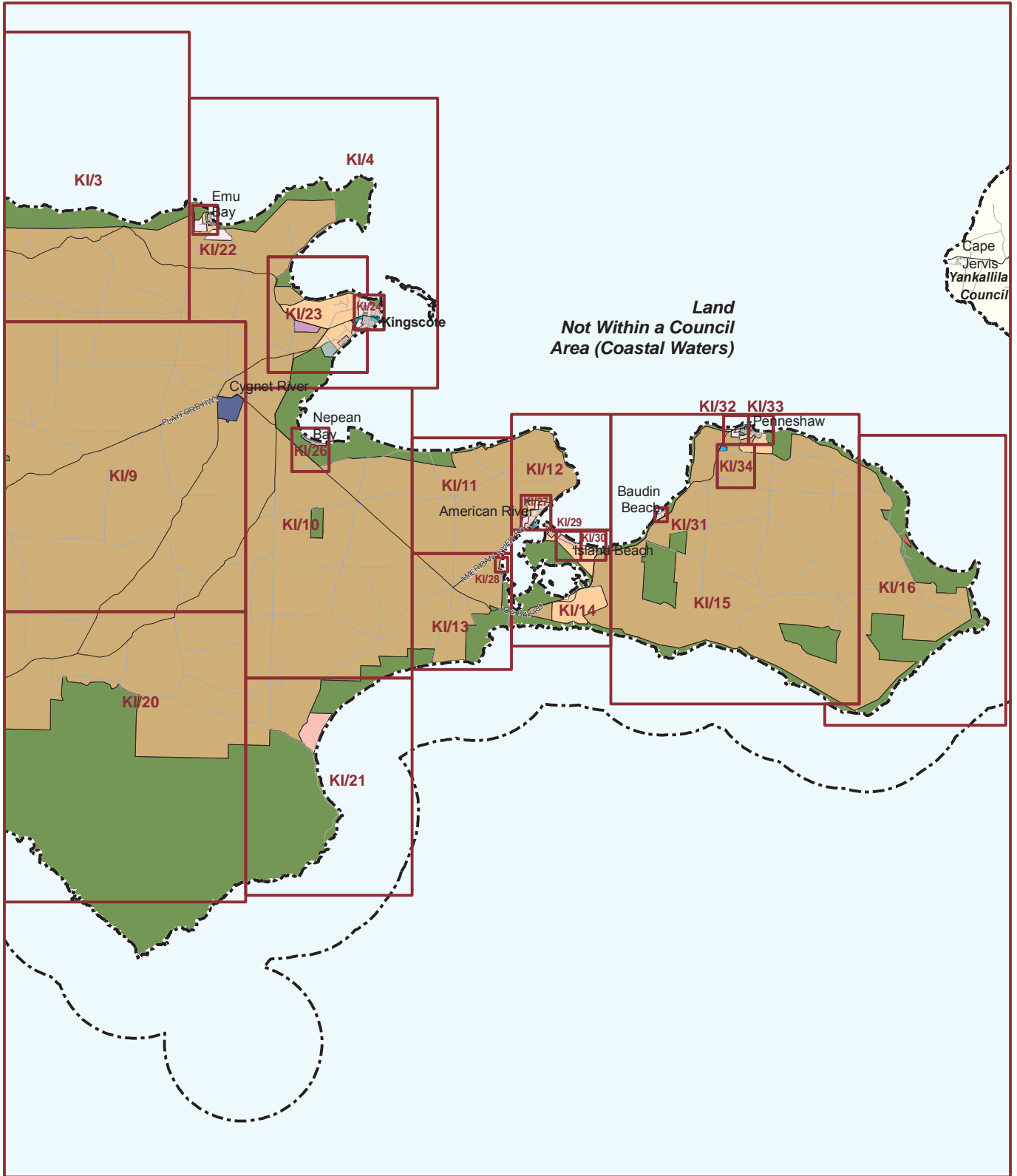
Council Index Map

 Enlargement Index



For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps KI/1 to Map KI/38 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.

WEST Enlargement Index Map

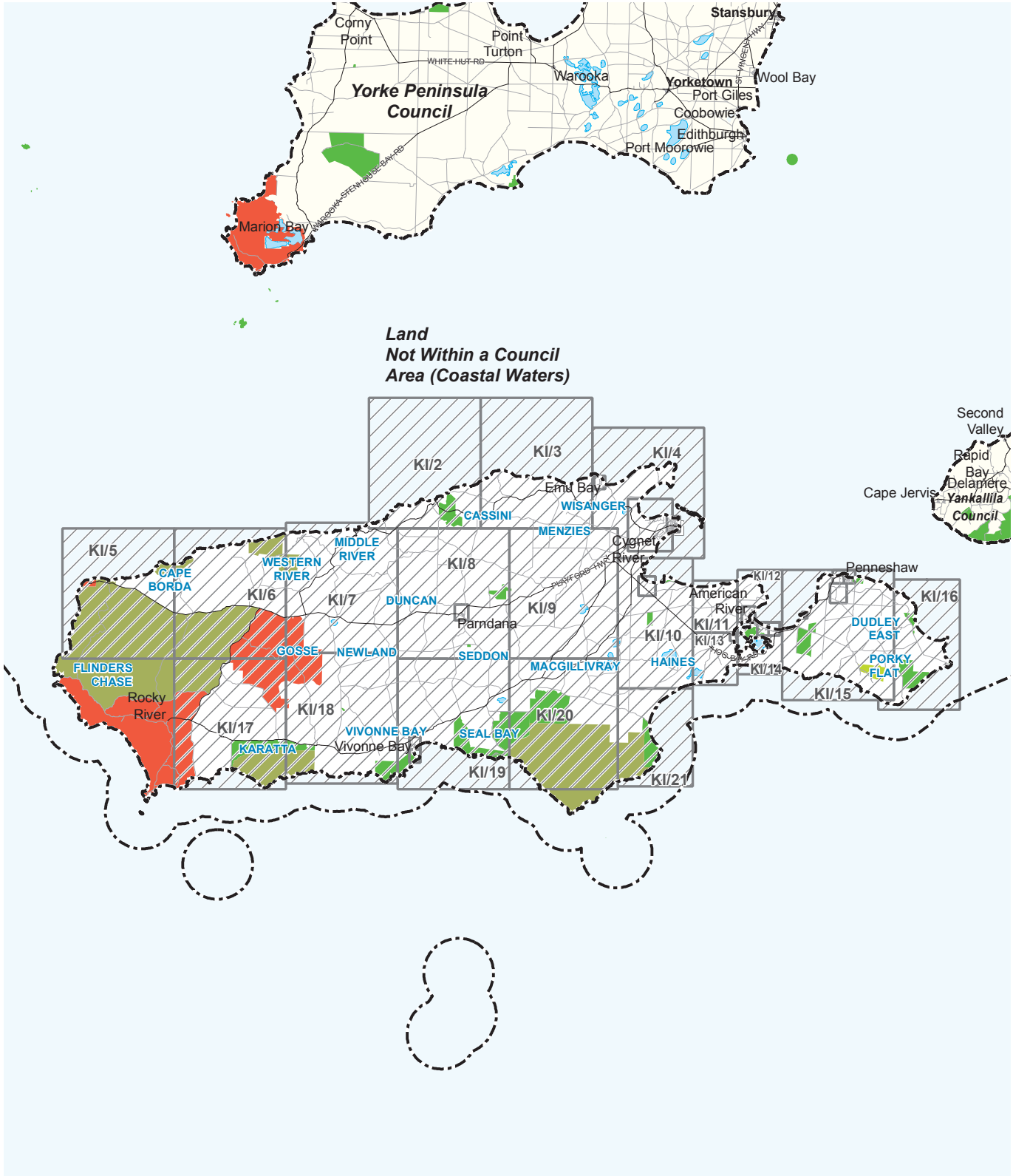


For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps KI/1 to Map KI/38 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.



EAST

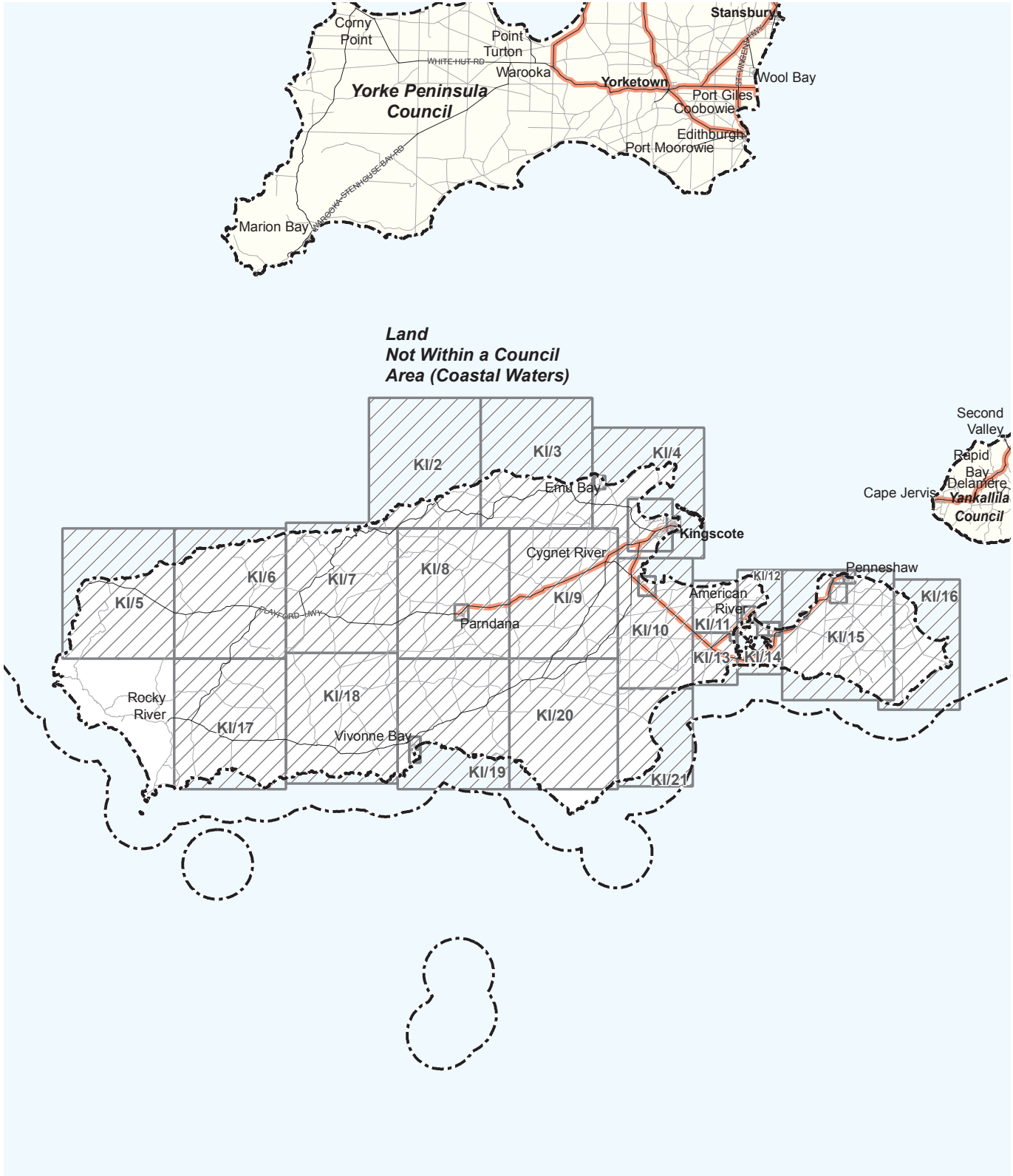
Enlargement Index Map



Land
Not Within a Council
Area (Coastal Waters)

- C Council Office
- National Park
- Conservation Park
- Wilderness Protection Area
- Conservation Reserve
- Waterbodies
- Development Plan Boundary

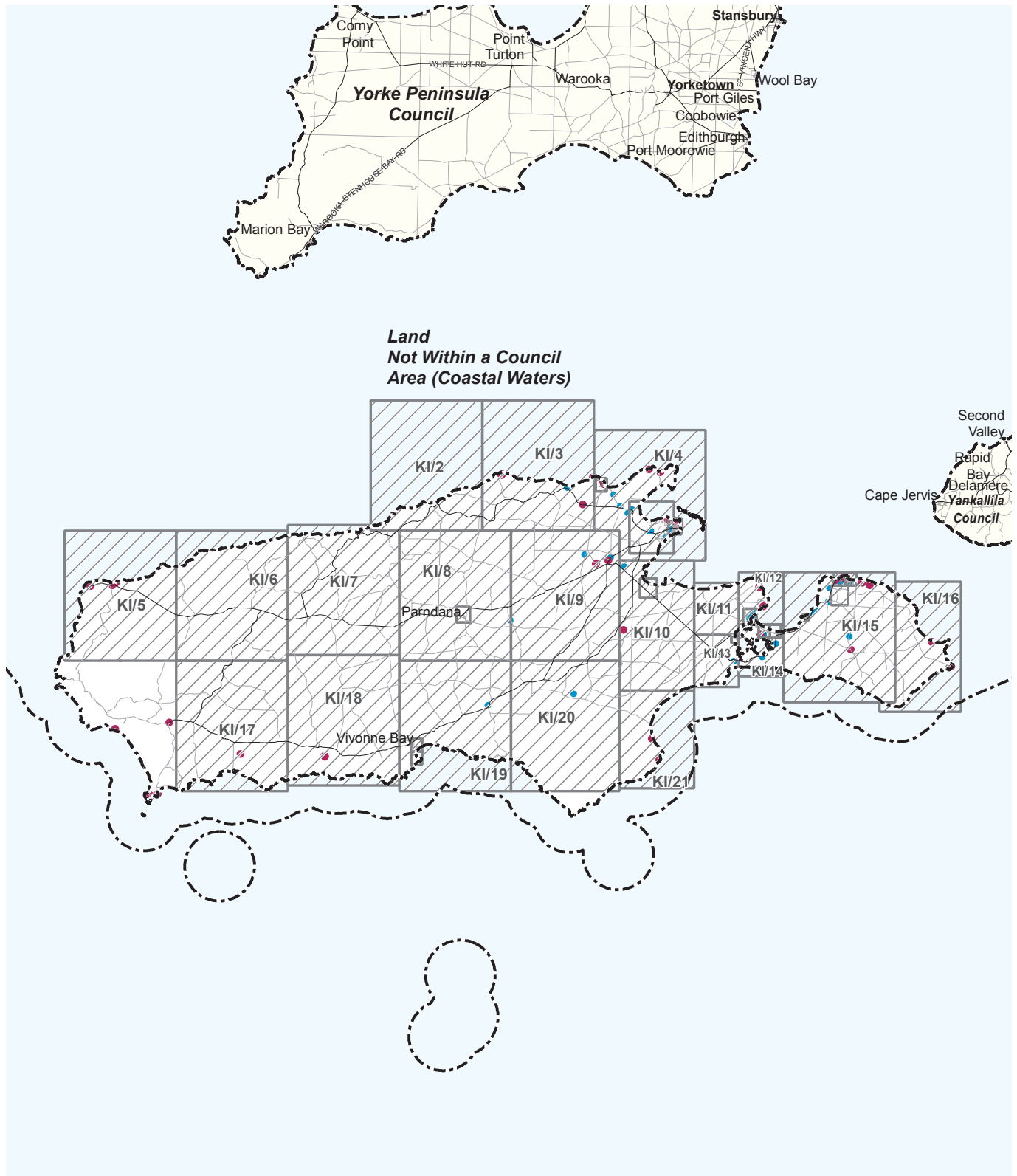
Location Map KI/1



Overlay Map KI/1

TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary



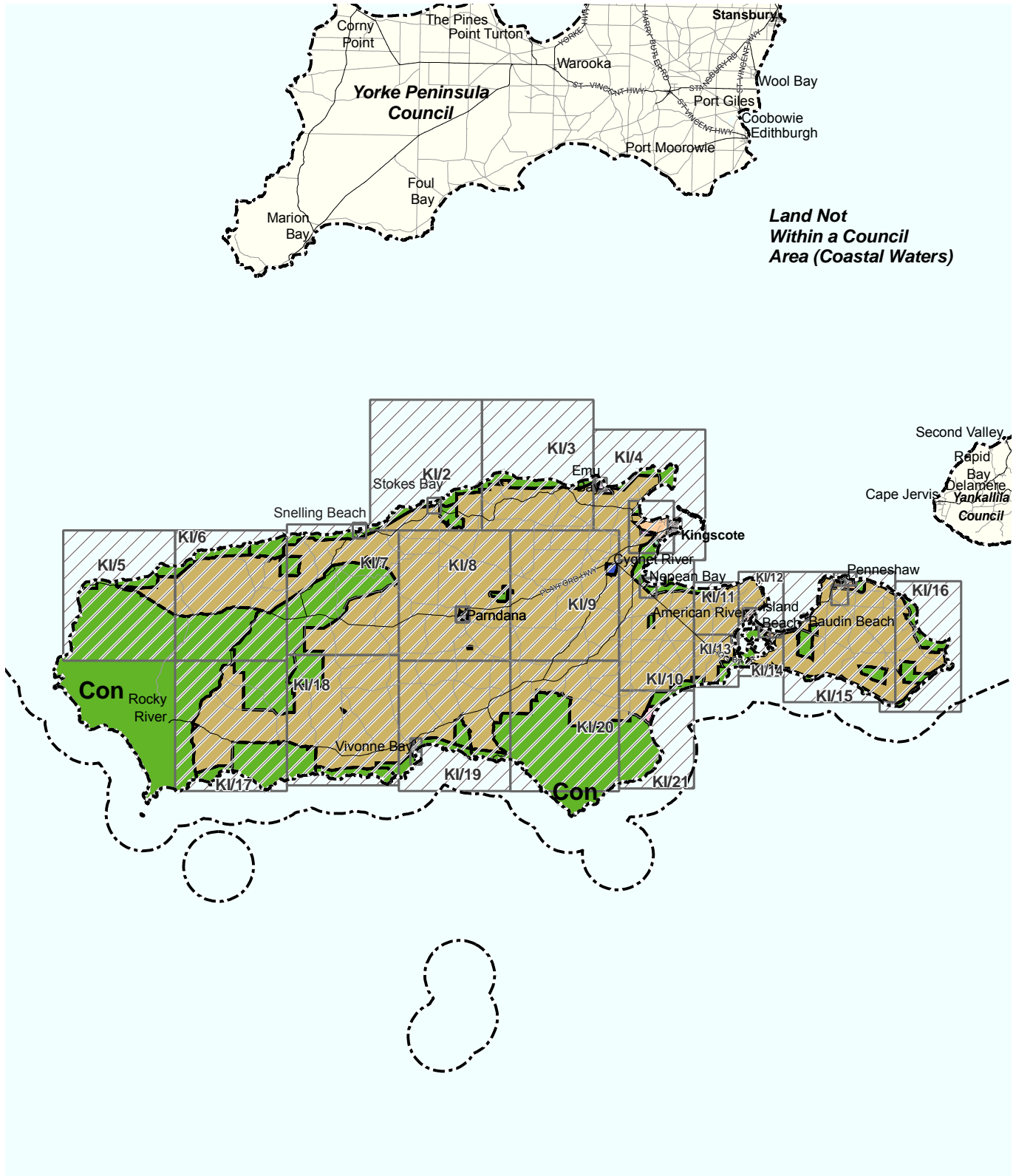
Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- Historic Conservation Area
- Development Plan Boundary

Overlay Map KI/1

HERITAGE



*Land Not
Within a Council
Area (Coastal Waters)*

See enlargement map for accurate representation.

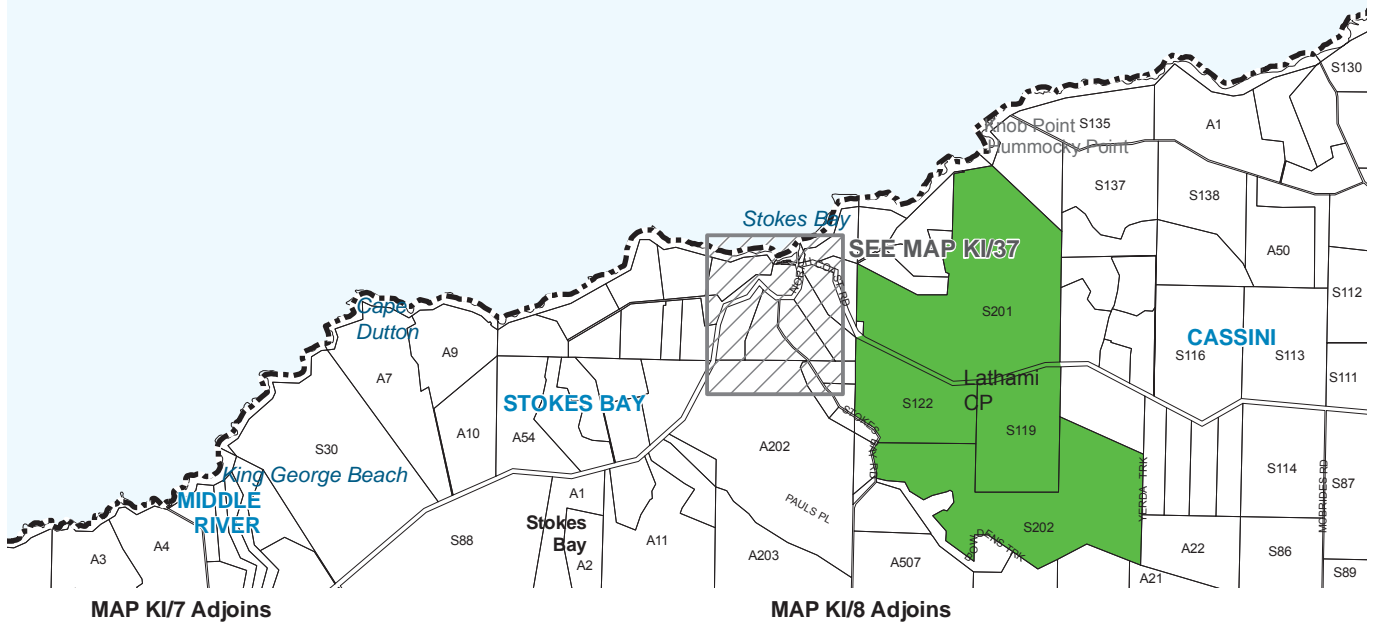


- Zones**
- Conservation
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/1

MAP KI/1 Adjoins

MAP KI/3 Adjoins



MAP KI/7 Adjoins

MAP KI/8 Adjoins



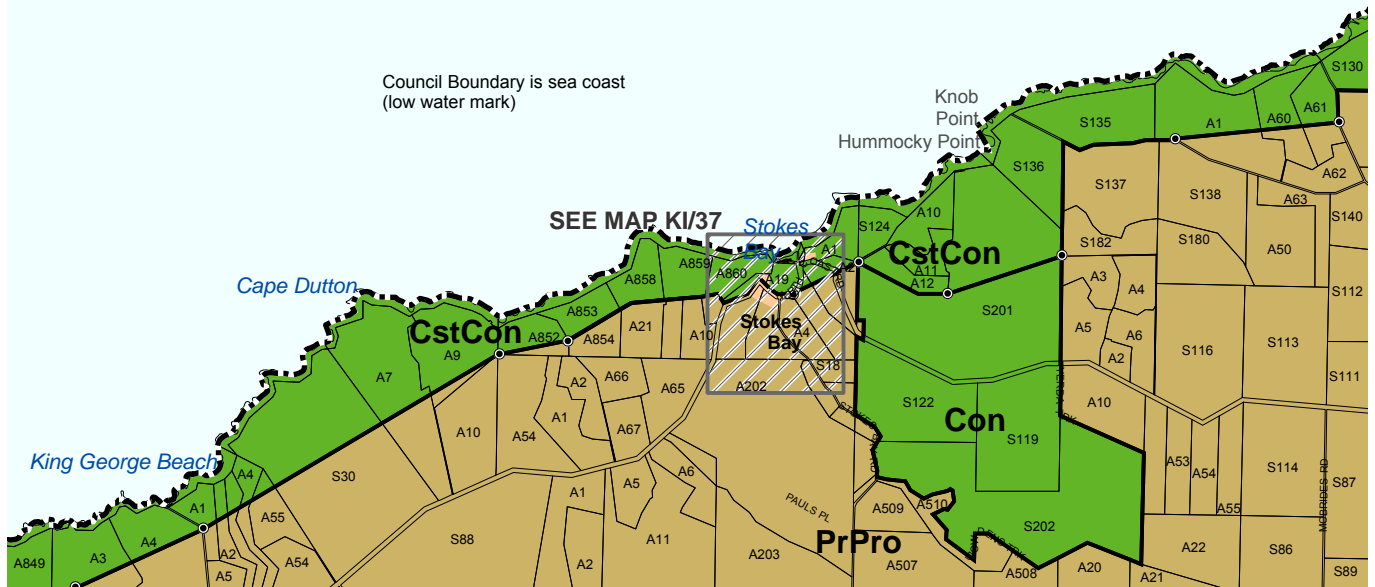
Location Map KI/2

- Conservation Park
- Development Plan Boundary

MAP KI/1 Adjoins

MAP KI/1 Adjoins

MAP KI/3 Adjoins



MAP KI/7 Adjoins

MAP KI/8 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

CstCon Coastal Conservation

Con Conservation

PrPro Primary Production

— Zone Boundary

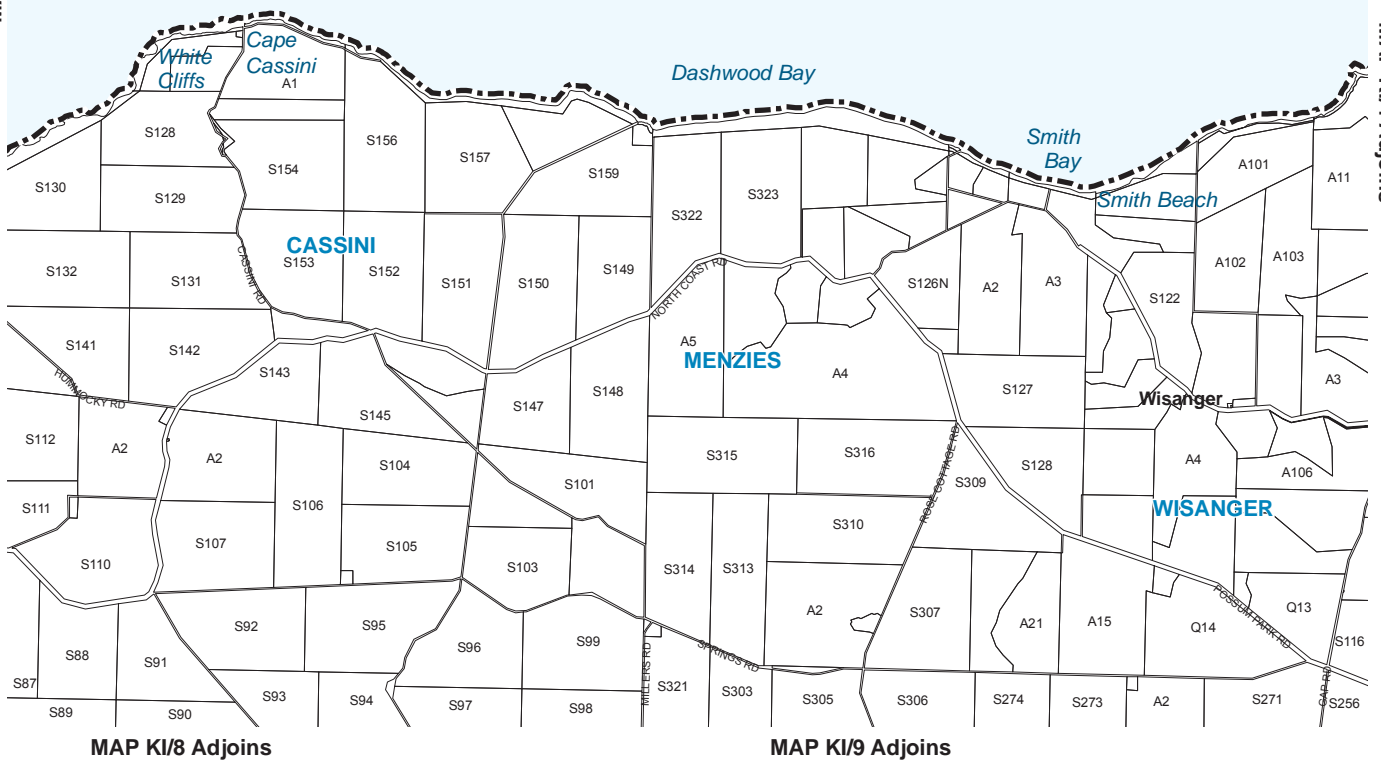
- - - - - Development Plan Boundary

Zone Map KI/2

MAP KI/2 Adjoins

MAP KI/4 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**



MAP KI/8 Adjoins

MAP KI/9 Adjoins



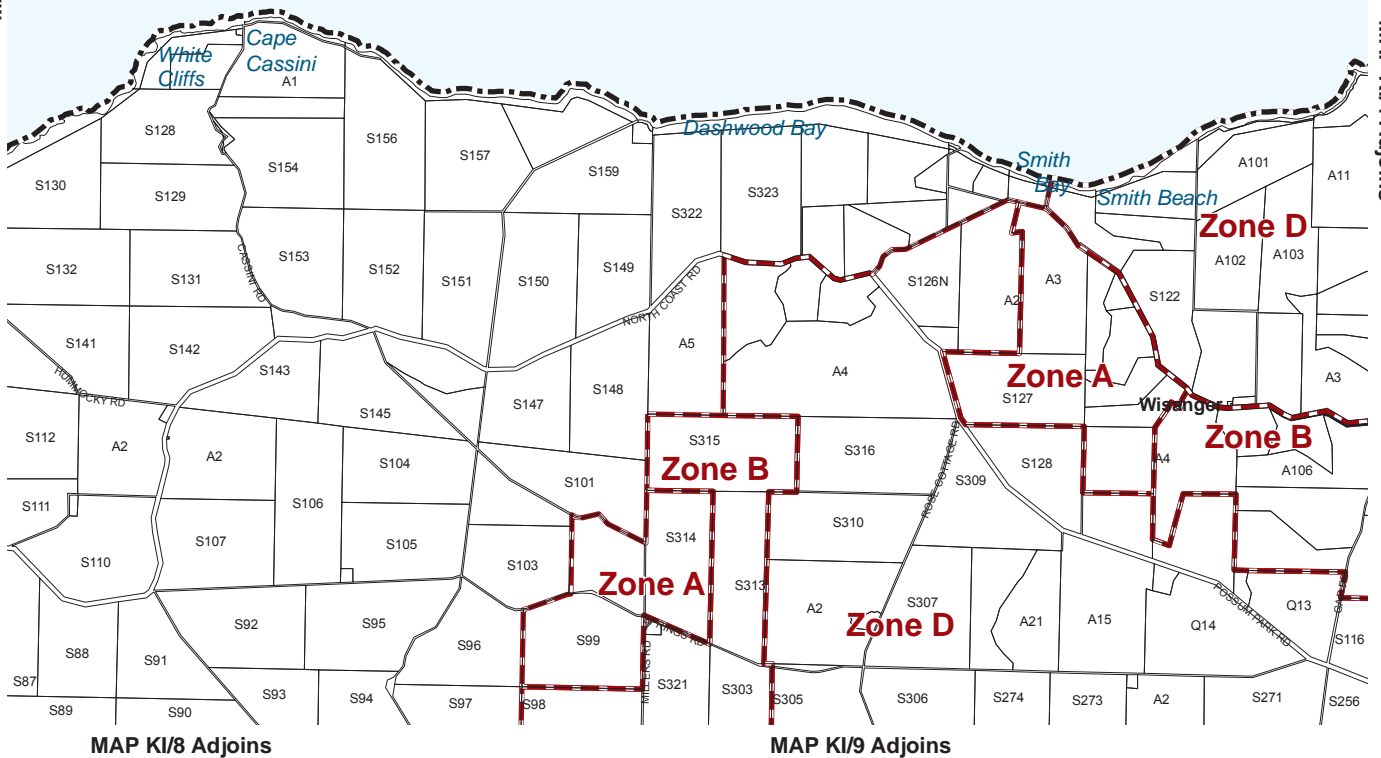
Location Map KI/3

----- Development Plan Boundary

MAP KI/2 Adjoins

MAP KI/4 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**



Airport Building Heights
Zone A All Structures
Zone B All Structures Exceeding 10 metres above Natural Ground Level
Zone D All Structures Exceeding 45 metres above Natural Ground Level



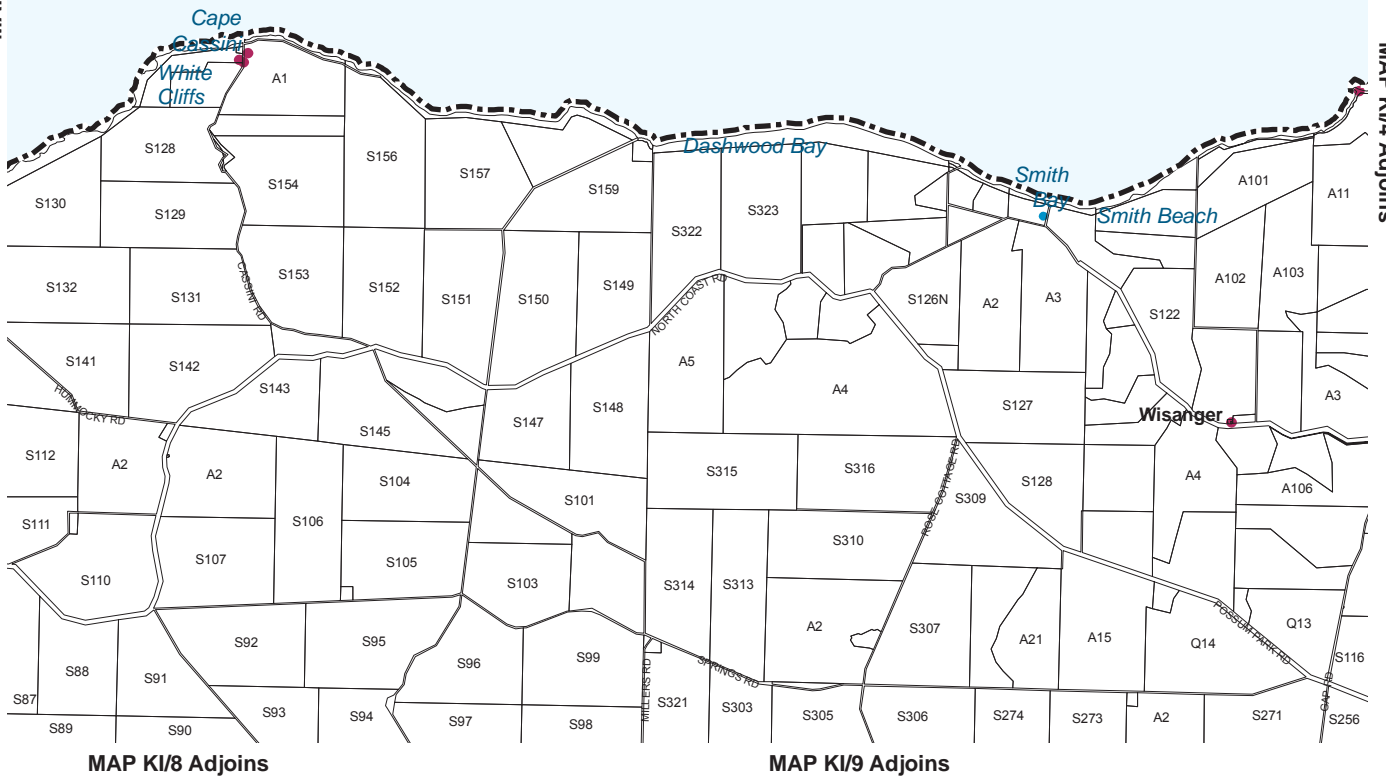
Overlay Map KI/3 DEVELOPMENT CONSTRAINTS

 Airport Building Heights
 Development Plan Boundary

**Land Not Within
a Council Area
(Coastal Waters)**

MAP KI/2 Adjoins

MAP KI/4 Adjoins



MAP KI/8 Adjoins

MAP KI/9 Adjoins

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- Development Plan Boundary

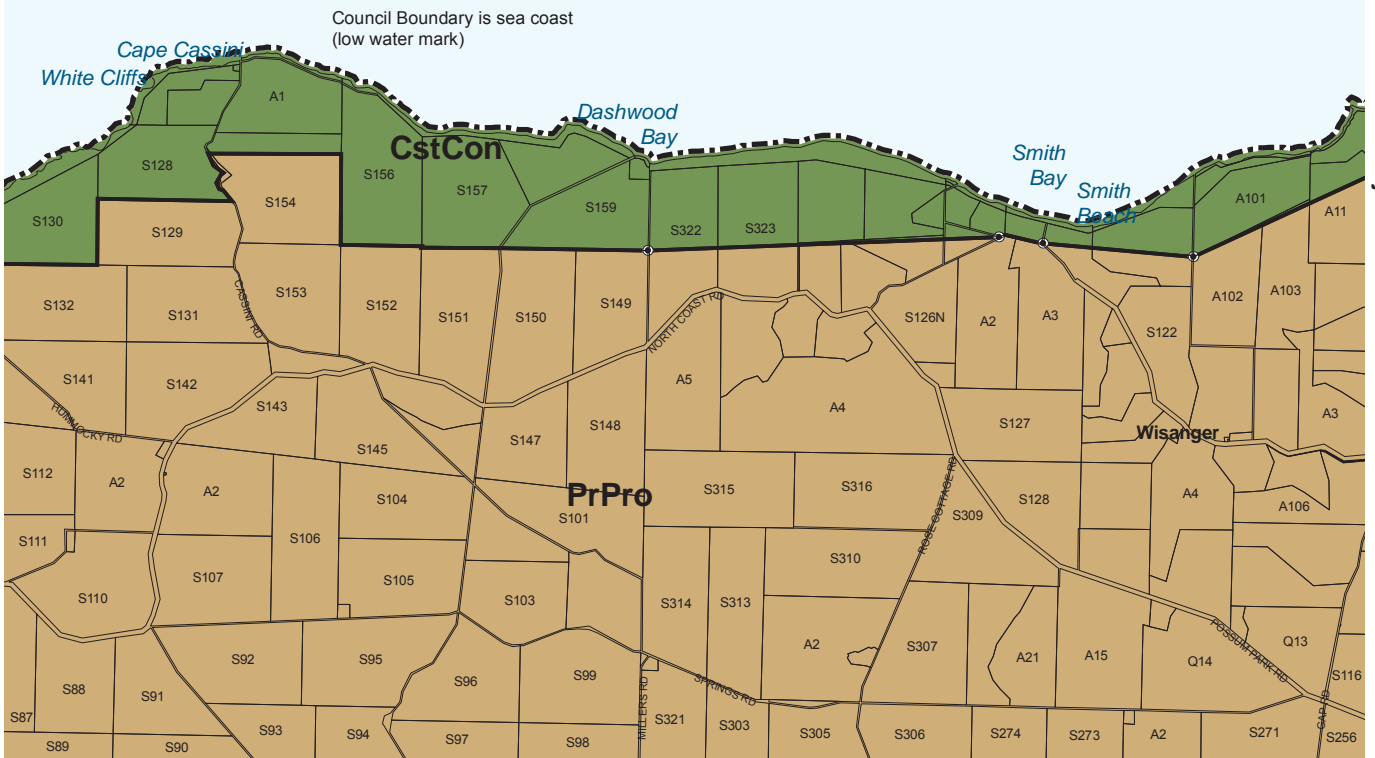
Overlay Map KI/3 HERITAGE

MAP KI/1 Adjoins

MAP KI/2 Adjoins

MAP KI/4 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**



MAP KI/8 Adjoins

MAP KI/9 Adjoins

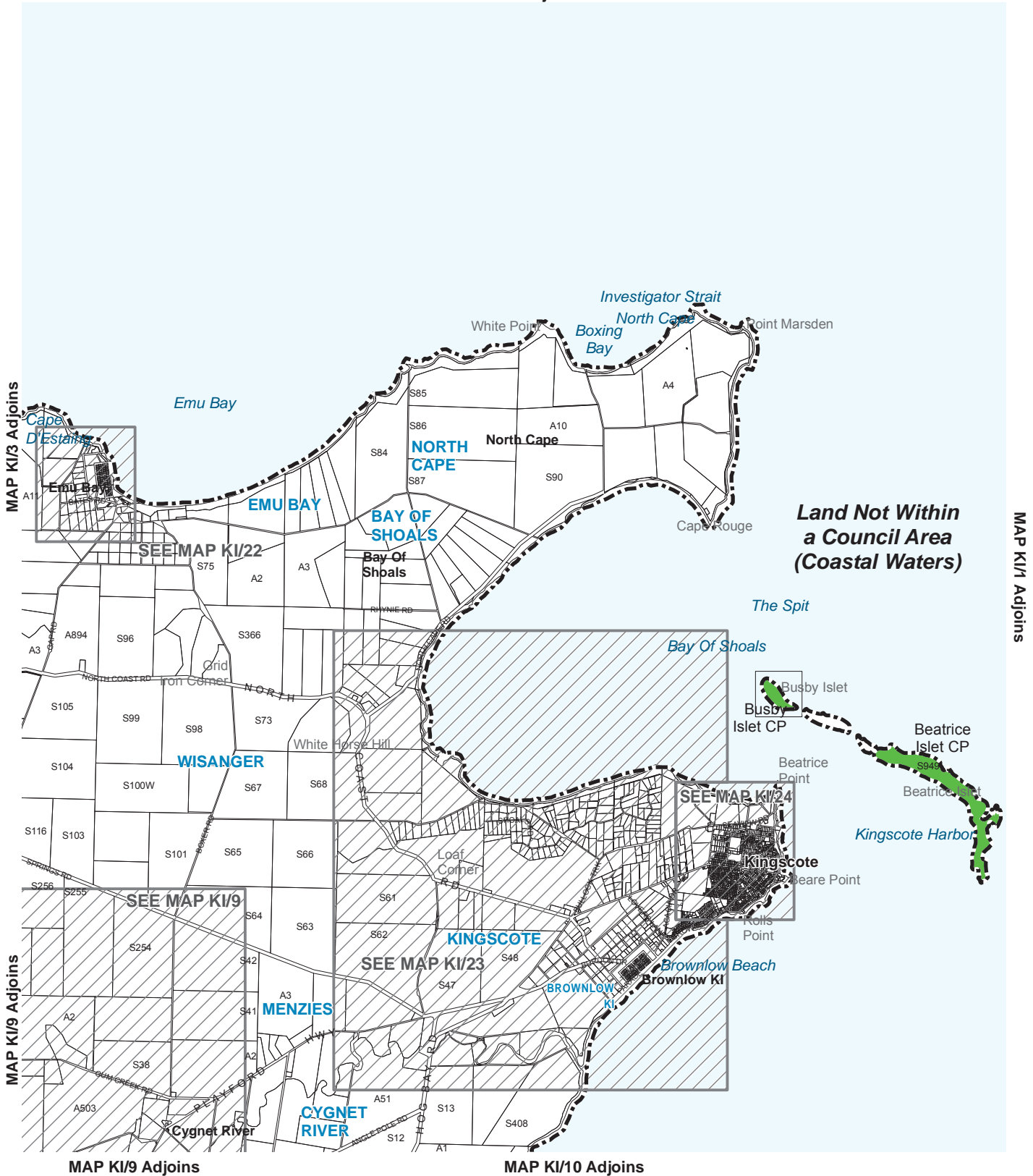
Lamberts Conformal Conic Projection, GDA94



Zones

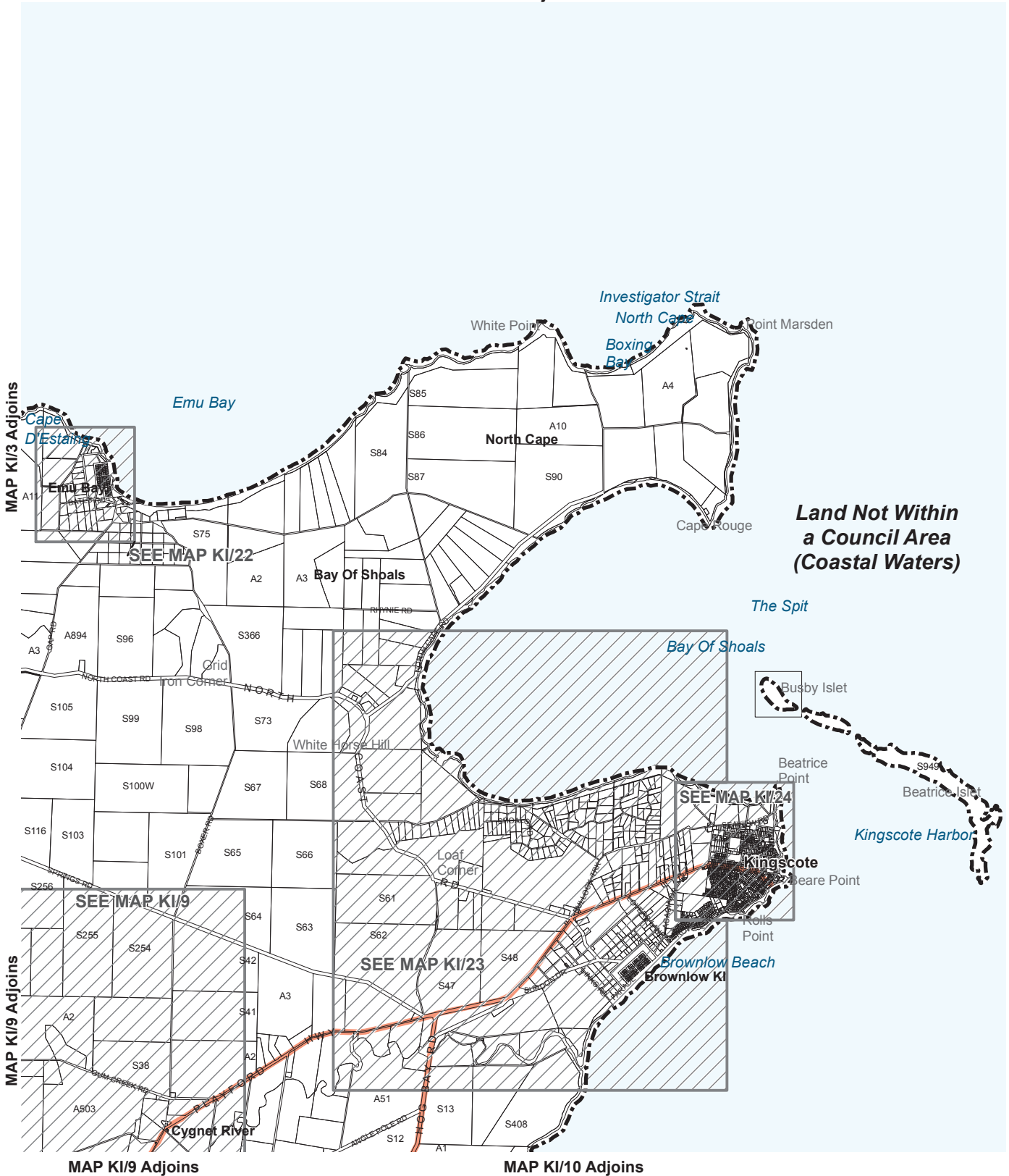
- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

Zone Map KI/3



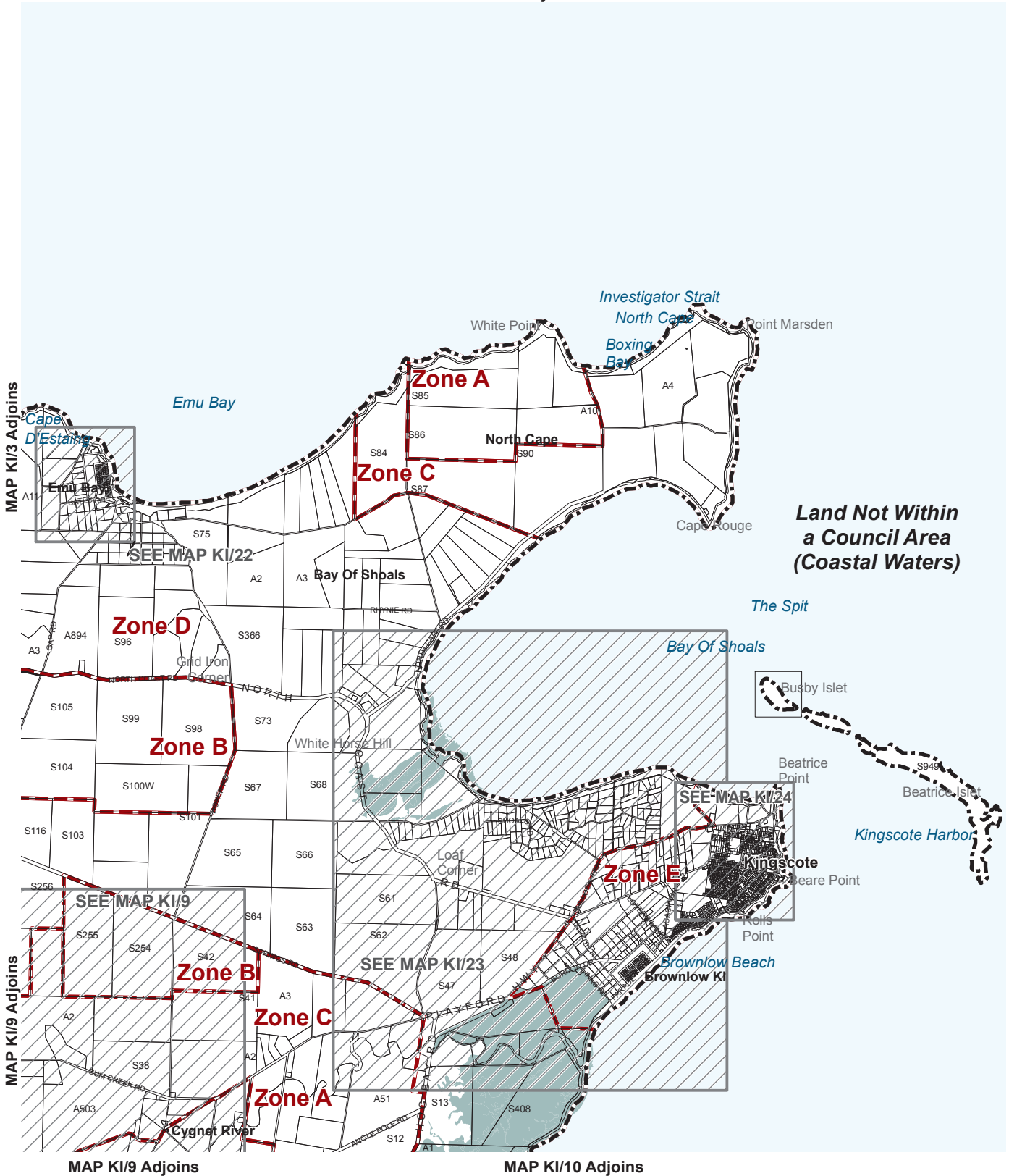
Location Map KI/4

- Conservation Park
- Development Plan Boundary






Overlay Map KI/4 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

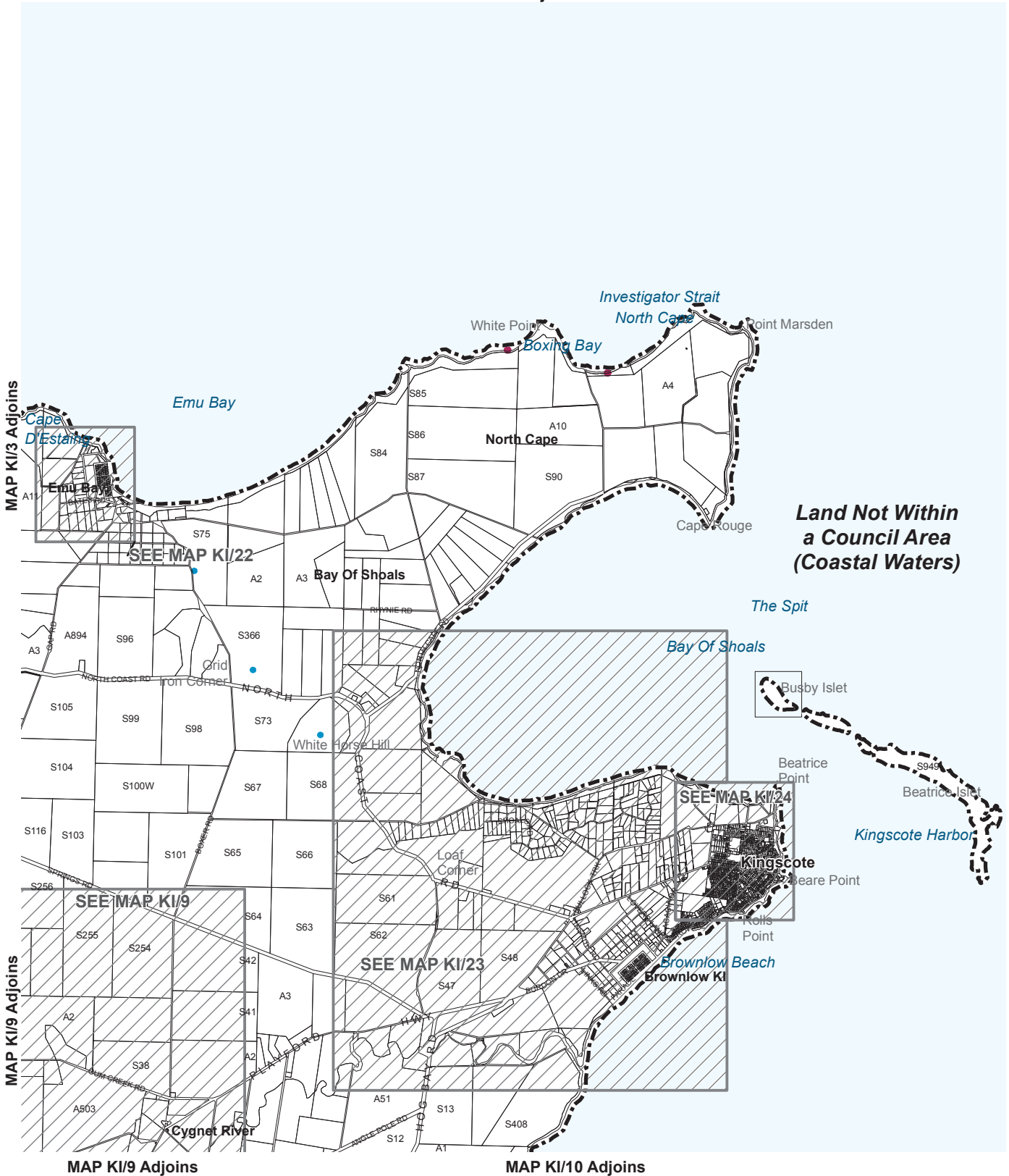


- Airport Building Heights**
- Zone A** All Structures
 - Zone B** All Structures Exceeding 10 metres above Natural Ground Level
 - Zone C** All Structures Exceeding 15 metres above Natural Ground Level
 - Zone D** All Structures Exceeding 45 metres above Natural Ground Level
 - Zone E** All Structures Exceeding 110 metres above Natural Ground Level

-  Airport Building Heights
-  Coastal Acid Sulfate Soils
-  Development Plan Boundary

Overlay Map KI/4

DEVELOPMENT CONSTRAINTS



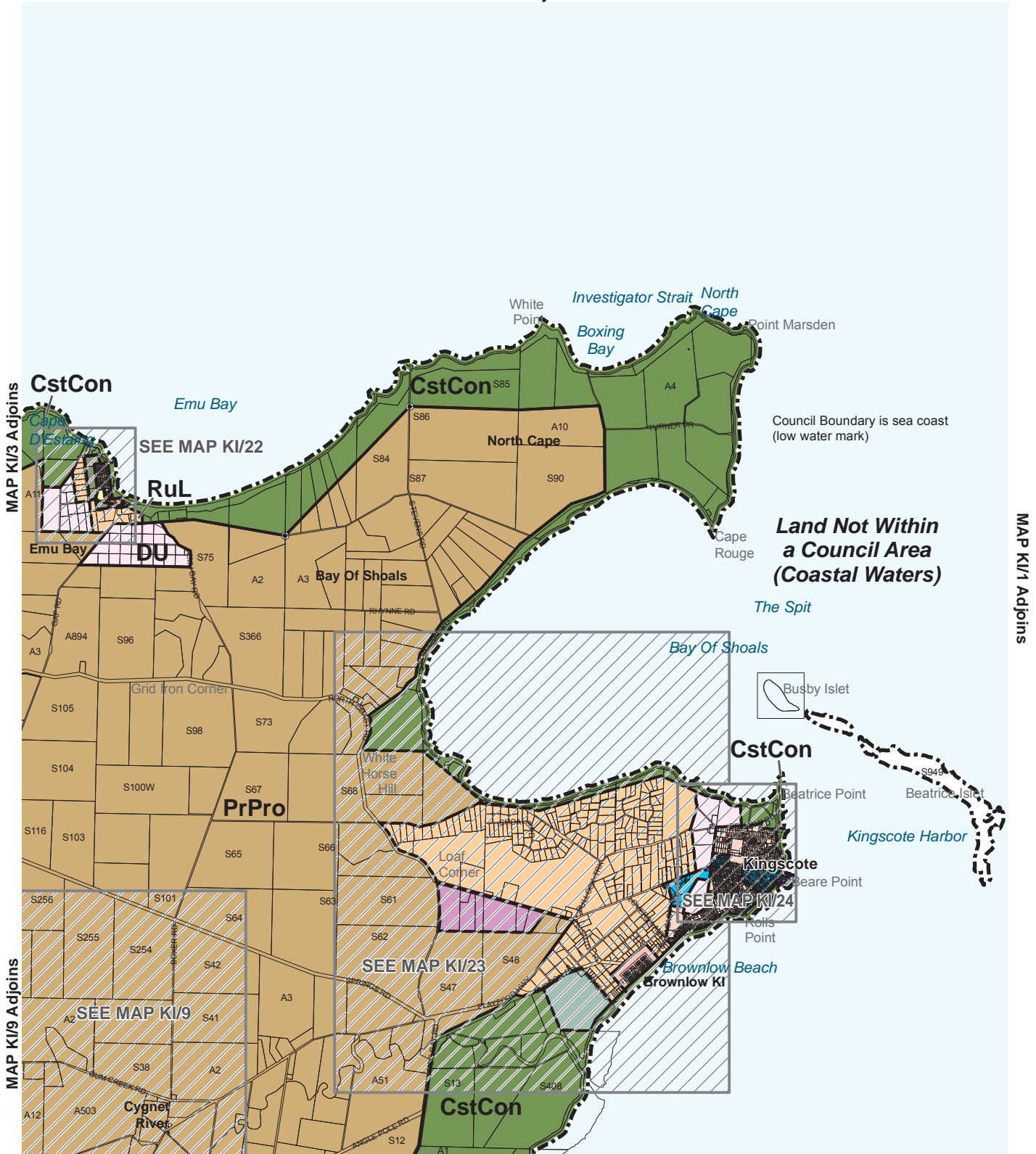
Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.



Overlay Map KI/4 HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP KI/1 Adjoins



MAP KI/9 Adjoins

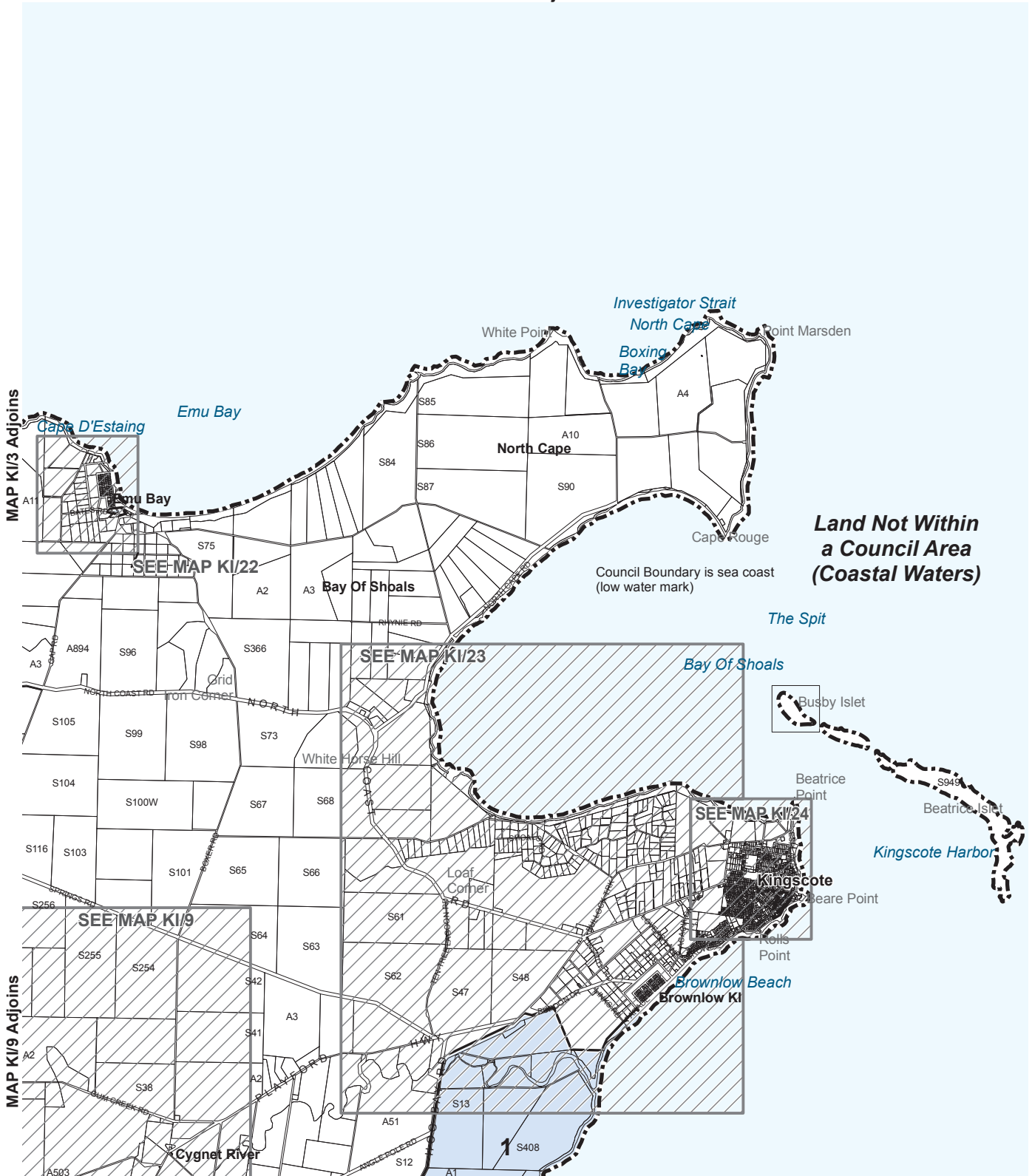
MAP KI/10 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - DU Deferred Urban
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/4



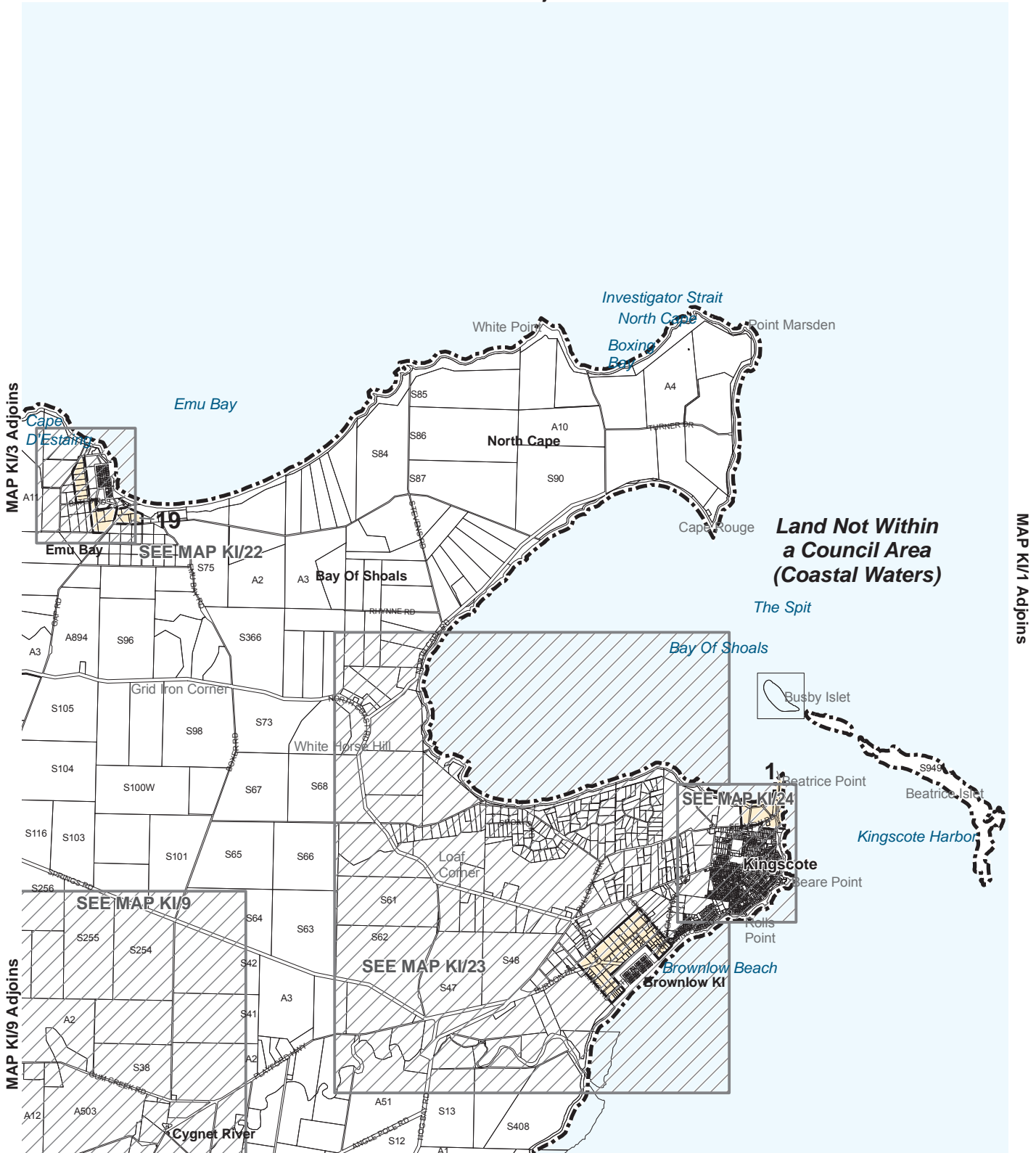
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection

- Policy Area Boundary
- Development Plan Boundary

Policy Area Map KI/4

MAP KI/1 Adjoins



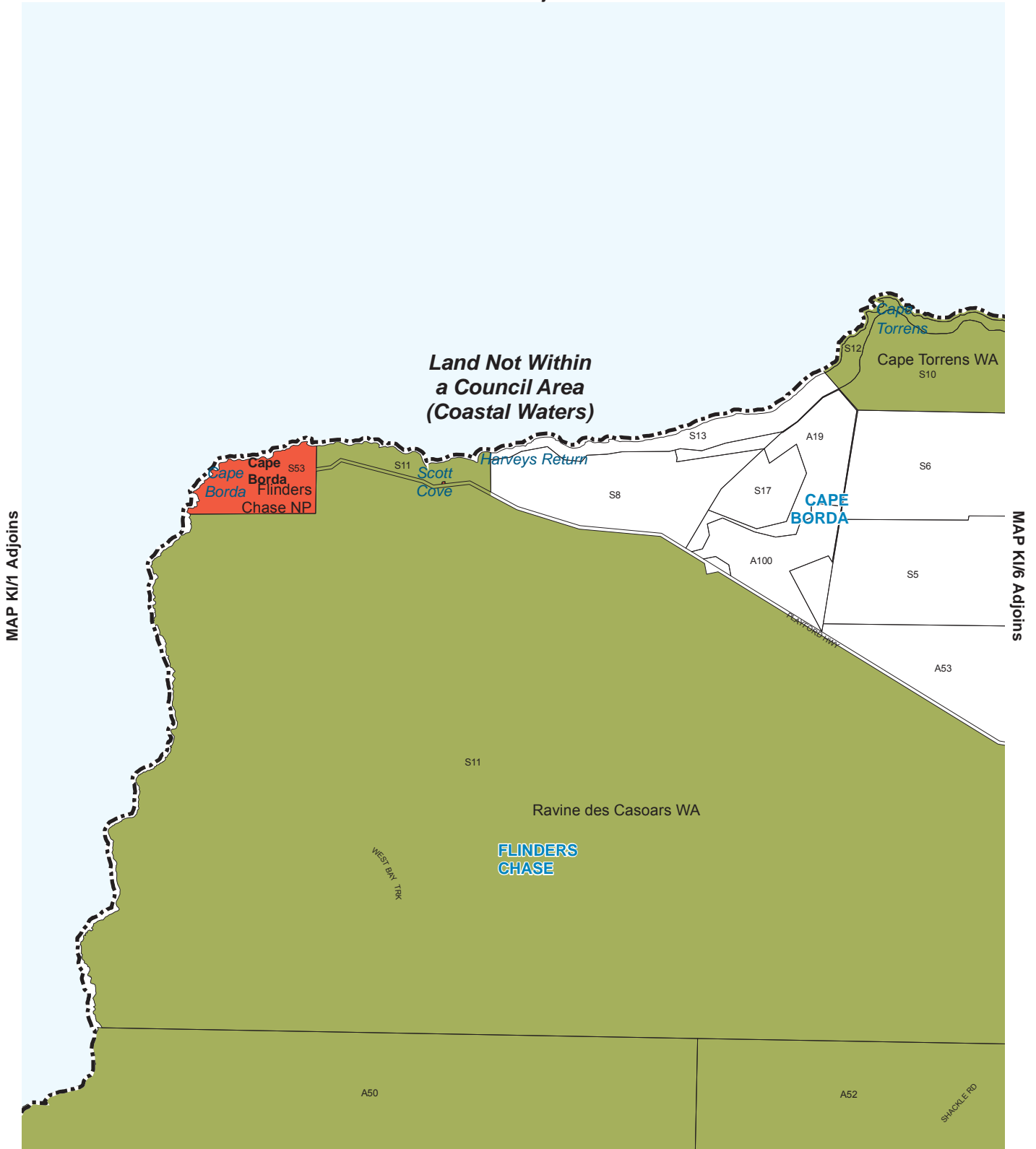
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Precinct**
- 1 Reeves Point
 - 19 Emu Bay East



Precinct Map KI/4

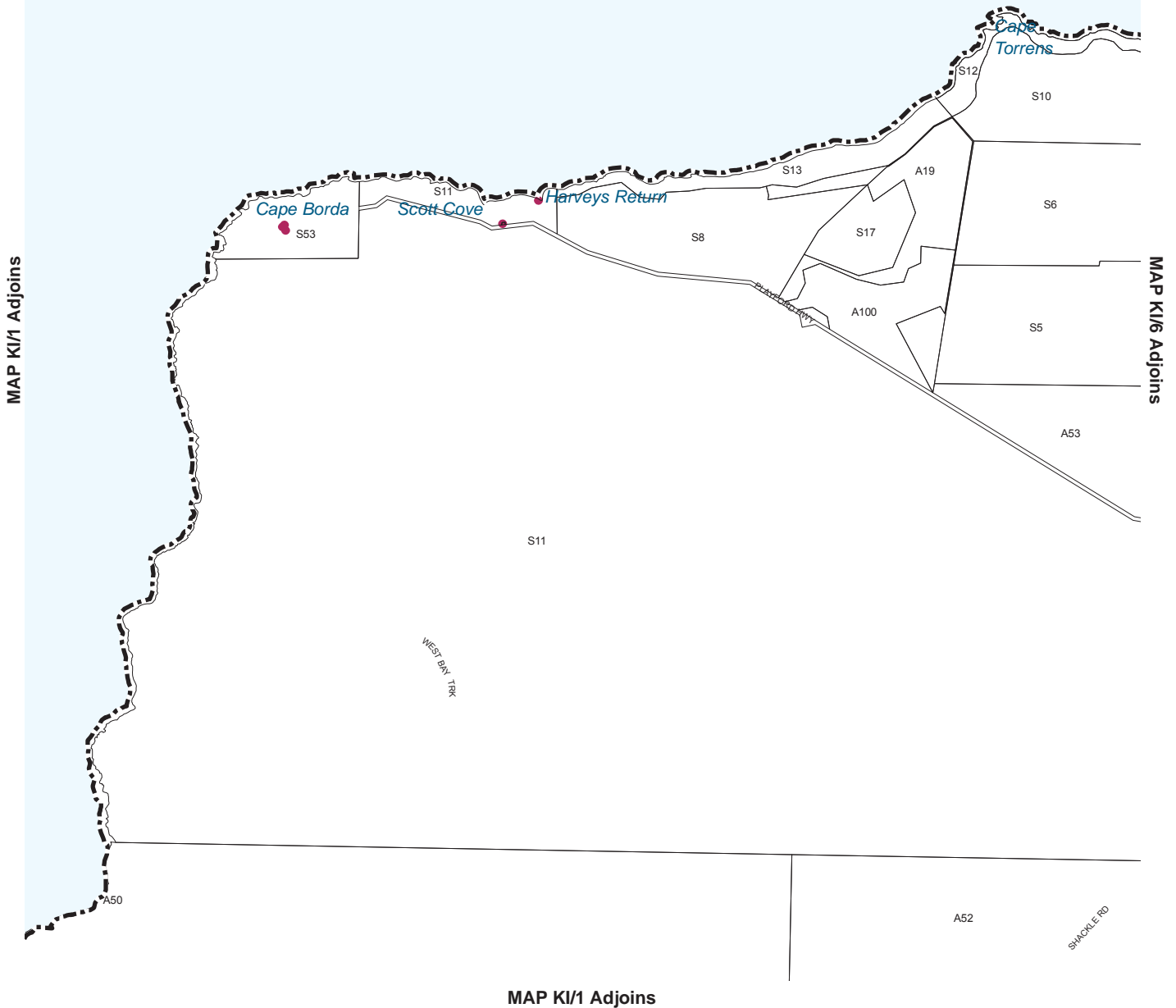
- Precinct Boundary
- Development Plan Boundary



Location Map KI/5

- National Park
- Wilderness Protection Area
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



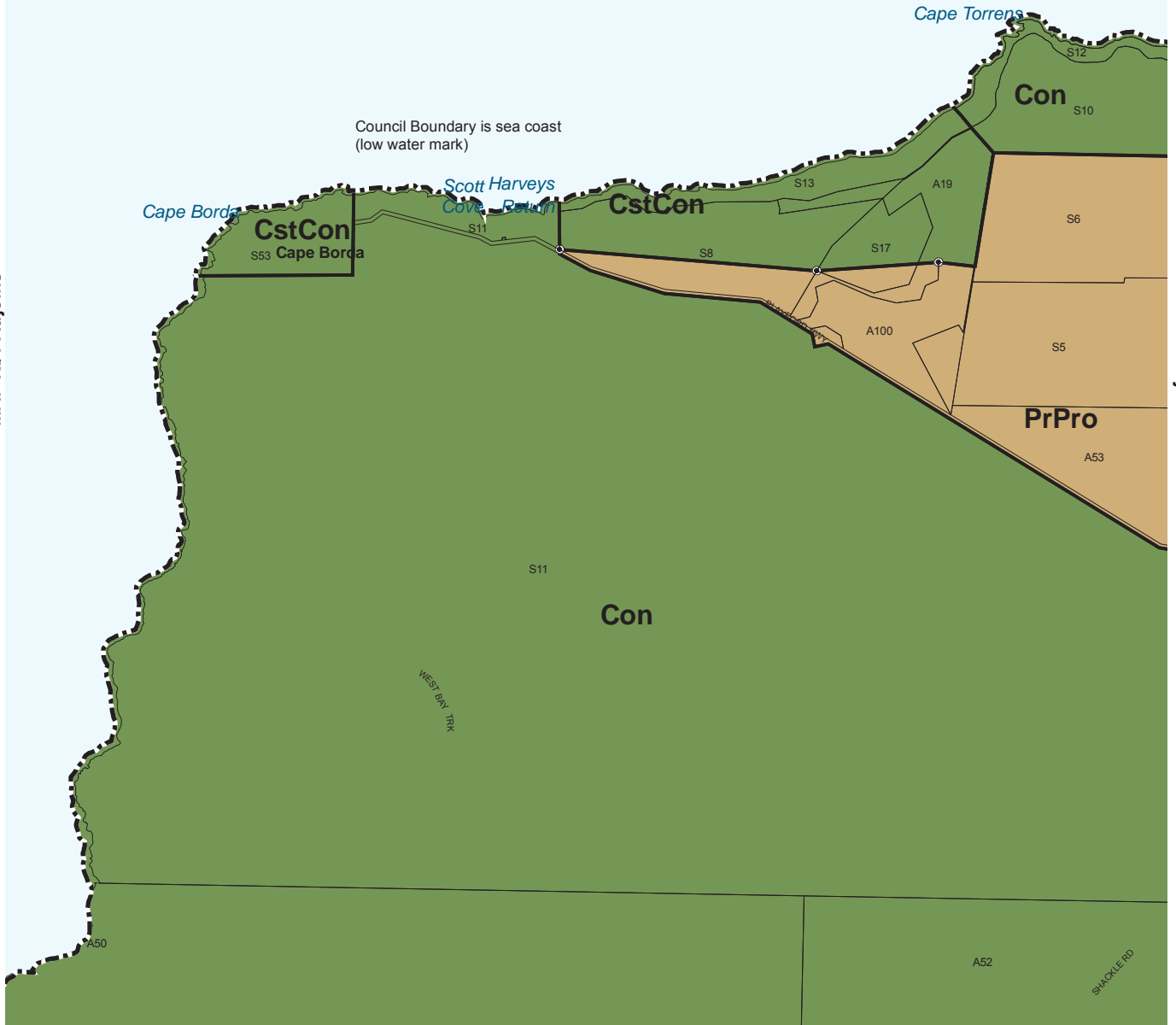
Overlay Map KI/5 HERITAGE

- State heritage place
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

MAP KI/1 Adjoins

MAP KI/6 Adjoins



Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - Con Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

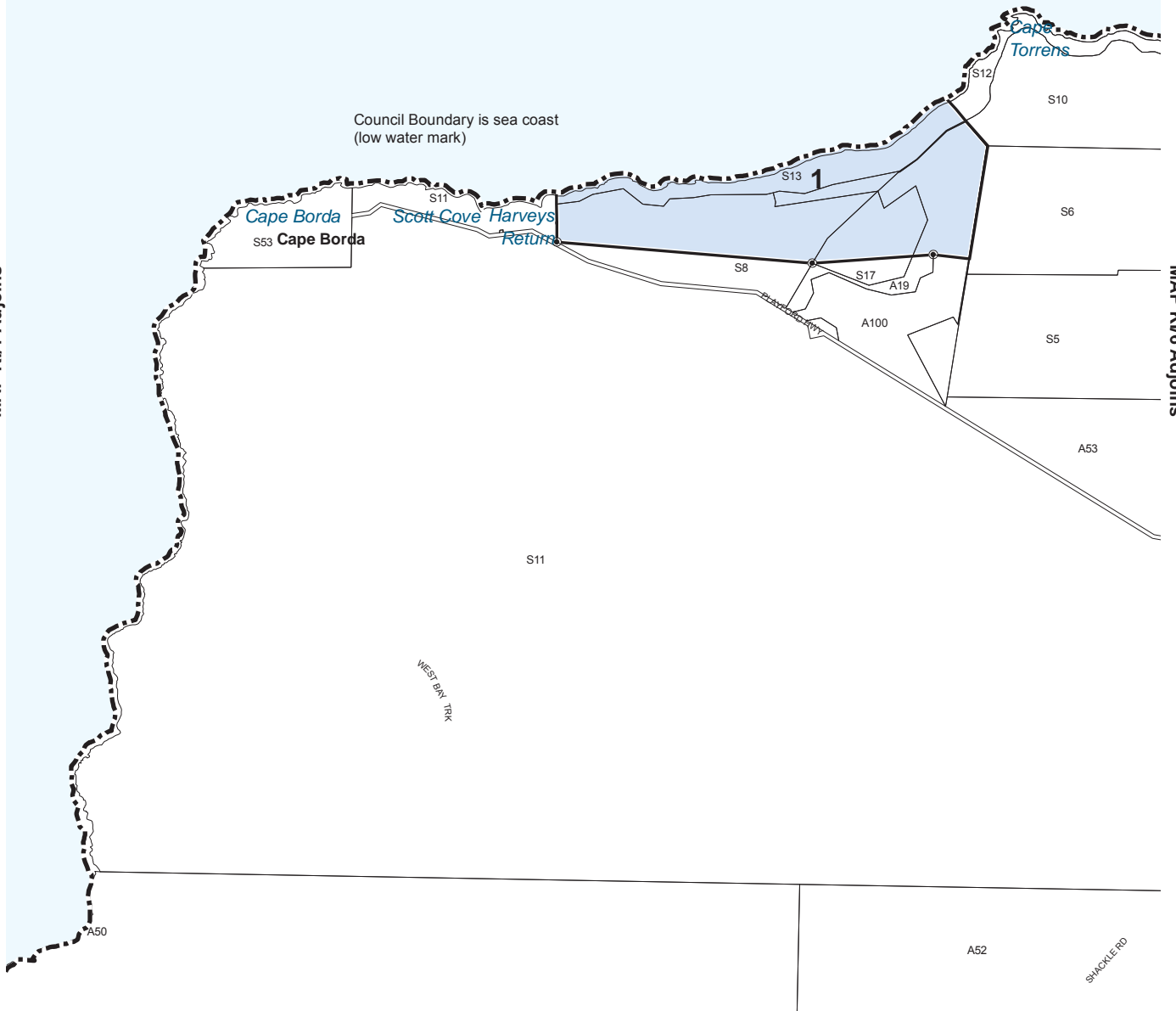
Zone Map KI/5

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)

MAP KI/1 Adjoins

MAP KI/6 Adjoins



Lamberts Conformal Conic Projection, GDA94

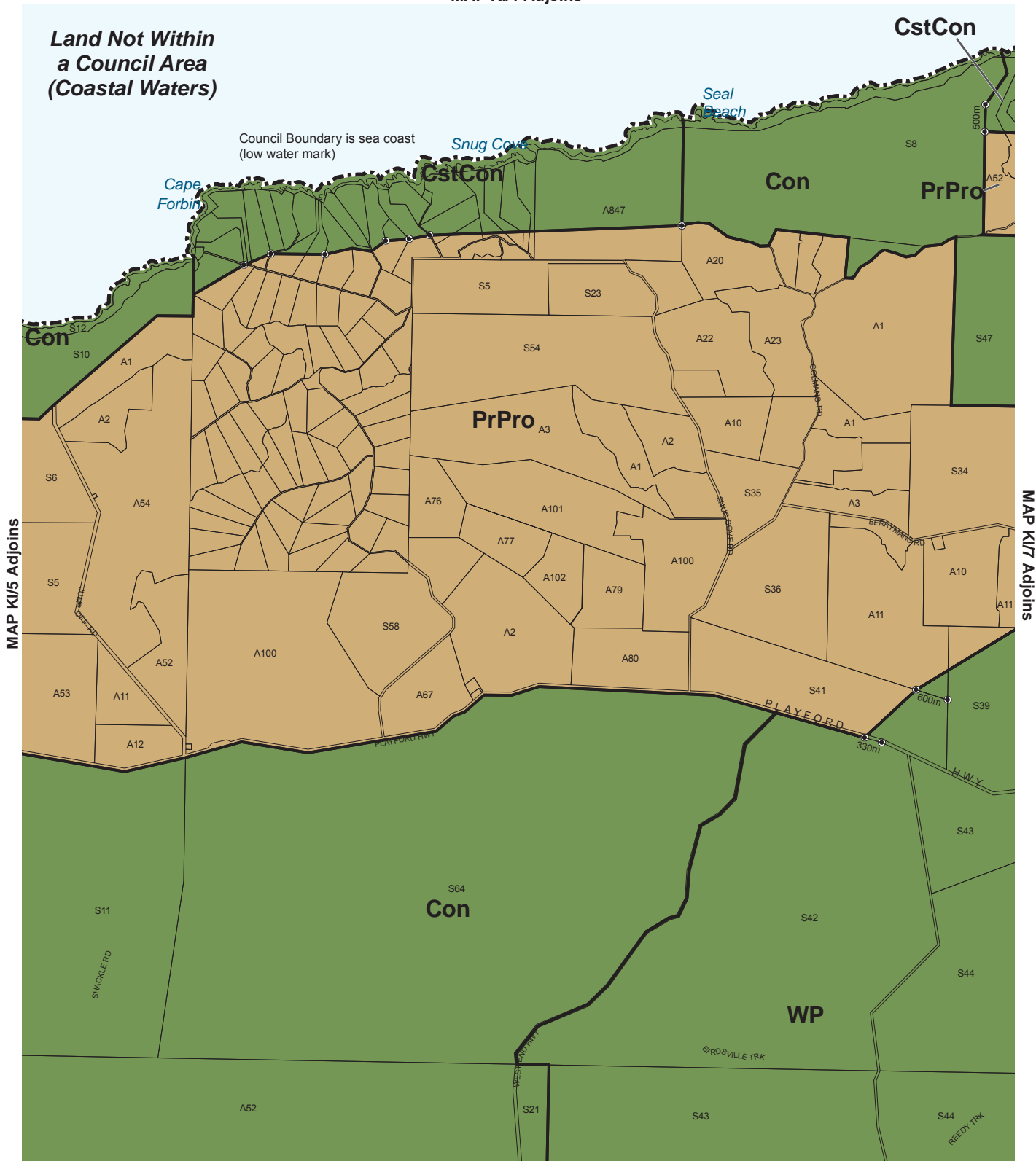
Policy Area
1 Landscape Protection



Policy Area Map KI/5

- Policy Area Boundary
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



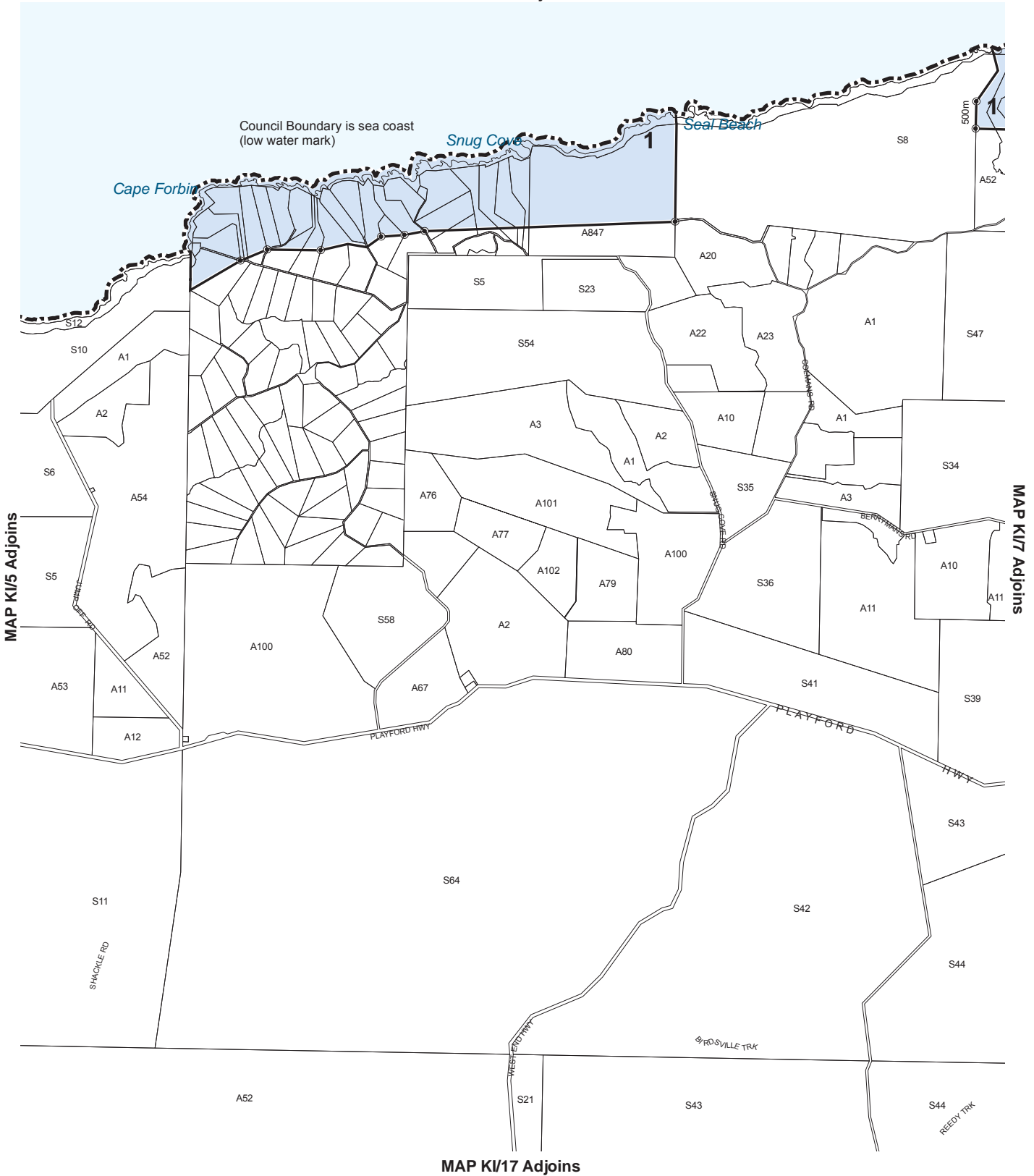
Lamberts Conformal Conic Projection, GDA94



- Zones**
- Coastal Conservation
 - Conservation
 - Primary Production
 - Water Protection
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/6

MAP KI/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

1 Landscape Protection



Policy Area Map KI/6

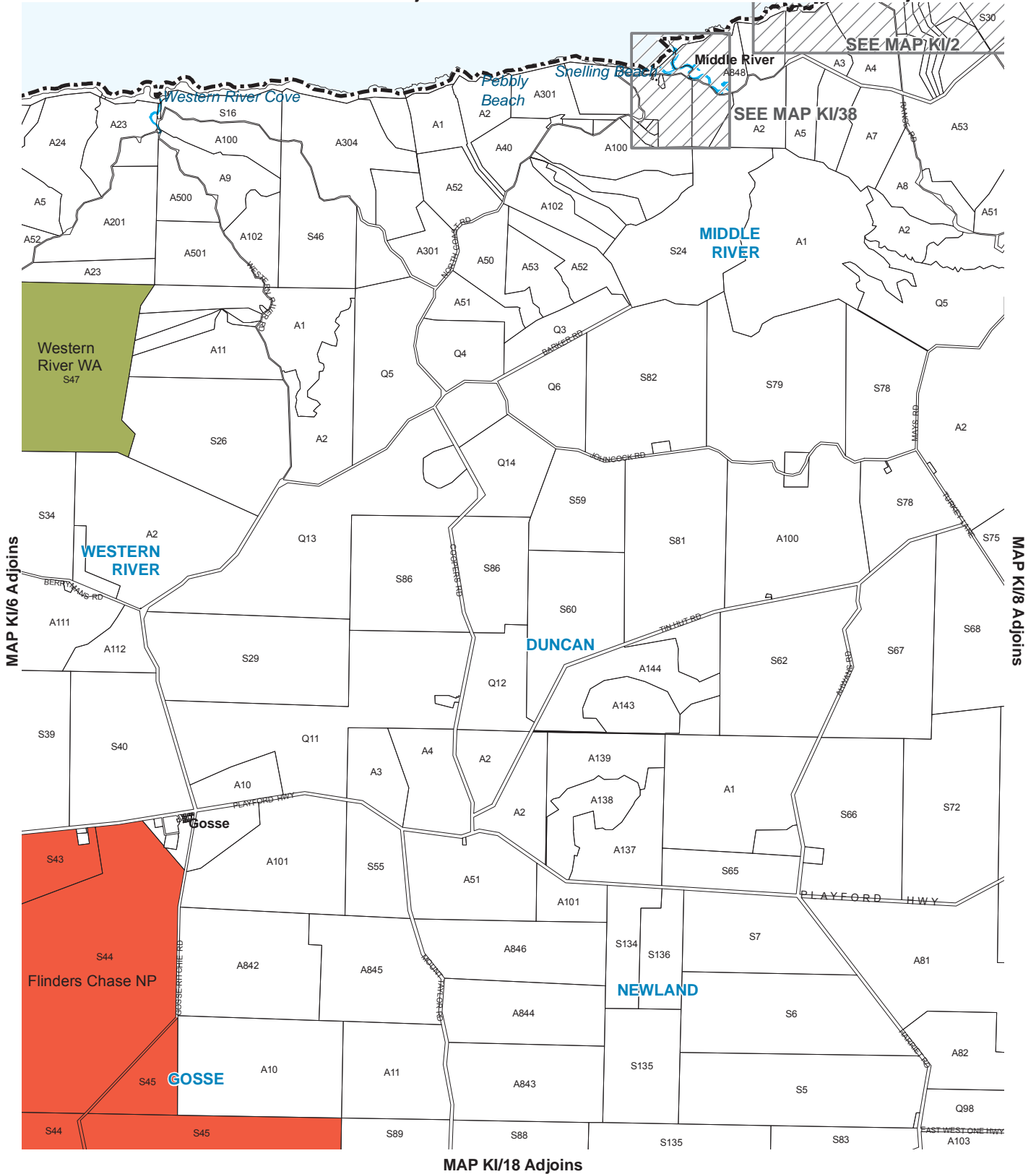
- Policy Area Boundary
- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/1 Adjoins

MAP KI/2 Adjoins



MAP KI/6 Adjoins

MAP KI/8 Adjoins

MAP KI/18 Adjoins

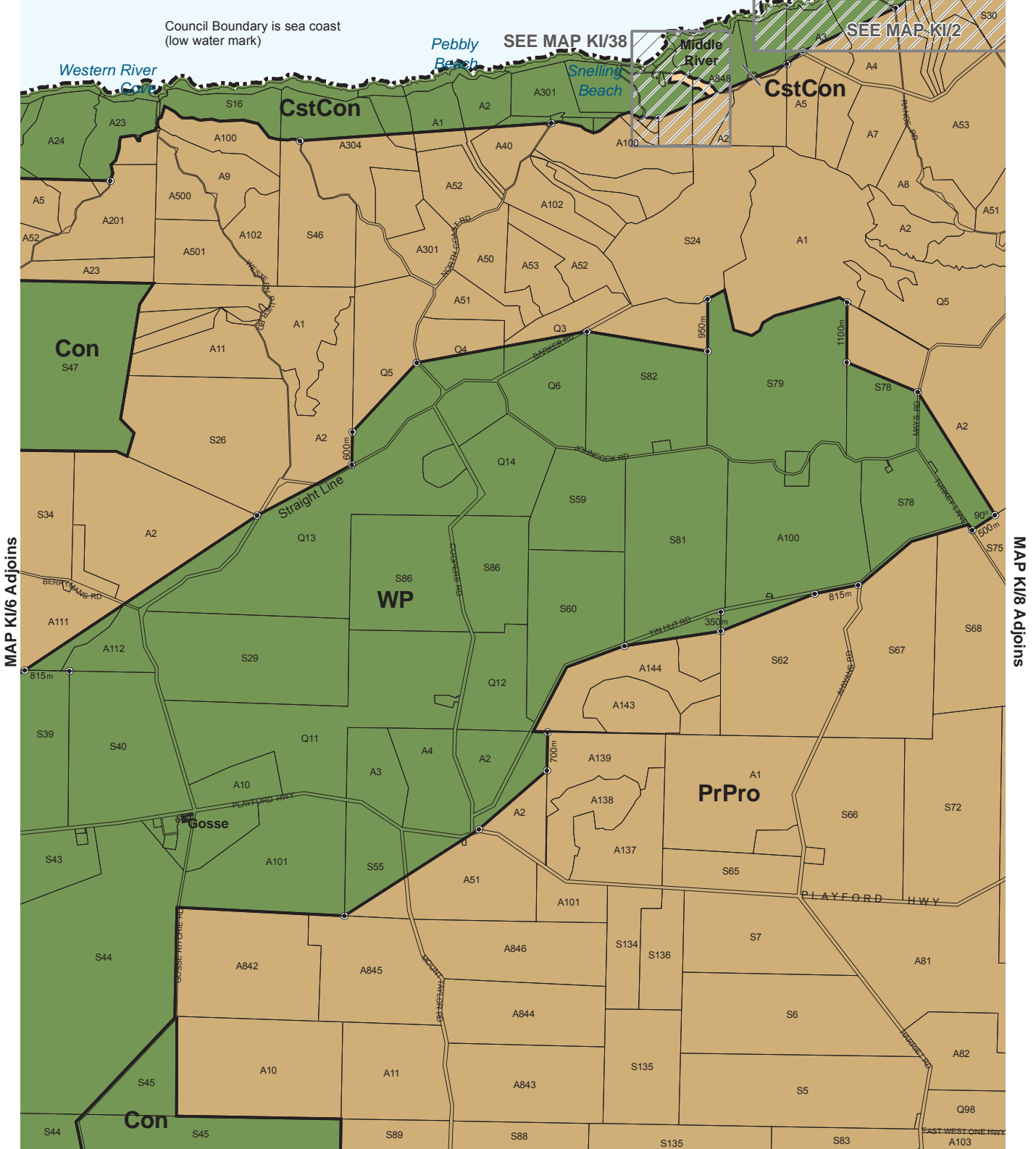


Location Map KI/7

- National Park
- Wilderness Protection Area
- Waterbodies
- Development Plan Boundary

MAP KI/1 Adjoins

MAP KI/2 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



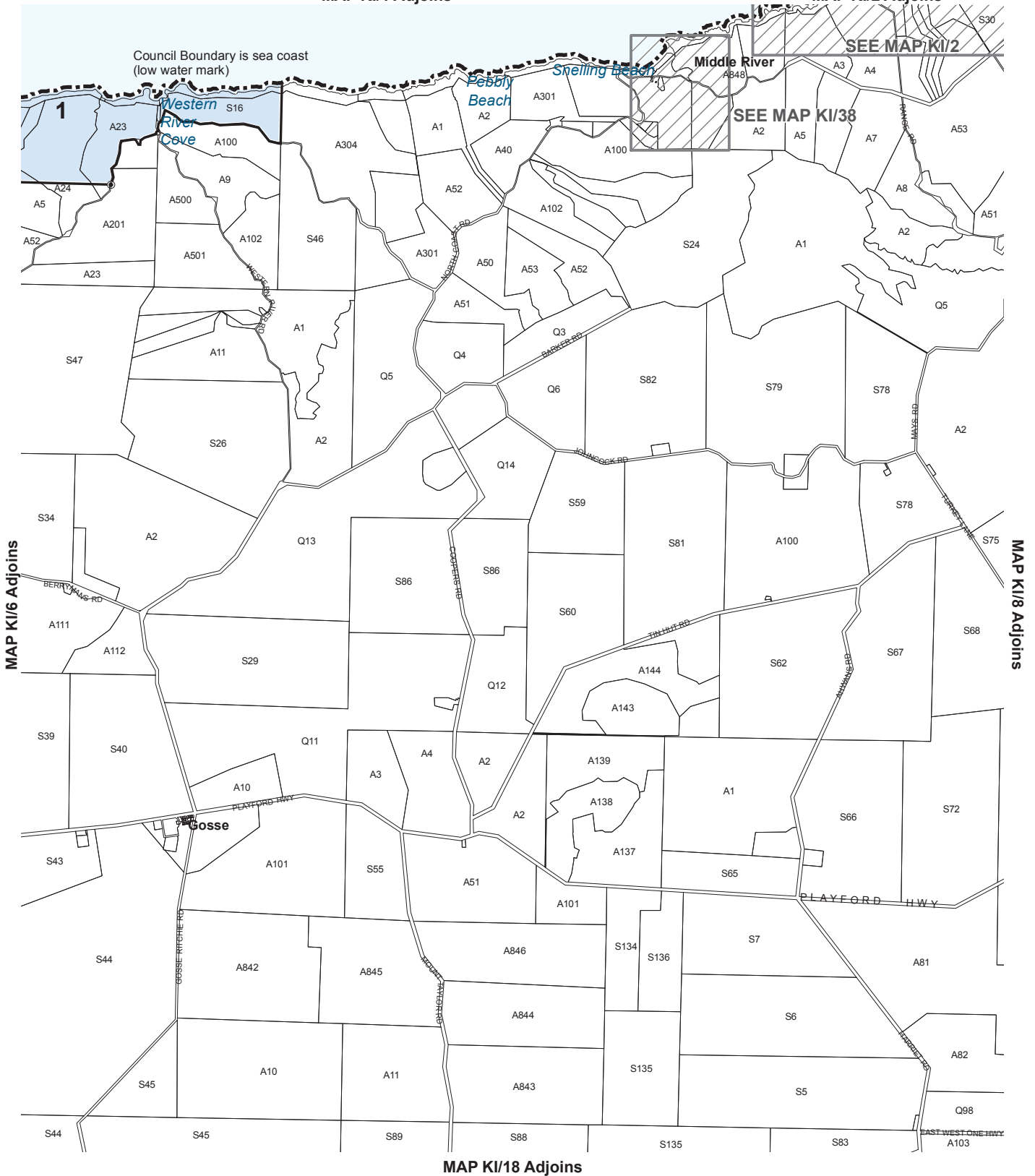
Zones

- CstCon Coastal Conservation
- Con Conservation
- PrPro Primary Production
- WP Water Protection
- Zone Boundary
- Development Plan Boundary

Zone Map KI/7

MAP KI/1 Adjoins

MAP KI/2 Adjoins



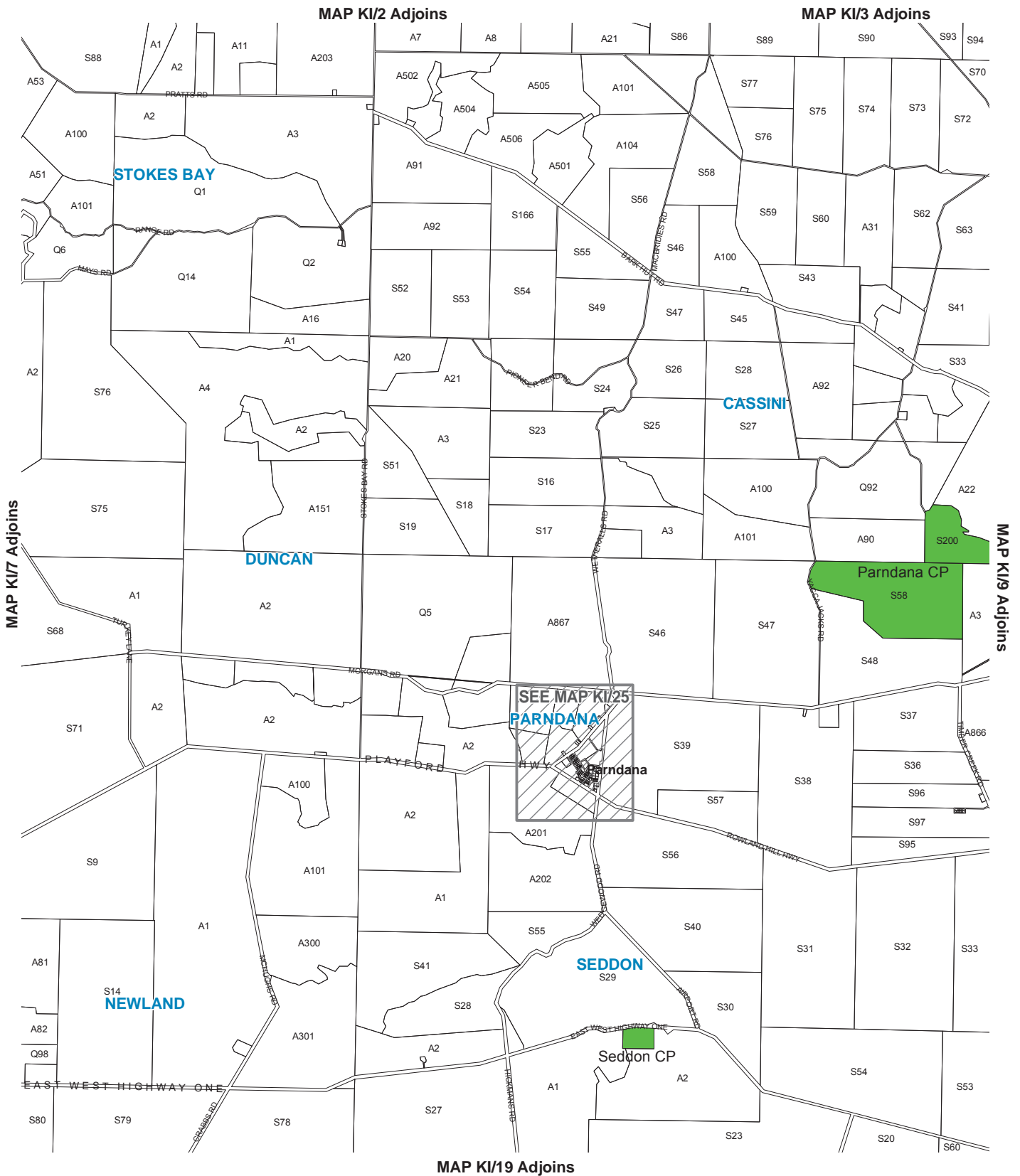
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection



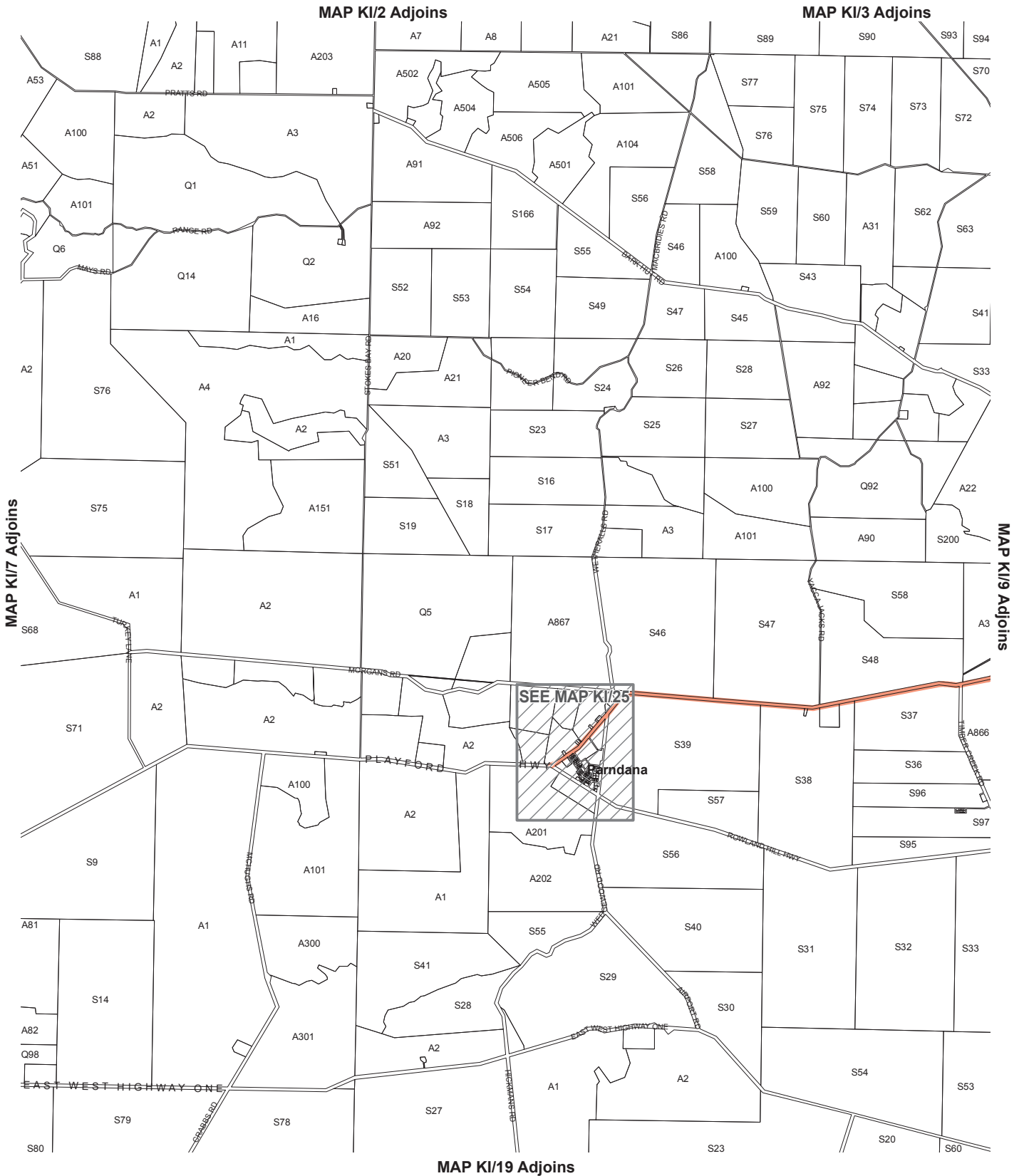
Policy Area Map KI/7

- Policy Area Boundary
- Development Plan Boundary



Location Map KI/8

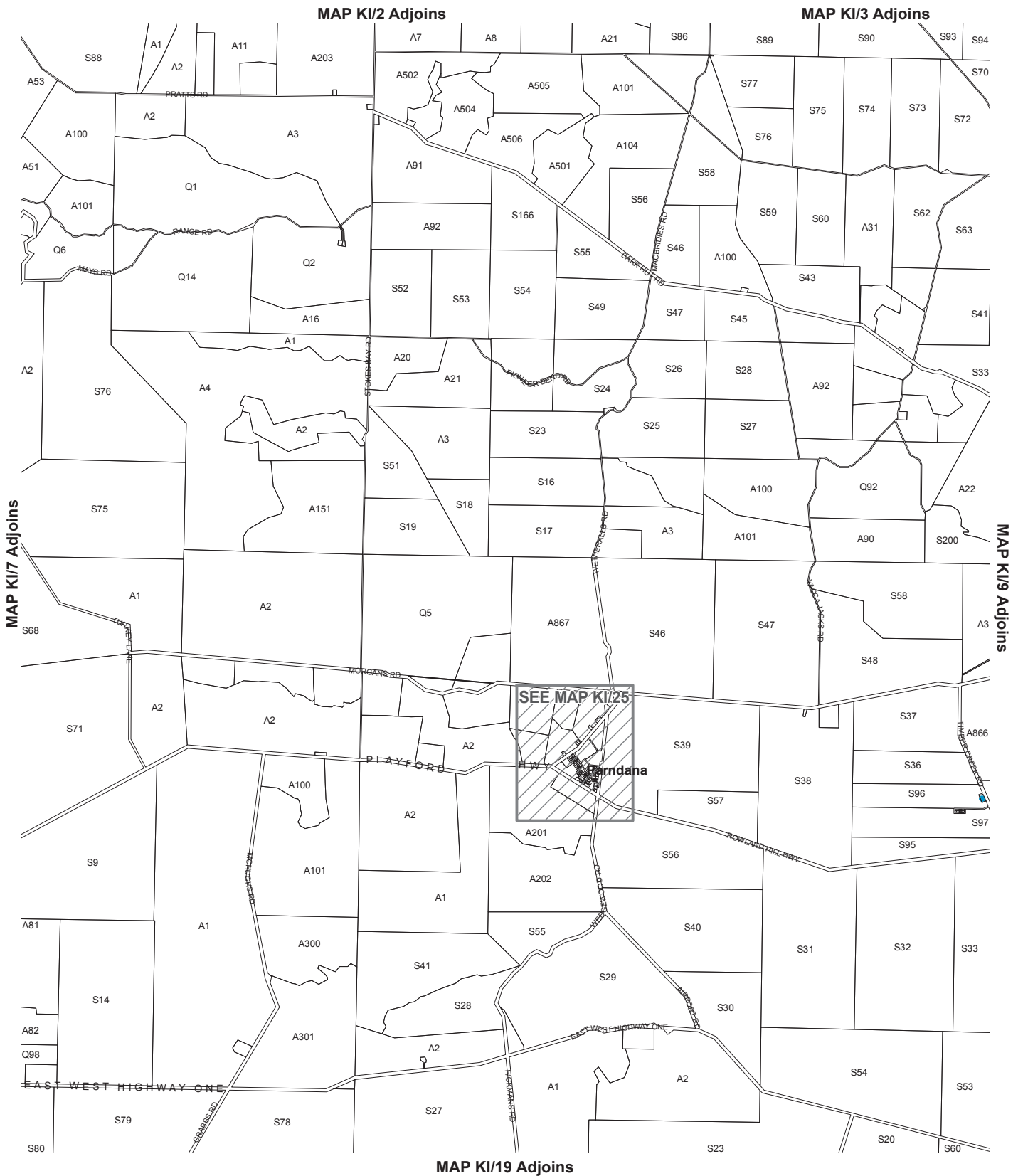
Conservation Park



Overlay Map KI/8 TRANSPORT

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

Secondary Arterial Roads



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

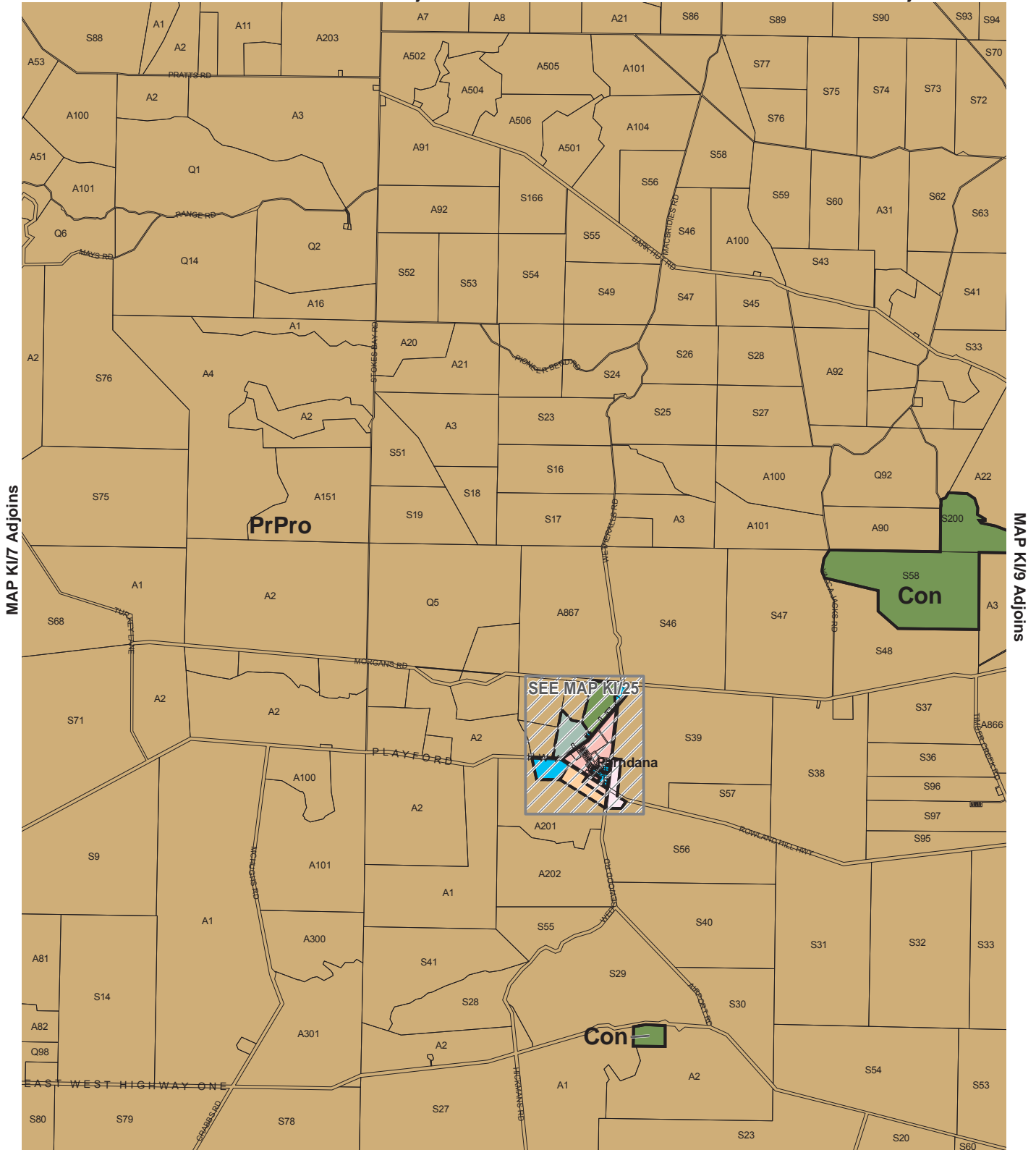


Overlay Map KI/8 HERITAGE

● Local heritage place

MAP KI/2 Adjoins

MAP KI/3 Adjoins



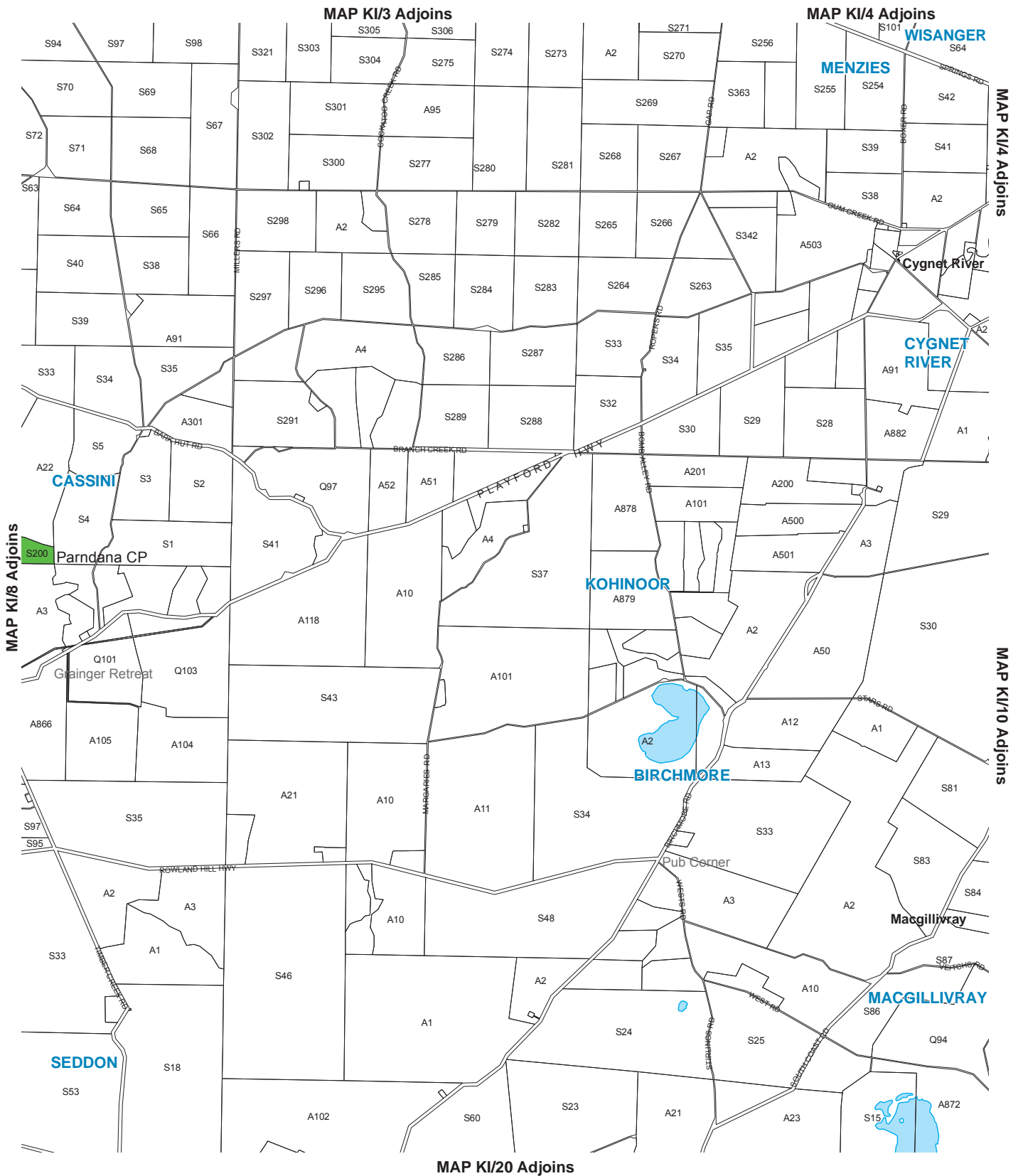
MAP KI/19 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



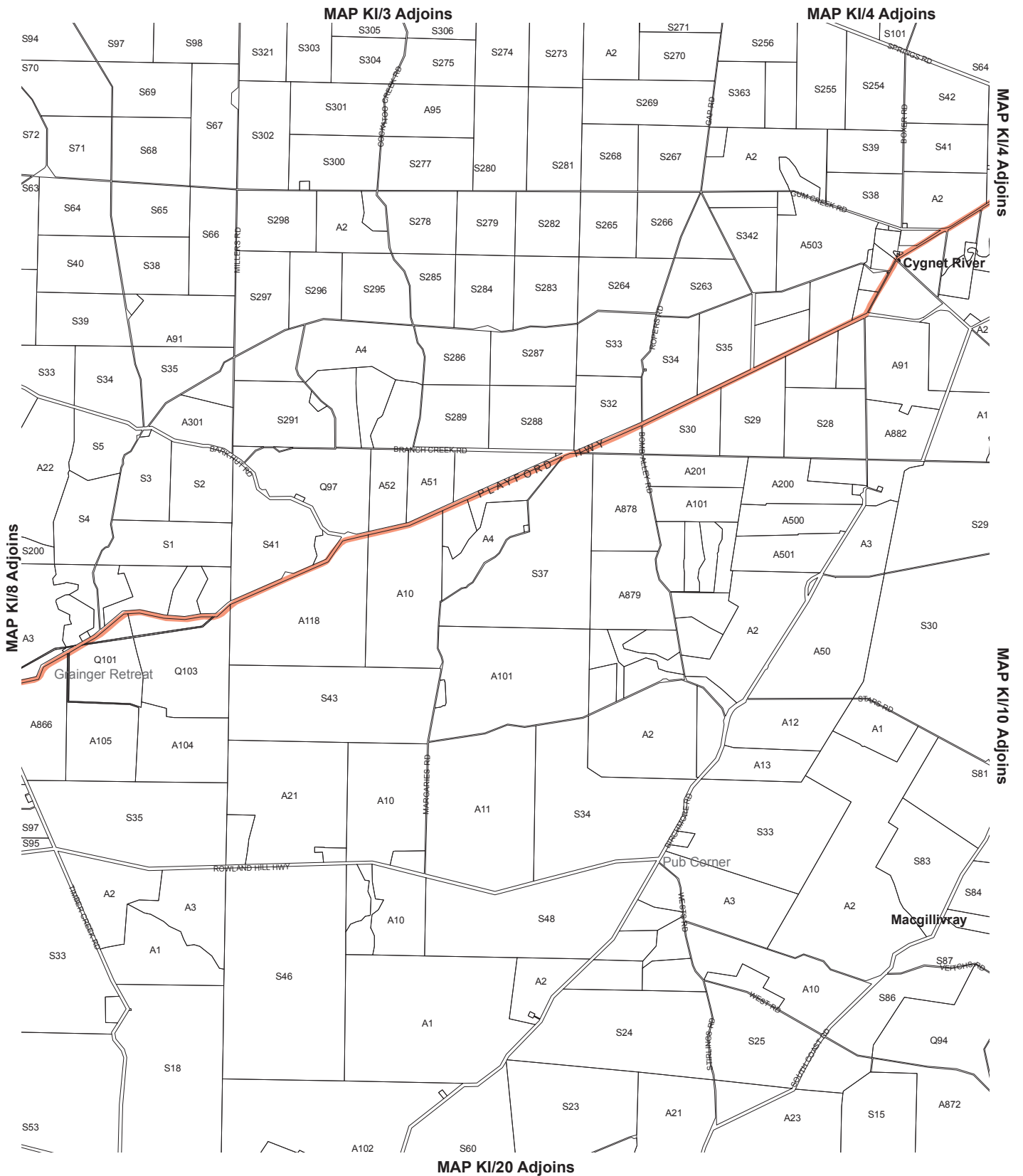
Zone Map KI/8

- Zones**
- Conservation
 - Primary Production
 - Zone Boundary



Location Map KI/9

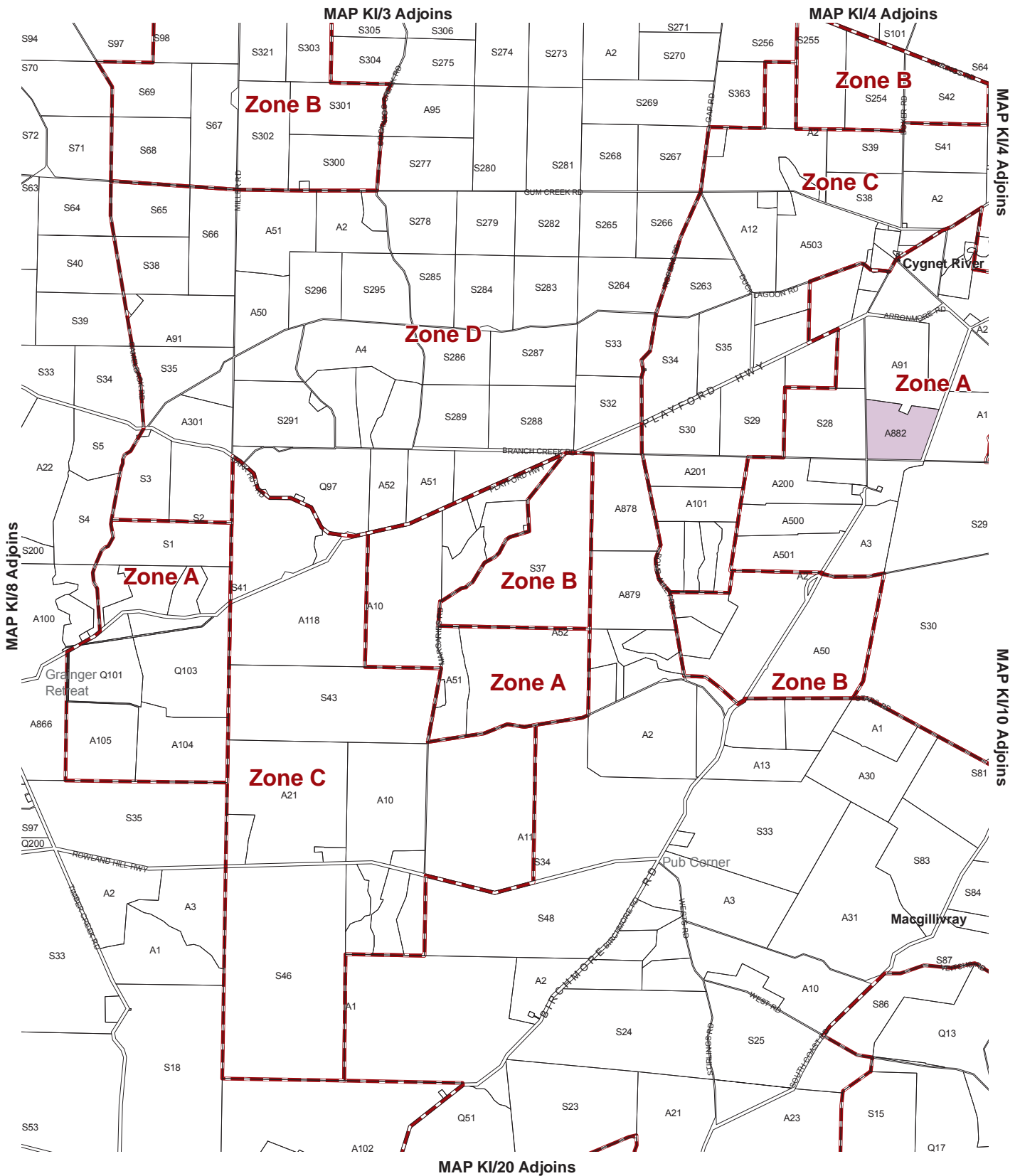
- Conservation Park
- Waterbodies





Secondary Arterial Roads



Overlay Map KI/9 TRANSPORT

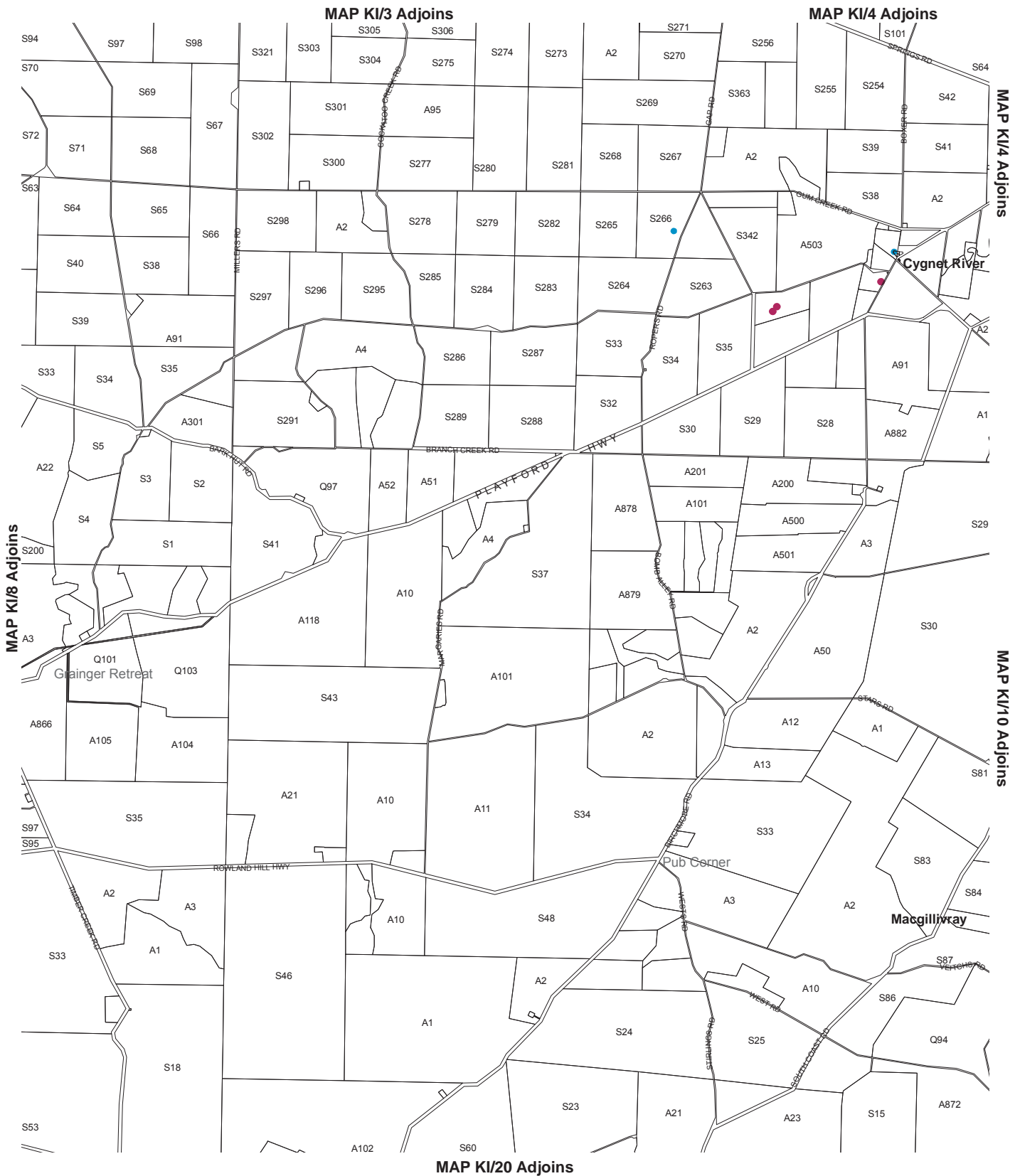


- Airport Building Heights**
- Zone A** All Structures
 - Zone B** All Structures Exceeding 10 metres above Natural Ground Level
 - Zone C** All Structures Exceeding 15 metres above Natural Ground Level
 - Zone D** All Structures Exceeding 45 metres above Natural Ground Level

-  Potential runway extension
-  Airport Building Heights

Overlay Map KI/9

DEVELOPMENT CONSTRAINTS



Overlay Map KI/9 HERITAGE

- State heritage place
- Local heritage place

MAP KI/4 Adjoins

Western Cove

Land Not Within
a Council Area
(Coastal Waters)

CYGNET RIVER

BIRCHMORE

MAGGILLIVRAY

NEPEAN BAY

SEE MAP KI/11

SEE MAP KI/26

Beyeria CP

MAP KI/9 Adjoins

MAP KI/1 Adjoins

SEE MAP KI/9

Macgillivray

SEE MAP KI/13

SEE MAP KI/20

White Lagoon

Salt Lagoon

HAINES

S116 S115

Flour Cask Bay

MAP KI/20 Adjoins

MAP KI/13 Adjoins

MAP KI/21 Adjoins






0

5 km



Location Map KI/10

-  Conservation Park
-  Waterbodies
-  Development Plan Boundary



KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

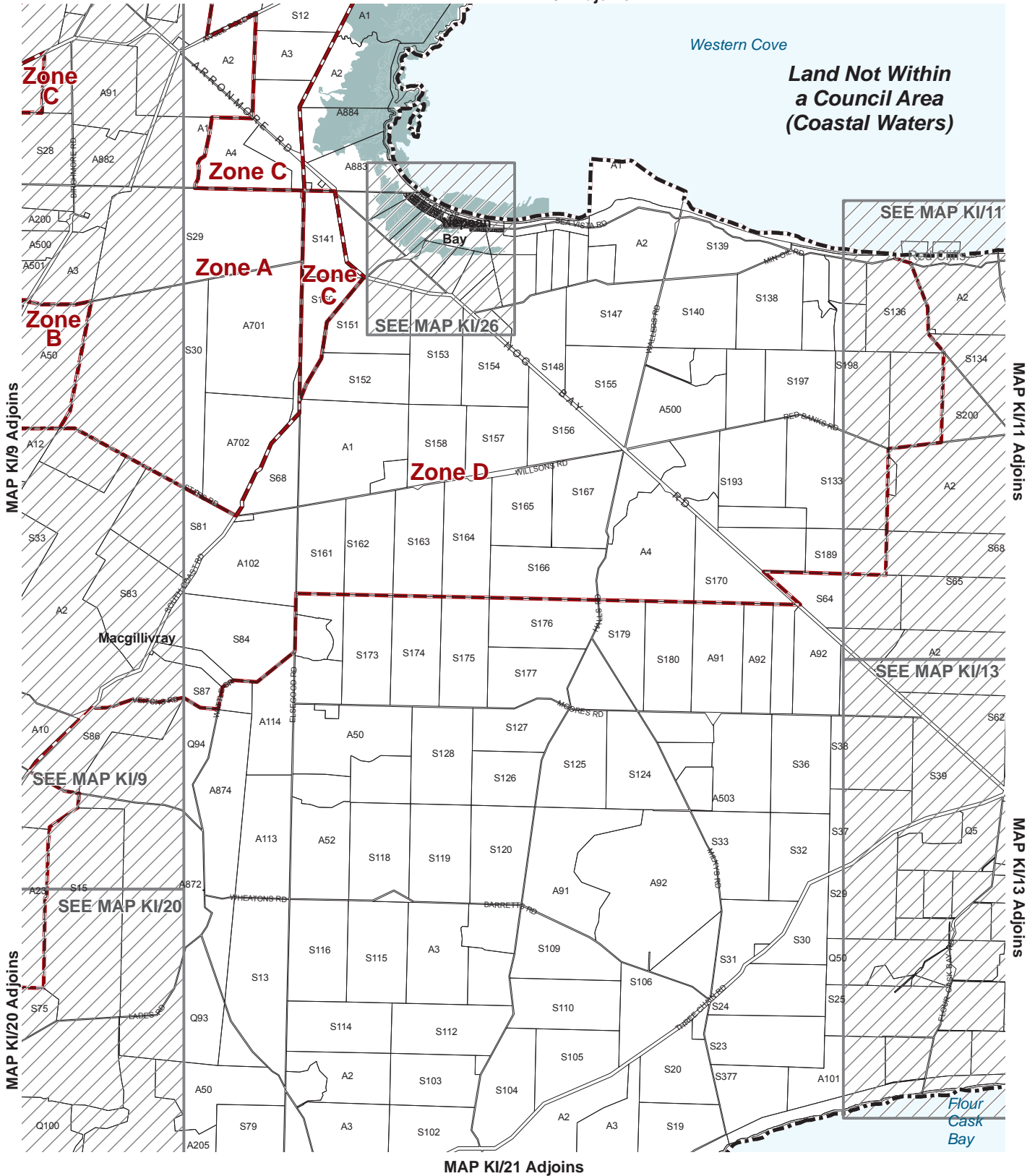
MAP KI/4 Adjoins






Overlay Map KI/10 TRANSPORT

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP KI/4 Adjoins

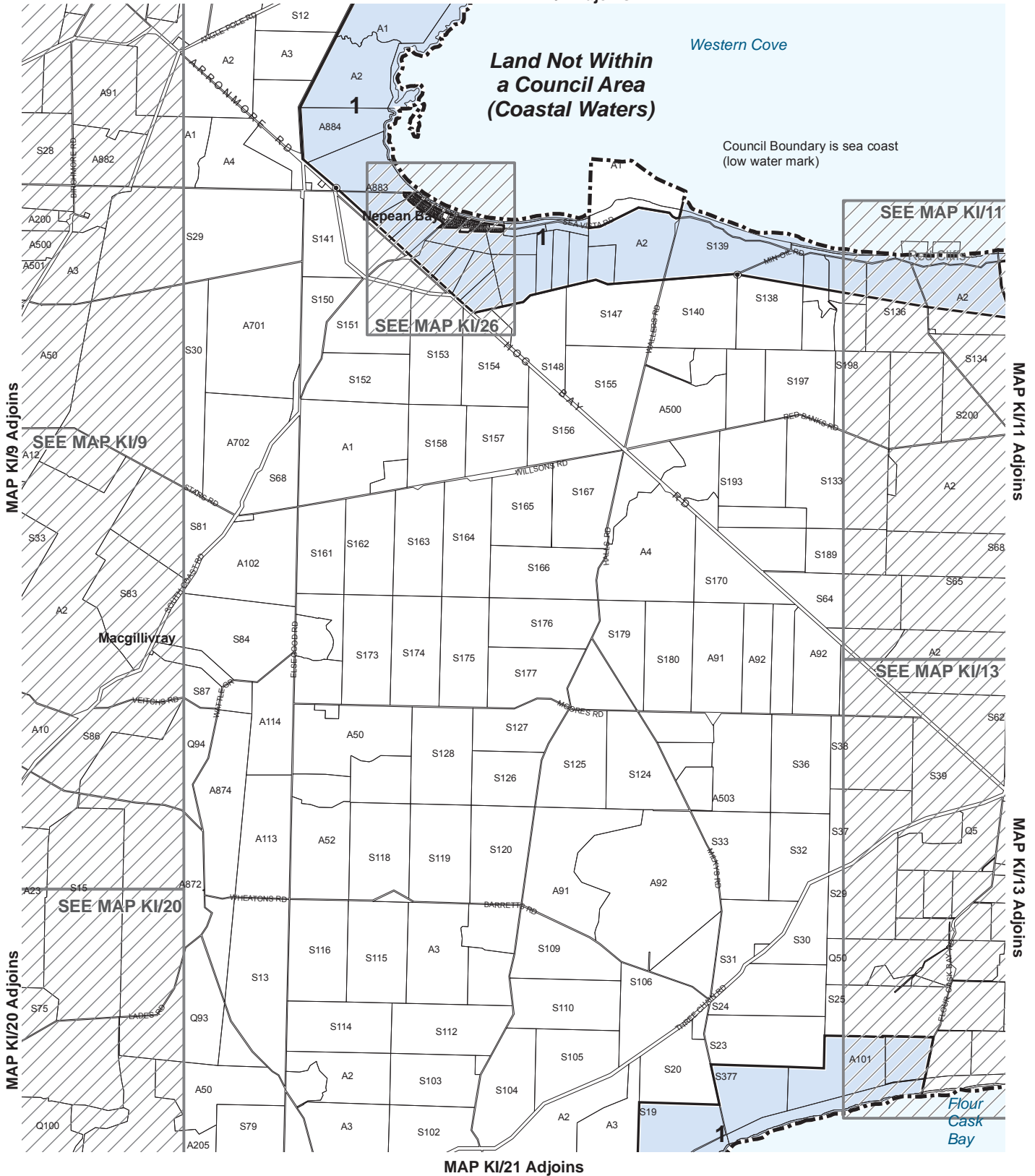


- Airport Building Heights**
Zone A All Structures
Zone B All Structures Exceeding 10 metres above Natural Ground Level
Zone C All Structures Exceeding 15 metres above Natural Ground Level
Zone D All Structures Exceeding 45 metres above Natural Ground Level

-  Airport Building Heights
-  Coastal Acid Sulfate Soils
-  Development Plan Boundary

Overlay Map KI/10 DEVELOPMENT CONSTRAINTS

MAP KI/4 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

Western Cove

Council Boundary is sea coast
(low water mark)

SEE MAP KI/11

SEE MAP KI/26

SEE MAP KI/9

SEE MAP KI/13

SEE MAP KI/20

MAP KI/21 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

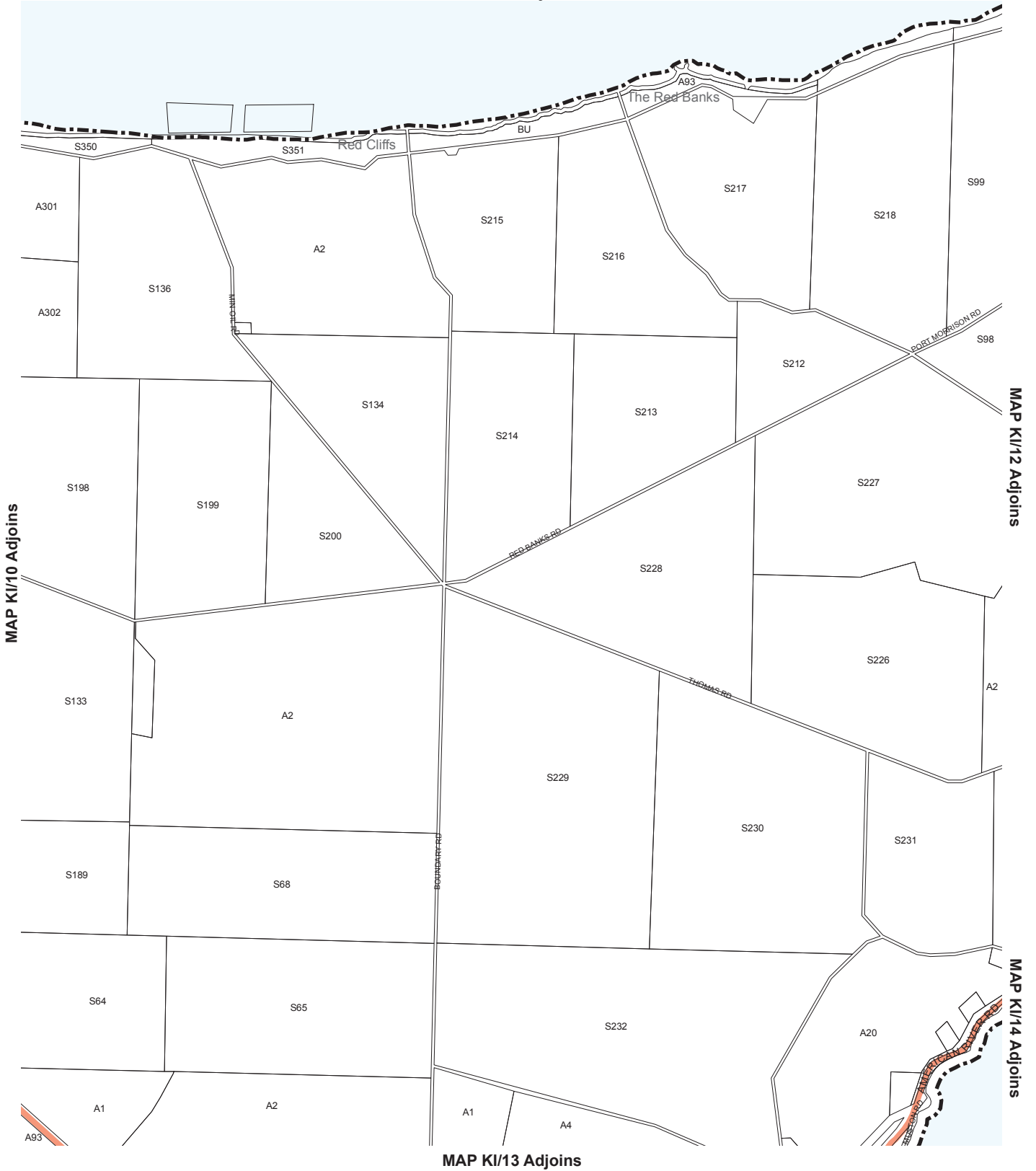
Policy Area
1 Landscape Protection



Policy Area Map KI/10

- Policy Area Boundary
- Development Plan Boundary

MAP KI/1 Adjoins

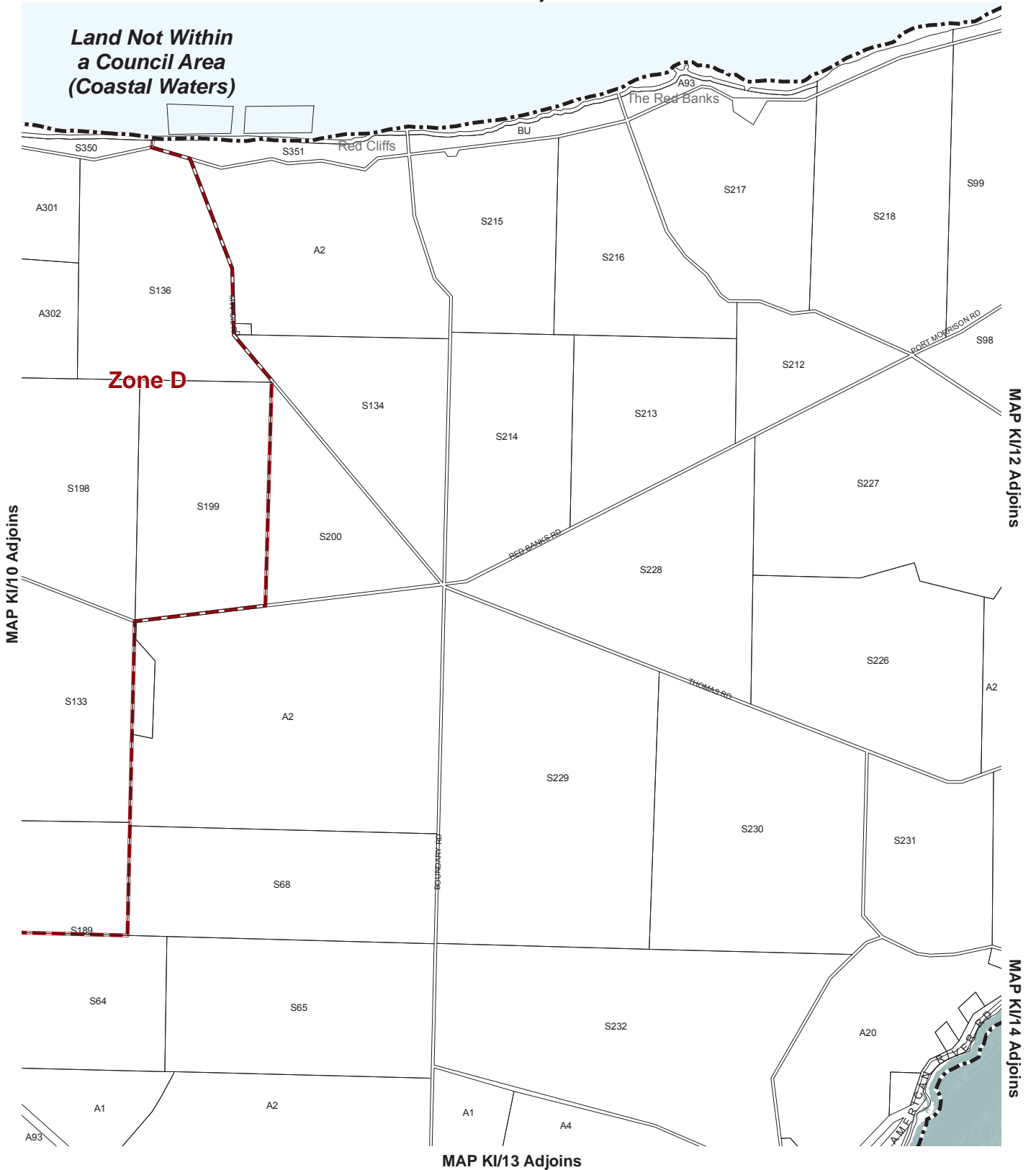


Overlay Map KI/11 TRANSPORT

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

- Secondary Arterial Roads
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



Airport Building Heights
Zone D All Structures Exceeding 45 metres above Natural Ground Level



- Airport Building Heights
- Coastal Acid Sulfate Soils
- Development Plan Boundary

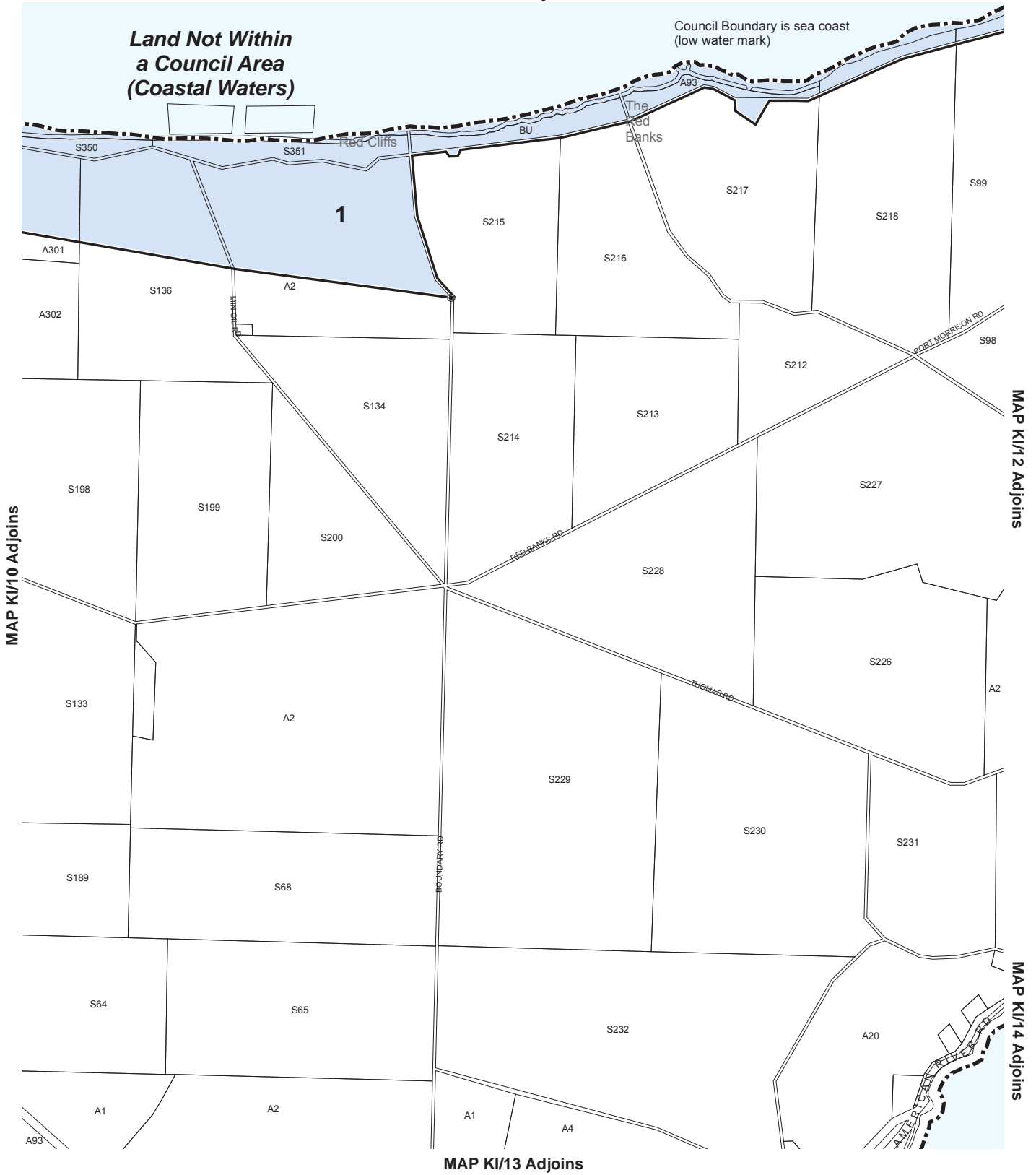
Overlay Map KI/11

DEVELOPMENT CONSTRAINTS

MAP KI/1 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)



Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection



Policy Area Map KI/11

- Policy Area Boundary
- Development Plan Boundary

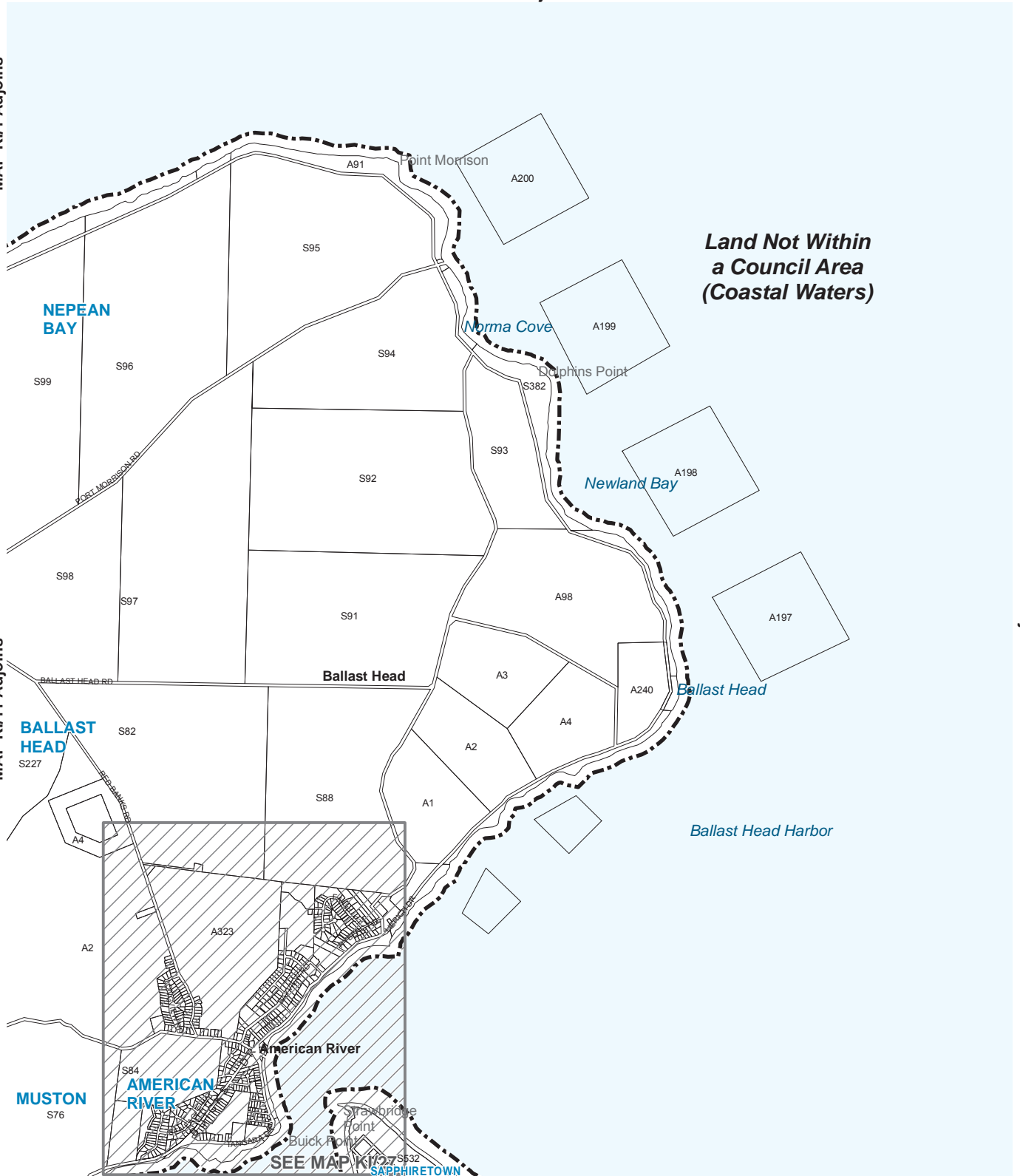
KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/1 Adjoins

MAP KI/11 Adjoins

MAP KI/5 Adjoins



MAP KI/14 Adjoins



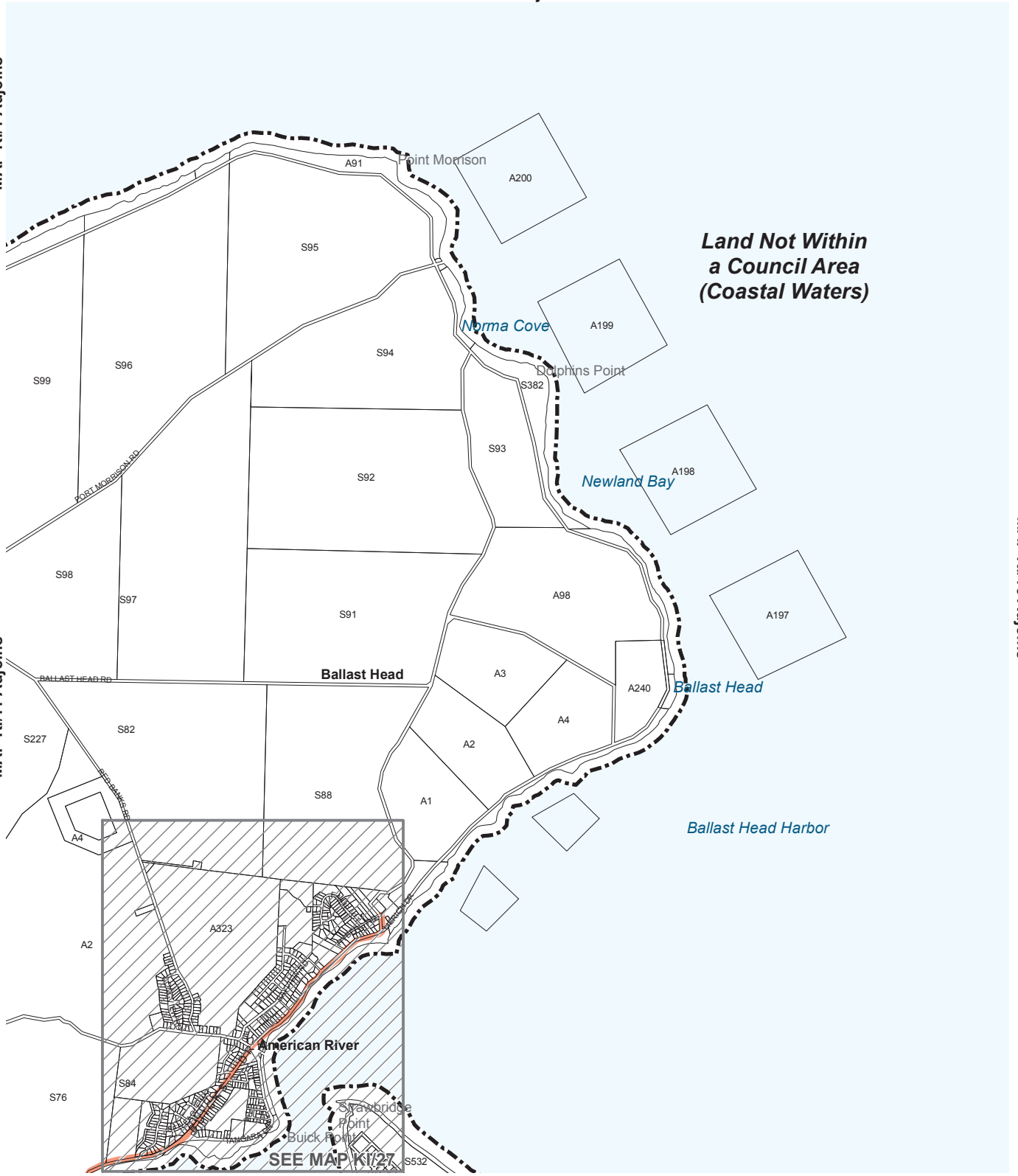
Location Map KI/12

MAP KI/1 Adjoins

MAP KI/1 Adjoins

MAP KI/11 Adjoins

MAP KI/15 Adjoins





**Land Not Within
a Council Area
(Coastal Waters)**

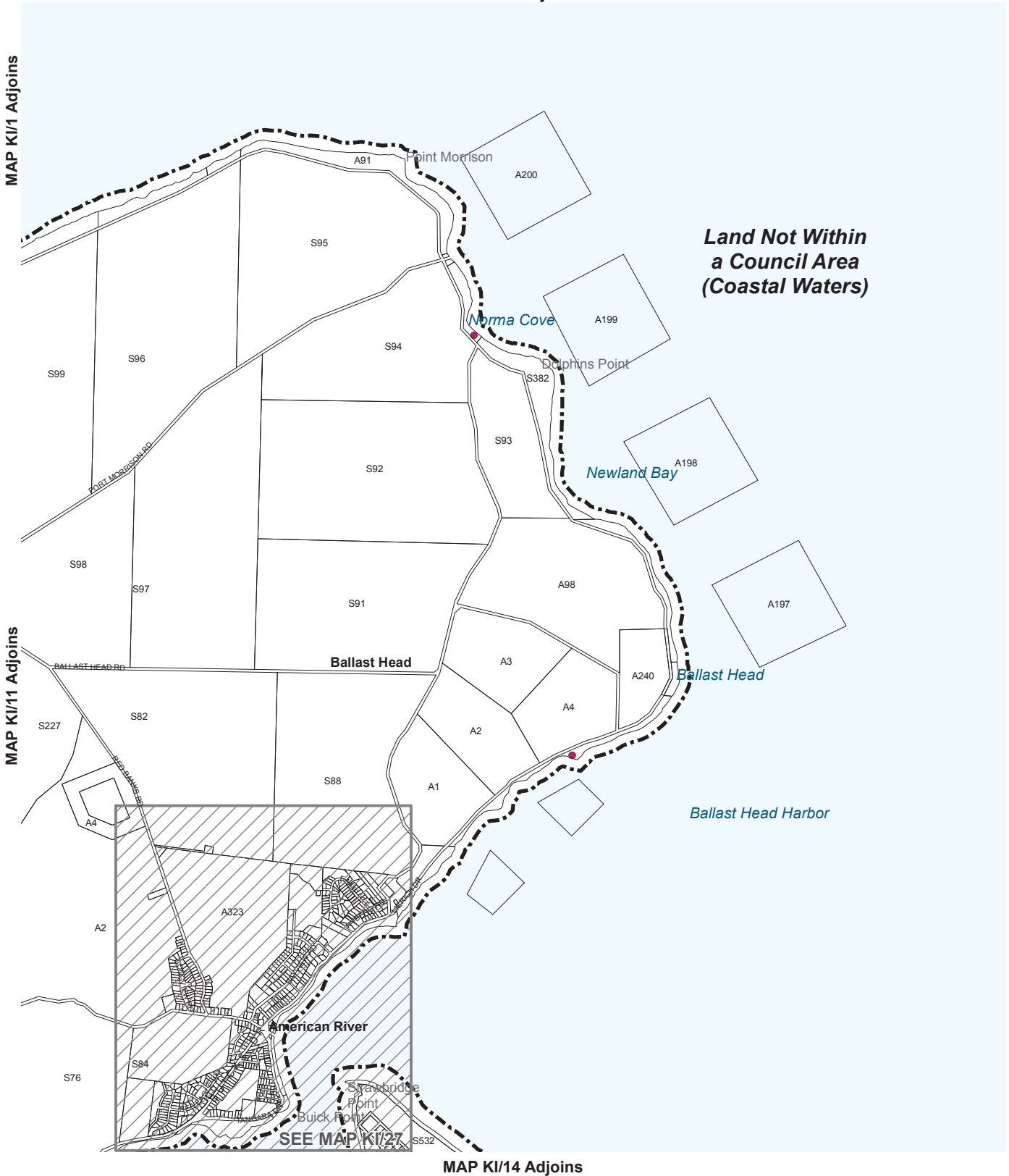
Ballast Head Harbor



Overlay Map KI/12 TRANSPORT

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP KI/1 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- Development Plan Boundary

Overlay Map KI/12

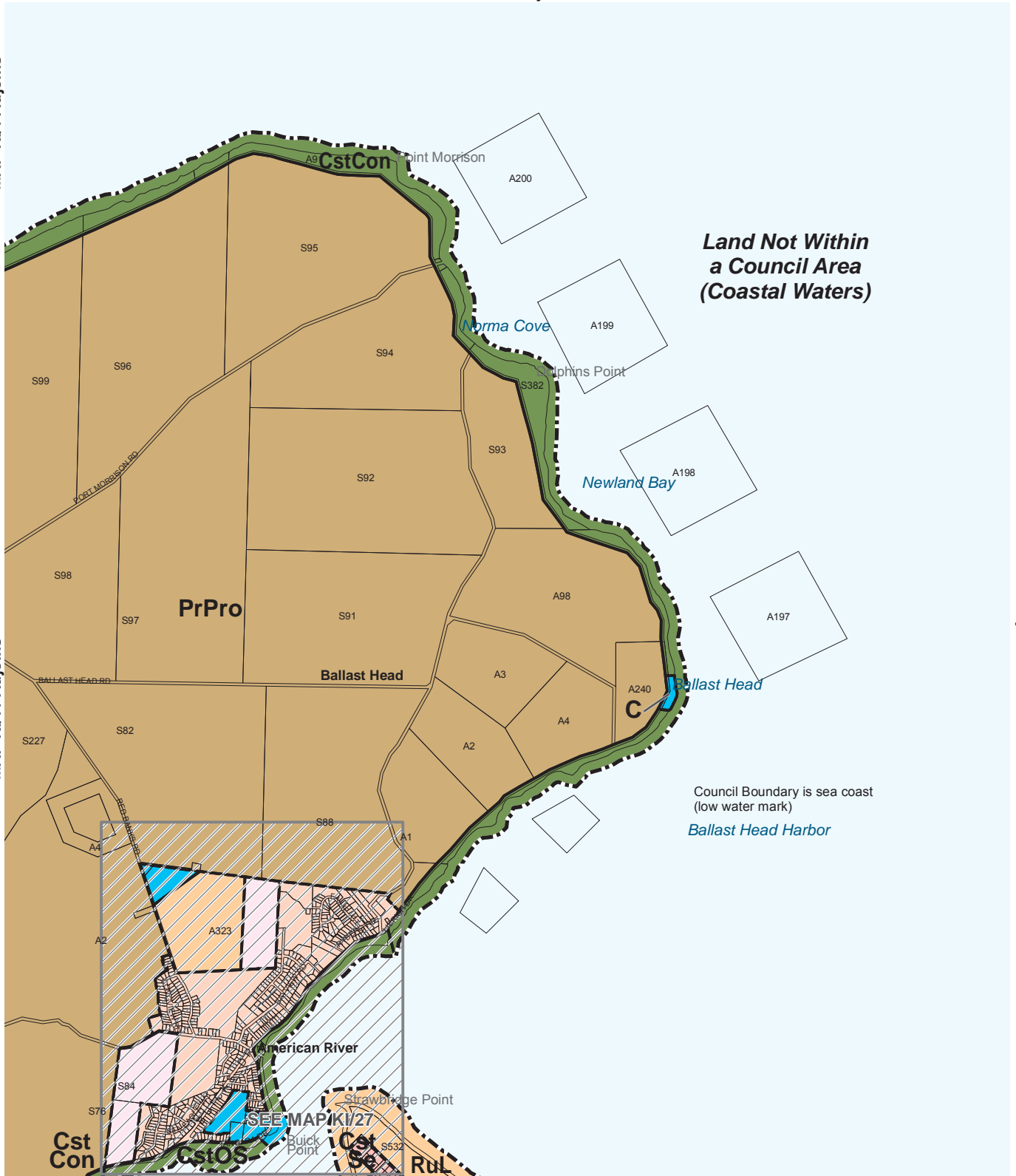
HERITAGE

MAP KI/1 Adjoins

MAP KI/1 Adjoins

MAP KI/11 Adjoins

MAP KI/15 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

MAP KI/14 Adjoins

Zones

- CstOS Coastal Open Space
- CstCon Coastal Conservation
- CstSe Coastal Settlement
- C Commercial
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

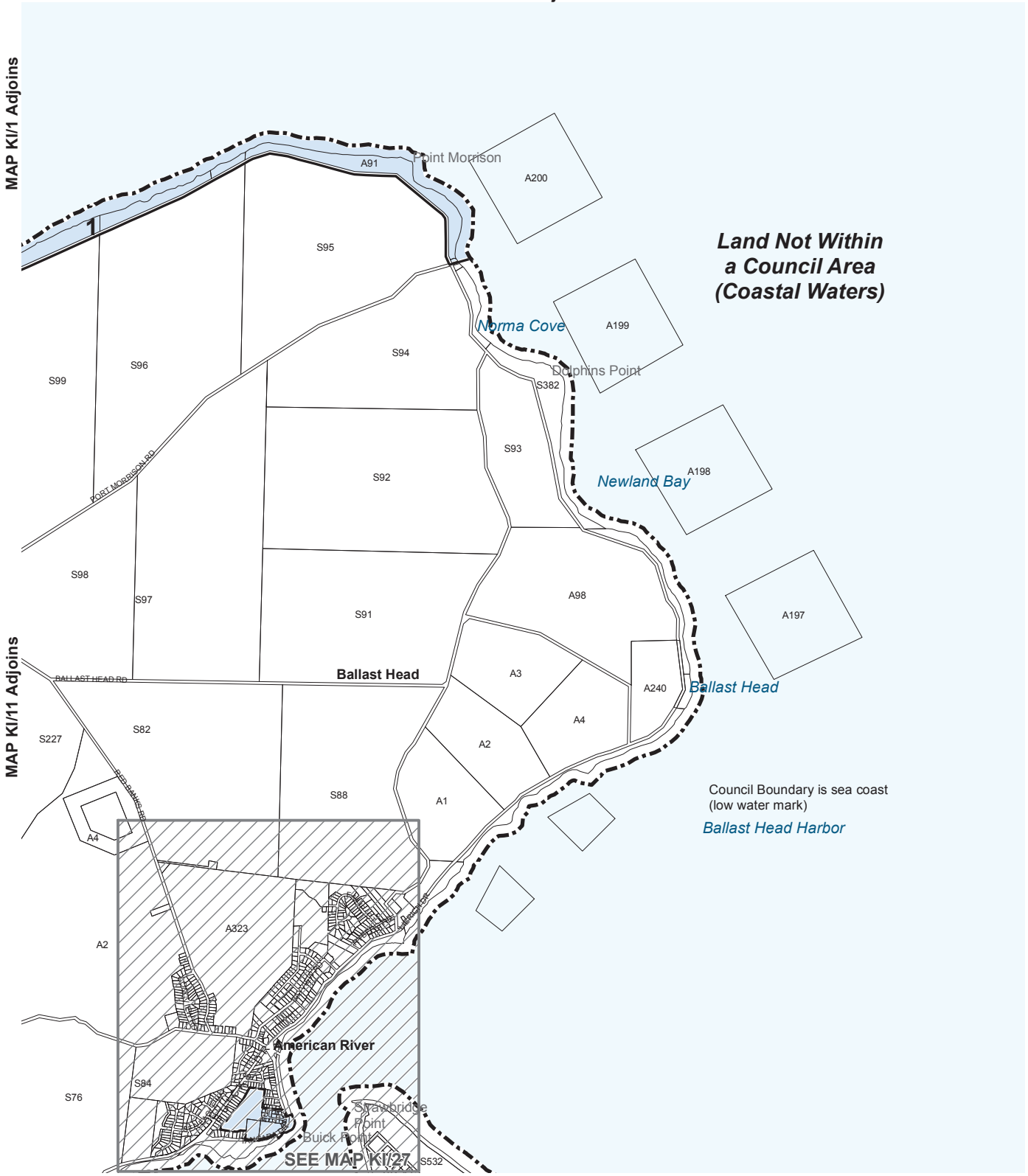


Zone Map KI/12

KANGAROO ISLAND COUNCIL

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MAP KI/1 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection



Policy Area Map KI/12

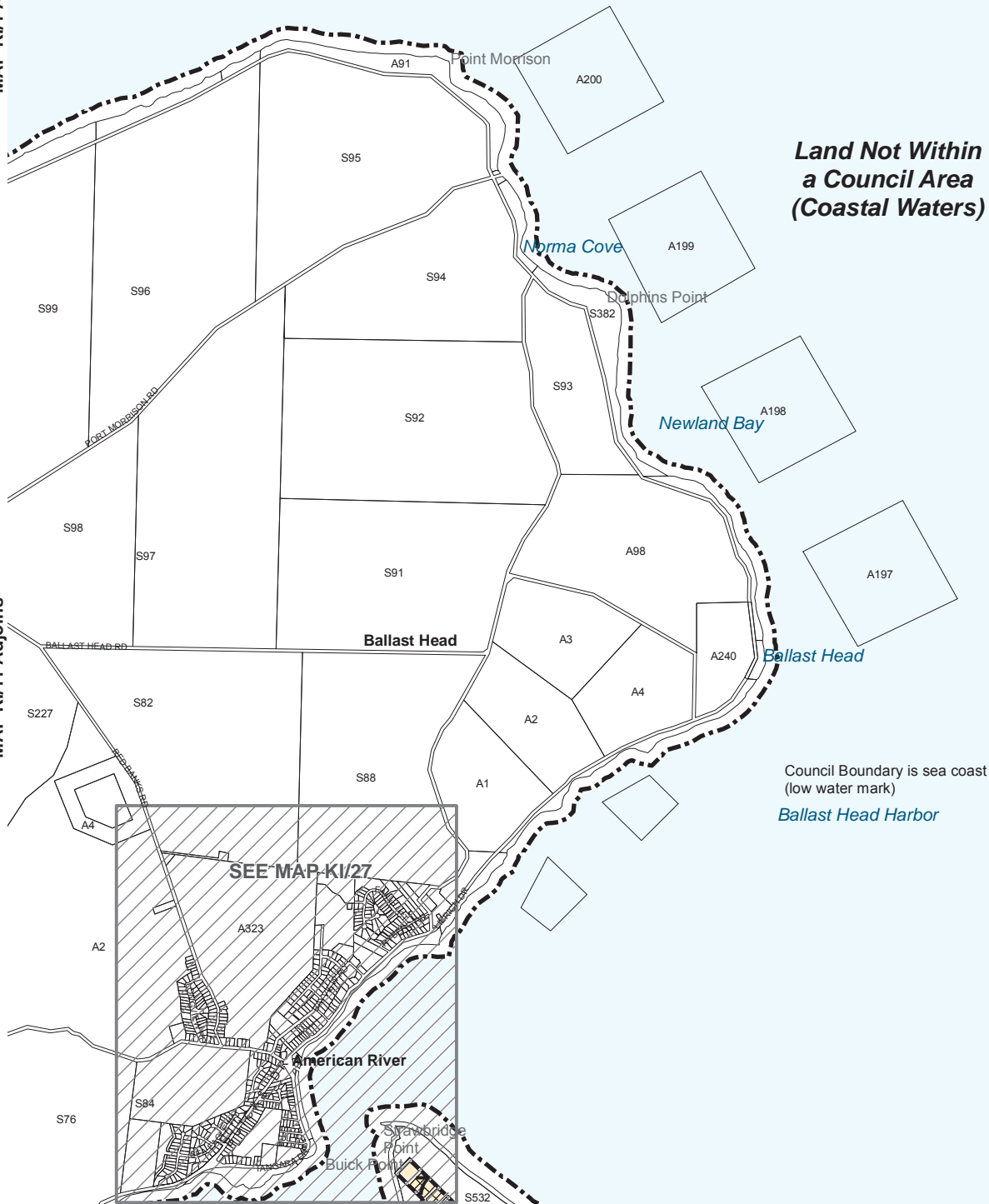
- Policy Area Boundary
- Development Plan Boundary

MAP KI/1 Adjoins

MAP KI/1 Adjoins

MAP KI/11 Adjoins

MAP KI/5 Adjoins





See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

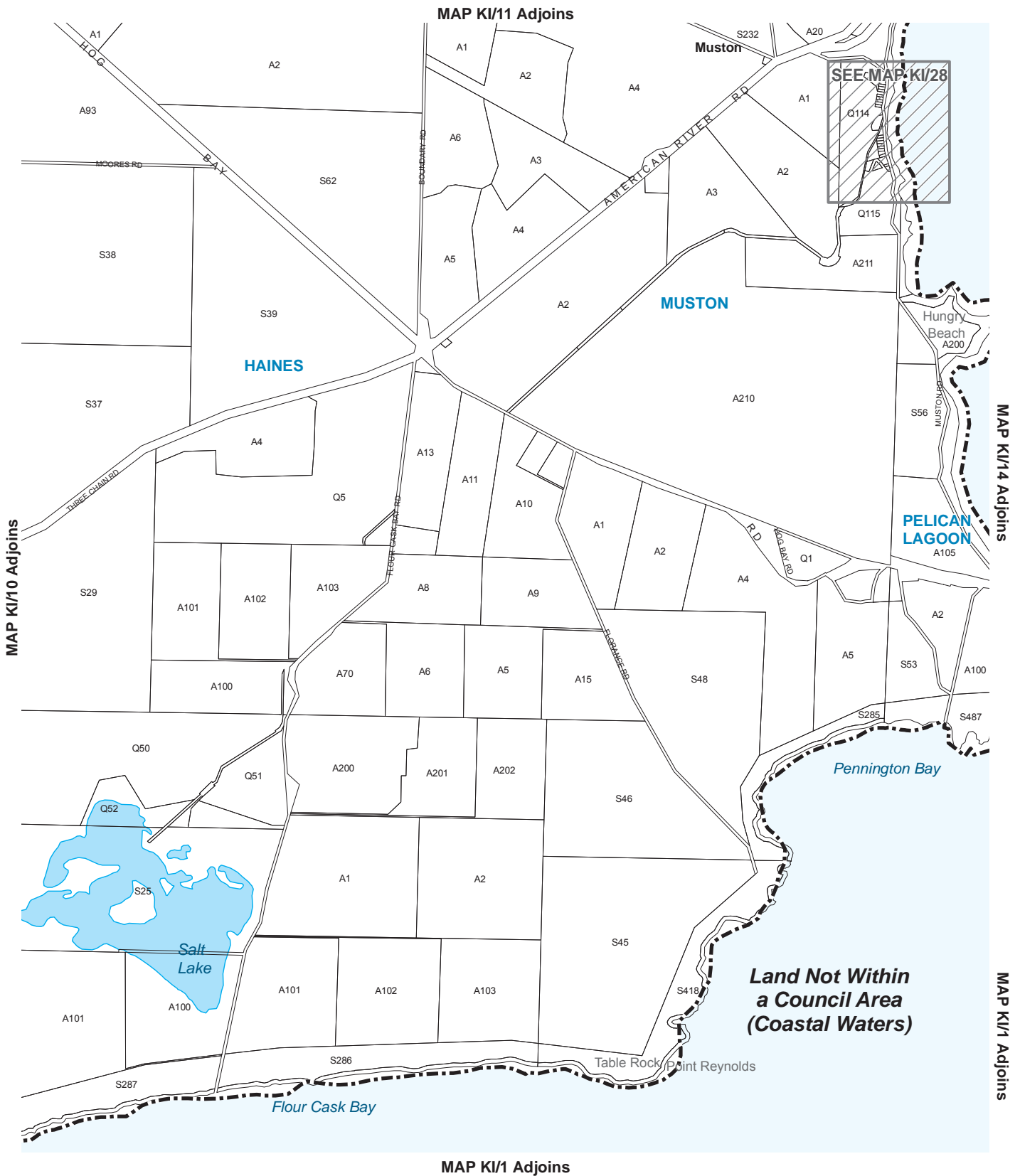
Precinct
7 Sapphiretown

MAP KI/14 Adjoins



Precinct Map KI/12

-  Precinct Boundary
-  Development Plan Boundary



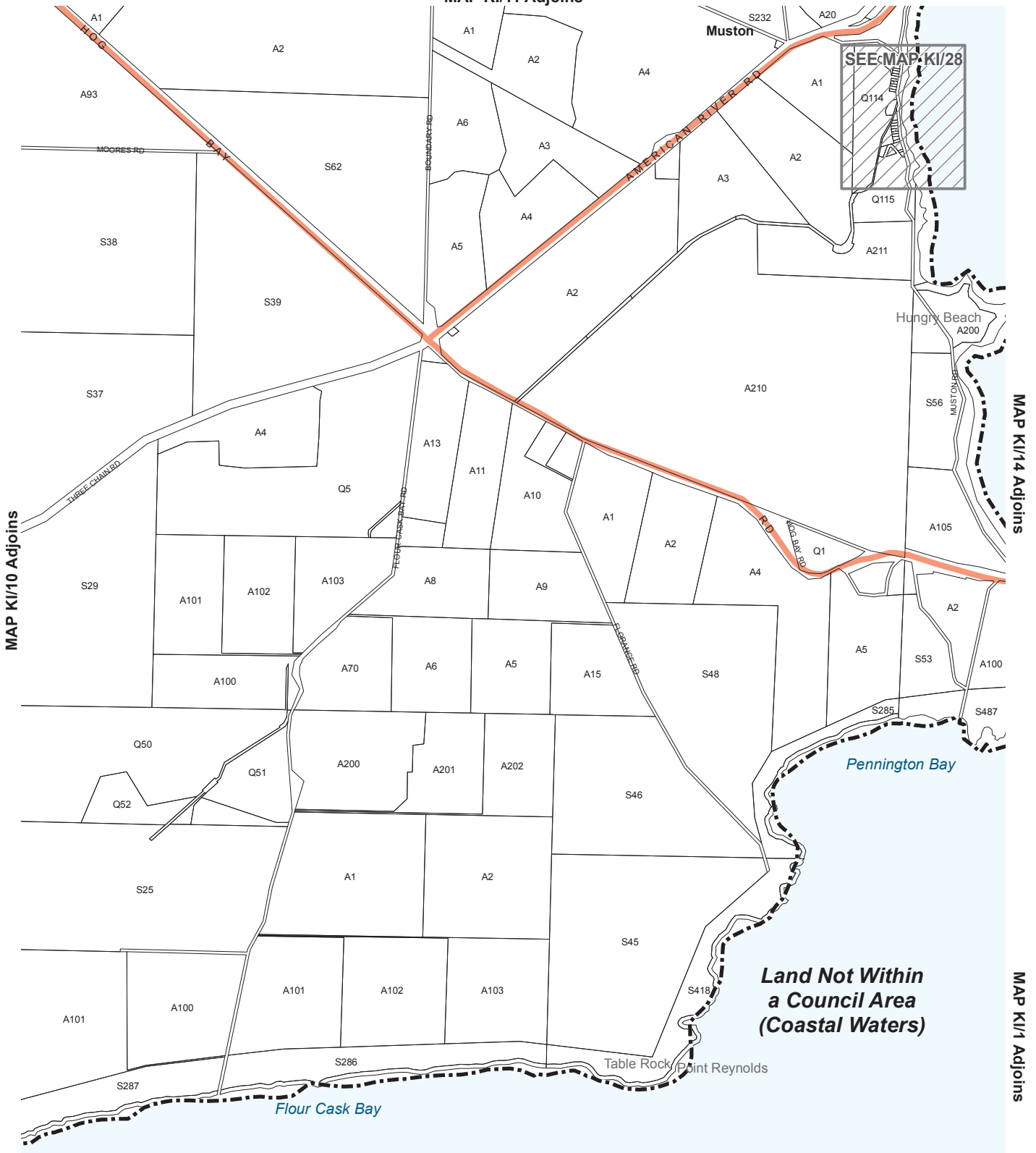
MAP KI/1 Adjoins



Location Map KI/13

- Waterbodies
- Development Plan Boundary

MAP KI/11 Adjoins



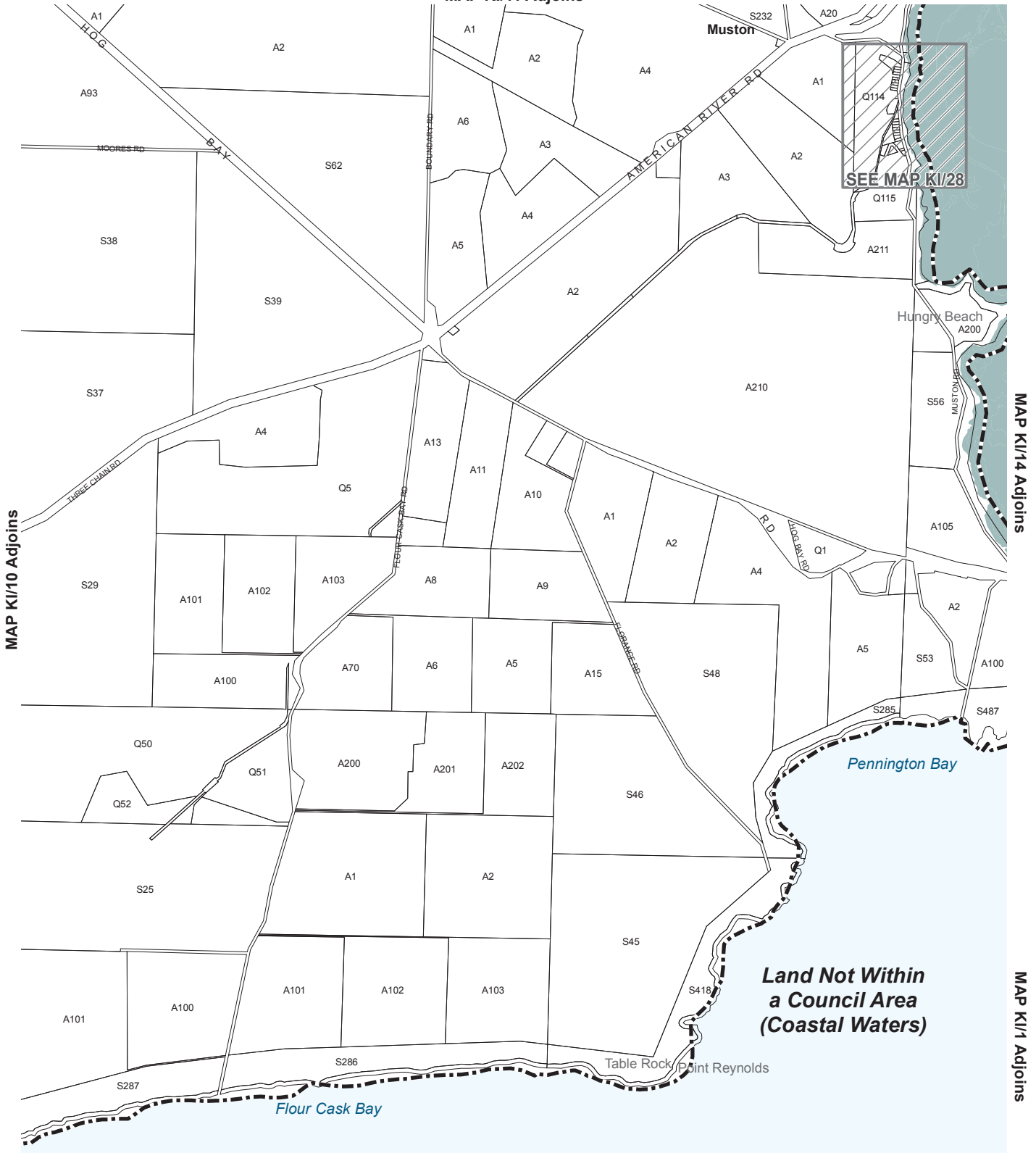
MAP KI/1 Adjoins



Overlay Map KI/13 TRANSPORT

- Secondary Arterial Roads
- - - - - Development Plan Boundary

MAP KI/11 Adjoins



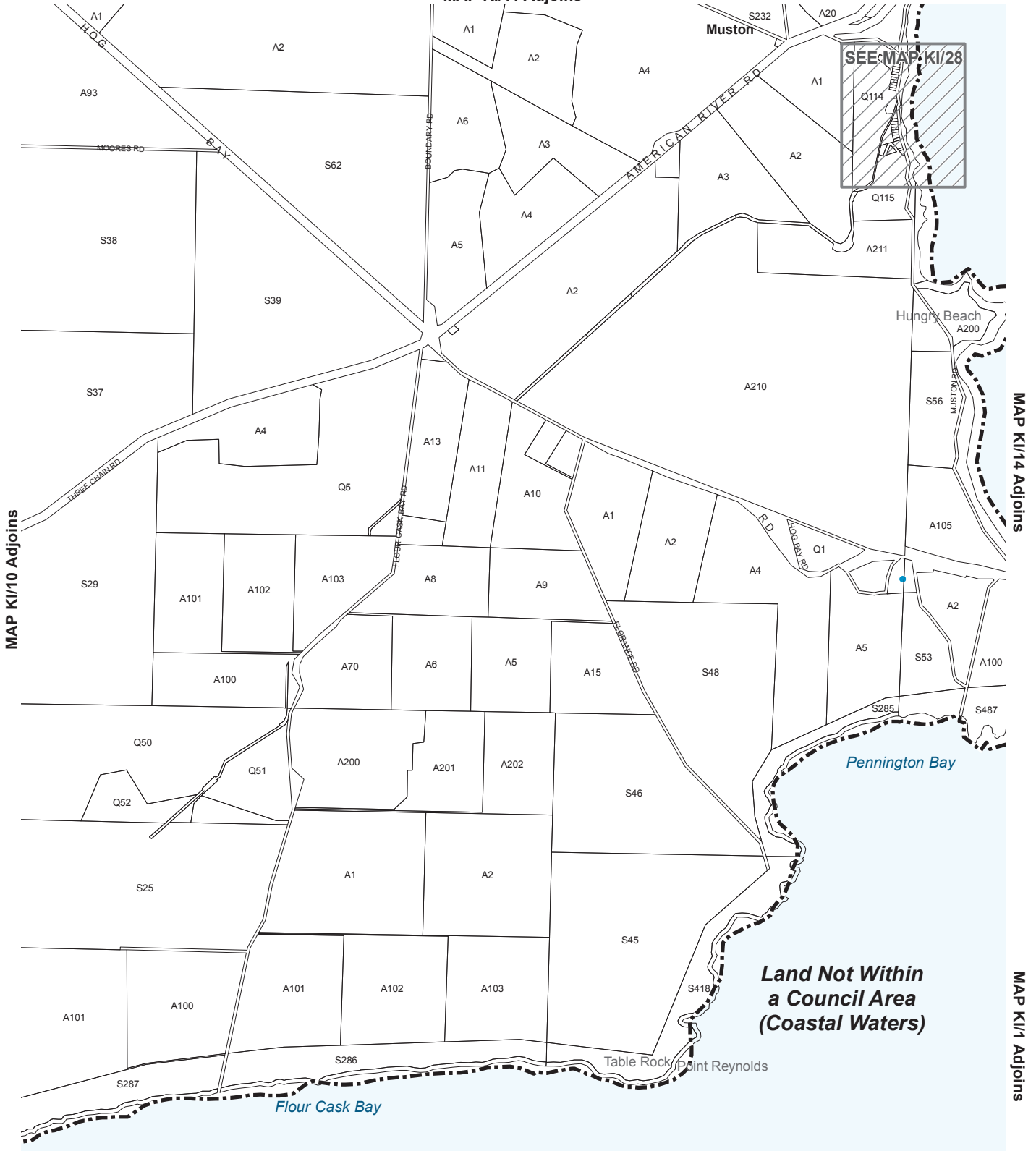
MAP KI/1 Adjoins



Overlay Map KI/13 DEVELOPMENT CONSTRAINTS

- Coastal Acid Sulfate Soils
- Development Plan Boundary

MAP KI/11 Adjoins



MAP KI/1 Adjoins

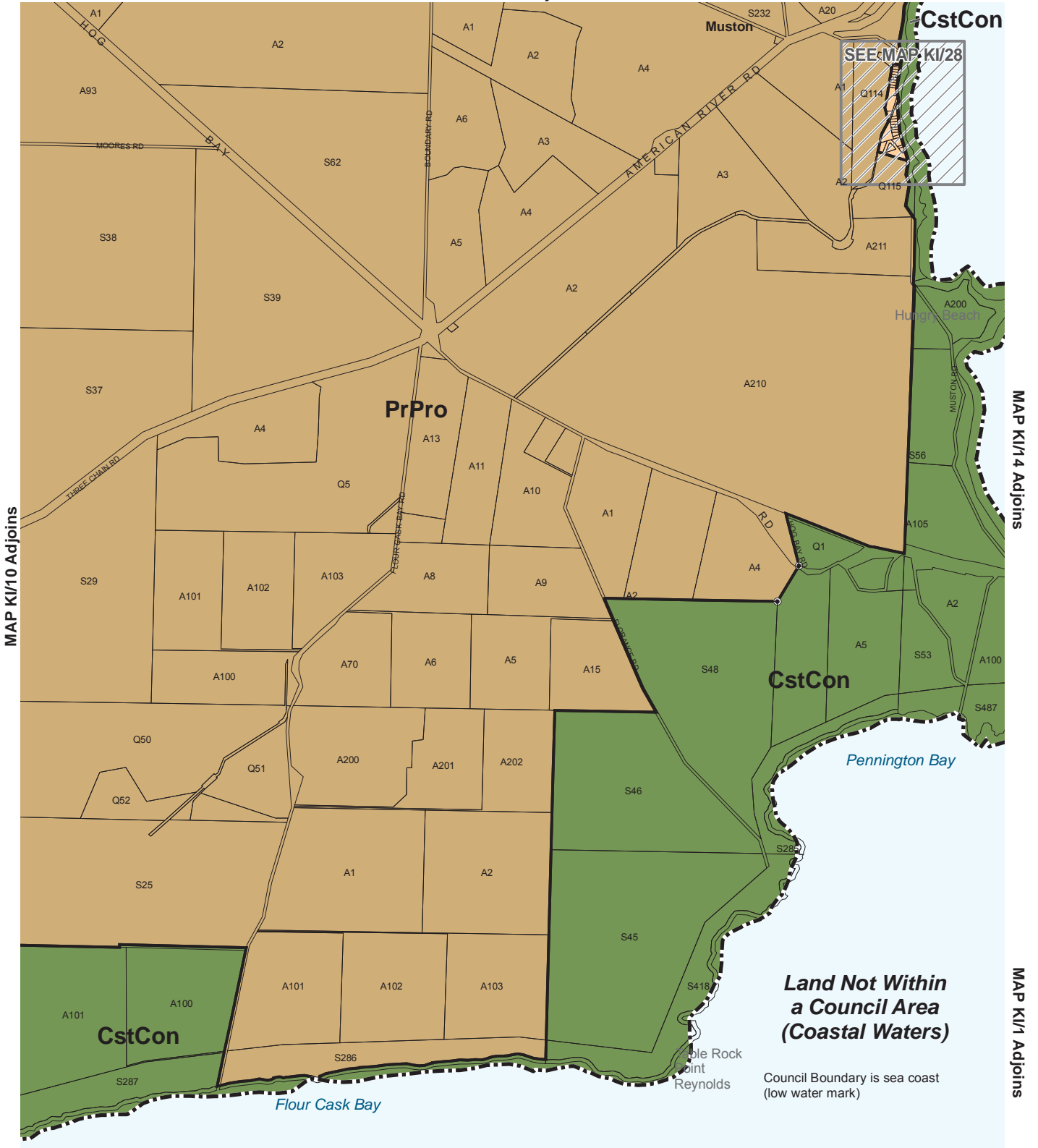
Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.



Overlay Map KI/13 HERITAGE

- Local heritage place
- Development Plan Boundary

MAP KI/11 Adjoins



MAP KI/1 Adjoins

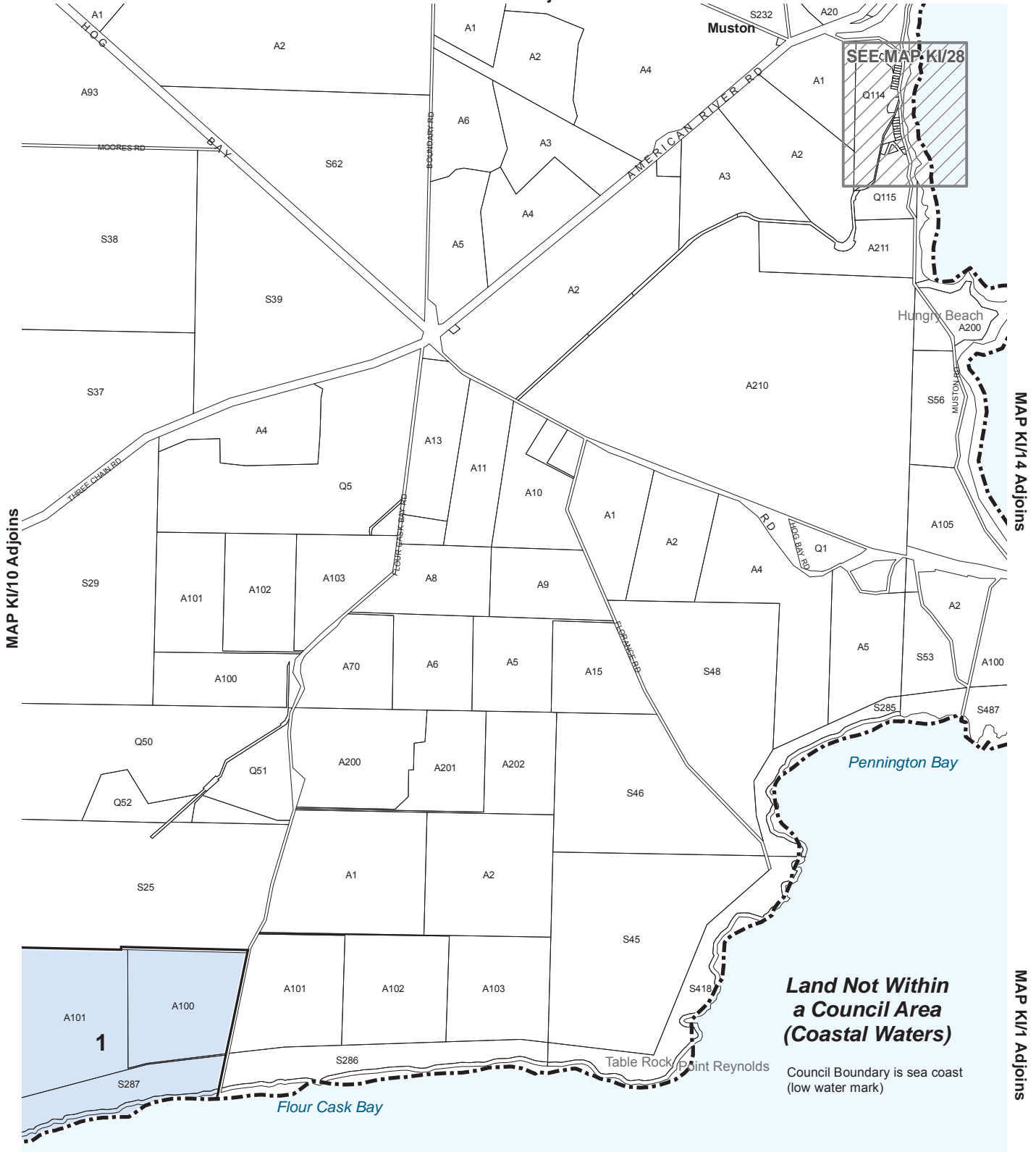
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/13

MAP KI/11 Adjoins



MAP KI/1 Adjoins

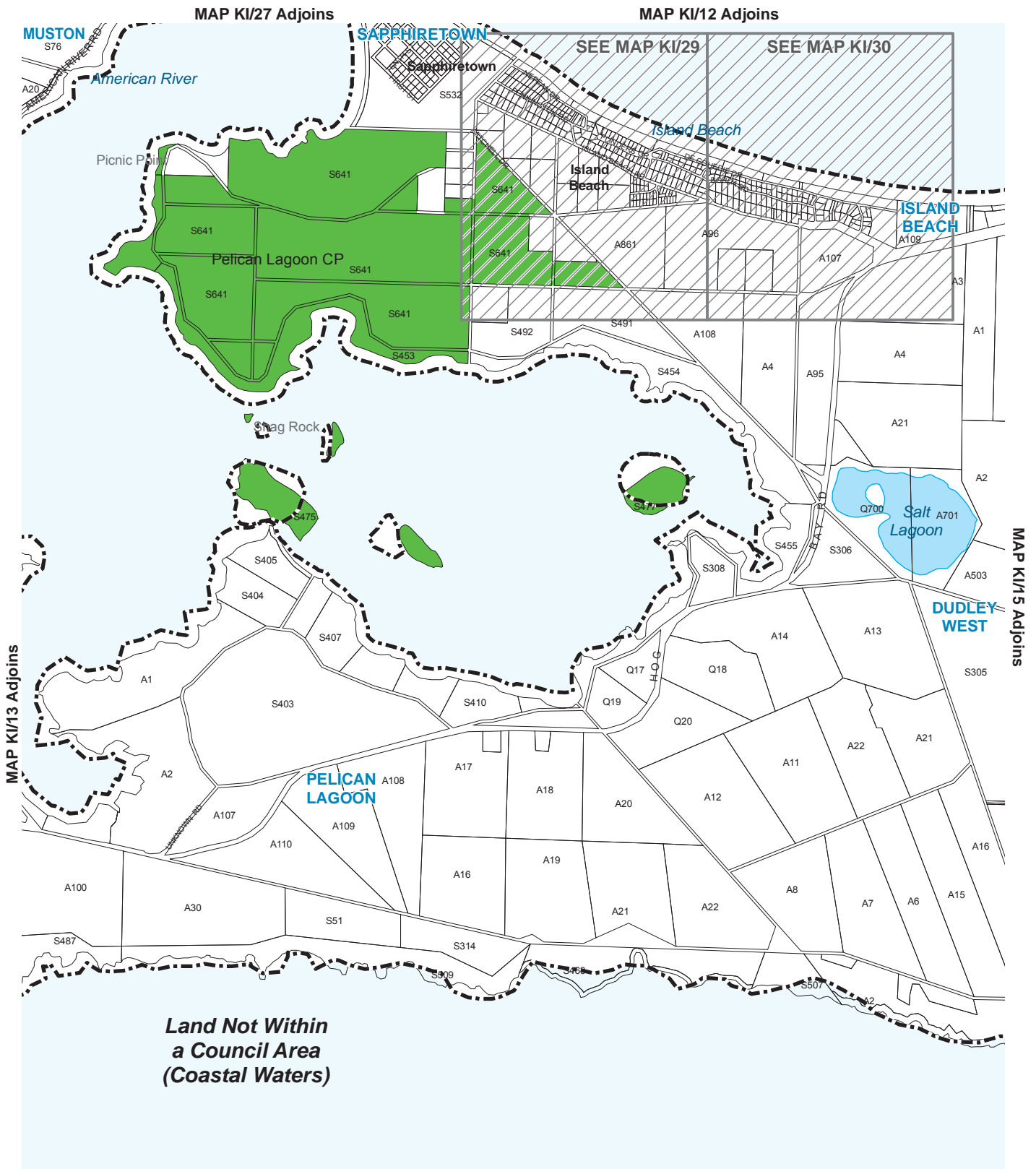
See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Policy Area
 1 Landscape Protection



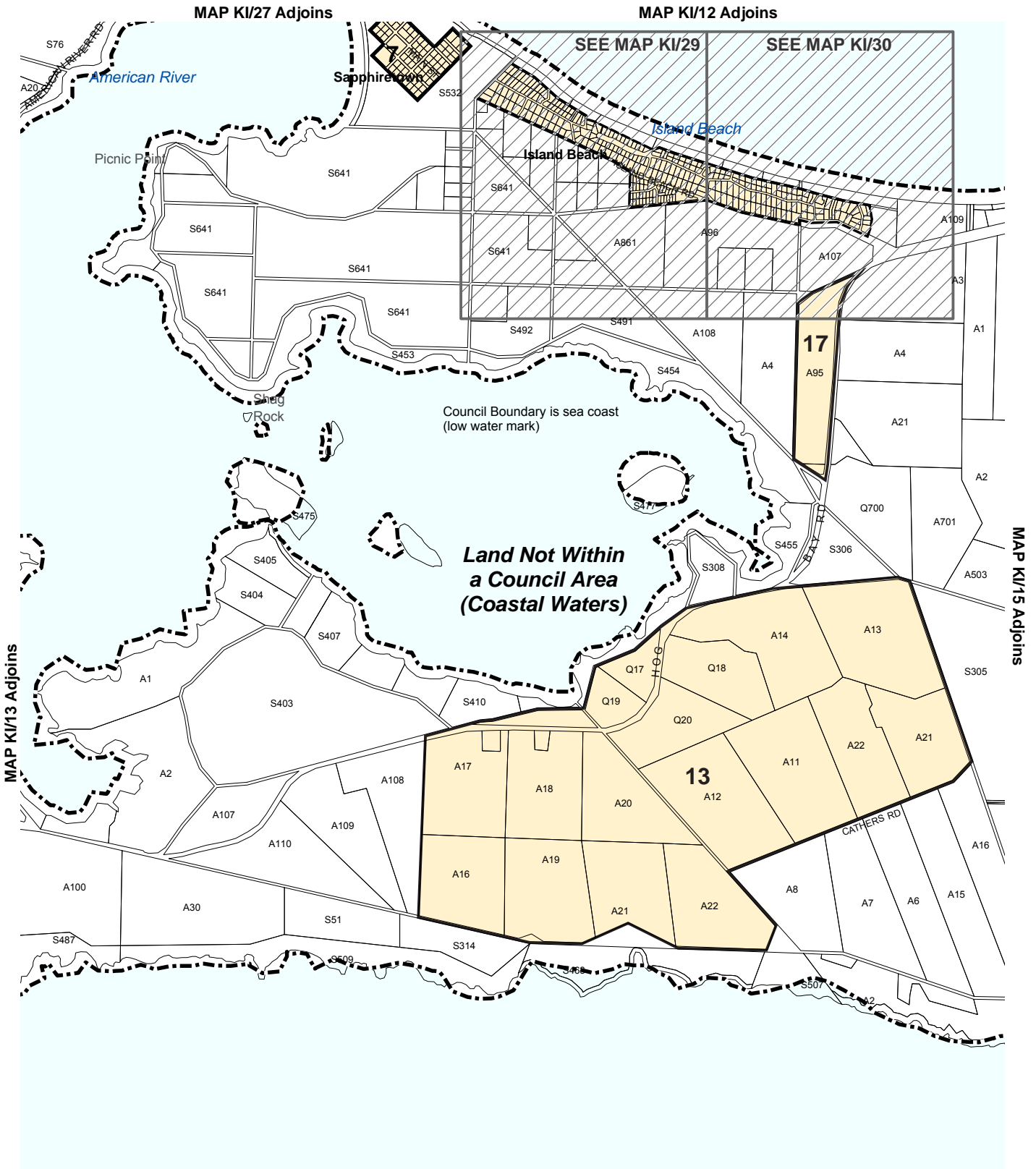
Policy Area Map KI/13

- Policy Area Boundary
- Development Plan Boundary



Location Map KI/14

- Conservation Park
- Waterbodies
- Development Plan Boundary



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

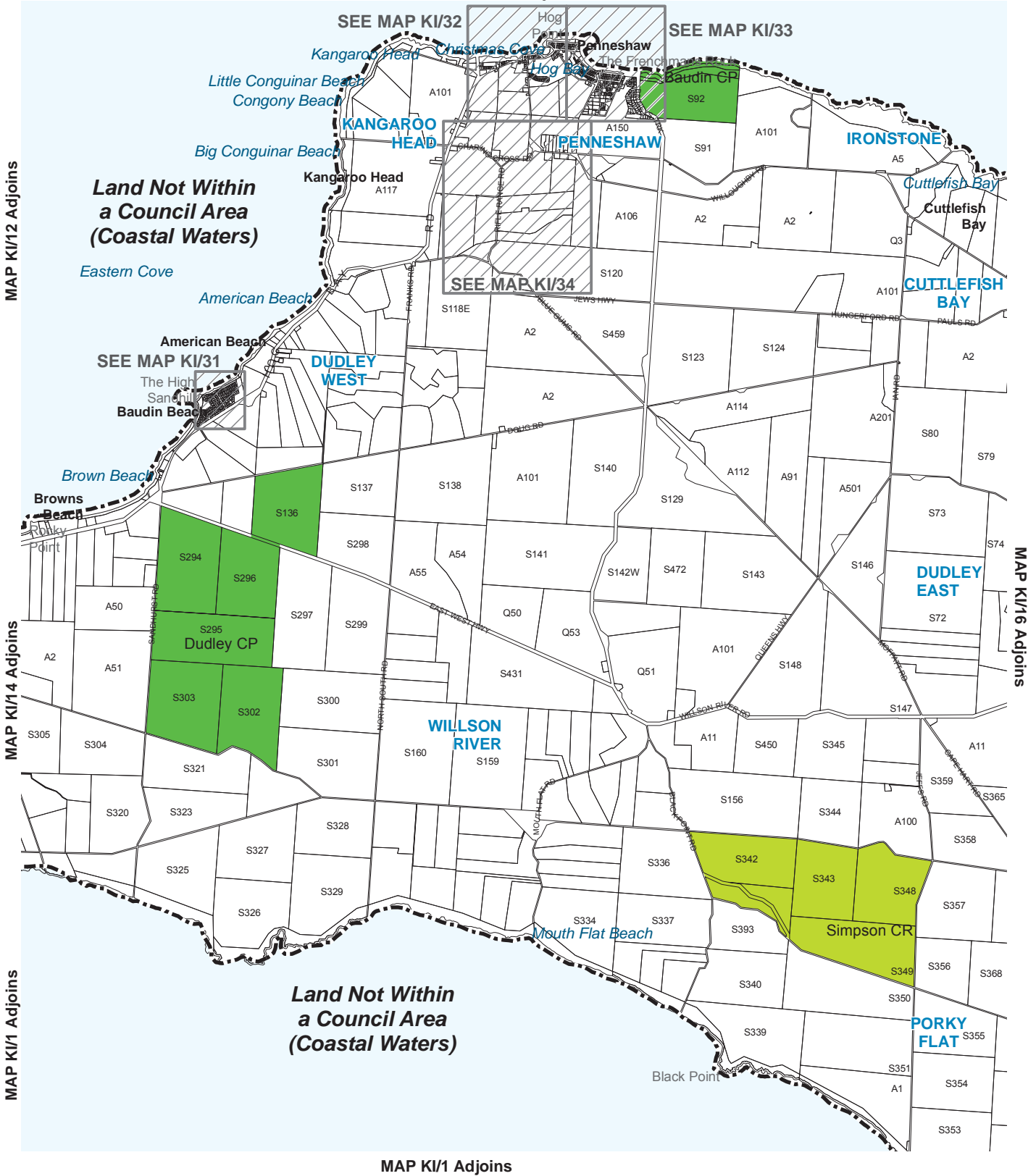
- Precinct**
- 7 Sapphiretown
 - 13 Pelican Lagoon South
 - 17 Pelican Lagoon North



Precinct Map KI/14

- Precinct Boundary
- Development Plan Boundary

MAP KI/1 Adjoins



MAP KI/12 Adjoins

MAP KI/14 Adjoins

MAP KI/1 Adjoins

MAP KI/16 Adjoins

Land Not Within a Council Area (Coastal Waters)

Land Not Within a Council Area (Coastal Waters)

- Conservation Park
- Conservation Reserve
- Development Plan Boundary

Location Map KI/15

KANGAROO ISLAND COUNCIL

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MAP KI/1 Adjoins

SEE MAP KI/32

SEE MAP KI/33

SEE MAP KI/34

Land Not Within a Council Area (Coastal Waters)

Land Not Within a Council Area (Coastal Waters)

MAP KI/12 Adjoins

MAP KI/14 Adjoins

MAP KI/1 Adjoins

MAP KI/16 Adjoins



MAP KI/1 Adjoins



Overlay Map KI/15 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/1 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

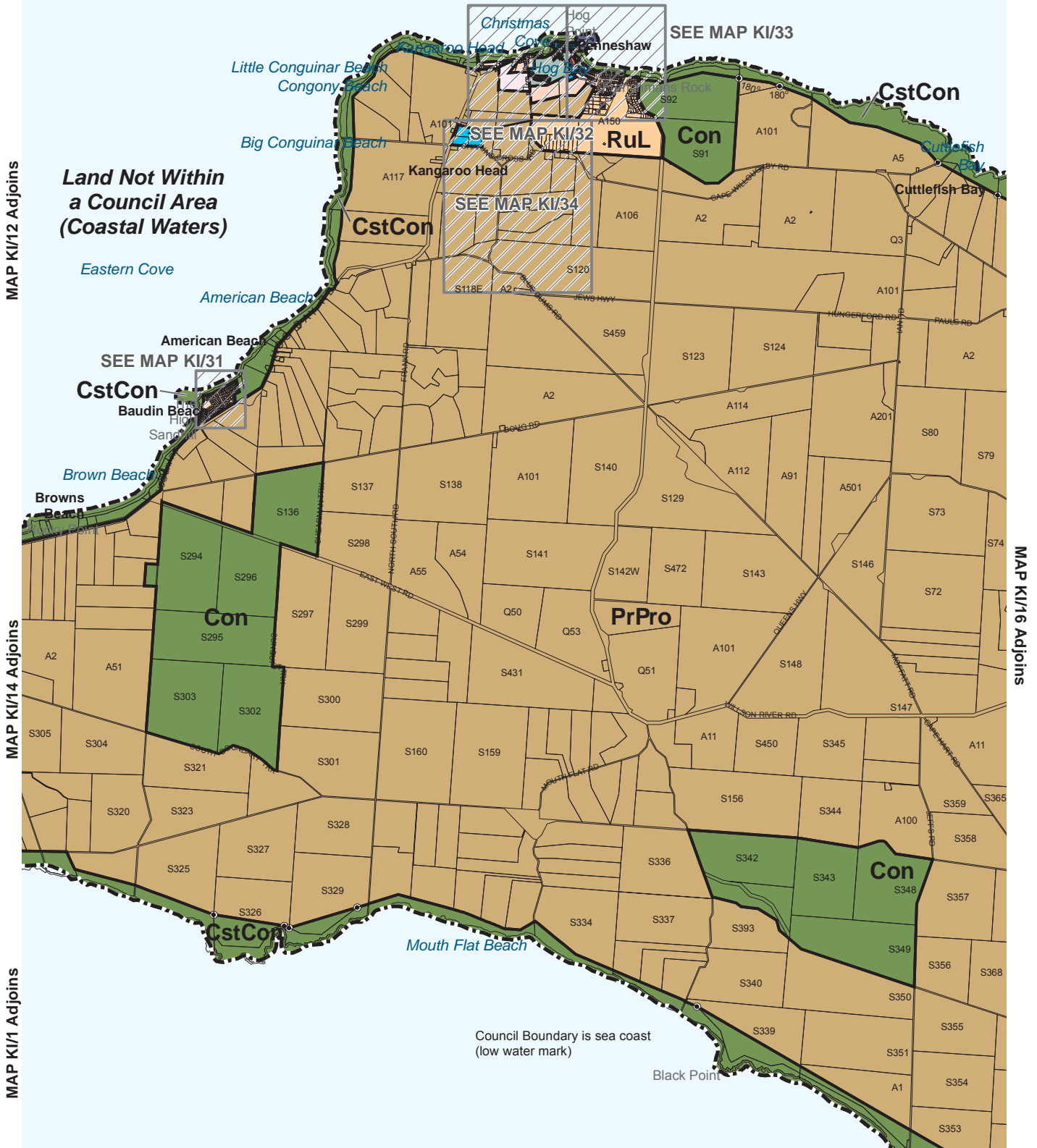
Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory items please refer to the relevant tables within this document.



Overlay Map KI/15 HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP KI/1 Adjoins



MAP KI/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

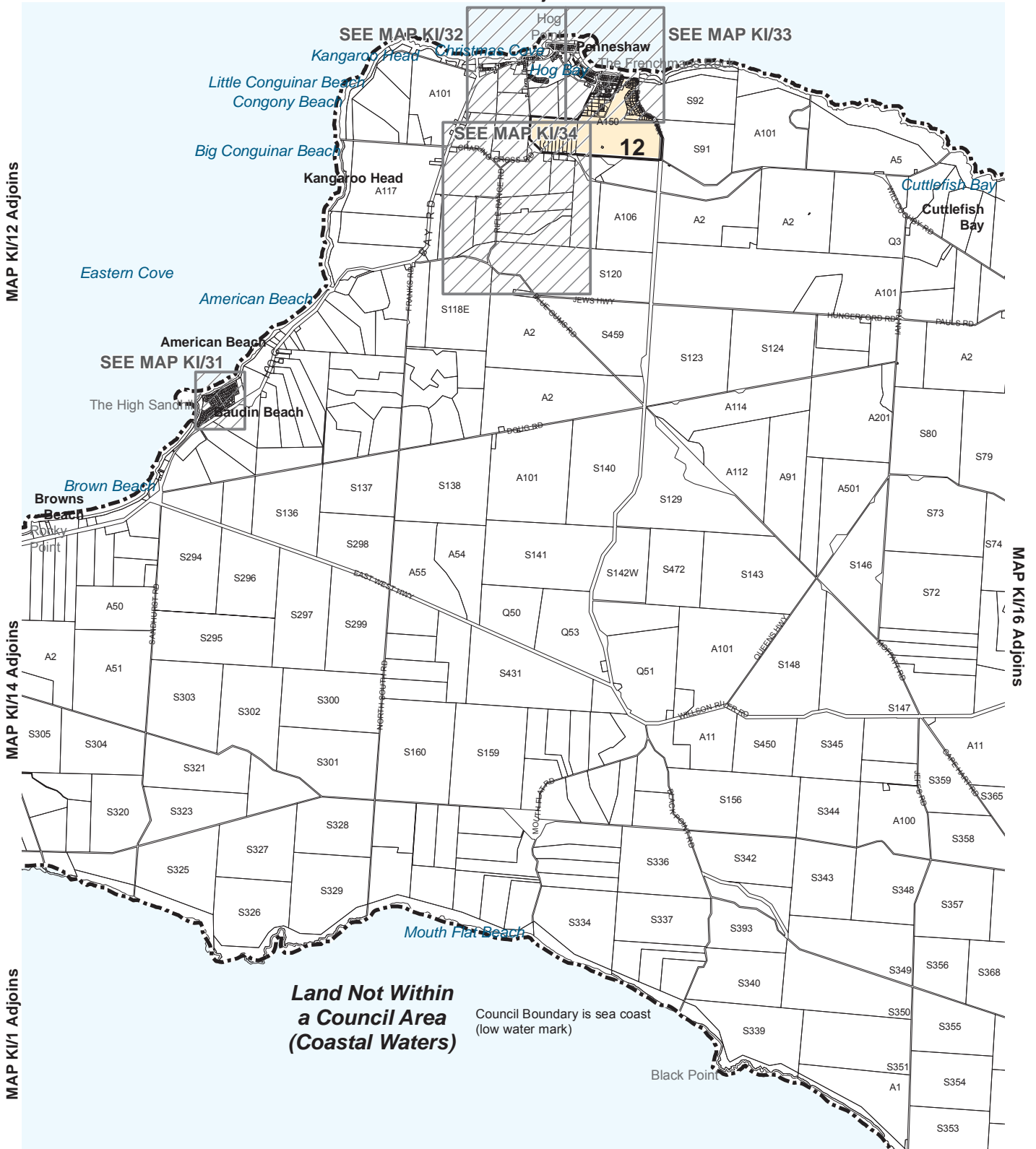


Zones

- CstCon Coastal Conservation
- Con Conservation
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

Zone Map KI/15

MAP KI/1 Adjoins



MAP KI/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

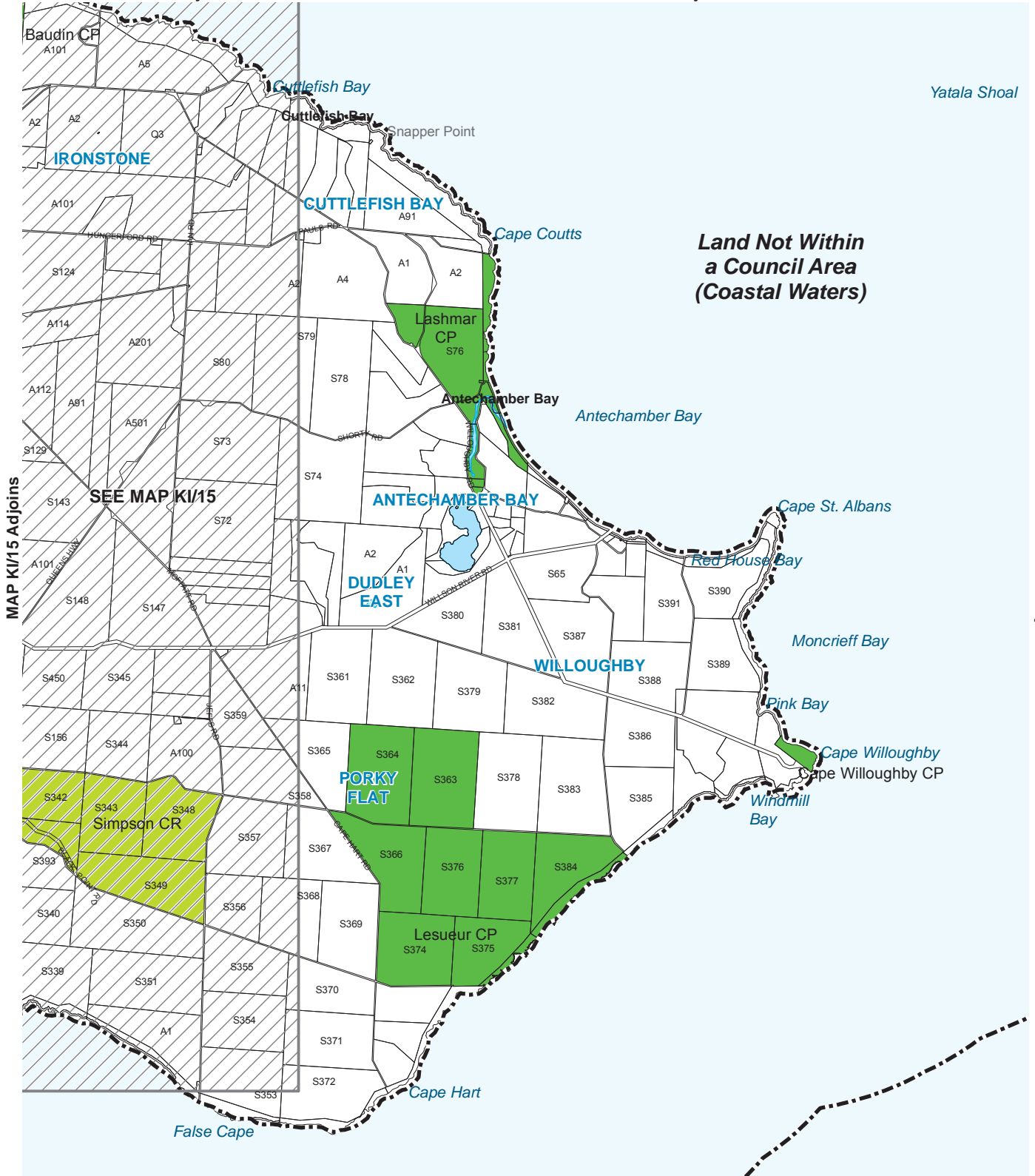
Precinct
12 Penneshaw

- Precinct Boundary
- Development Plan Boundary

Precinct Map KI/15

MAP KI/15 Adjoins

MAP KI/1 Adjoins



Land Not Within a Council Area (Coastal Waters)

MAP KI/1 Adjoins



Location Map KI/16

- Conservation Park
- Conservation Reserve
- Waterbodies
- Development Plan Boundary



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

- State heritage place
- Development Plan Boundary

Overlay Map KI/16

HERITAGE

MAP KI/15 Adjoins

MAP KI/1 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

MAP KI/1 Adjoins



Zones

- CstCon Coastal Conservation
- Con Conservation
- PrPro Primary Production
- TA Tourist Accommodation
- Zone Boundary
- Development Plan Boundary

Zone Map KI/16

MAP KI/15 Adjoins

MAP KI/1 Adjoins



Land Not Within a Council Area (Coastal Waters)

MAP KI/15 Adjoins

MAP KI/1 Adjoins


MAP KI/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

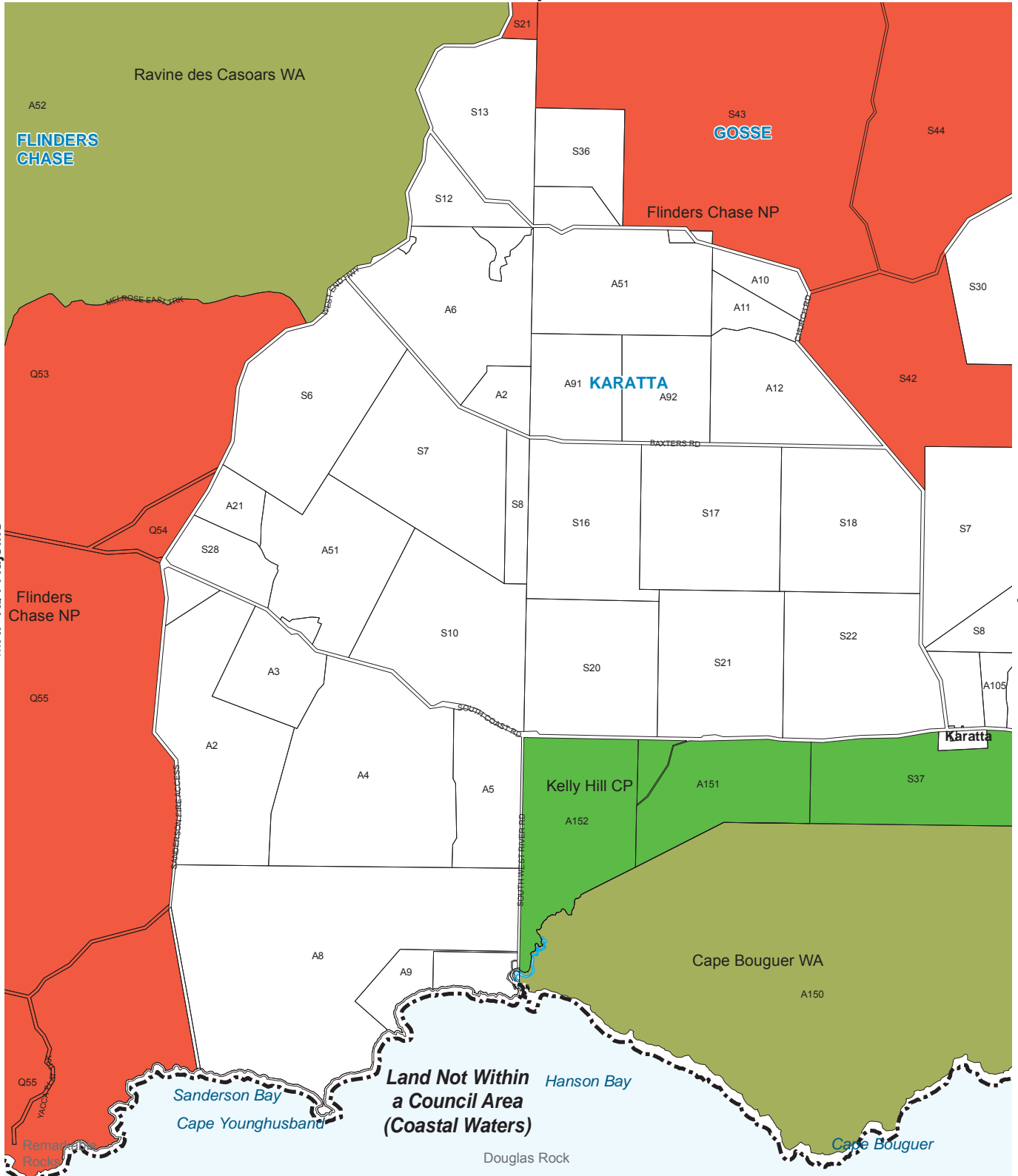
Policy Area
6 Antechamber Bay



Policy Area Map KI/16

 Policy Area Boundary
 Development Plan Boundary

MAP KI/6 Adjoins



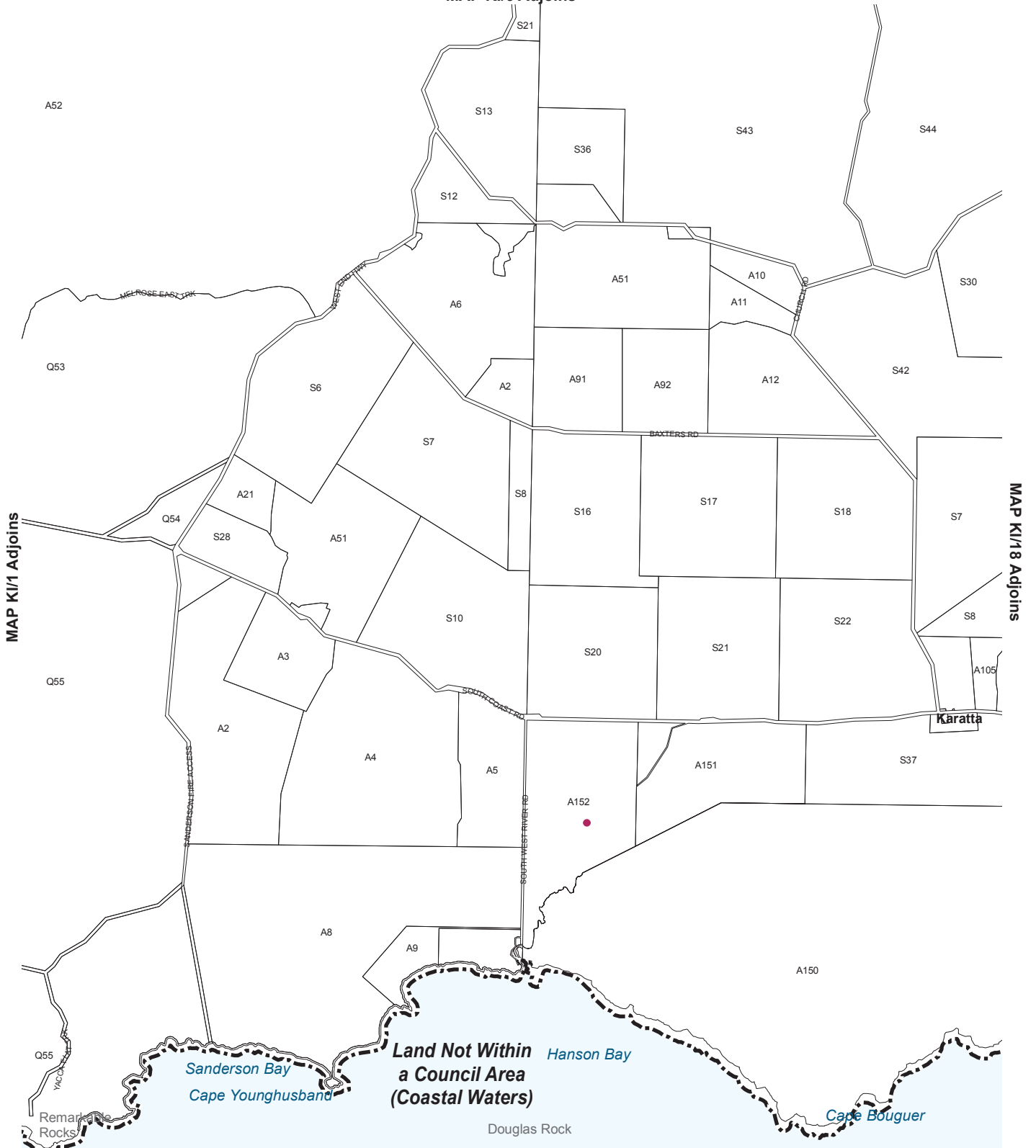
MAP KI/1 Adjoins

- National Park
- Conservation Park
- Wilderness Protection Area
- Waterbodies
- Development Plan Boundary



Location Map KI/17

MAP KI/6 Adjoins



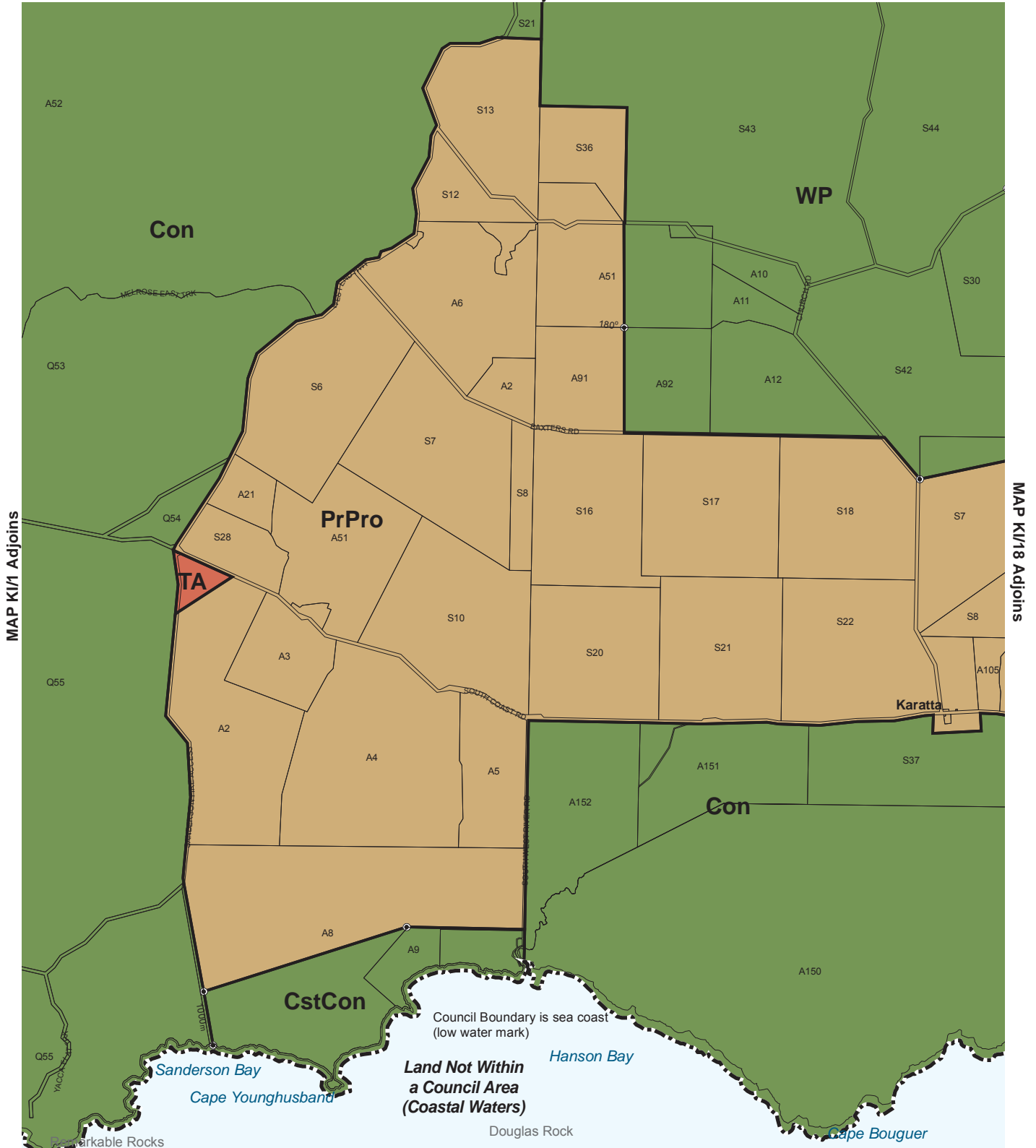
Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.



Overlay Map KI/17 HERITAGE

- State heritage place
- Development Plan Boundary

MAP KI/6 Adjoins



MAP KI/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

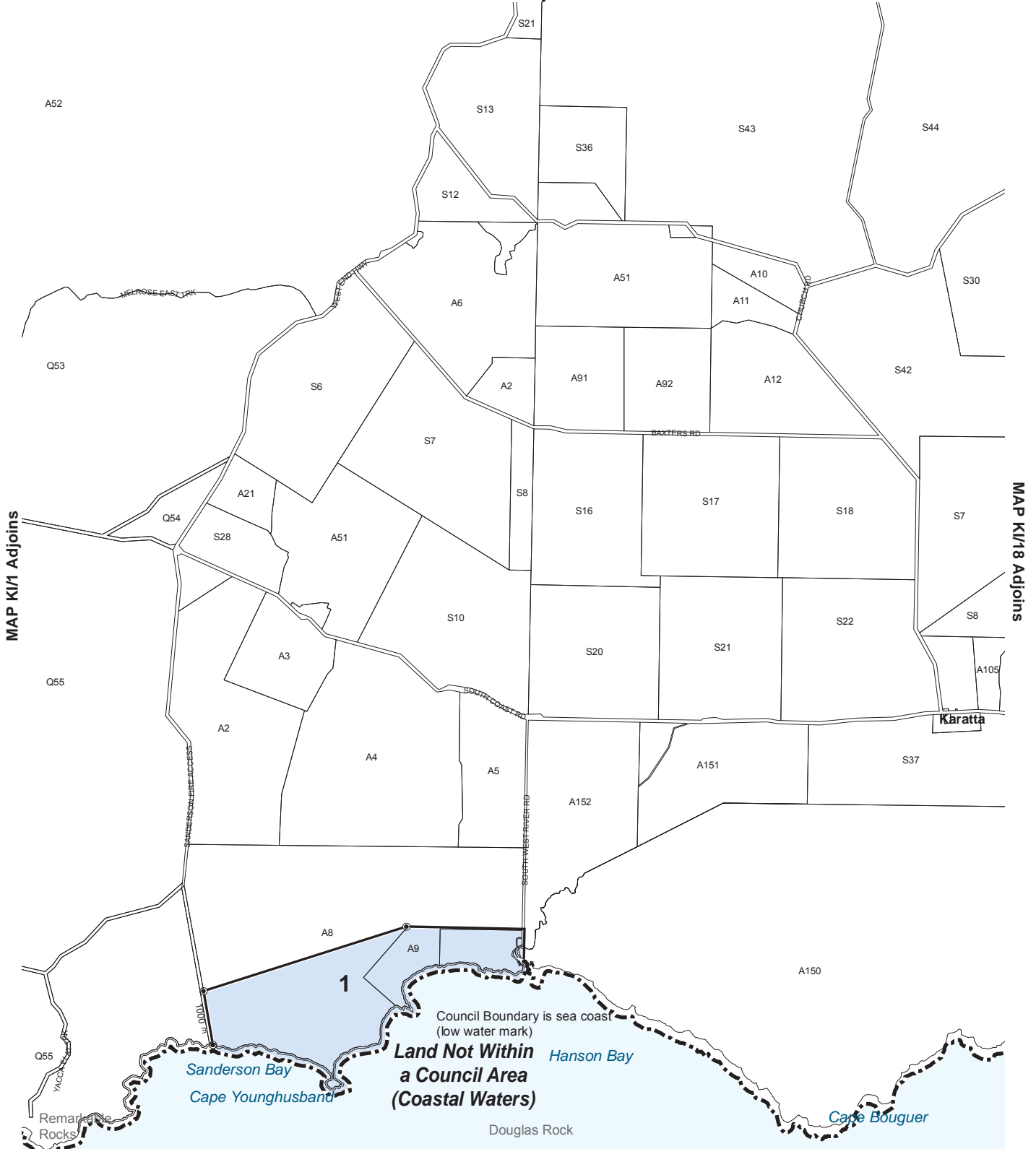


Zones

- CstCon Coastal Conservation
- Con Conservation
- PrPro Primary Production
- TA Tourist Accommodation
- WP Water Protection
- Zone Boundary
- Development Plan Boundary

Zone Map KI/17

MAP KI/6 Adjoins



MAP KI/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area

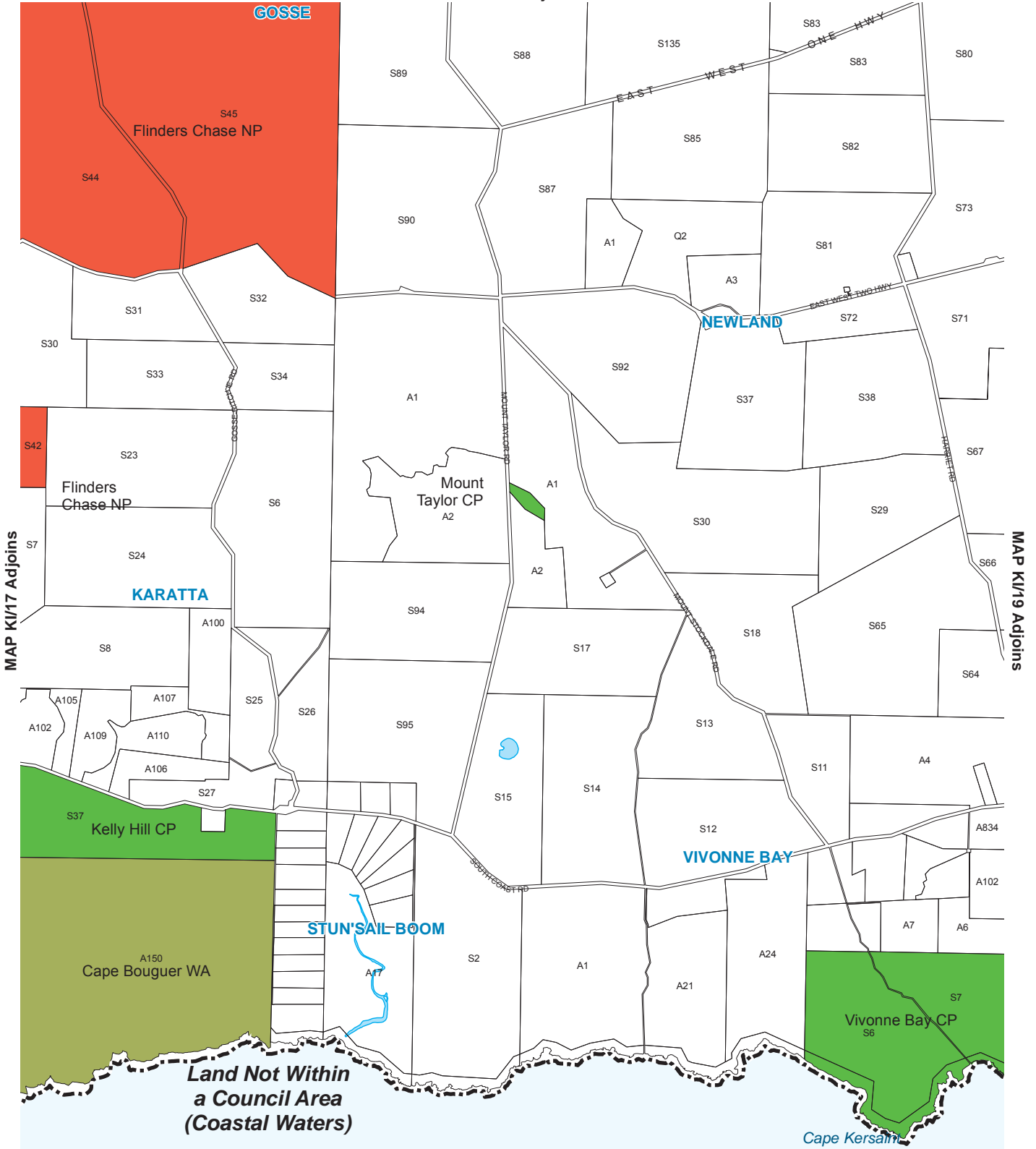
- 1 Landscape Protection



Policy Area Map KI/17

- Policy Area Boundary
- Development Plan Boundary

MAP KI/7 Adjoins



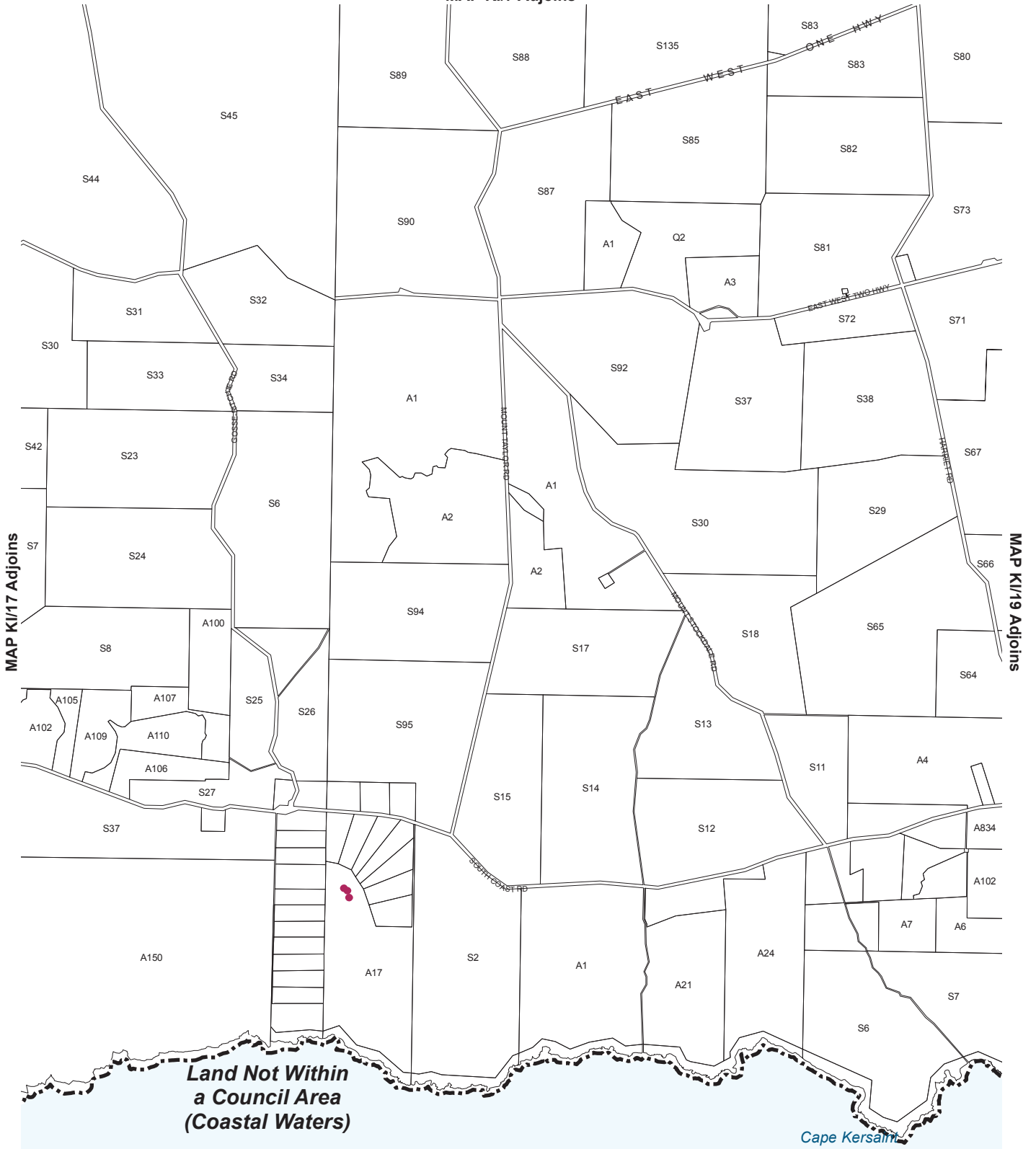
MAP KI/1 Adjoins

- National Park
- Conservation Park
- Wilderness Protection Area
- Waterbodies
- Development Plan Boundary



Location Map KI/18

MAP KI/7 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

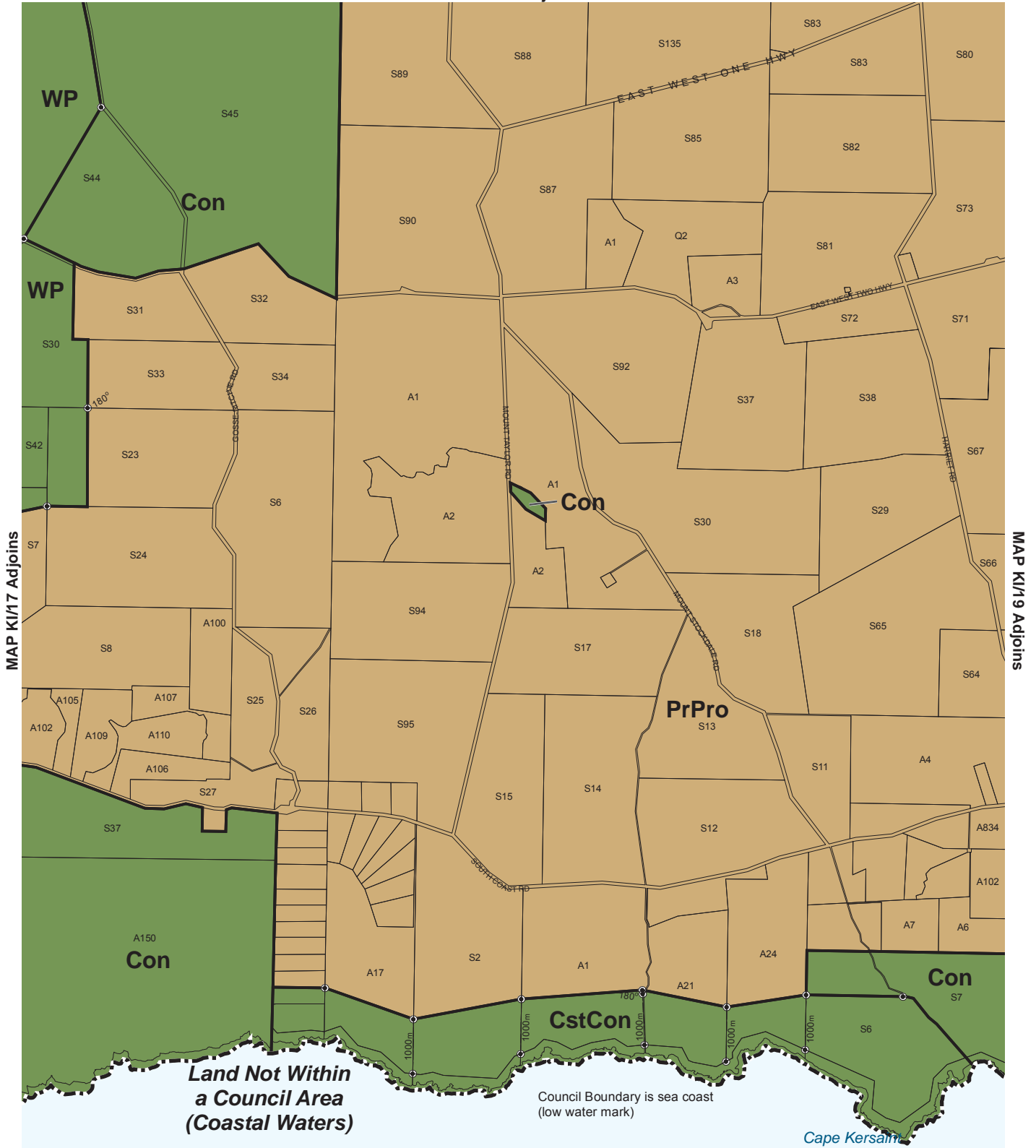


Overlay Map KI/18 HERITAGE

KANGAROO ISLAND COUNCIL
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- State heritage place
- Development Plan Boundary

MAP KI/7 Adjoins



MAP KI/1 Adjoins

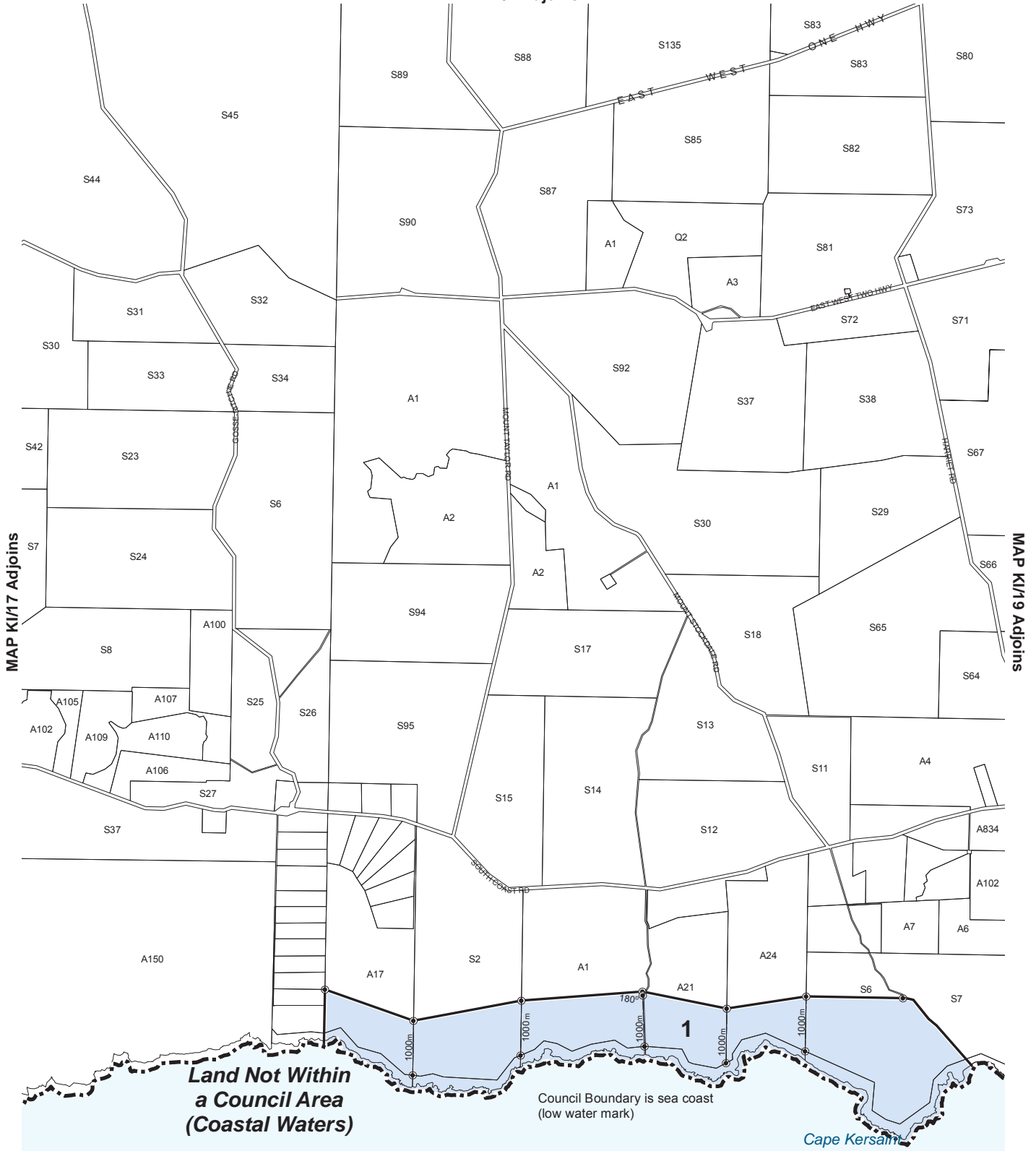
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - Con Conservation
 - PrPro Primary Production
 - WP Water Protection
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/18

MAP KI/7 Adjoins



MAP KI/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area

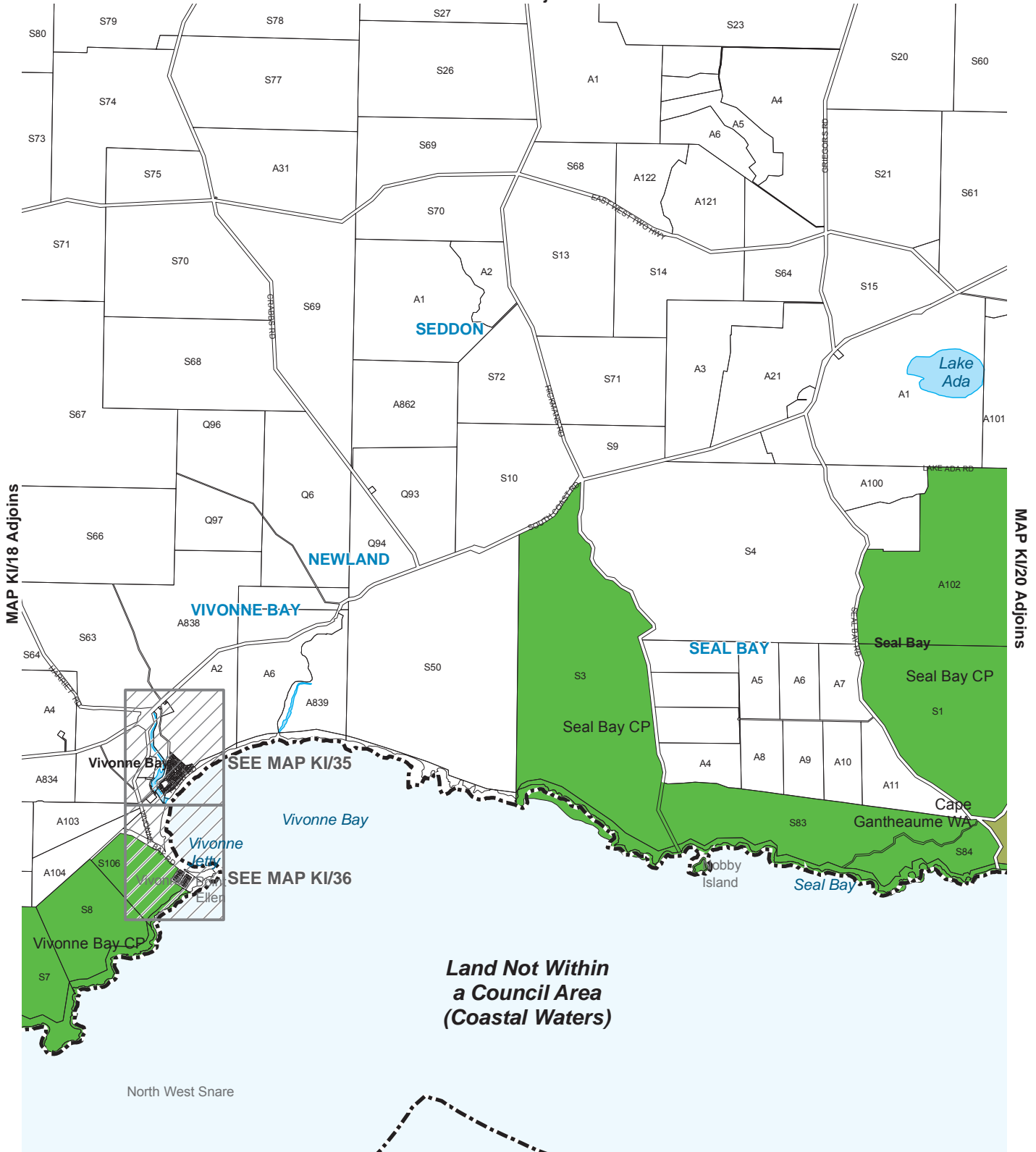
- 1 Landscape Protection



Policy Area Map KI/18

- Policy Area Boundary
- Development Plan Boundary

MAP KI/8 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

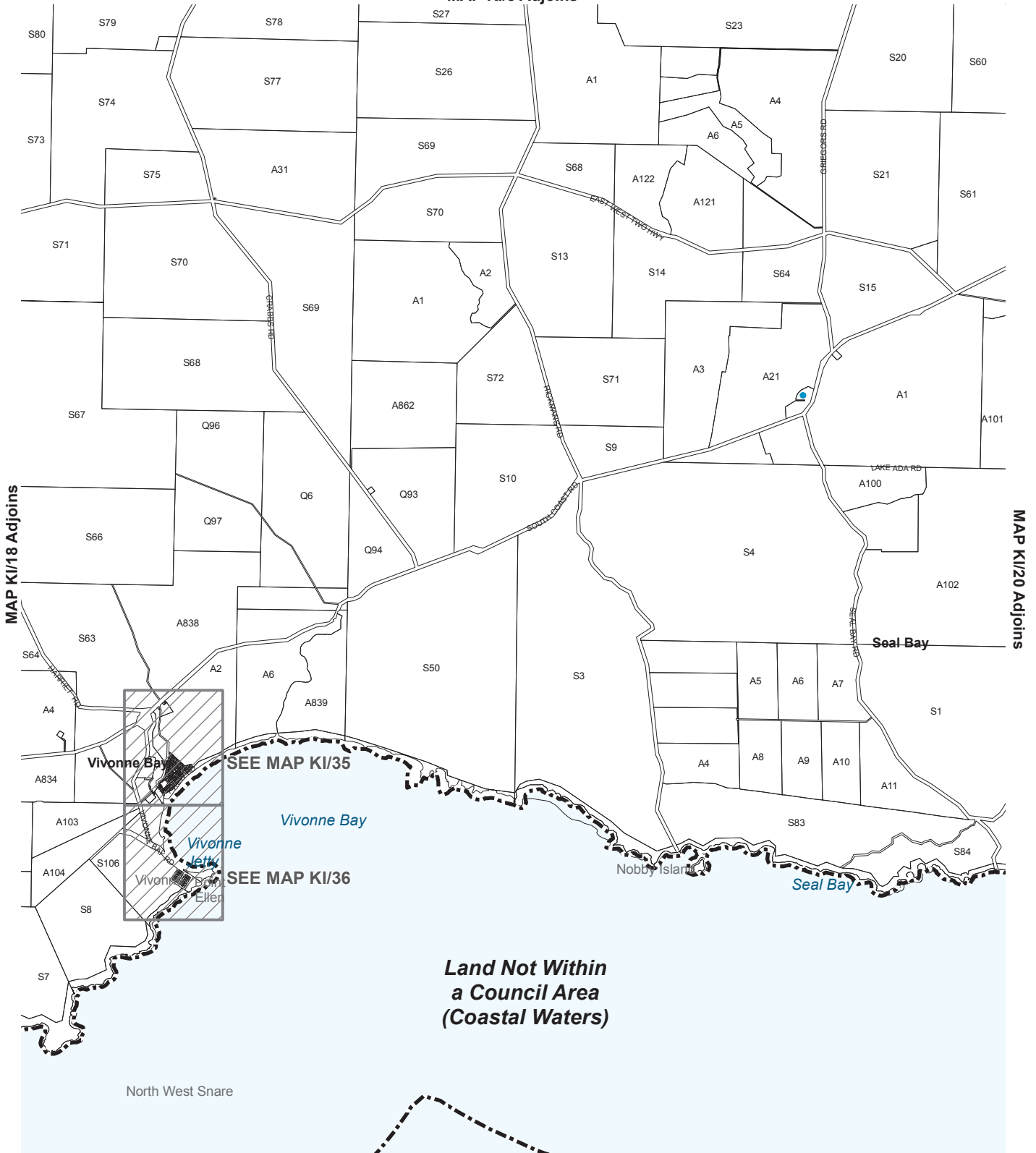
- Conservation Park
- Wilderness Protection Area
- Waterbodies
- Development Plan Boundary

Location Map KI/19

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/8 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

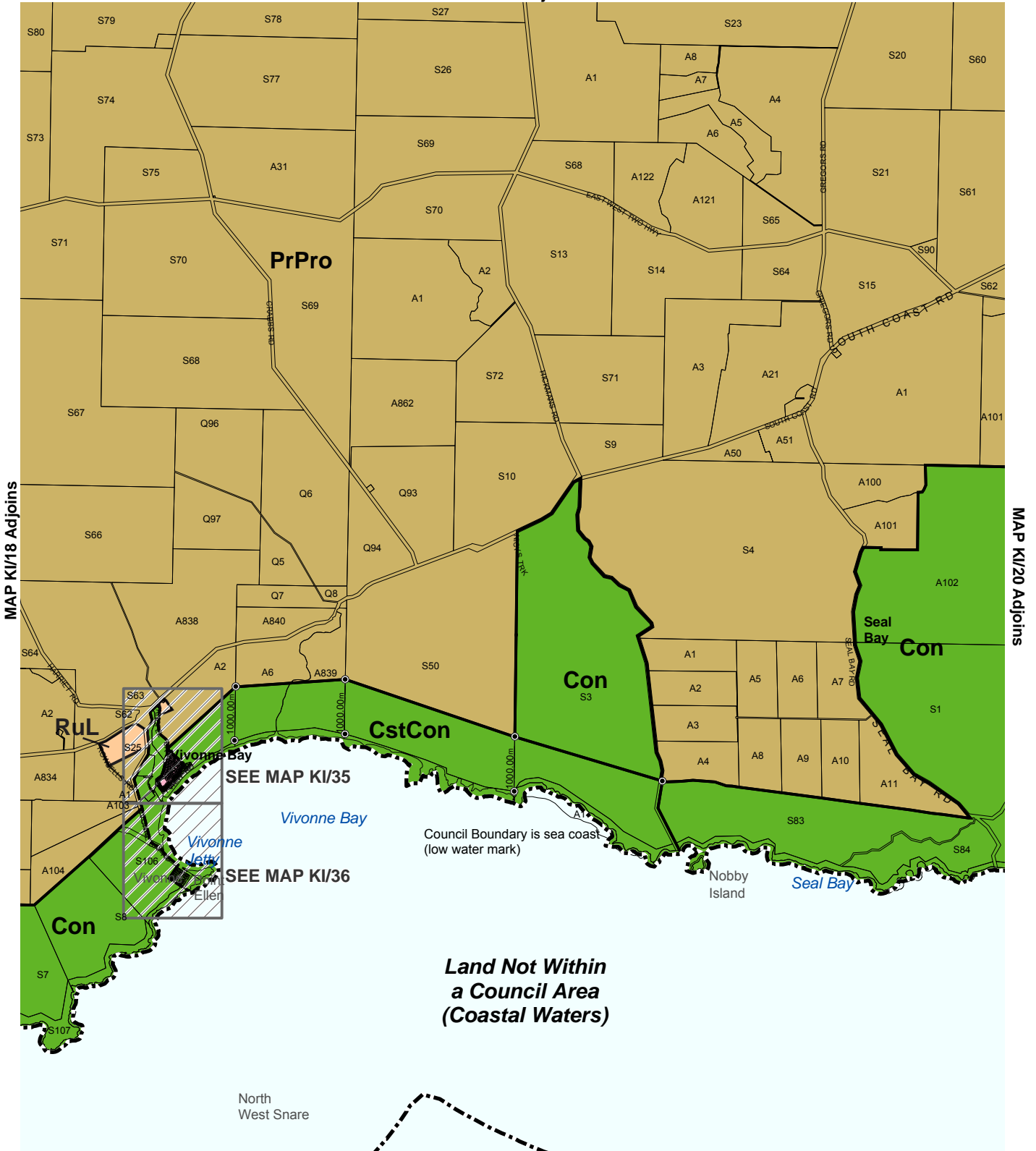


Overlay Map KI/19 HERITAGE

KANGAROO ISLAND COUNCIL
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- Local heritage place
- Development Plan Boundary

MAP KI/8 Adjoins



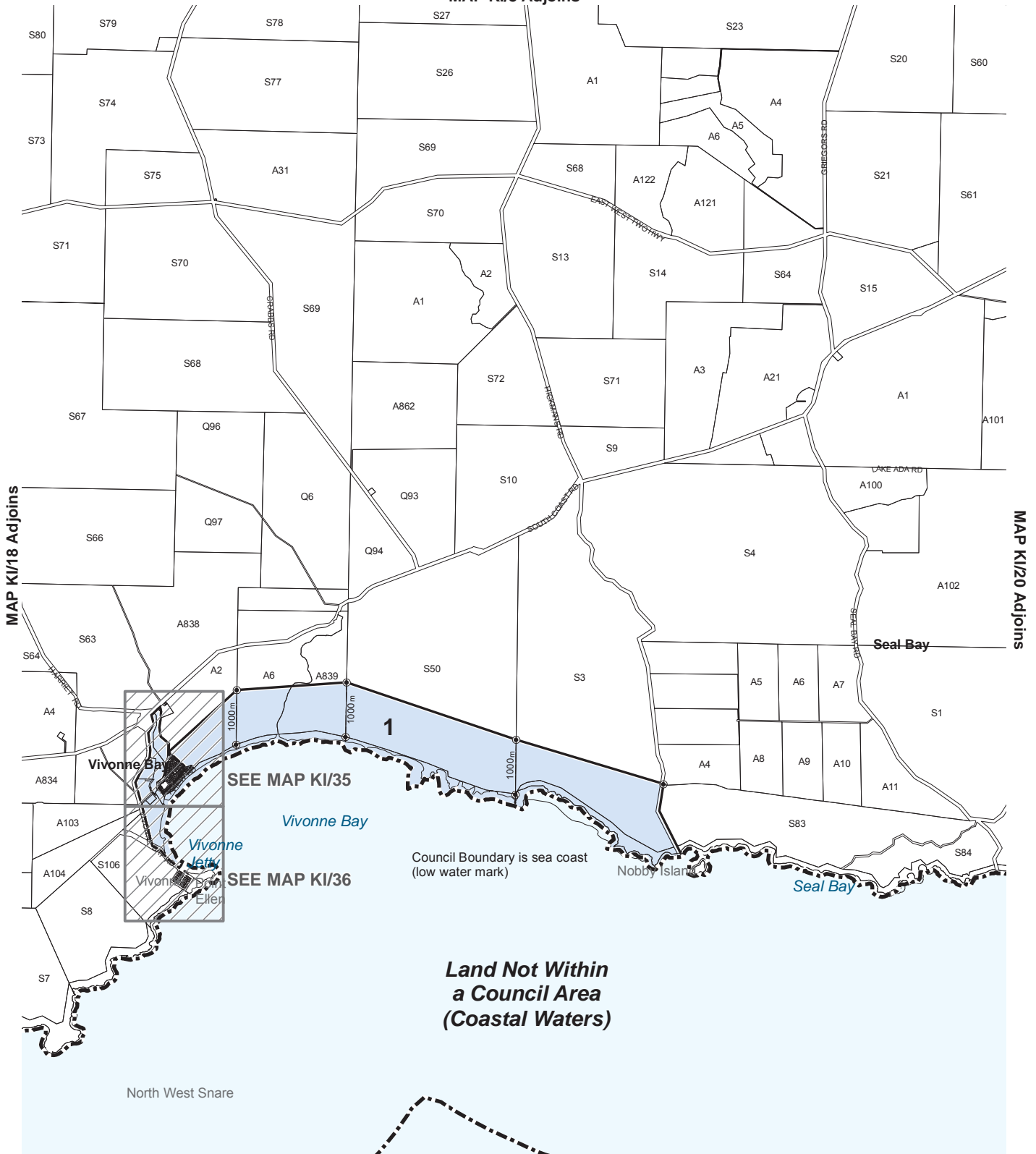
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

MAP KI/1 Adjoins

- Zones**
- CstCon Coastal Conservation
 - Con Conservation
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/19

MAP KI/8 Adjoins



SEE MAP KI/35

SEE MAP KI/36

Land Not Within a Council Area (Coastal Waters)

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

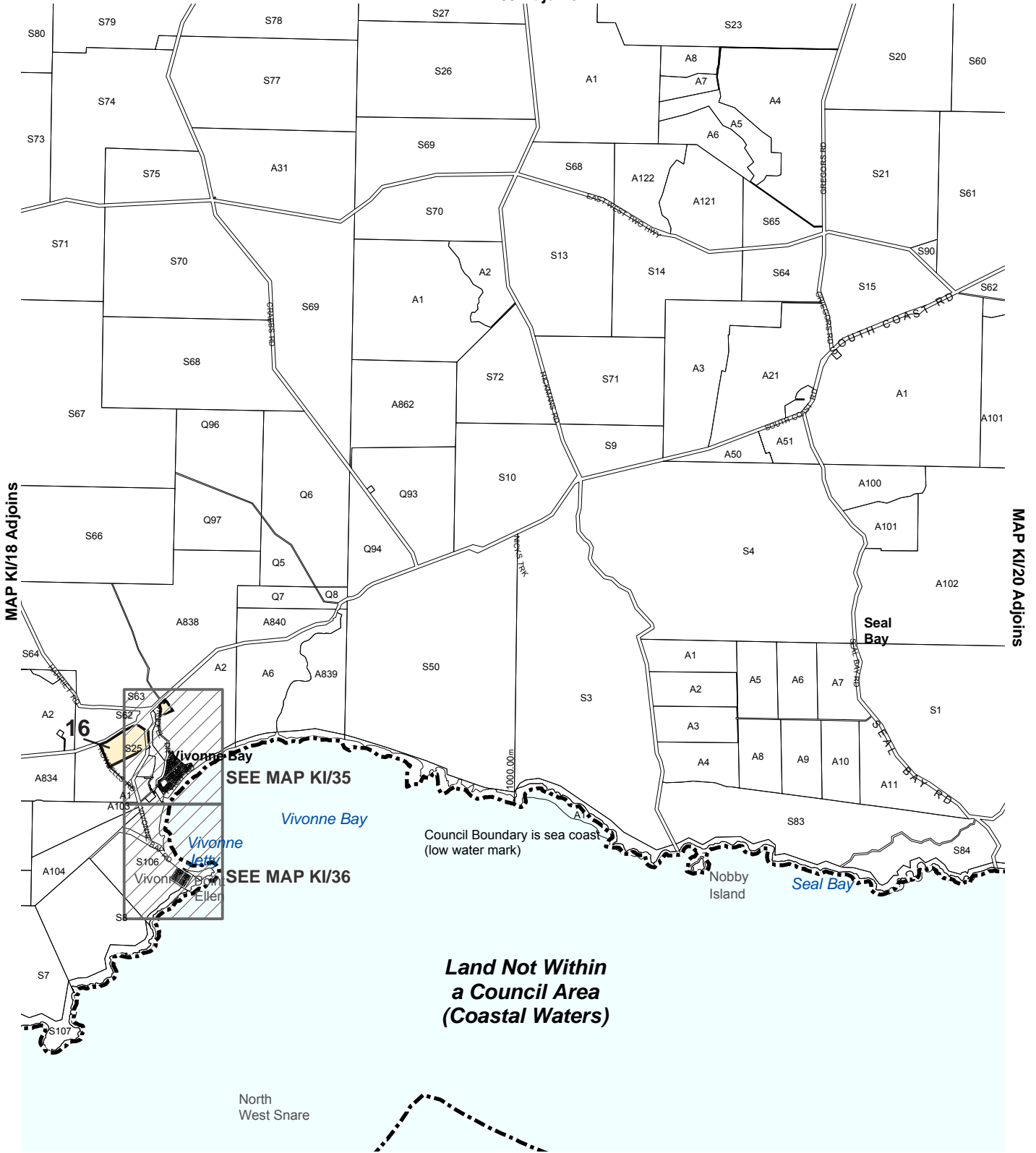
Policy Area
1 Landscape Protection



Policy Area Map KI/19

Policy Area Boundary
Development Plan Boundary

MAP KI/8 Adjoins

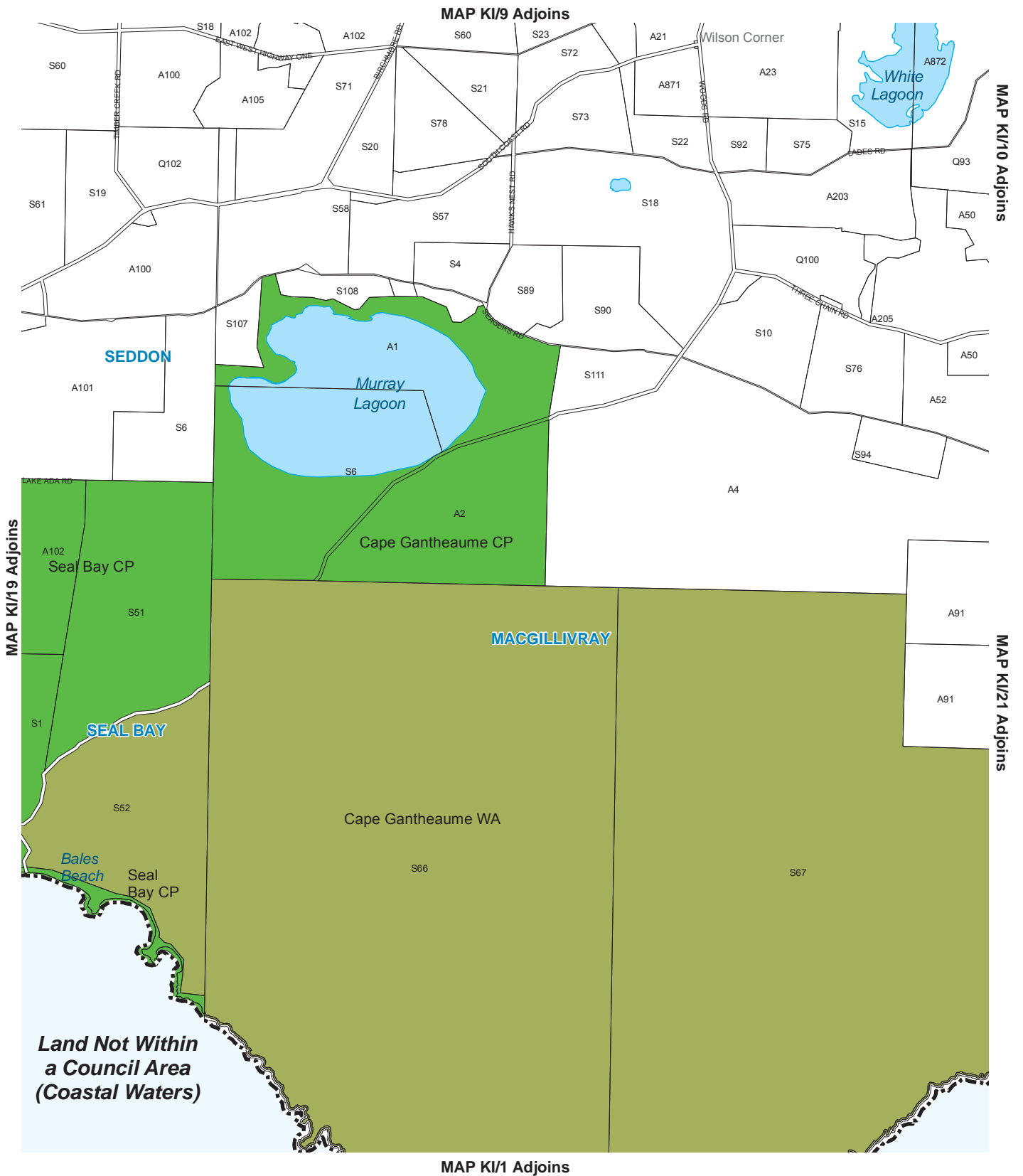


See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
16 Vivonne Bay

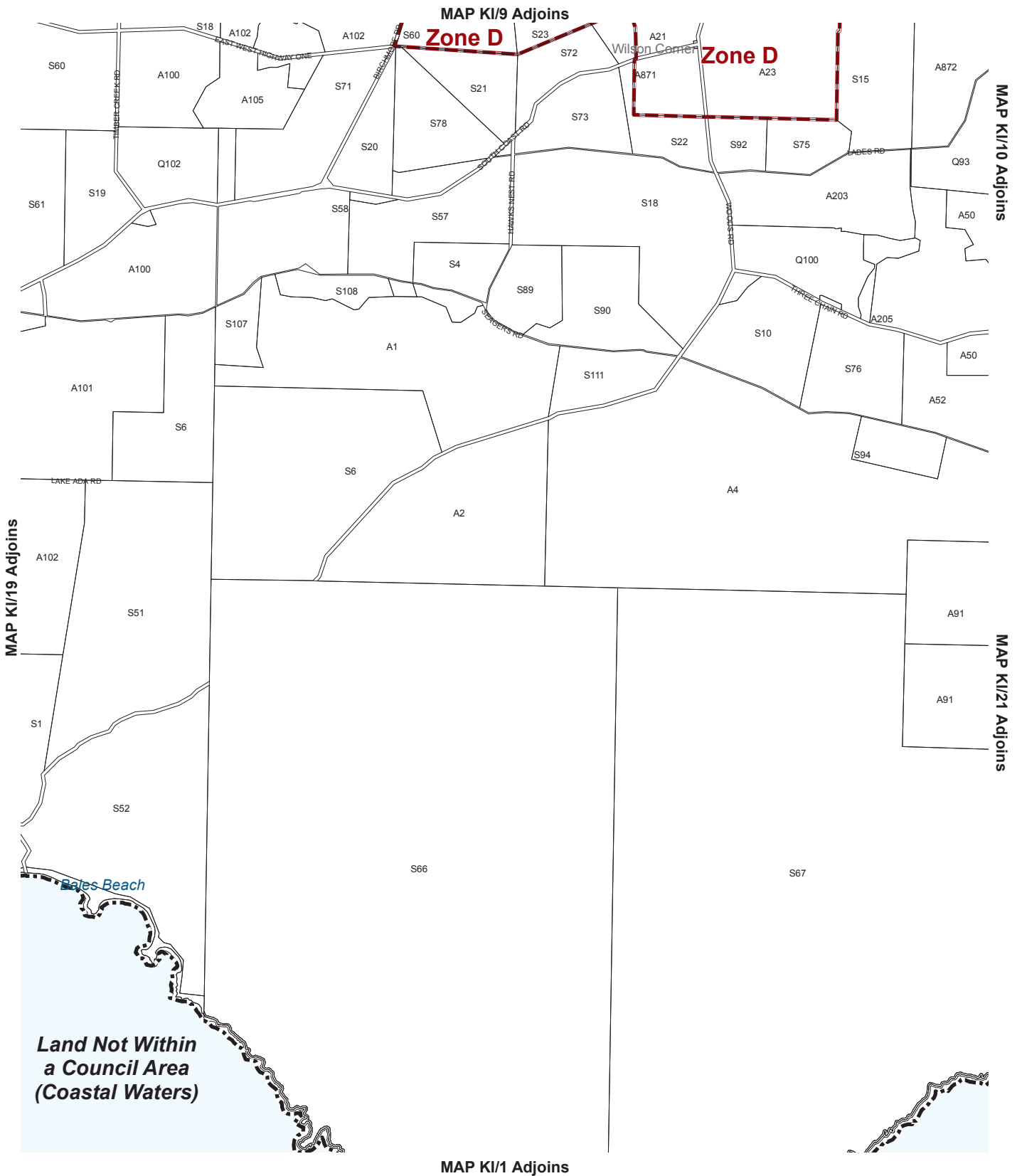
- Precinct Boundary
- Development Plan Boundary

Precinct Map KI/19



- Conservation Park
- Wilderness Protection Area
- Waterbodies
- Development Plan Boundary

Location Map KI/20



Airport Building Heights
Zone D All Structures Exceeding 45 metres above Natural Ground Level

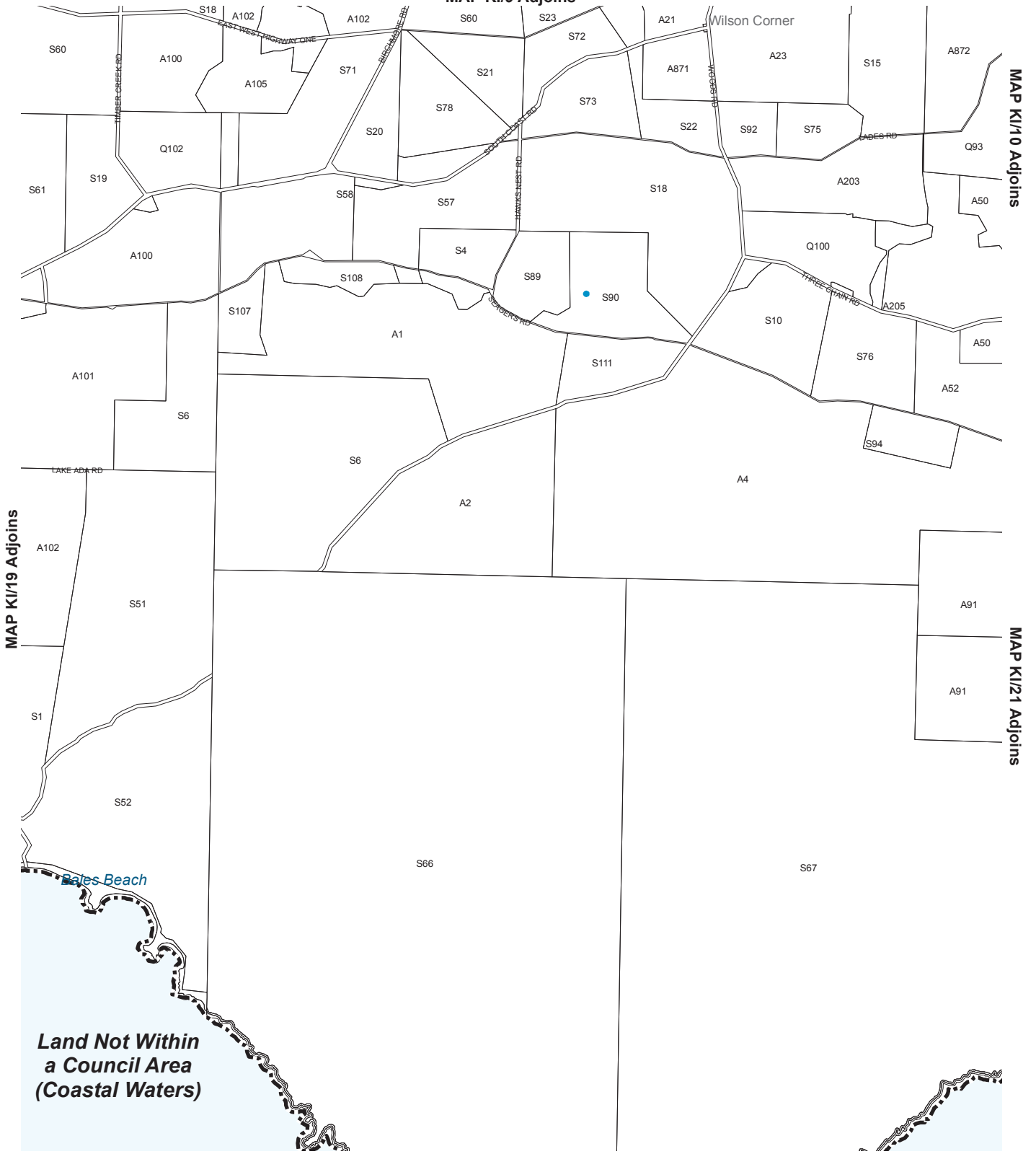


Overlay Map KI/20 DEVELOPMENT CONSTRAINTS

KANGAROO ISLAND COUNCIL
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- Airport Building Heights
- Development Plan Boundary

MAP KI/9 Adjoins



MAP KI/1 Adjoins

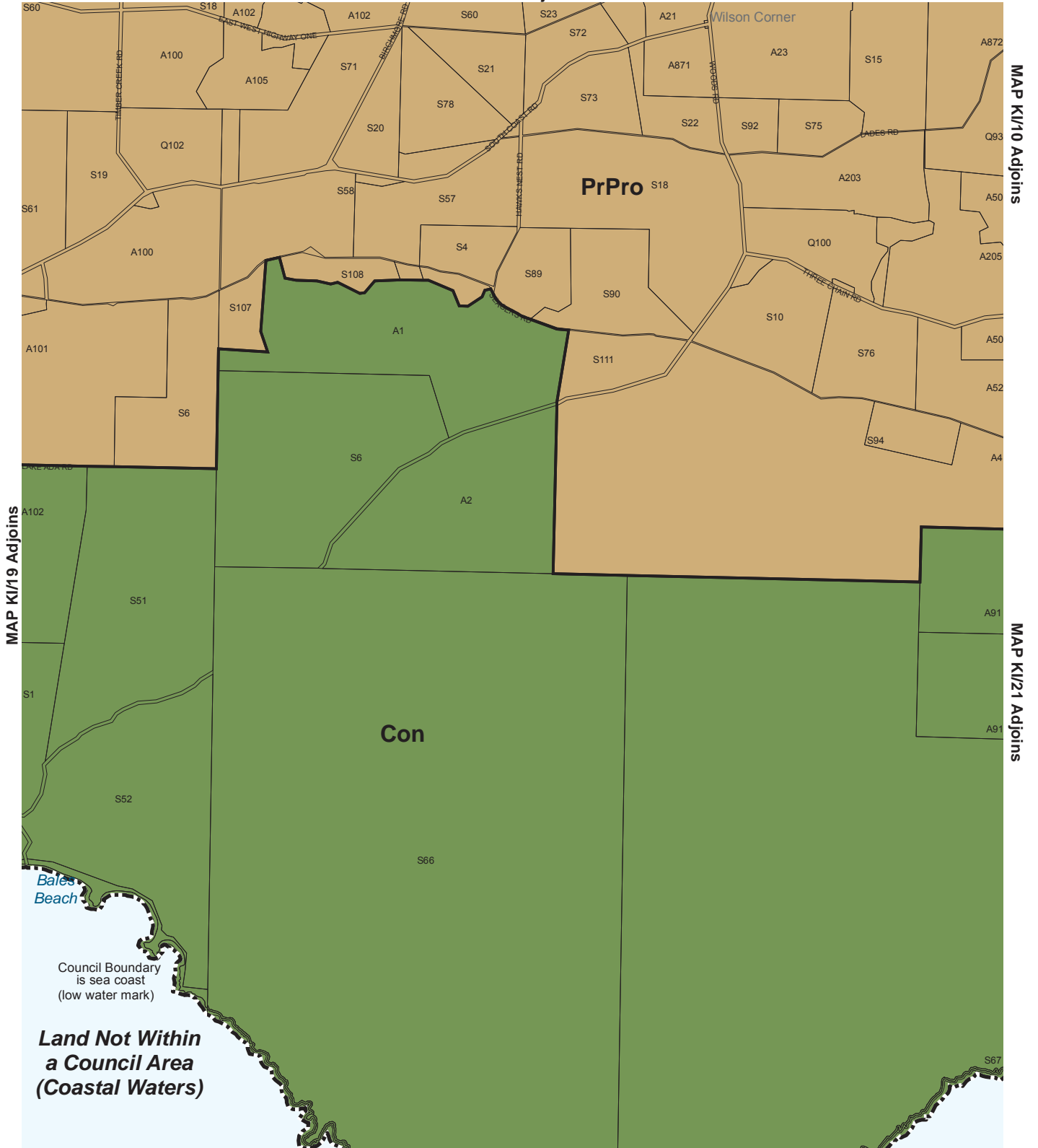
Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.



- Local heritage place
- Development Plan Boundary

Overlay Map KI/20 HERITAGE

MAP KI/9 Adjoins



MAP KI/1 Adjoins

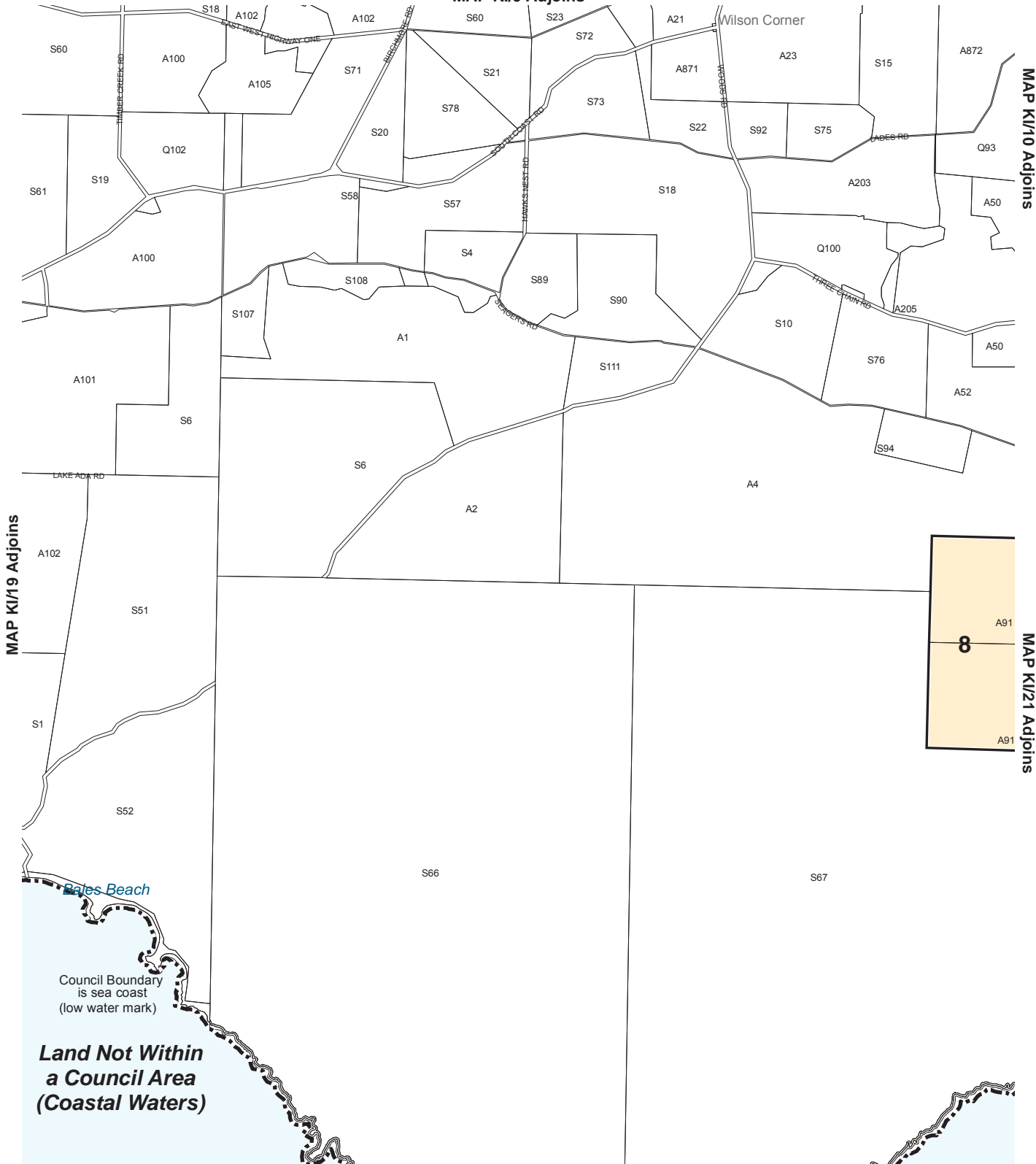
Lamberts Conformal Conic Projection, GDA94



- Zones**
- Conservation
 - Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map KI/20

MAP KI/9 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary
is sea coast
(low water mark)

MAP KI/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

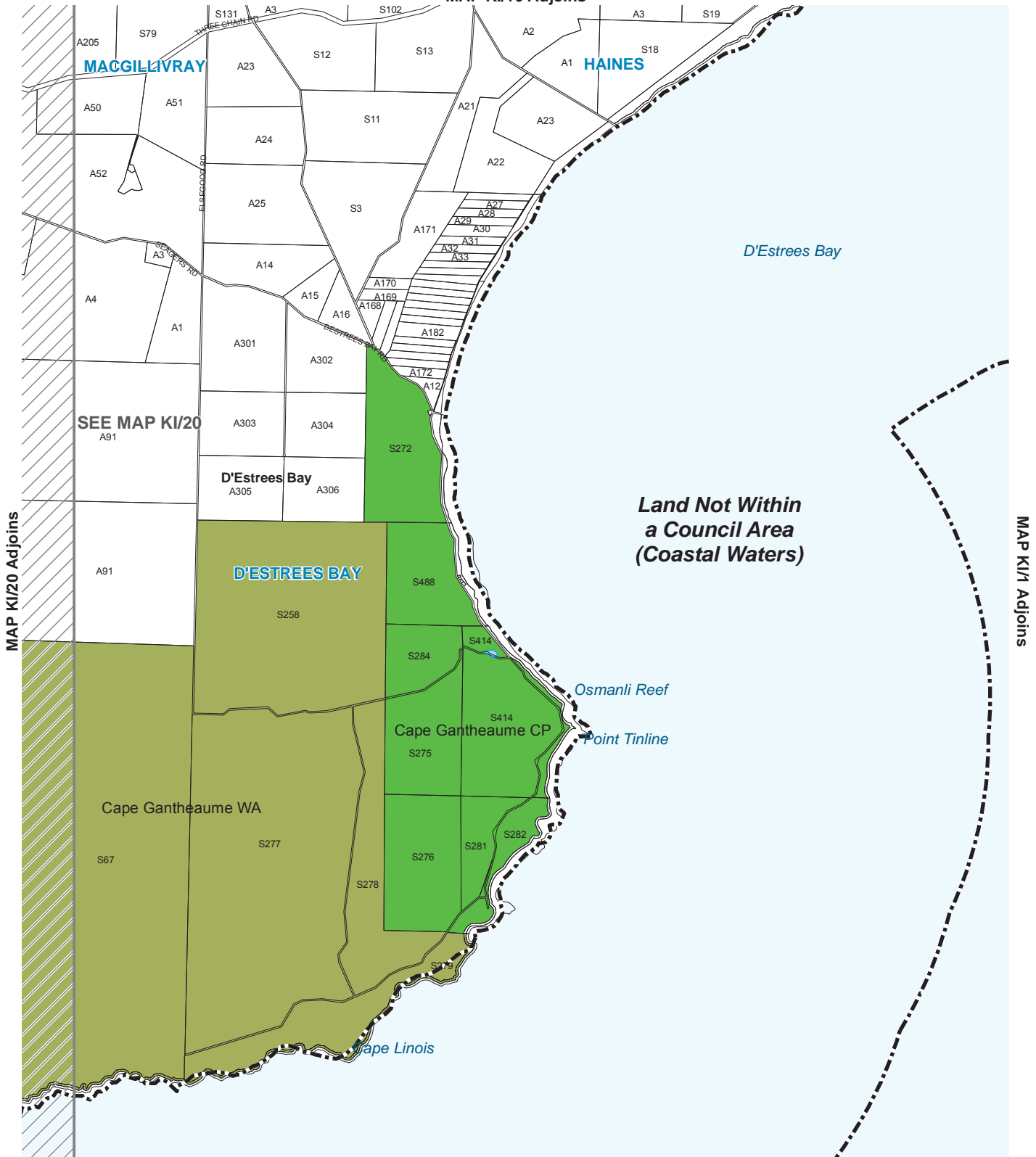
Precinct
8 Freehold



Precinct Map KI/20

- Precinct Boundary
- Development Plan Boundary

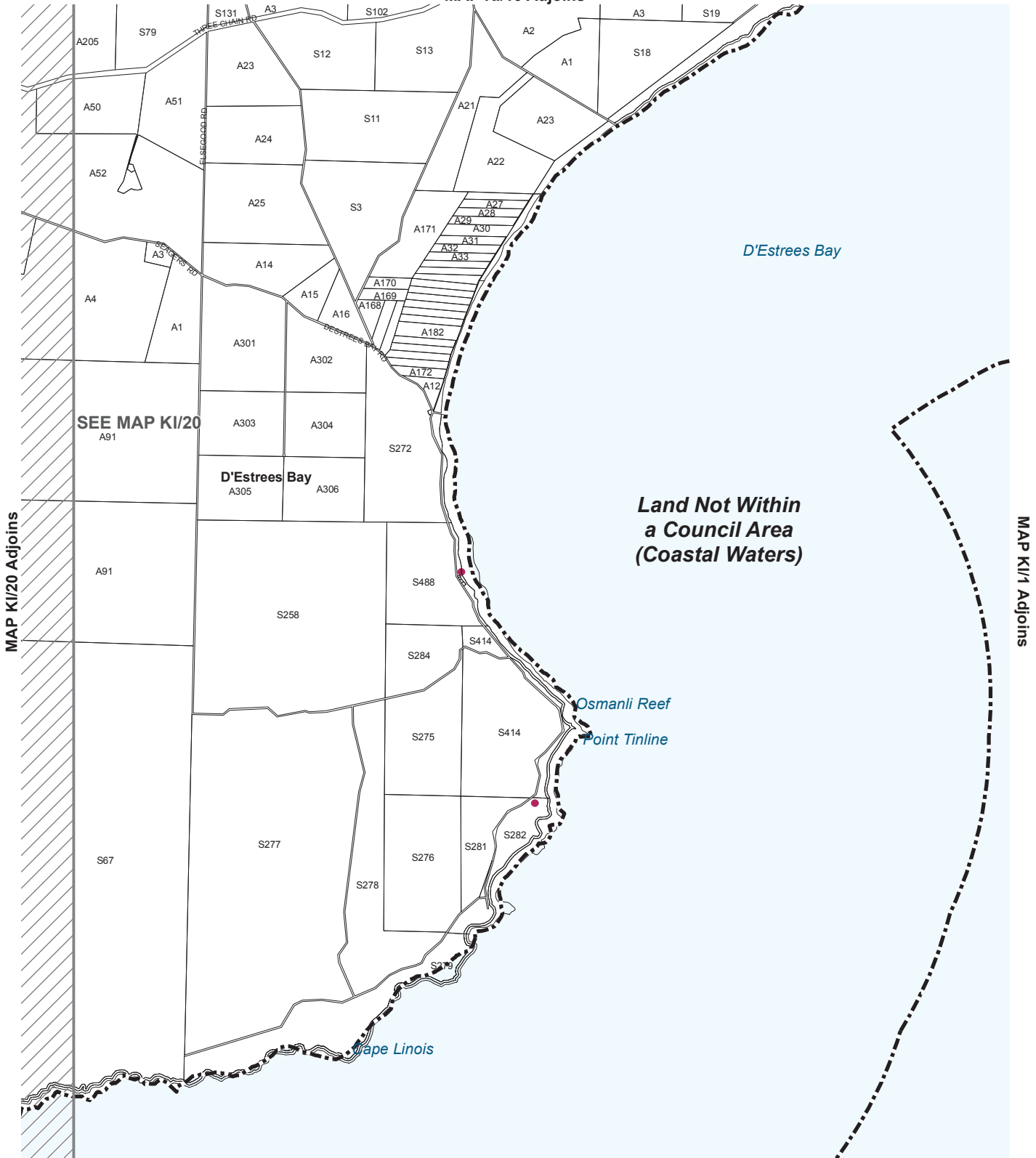
MAP KI/10 Adjoins



MAP KI/1 Adjoins

Location Map KI/21

MAP KI/10 Adjoins



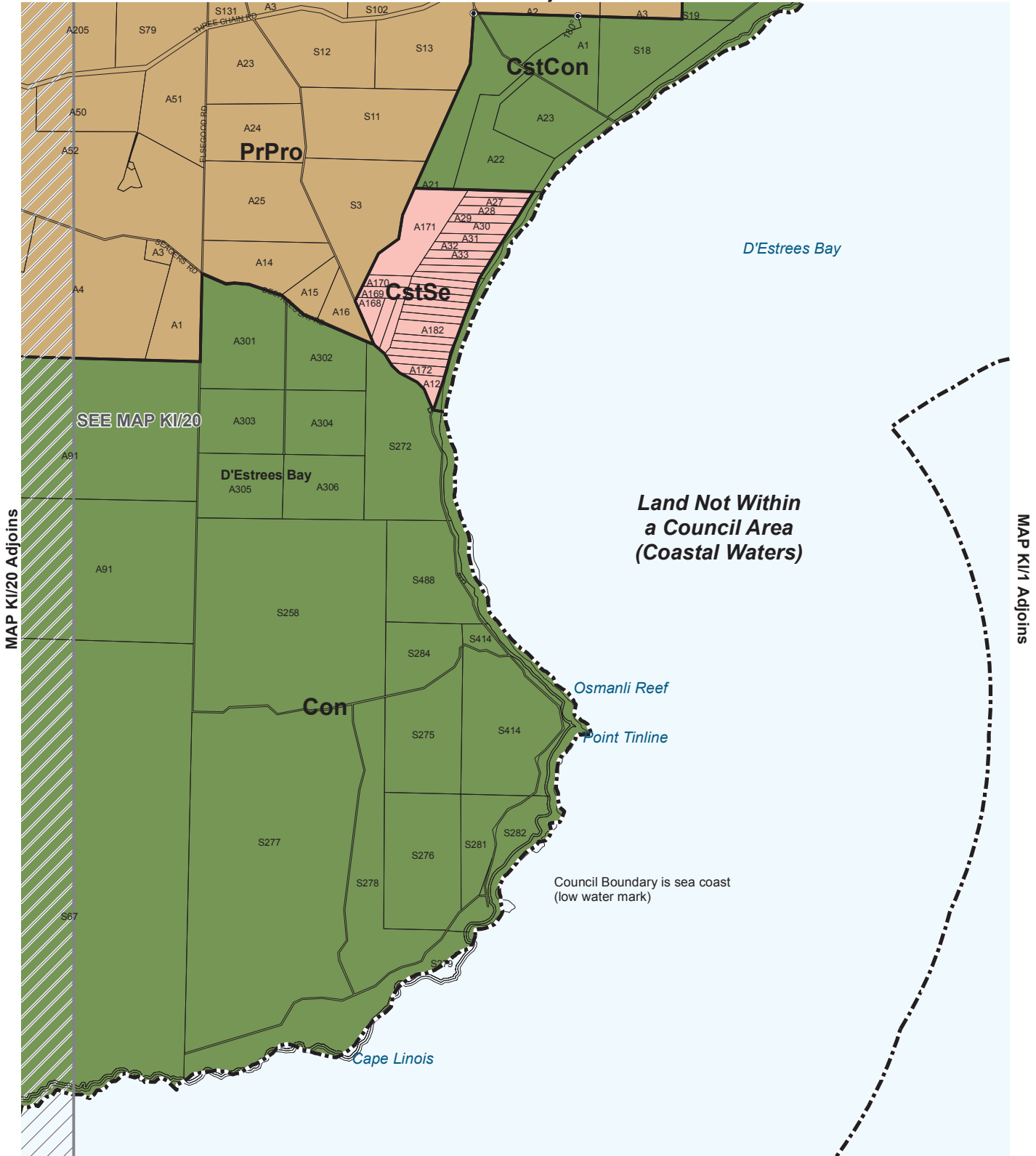
Heritage points are indicative only.
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- State heritage place
- Development Plan Boundary

Overlay Map KI/21 HERITAGE

MAP KI/10 Adjoins



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

MAP KI/1 Adjoins

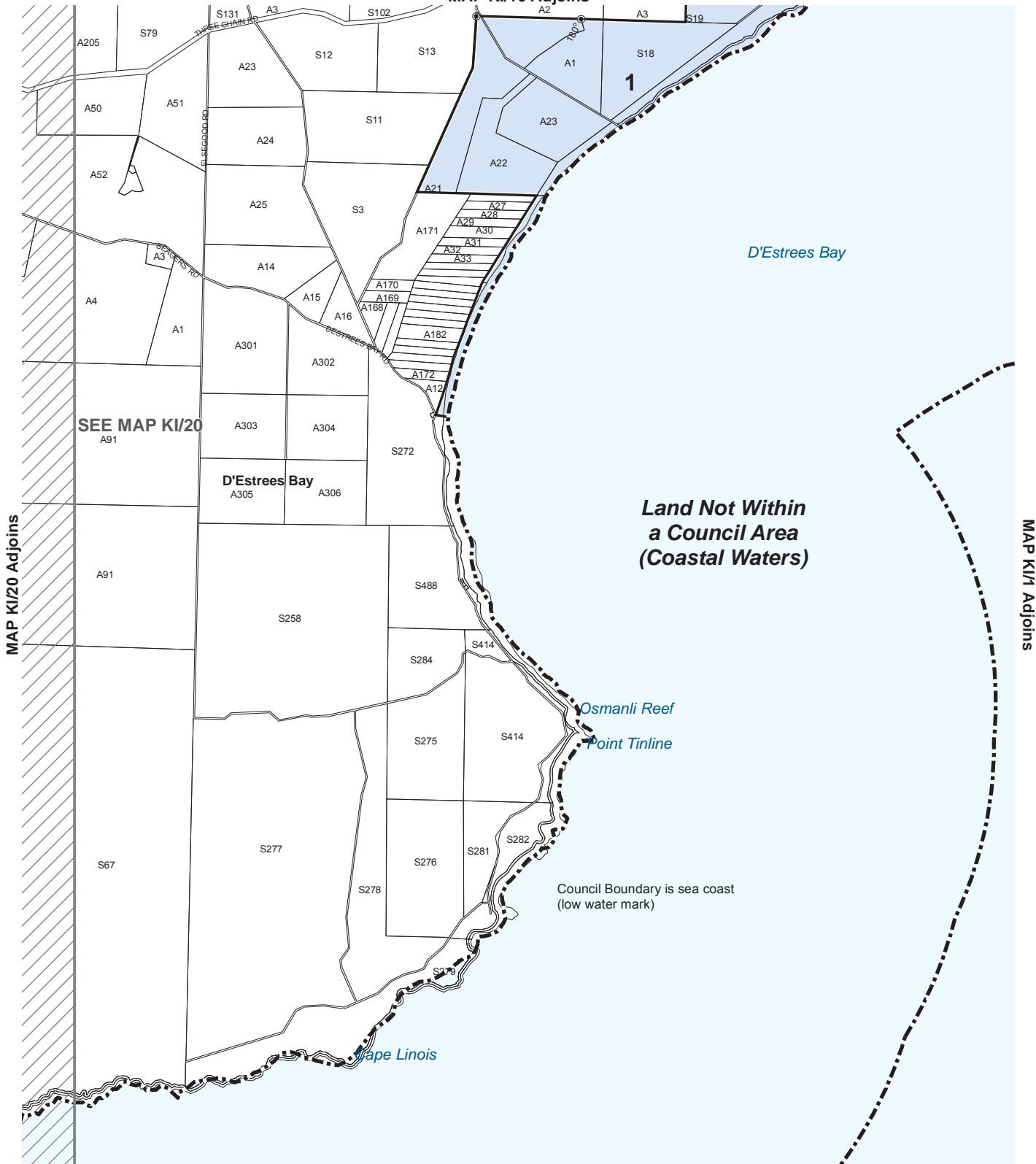


Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- Con Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

Zone Map KI/21

MAP KI/10 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection

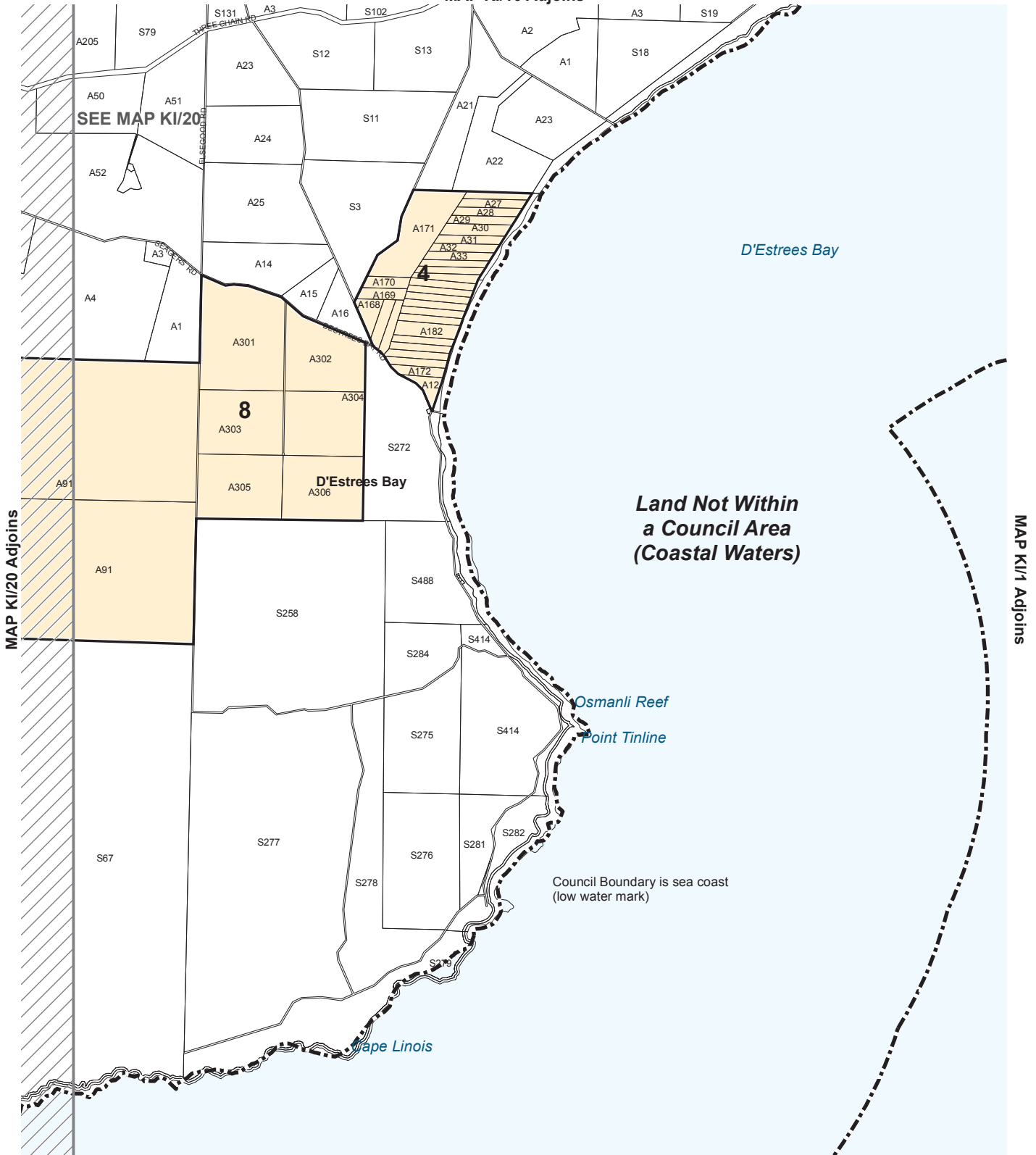
MAP KI/1 Adjoins



Policy Area Map KI/21

 Policy Area Boundary
 Development Plan Boundary

MAP KI/10 Adjoins



MAP KI/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Precinct**
 4 D'Estrees Bay
 8 Freehold



Precinct Map KI/21

- Precinct Boundary
- Development Plan Boundary

MAP KI/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

WISANGER

Emu Bay

EMU BAY

MAP KI/4 Adjoins

MAP KI/4 Adjoins

MAP KI/4 Adjoins



EMU BAY

Location Map KI/22

----- Development Plan Boundary

MAP KI/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



Heritage points are indicative only.
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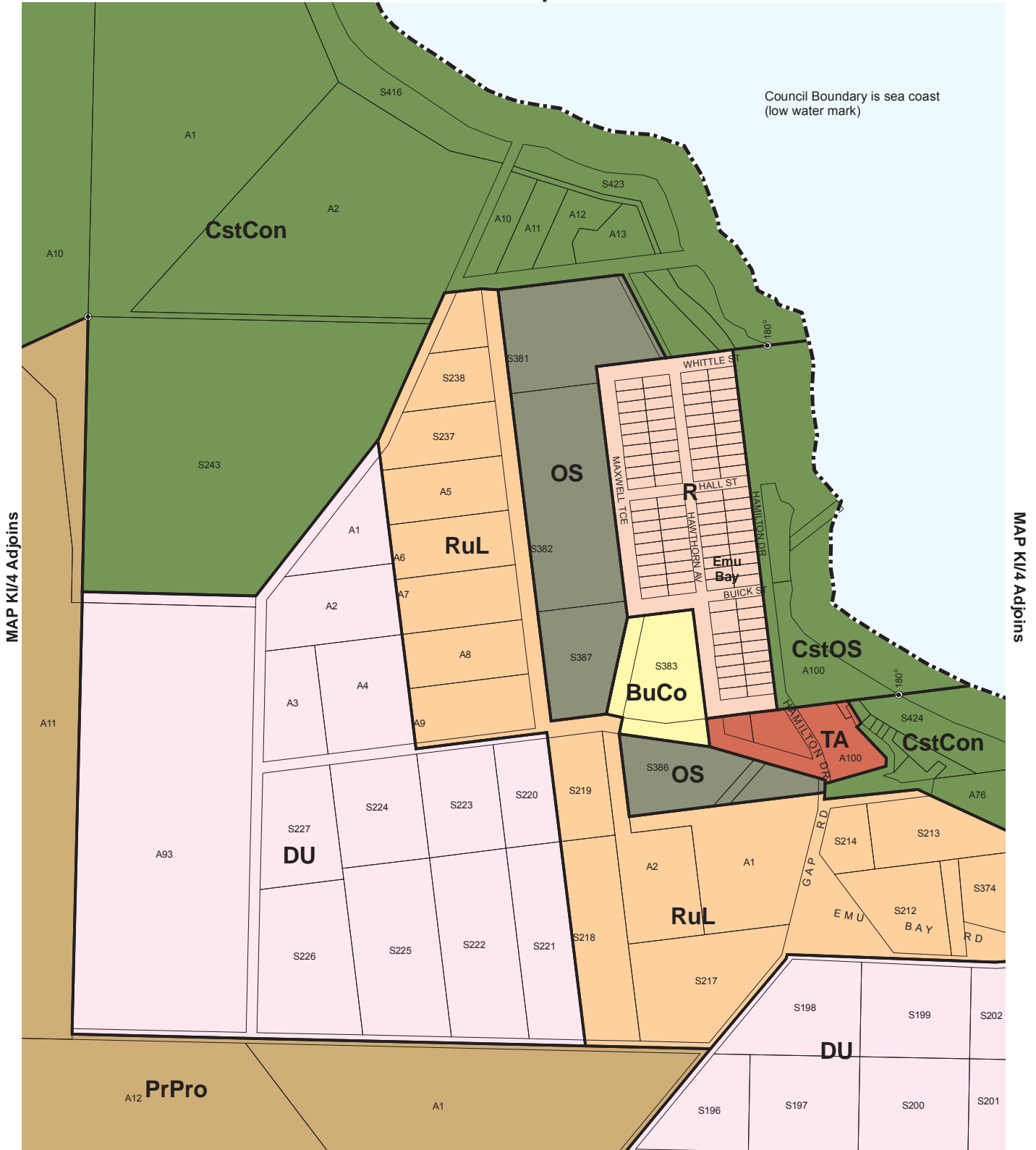
EMU BAY

Overlay Map KI/22 HERITAGE

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

- State heritage place
- Development Plan Boundary

MAP KI/4 Adjoins



MAP KI/4 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

- BuCo Business and Community
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- DU Deferred Urban
- OS Open Space
- PrPro Primary Production
- R Residential
- RuL Rural Living
- TA Tourist Accommodation
- Zone Boundary
- Development Plan Boundary

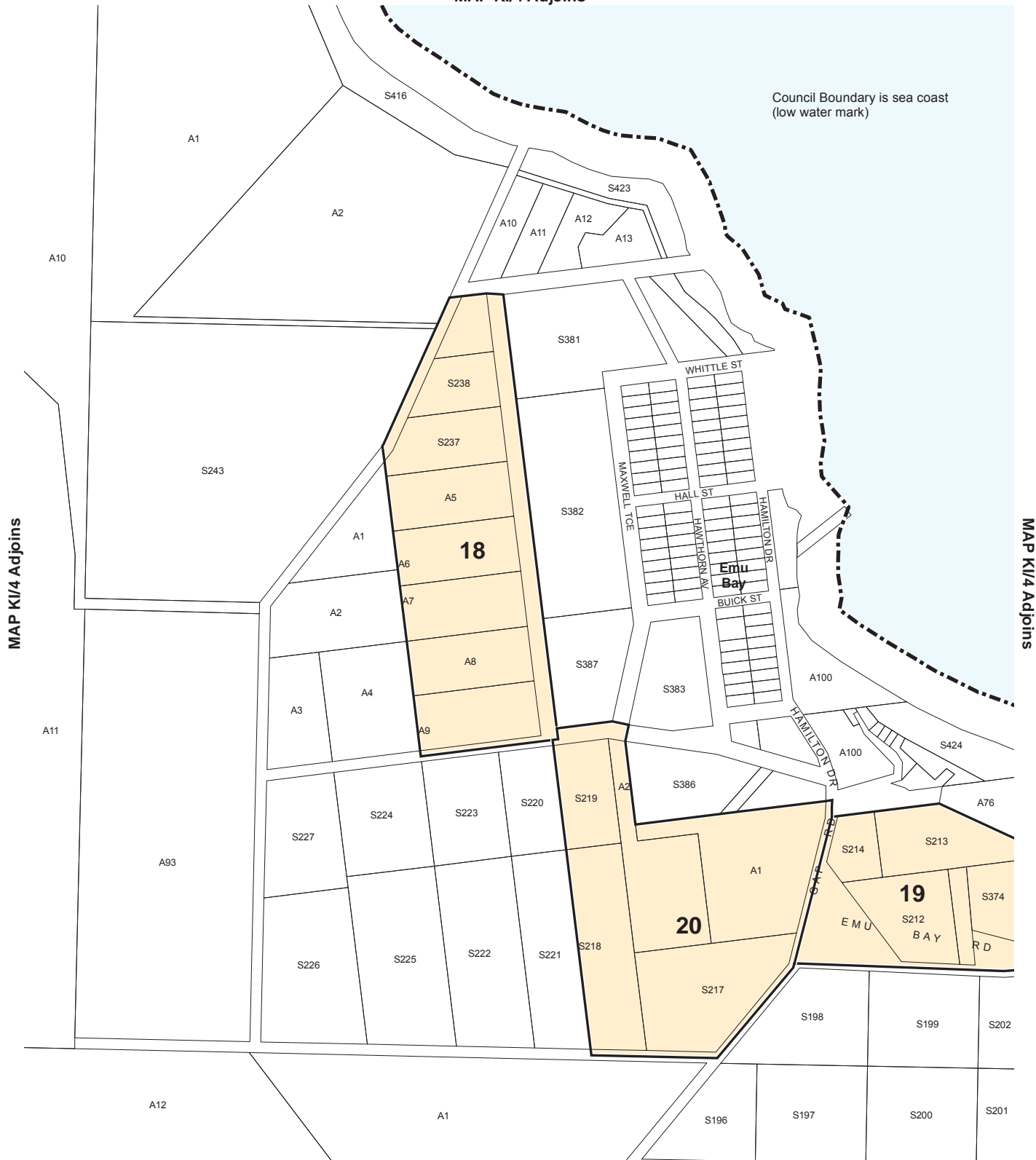


EMU BAY

Zone Map KI/22

MAP KI/4 Adjoins

Council Boundary is sea coast
(low water mark)



MAP KI/4 Adjoins

MAP KI/4 Adjoins

MAP KI/4 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct

18 Emu Bay West

19 Emu Bay East

20 Emu Bay South Mixed Use



EMU BAY

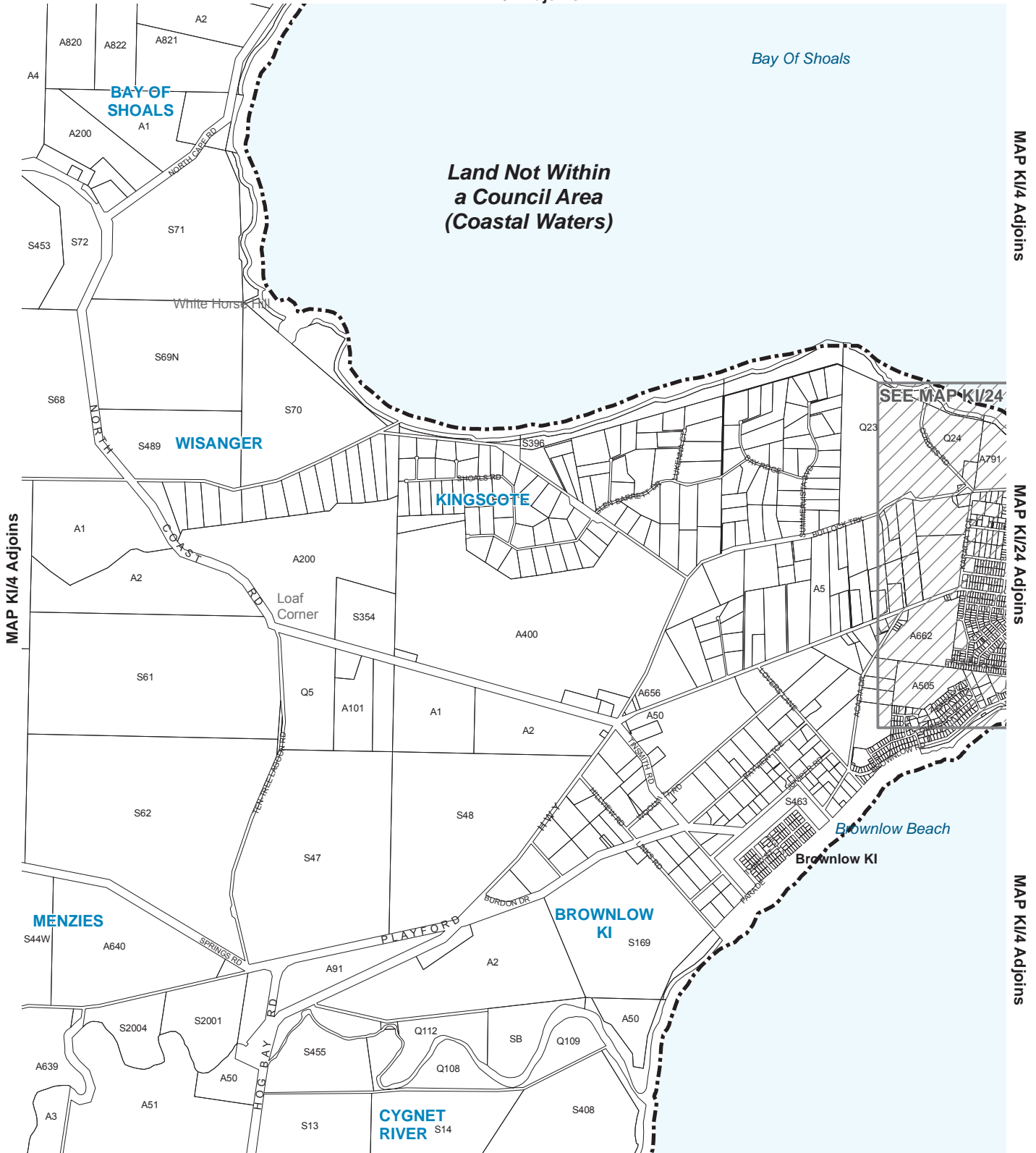
Precinct Map KI/22

- Precinct Boundary
- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/4 Adjoins



MAP KI/4 Adjoins

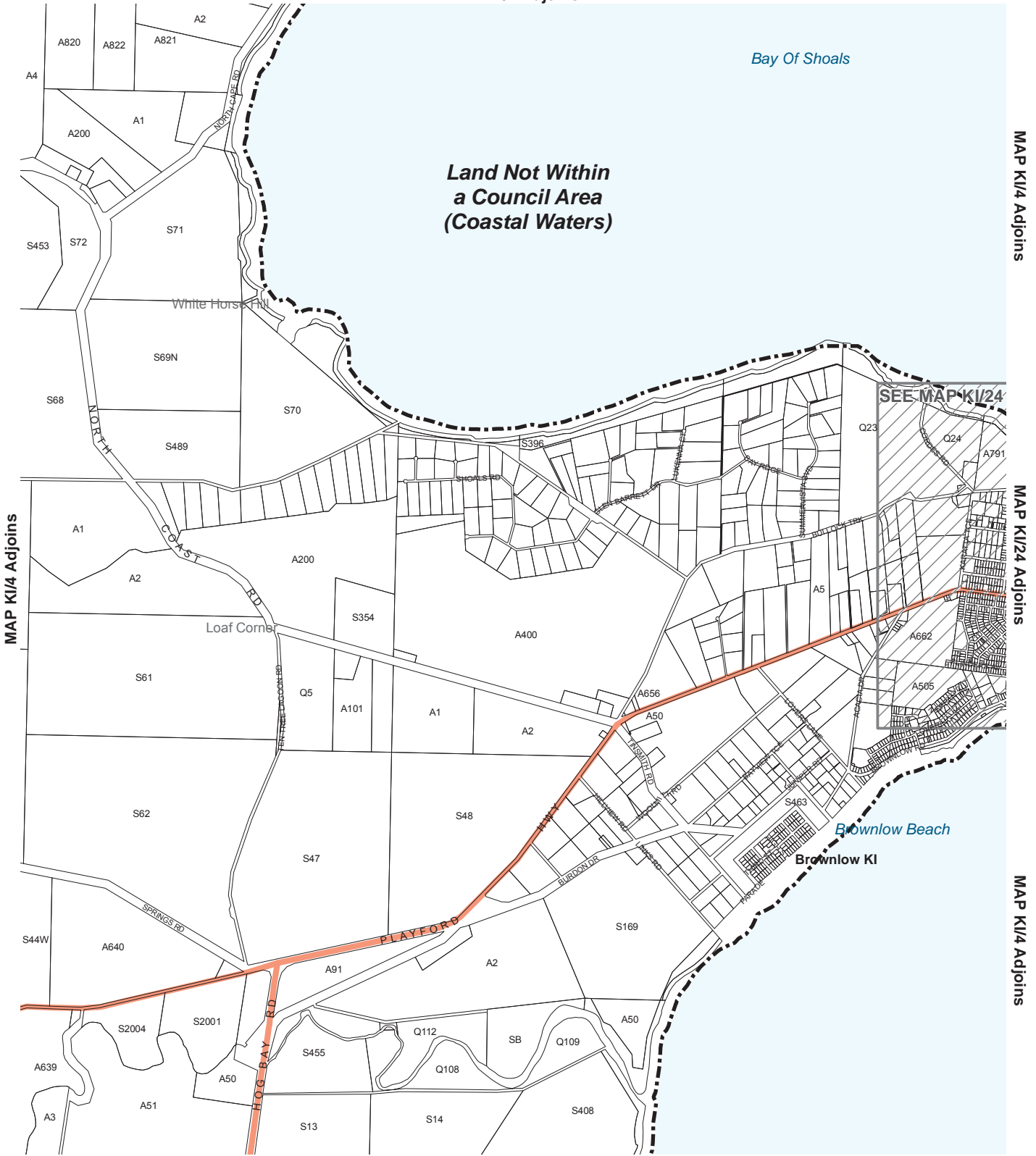


BROWNLOW

Location Map KI/23

----- Development Plan Boundary

MAP KI/4 Adjoins



MAP KI/4 Adjoins





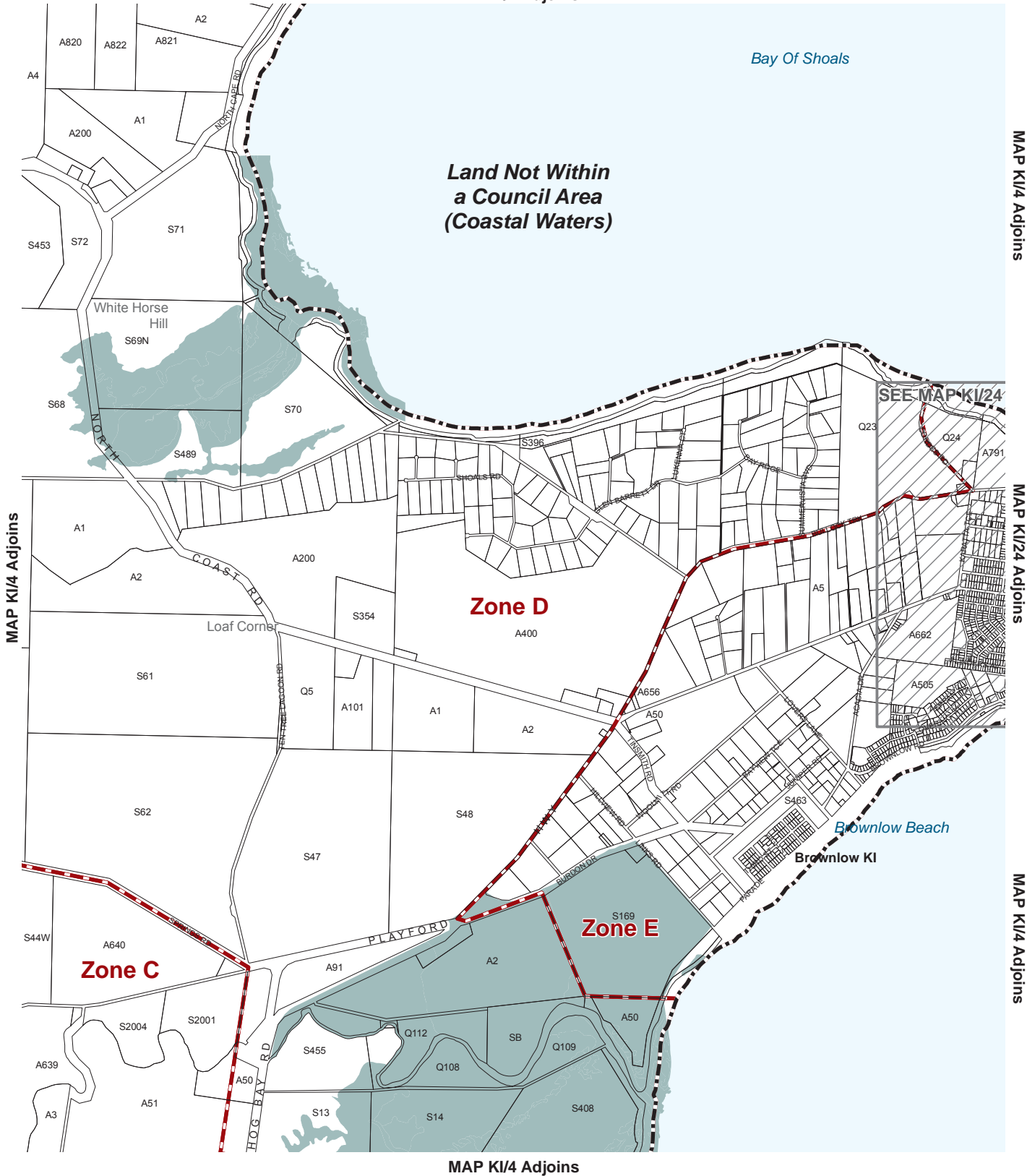
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Overlay Map KI/23

TRANSPORT

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

-  Secondary Arterial Roads
-  Development Plan Boundary






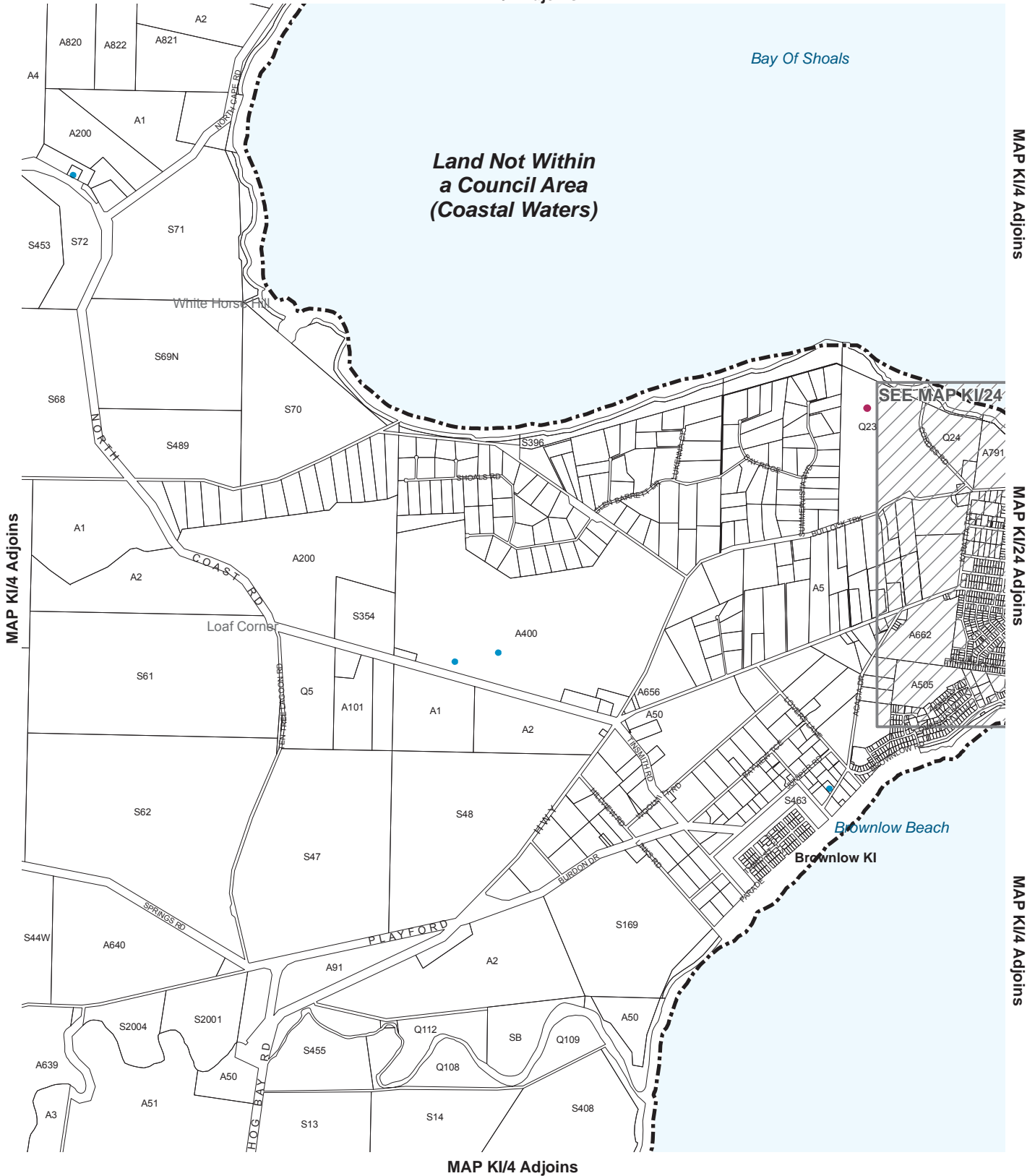
Airport Building Heights
Zone C All Structures Exceeding 15 metres above Natural Ground Level
Zone D All Structures Exceeding 45 metres above Natural Ground Level
Zone E All Structures Exceeding 110 metres above Natural Ground Level



BROWNLOW

Overlay Map KI/23 DEVELOPMENT CONSTRAINTS

-  Airport Building Heights
-  Coastal Acid Sulfate Soils
-  Development Plan Boundary



Land Not Within
a Council Area
(Coastal Waters)

Bay Of Shoals

SEE MAP KI/24

Brownlow Beach

Brownlow KI

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



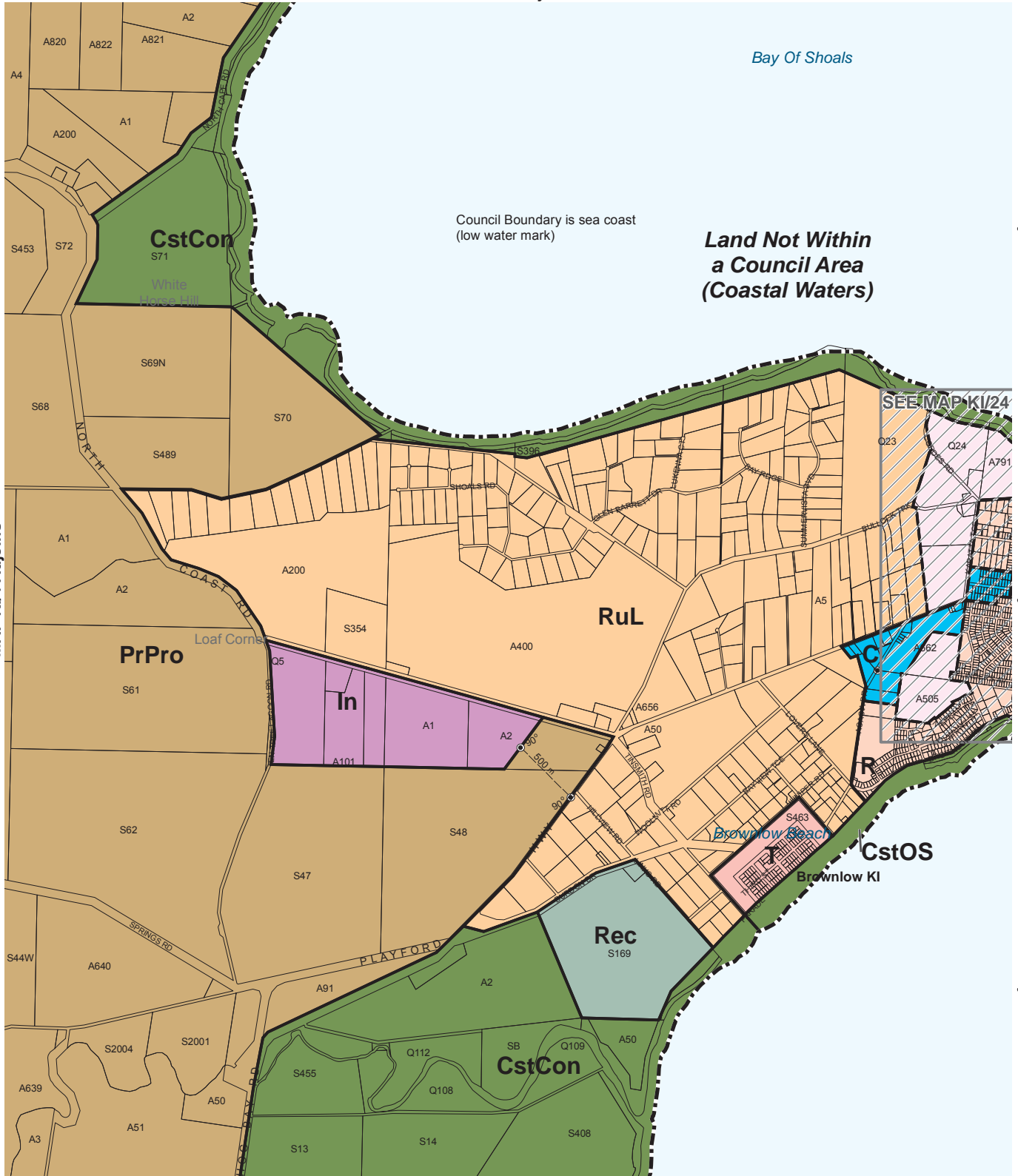
BROWNLOW

Overlay Map KI/23 HERITAGE

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP KI/4 Adjoins



MAP KI/4 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Zones**
- CstOS Coastal Open Space
 - CstCon Coastal Conservation
 - C Commercial
 - In Industry
 - PrPro Primary Production
 - Rec Recreation
 - R Residential
 - RuL Rural Living
 - T Township
 - Zone Boundary
 - Development Plan Boundary



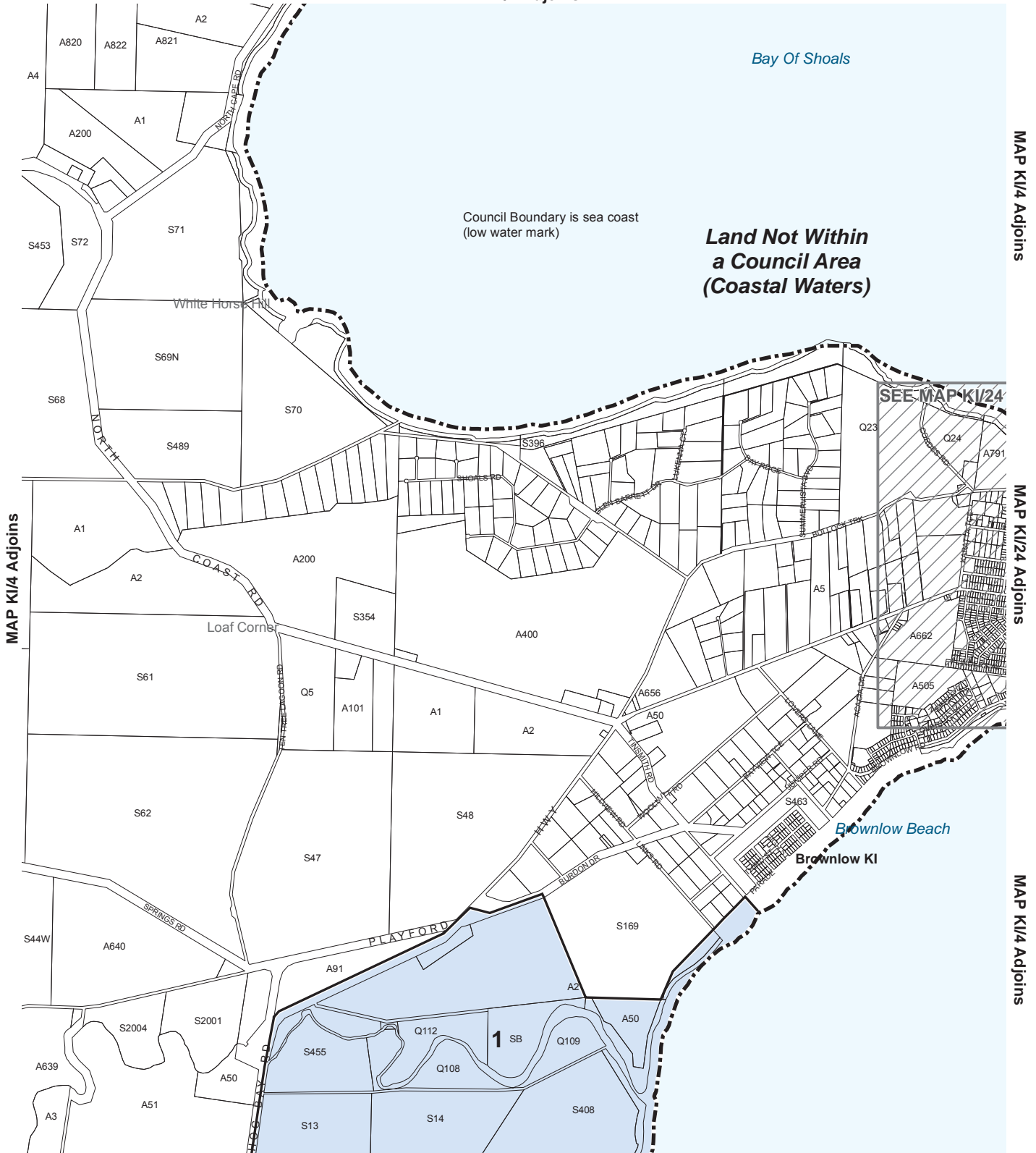
BROWNLOW

Zone Map KI/23

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/4 Adjoins



MAP KI/4 Adjoins

See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Policy Area
 1 Landscape Protection

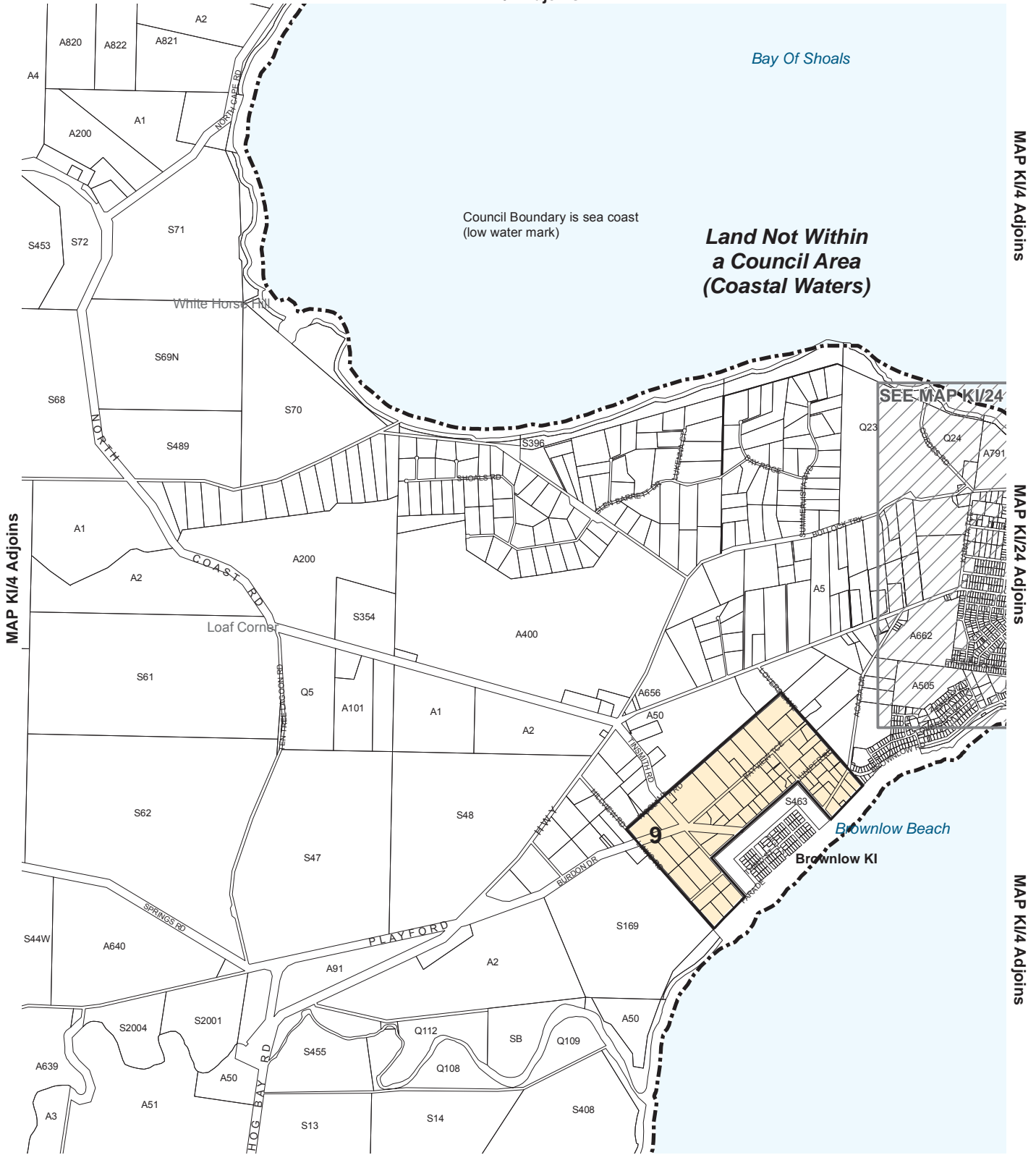


BROWNLOW

Policy Area Map KI/23

- Policy Area Boundary
- Development Plan Boundary

MAP KI/4 Adjoins



MAP KI/4 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
9 Brownlow KI



BROWNLOW

Precinct Map KI/23

- Precinct Boundary
- Development Plan Boundary

MAP KI/23 Adjoins

MAP KI/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



MAP KI/23 Adjoins

MAP KI/4 Adjoins

MAP KI/23 Adjoins

MAP KI/4 Adjoins



KINGSCOTE

Location Map KI/24

KANGAROO ISLAND COUNCIL

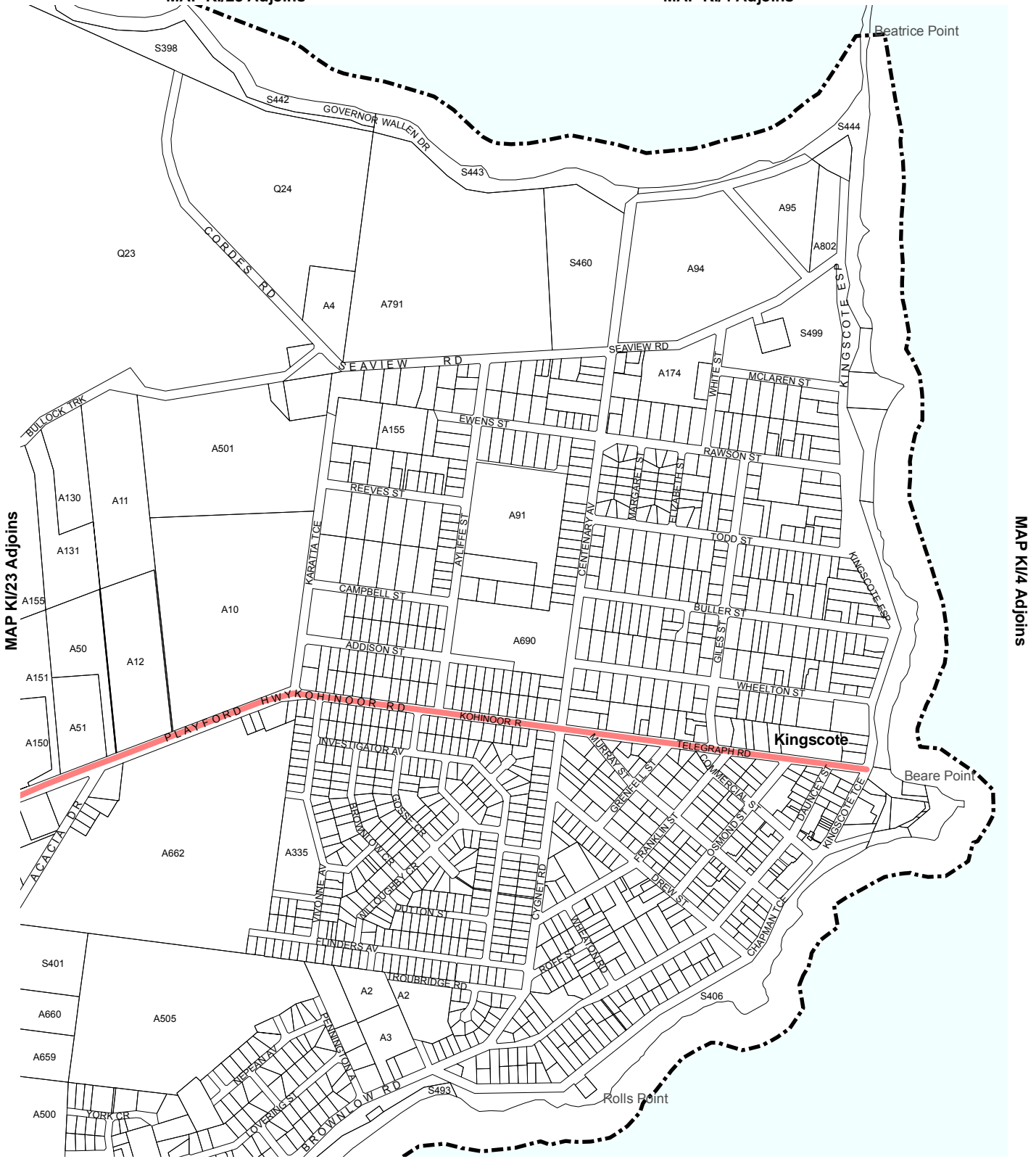
Consolidated - 17 September 2015

- S** School
- L** Public Library
- C** Council Office
- H** Other Health Services
- H** Hospital
- P** Police Station

----- Development Plan Boundary

MAP KI/23 Adjoins

MAP KI/4 Adjoins

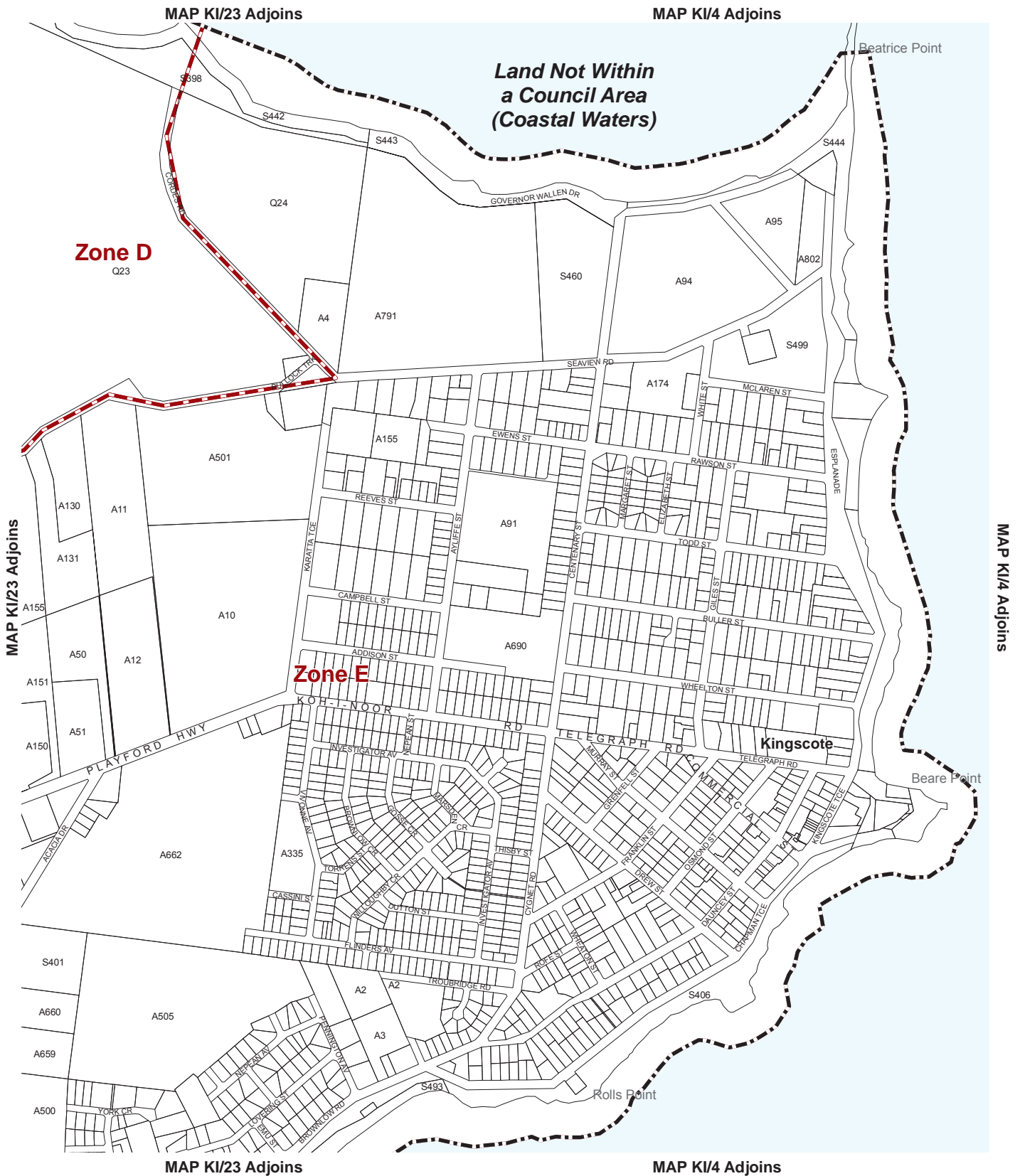


KINGSCOTE

Overlay Map KI/24

TRANSPORT

- ▬ Primary Arterial Roads
- ▬ Secondary Arterial Roads
- Development Plan Boundary



Airport Building Heights
Zone D All Structures Exceeding 45 metres above Natural Ground Level
Zone E All Structures Exceeding 110 metres above Natural Ground Level

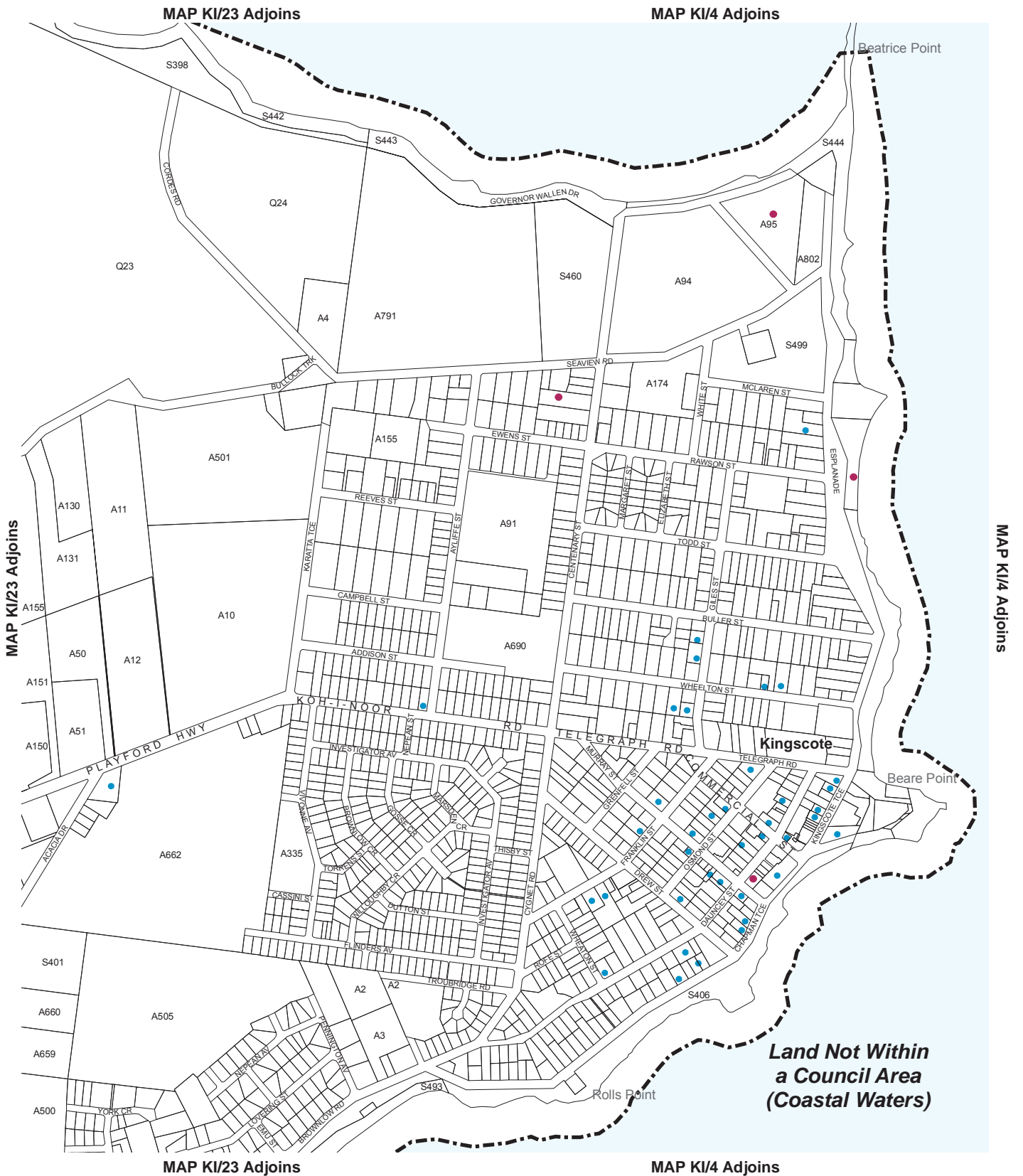


KINGSCOTE

Overlay Map KI/24 DEVELOPMENT CONSTRAINTS

KANGAROO ISLAND COUNCIL
 Consolidated - 17 September 2015

- Airport Building Heights
- Development Plan Boundary



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



KINGSCOTE

Overlay Map KI/24 HERITAGE

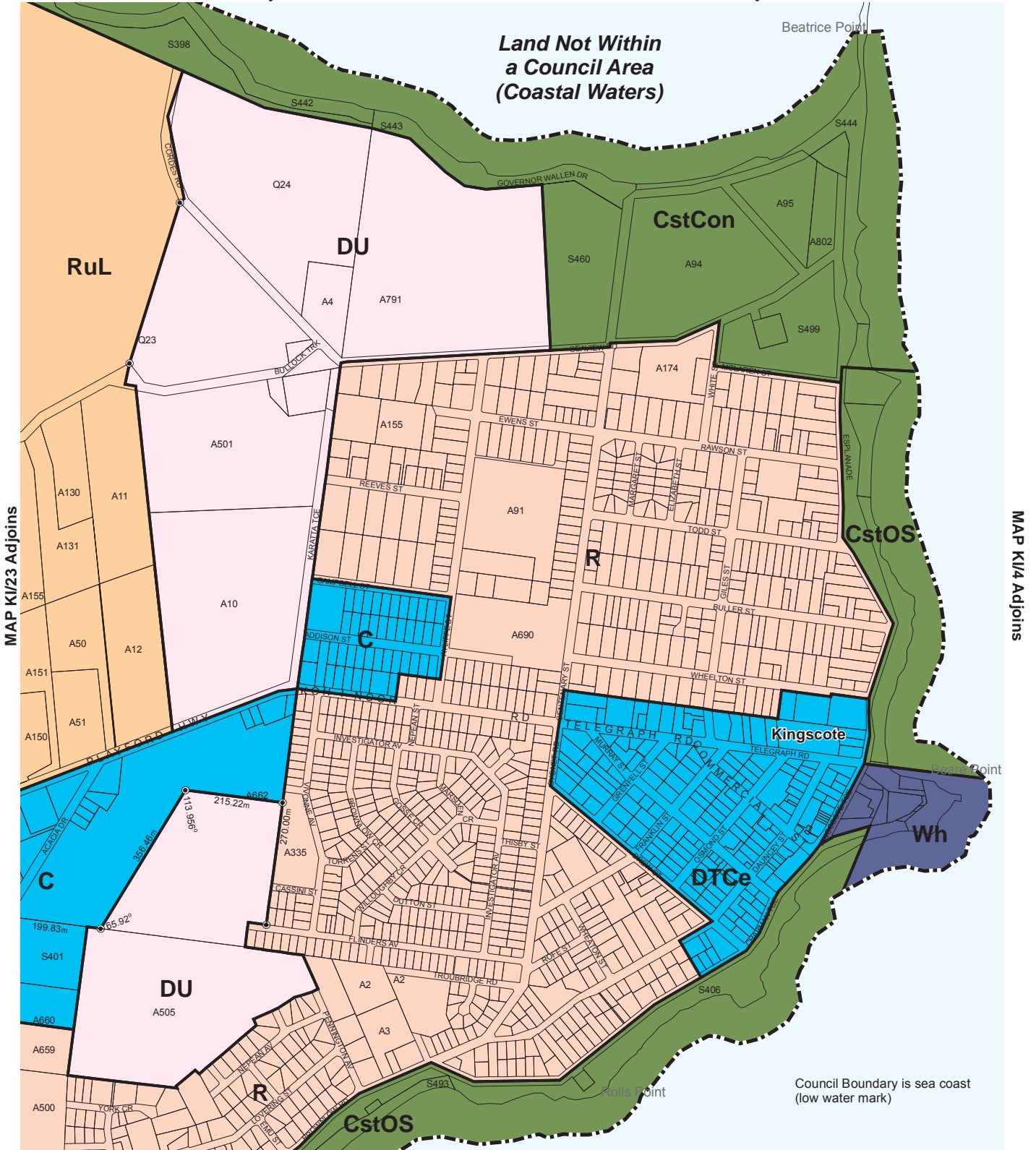
KANGAROO ISLAND COUNCIL
 Consolidated - 17 September 2015

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP KI/23 Adjoins

MAP KI/4 Adjoins

Land Not Within a Council Area (Coastal Waters)



MAP KI/23 Adjoins

MAP KI/4 Adjoins

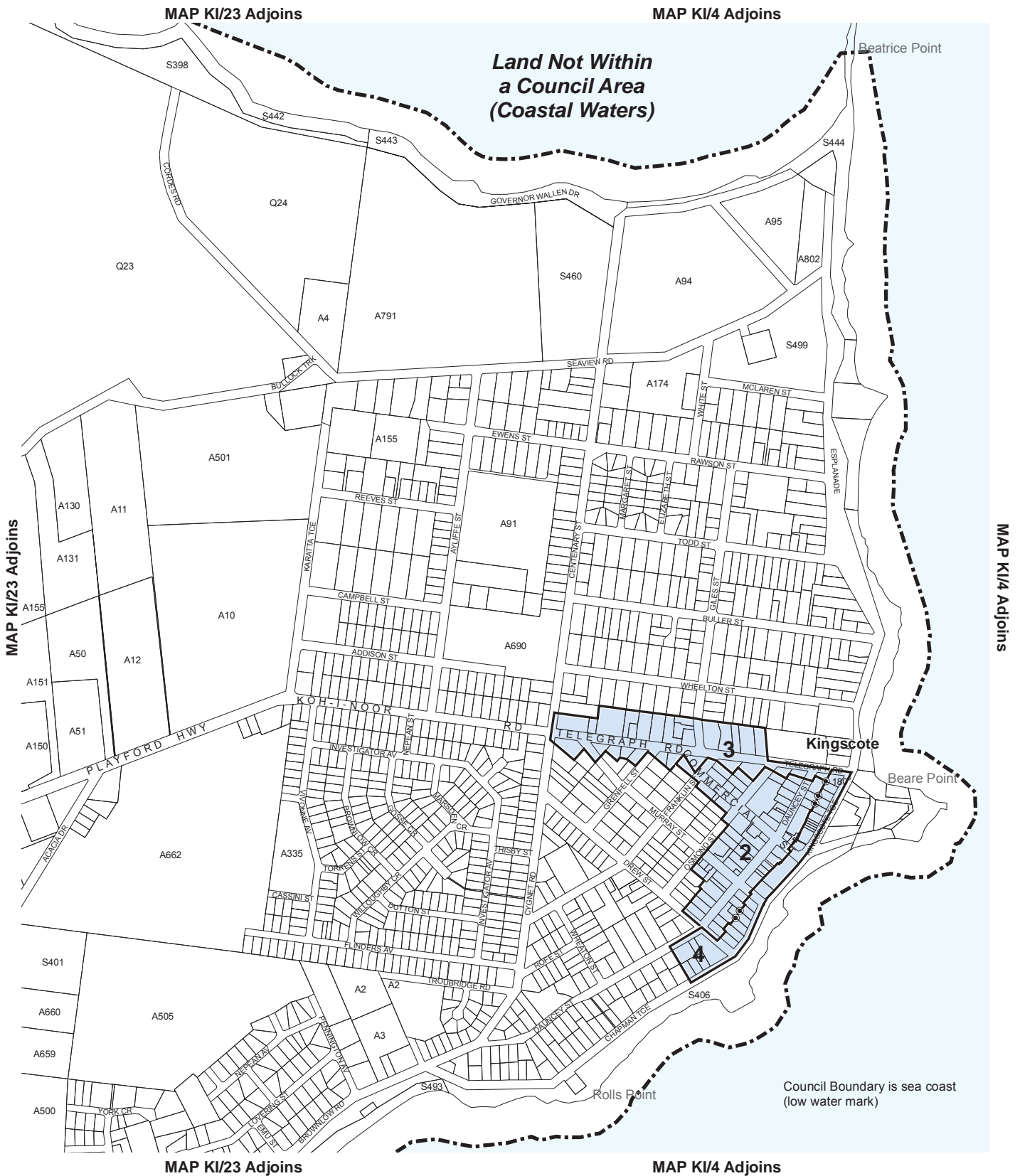
Lamberts Conformal Conic Projection, GDA94

- Zones**
- CstOS Coastal Open Space
 - CstCon Coastal Conservation
 - C Commercial
 - DU Deferred Urban
 - DTCE District Town Centre
 - R Residential
 - RuL Rural Living
 - Wh Wharf
 - Zone Boundary
 - Development Plan Boundary



KINGSCOTE

Zone Map KI/24



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
- 2 Core Retail
 - 3 Telegraph Road
 - 4 Tourist



KINGSCOTE

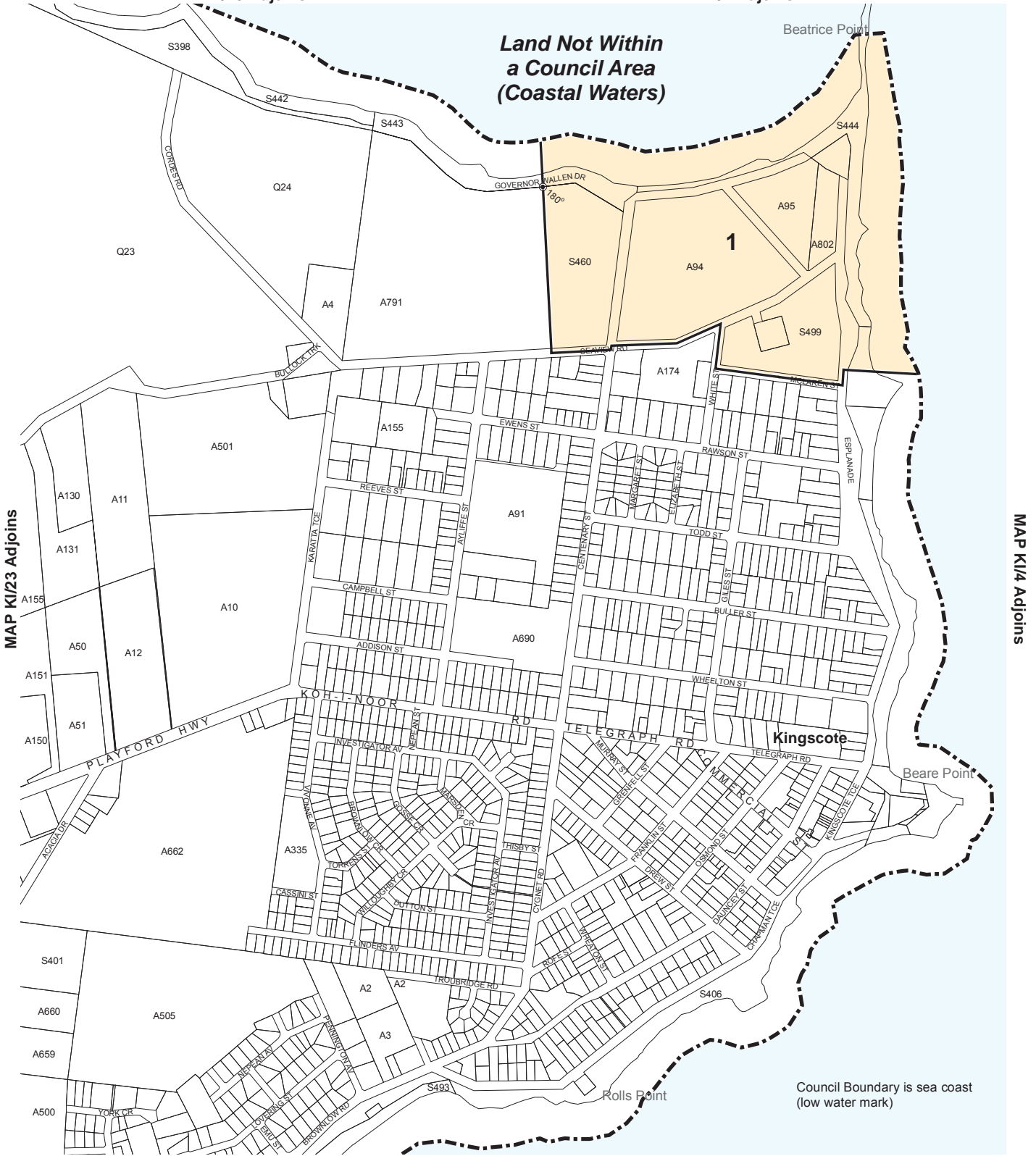
Policy Area Map KI/24

- Policy Area Boundary
- Development Plan Boundary

MAP KI/23 Adjoins

MAP KI/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



Lamberts Conformal Conic Projection, GDA94

Precinct
1 Reeves Point



0 500 m

KINGSCOTE

Precinct Map KI/24

- Precinct Boundary
- Development Plan Boundary

MAP KI/8 Adjoins

A867

S46

CASSINI

SEDDON

PARNDANA

A5

A6

A7

S82

A8

A83

A9

A12

S39

MAP KI/8 Adjoins

A2

MAP KI/8 Adjoins

DUNCAN

PLAYFORD

A84

A2

A201

S

H

Parndana

PROGRESS PL

A203

A201

S56

MAP KI/8 Adjoins



0

500 m



PARNDANA

Location Map KI/25



School

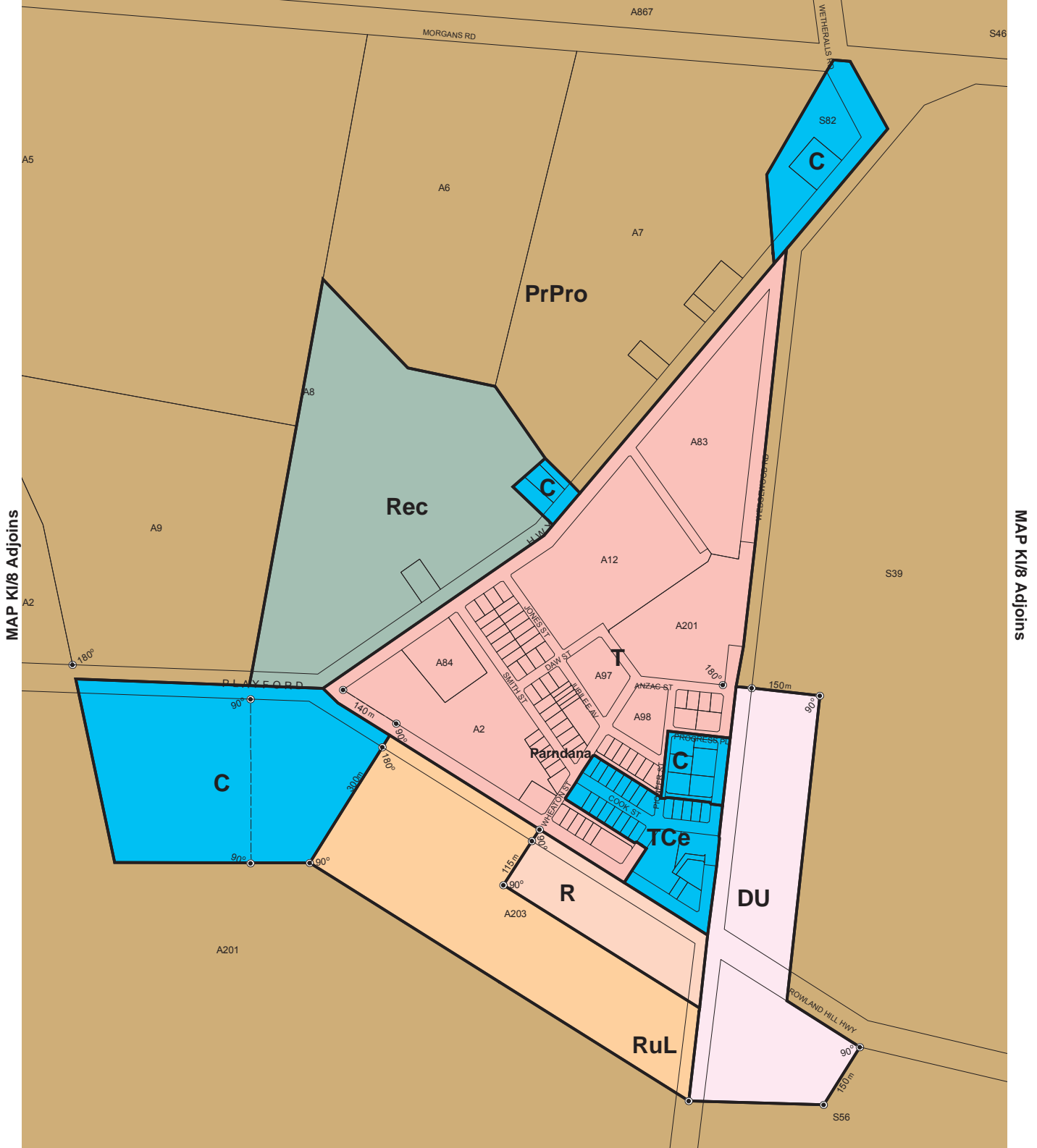


Other Health Services

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/8 Adjoins



MAP KI/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

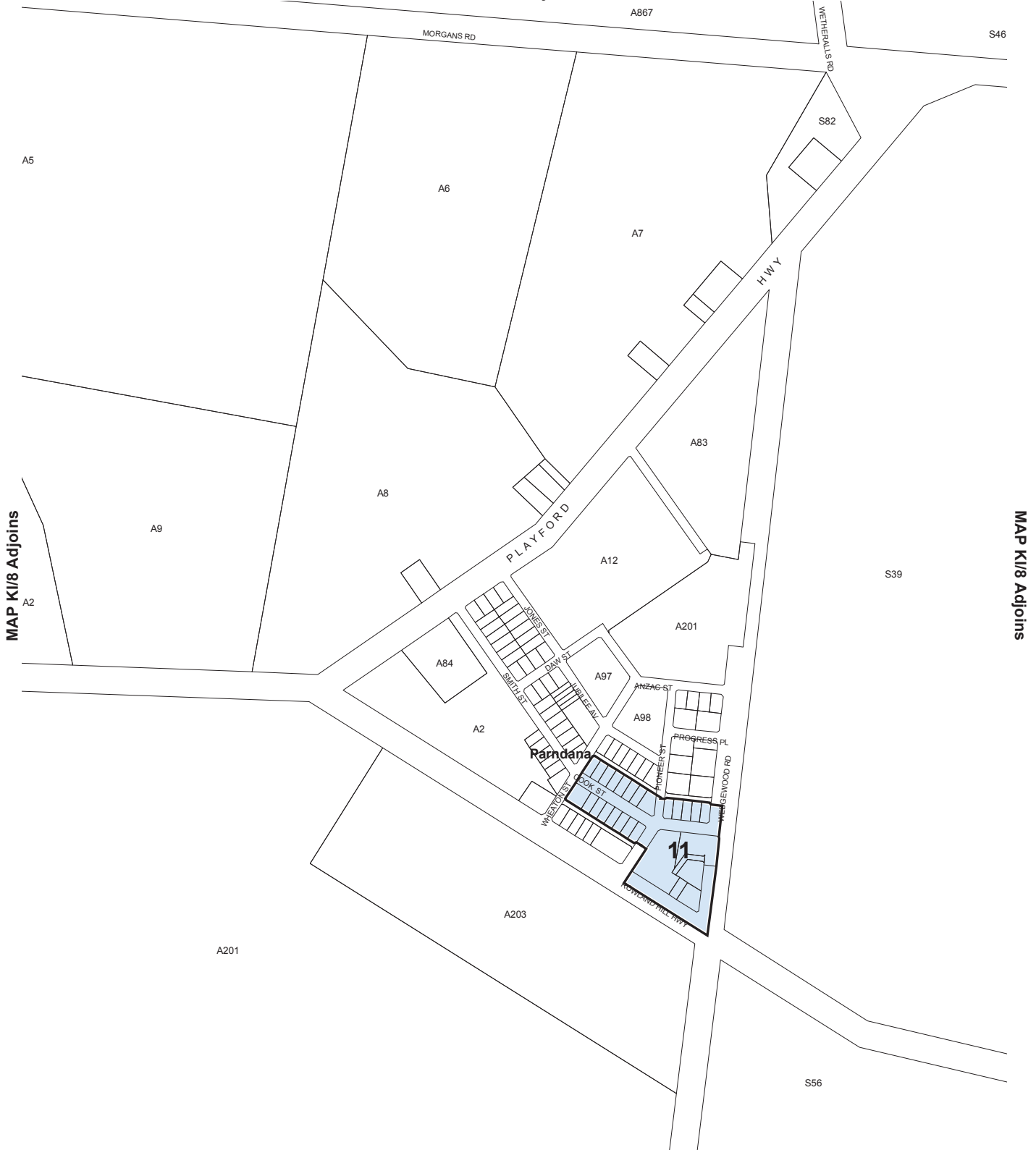
- Zones**
- Commercial
 - Deferred Urban
 - Primary Production
 - Recreation
 - Residential
 - Rural Living
 - Town Centre
 - Township
 - Zone Boundary



PARNDANA

Zone Map KI/25

MAP KI/8 Adjoins



MAP KI/8 Adjoins

MAP KI/8 Adjoins

MAP KI/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
11 Parndana



PARNDANA

Policy Area Map KI/25

 Policy Area Boundary

MAP KI/8 Adjoins



MAP KI/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
11 Parndana



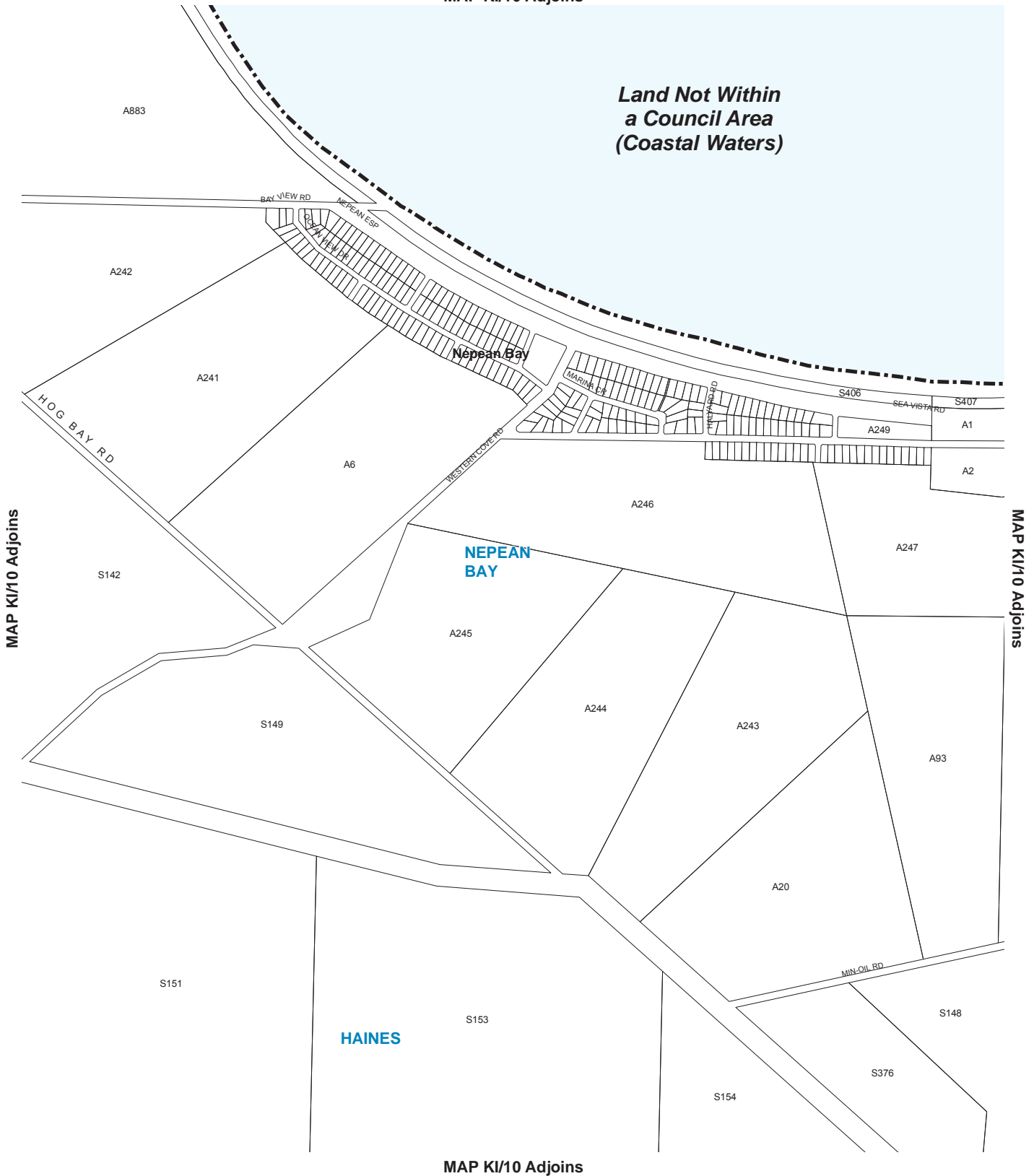
PARNDANA

Precinct Map KI/25

 Precinct Boundary

MAP KI/10 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

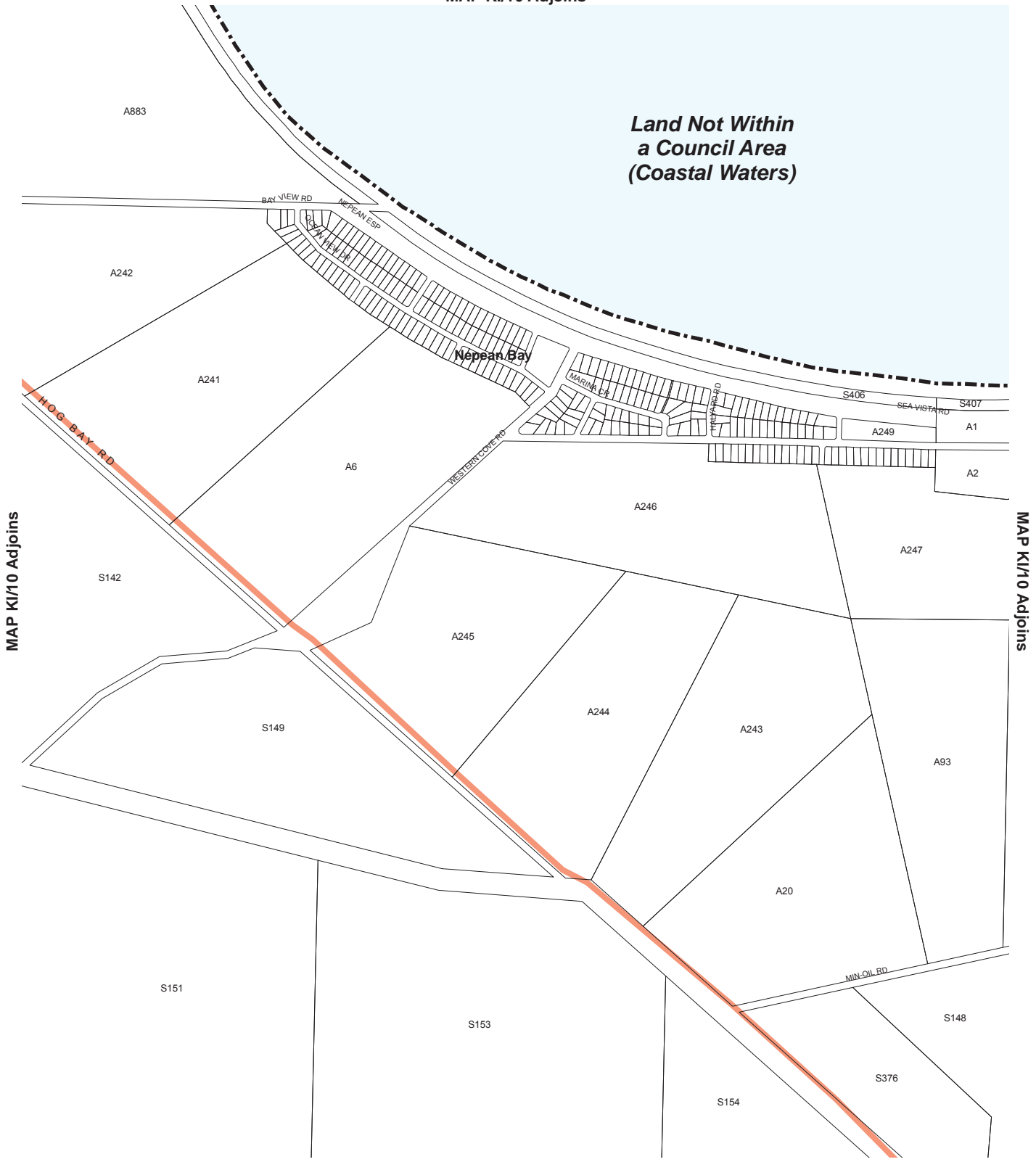


NEPEAN BAY

Location Map KI/26

--- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

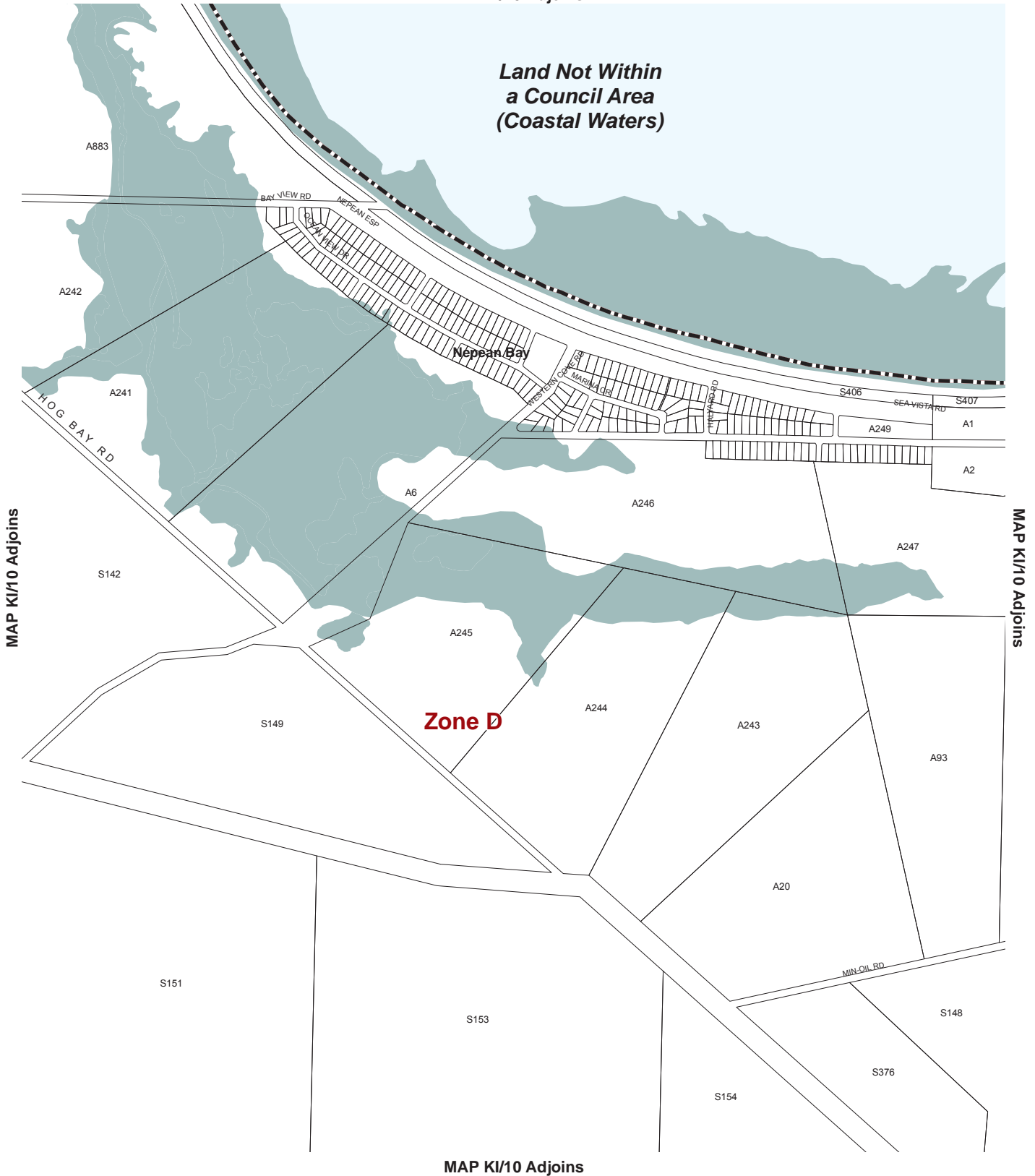


NEPEAN BAY

Overlay Map KI/26 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)






Airport Building Heights
Zone D All Structures Exceeding 45 metres above Natural Ground Level

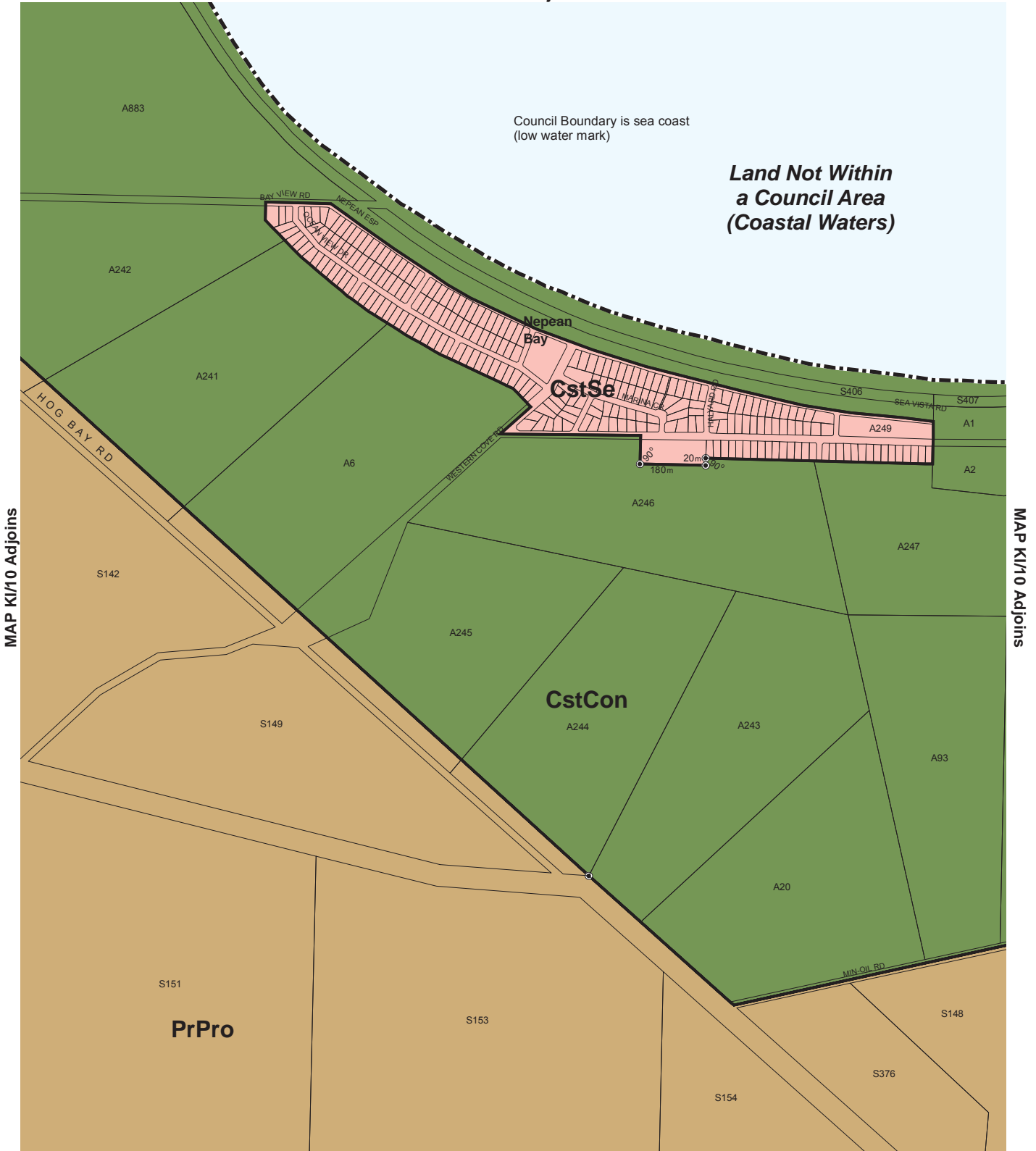


NEPEAN BAY

Overlay Map KI/26 DEVELOPMENT CONSTRAINTS

-  Airport Building Heights
-  Coastal Acid Sulfate Soils
-  Development Plan Boundary

MAP KI/10 Adjoins



MAP KI/10 Adjoins

Lamberts Conformal Conic Projection, GDA94

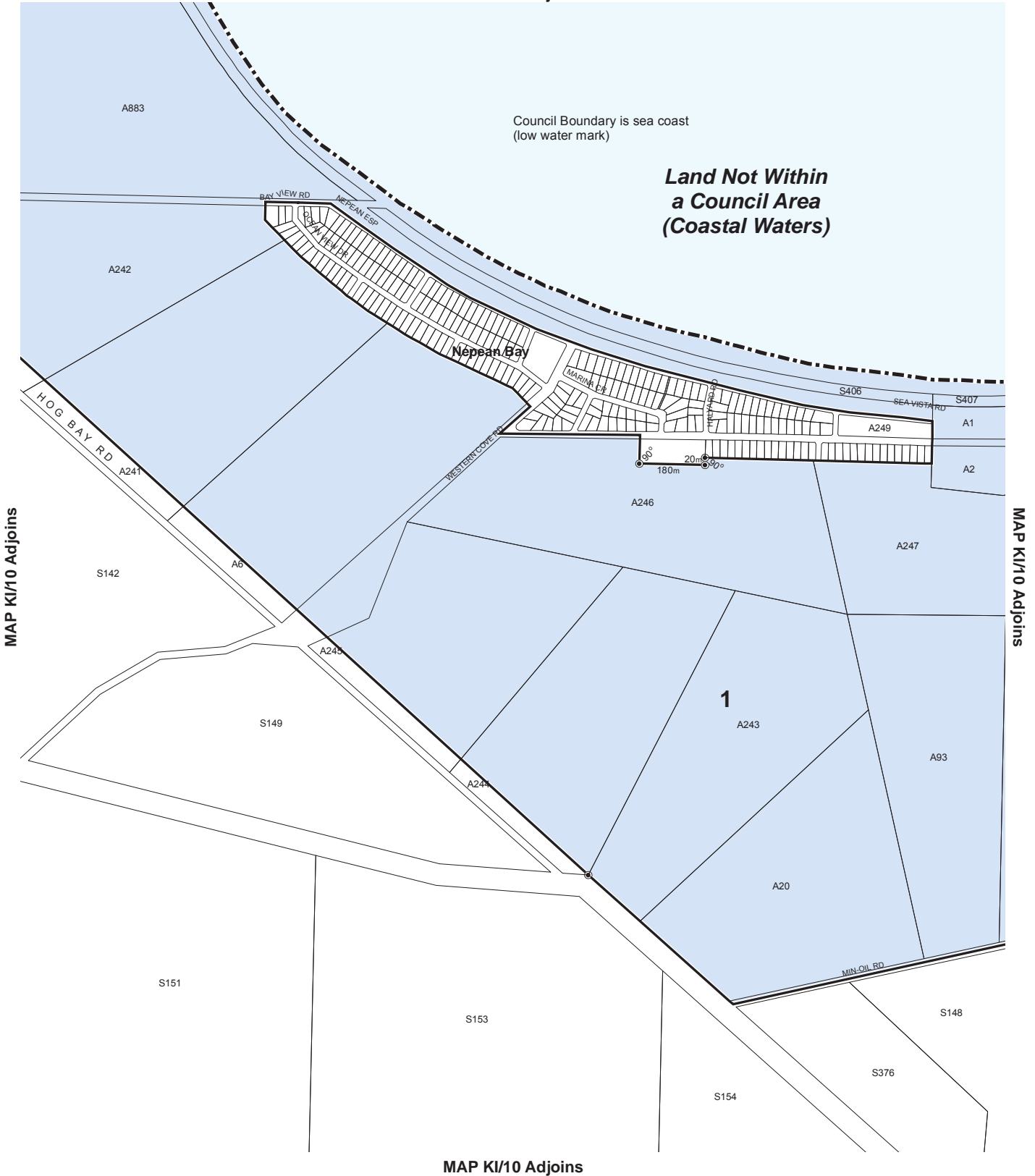


NEPEAN BAY

Zone Map KI/26

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

MAP KI/10 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area
 1 Landscape Protection



NEPEAN BAY

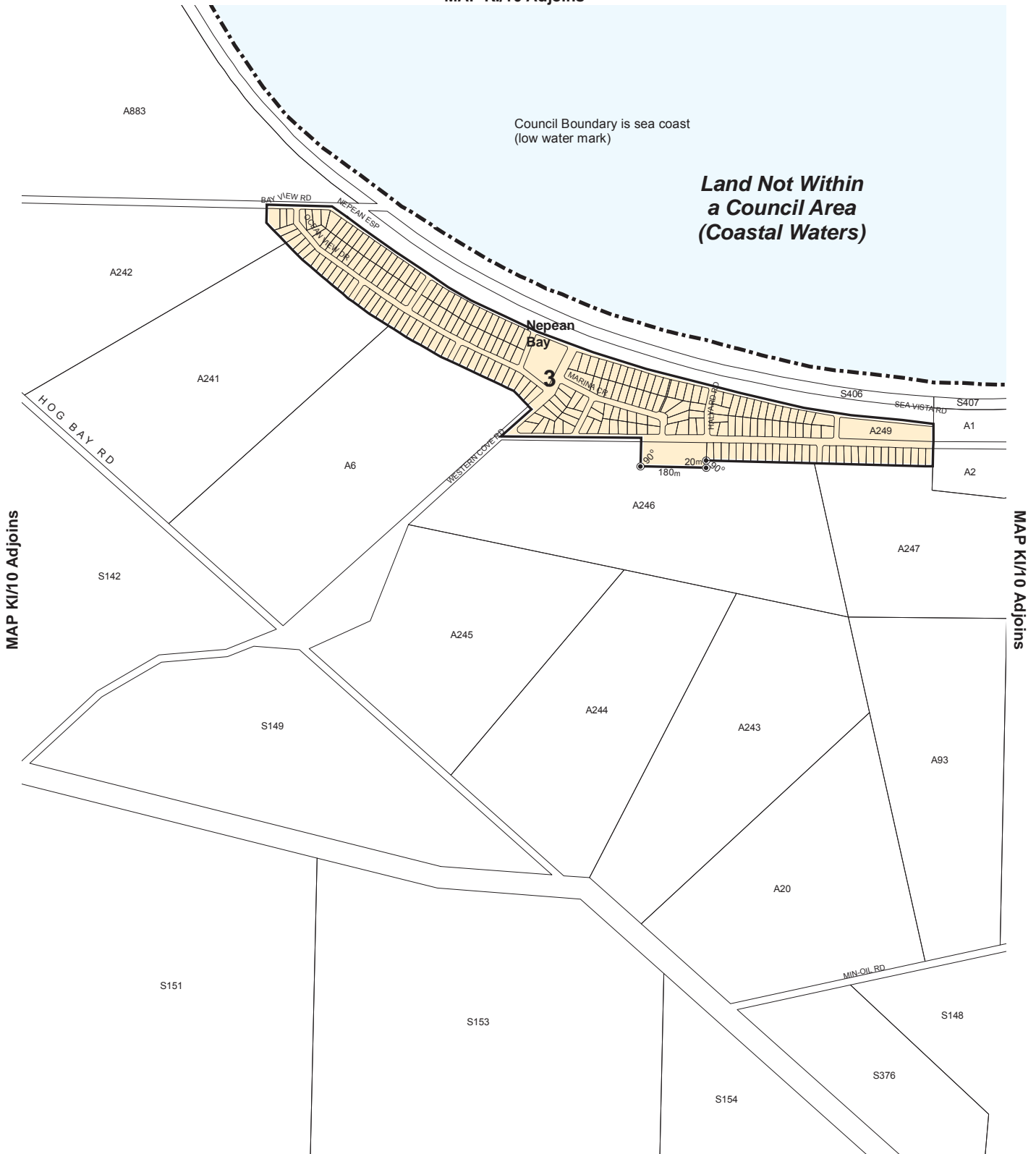
Policy Area Map KI/26

- Policy Area Boundary
- Development Plan Boundary

MAP KI/10 Adjoins

Council Boundary is sea coast
(low water mark)

**Land Not Within
a Council Area
(Coastal Waters)**



MAP KI/10 Adjoins

MAP KI/10 Adjoins

MAP KI/10 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
3 Nepean Bay

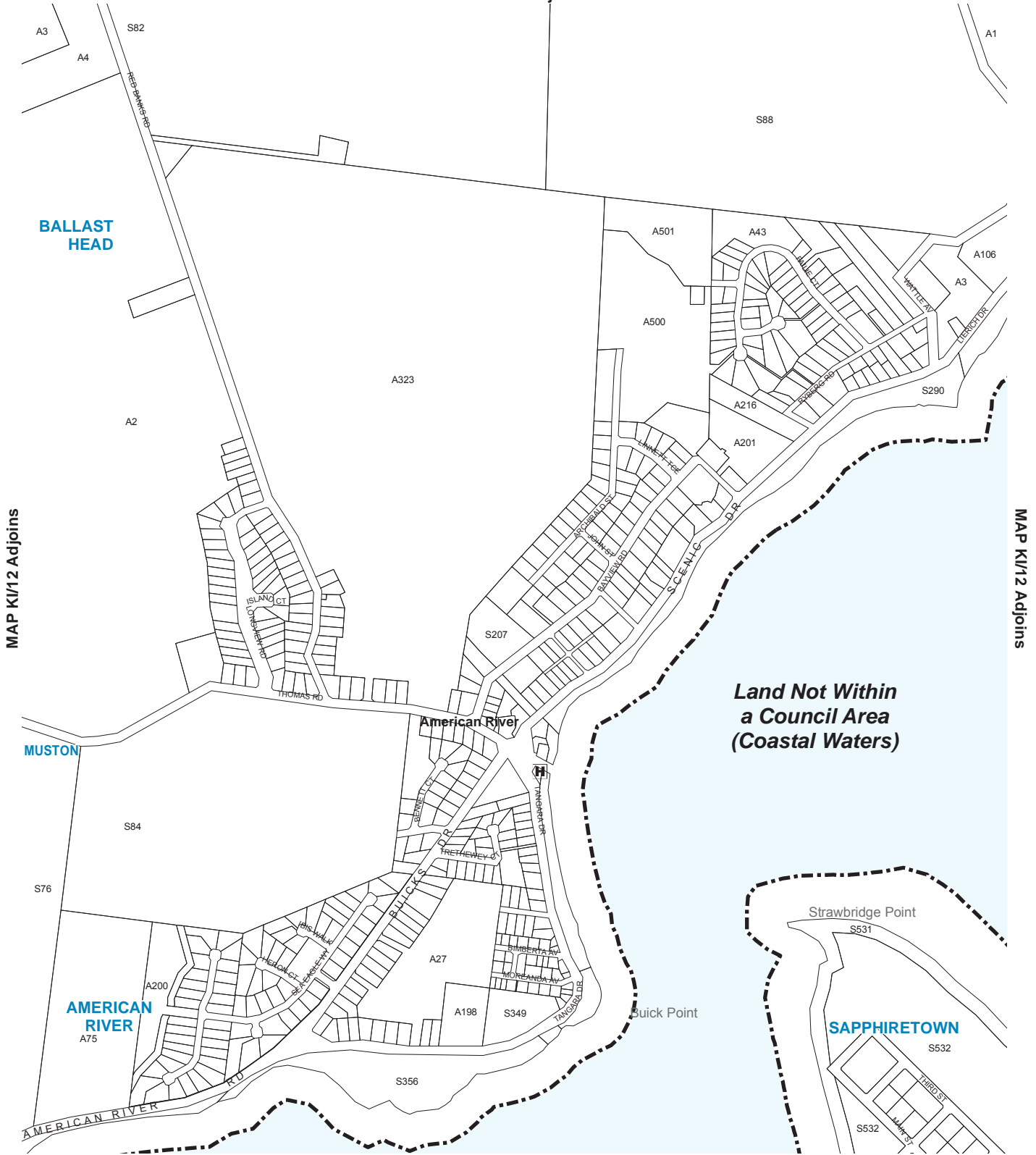


NEPEAN BAY

Precinct Map KI/26

- Precinct Boundary
- Development Plan Boundary

MAP KI/12 Adjoins



MAP KI/14 Adjoins



AMERICAN RIVER

Location Map KI/27

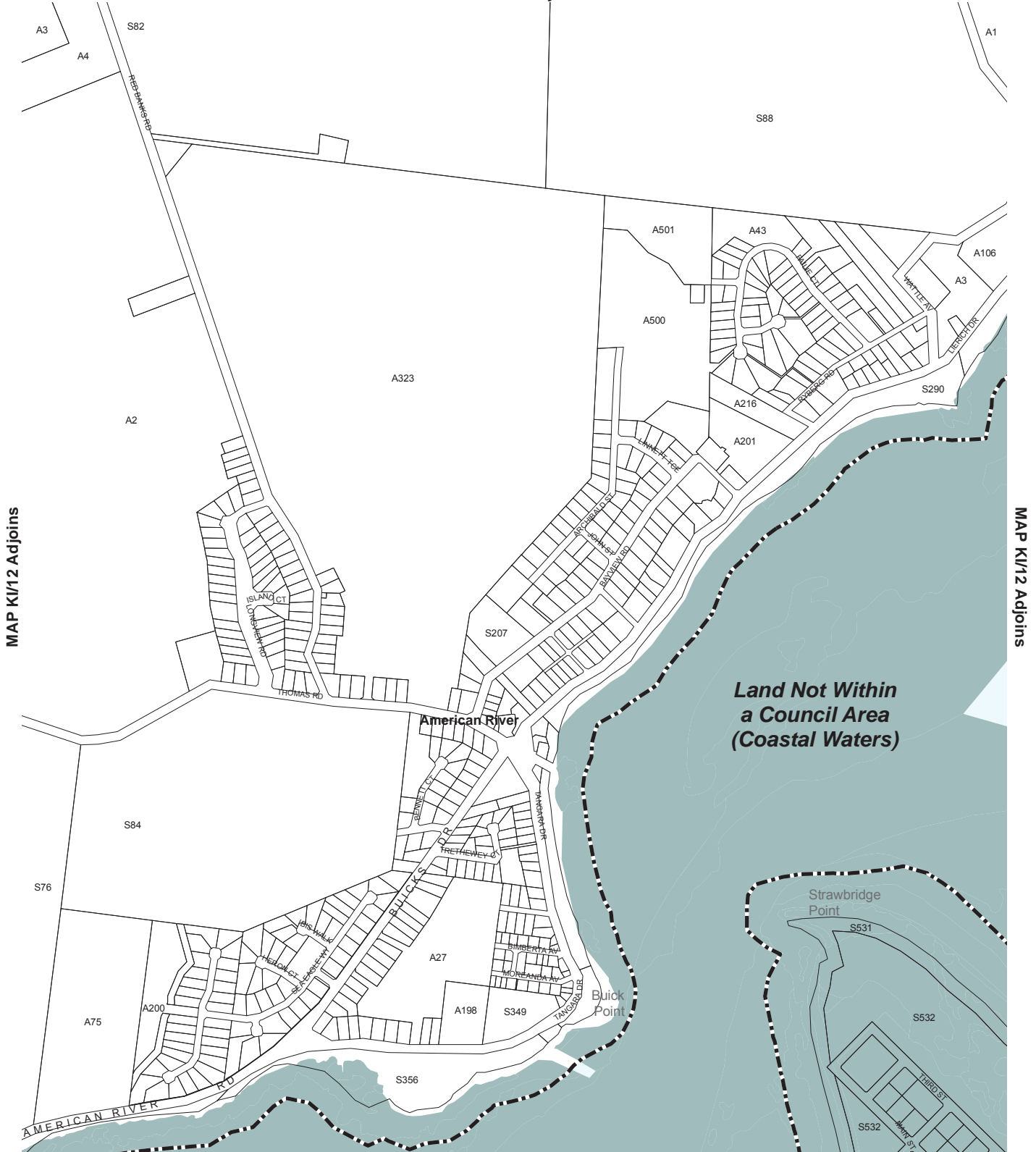
H Other Health Services

--- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/12 Adjoins



MAP KI/12 Adjoins

MAP KI/12 Adjoins

MAP KI/14 Adjoins

Land Not Within a Council Area (Coastal Waters)

Strawbridge Point

Buick Point

N





AMERICAN RIVER

Overlay Map KI/27

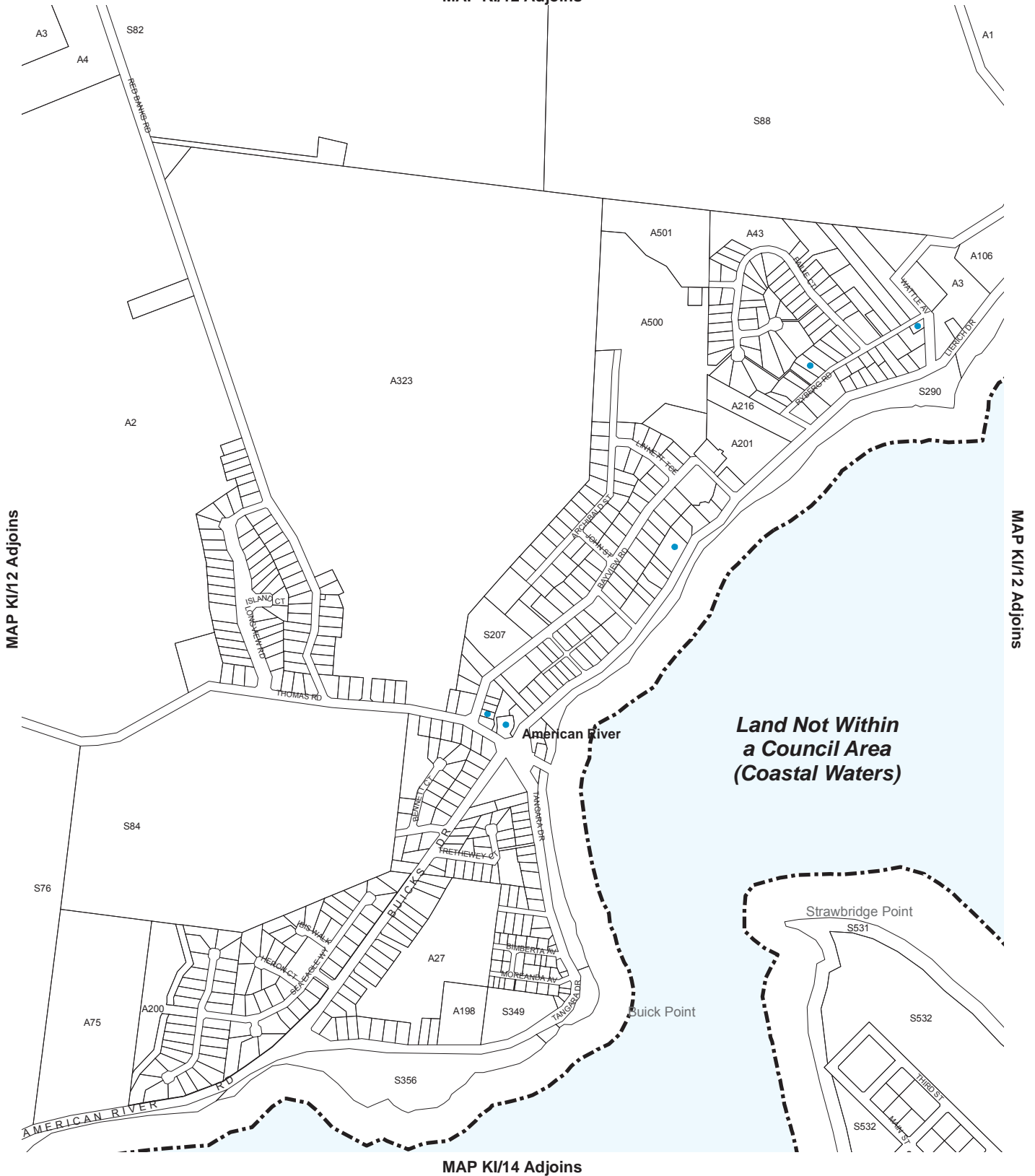
DEVELOPMENT CONSTRAINTS

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

-  Coastal Acid Sulfate Soils
-  Development Plan Boundary

MAP KI/12 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



AMERICAN RIVER

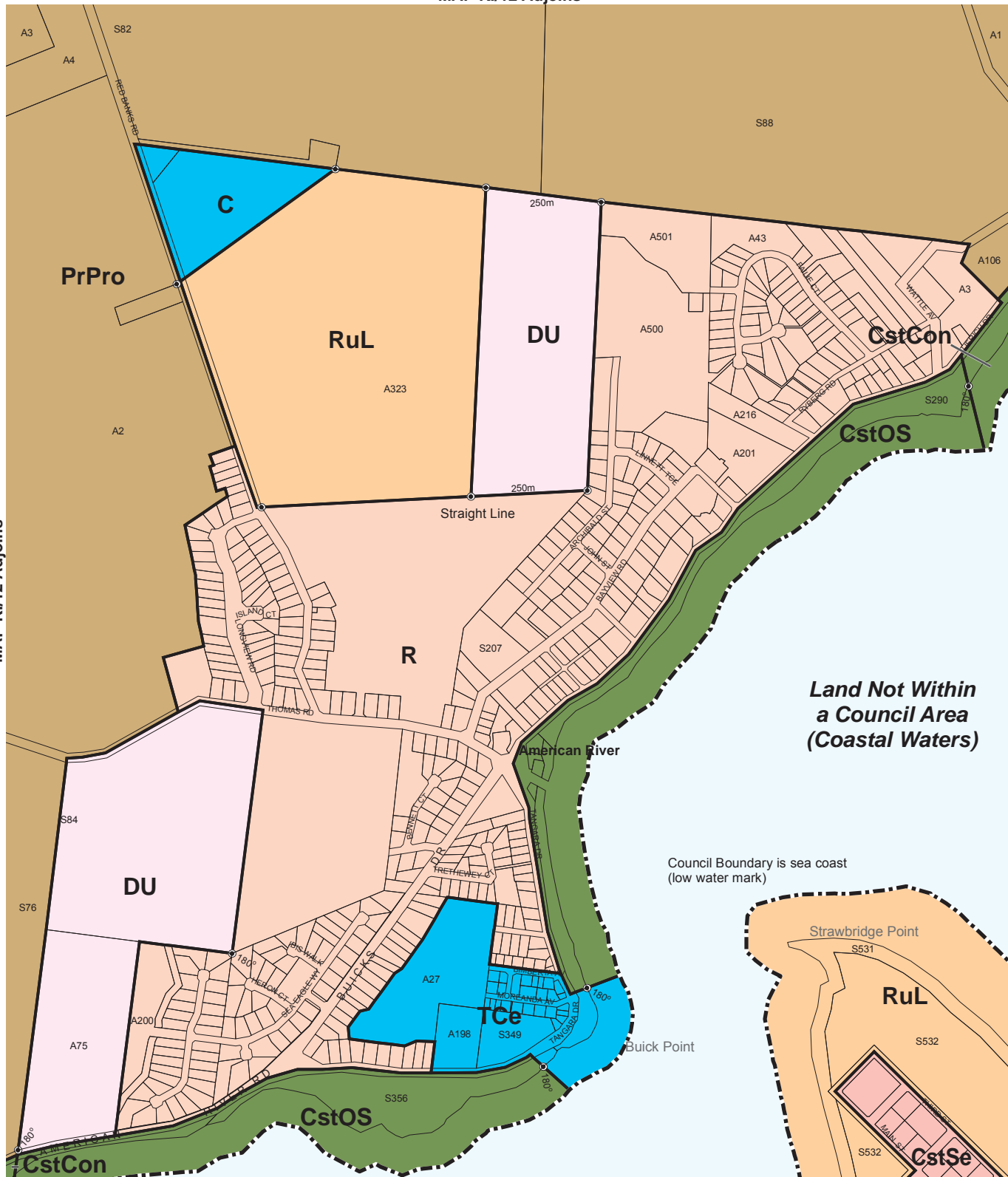
Overlay Map KI/27 HERITAGE

- Local heritage place
- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/12 Adjoins



MAP KI/14 Adjoins

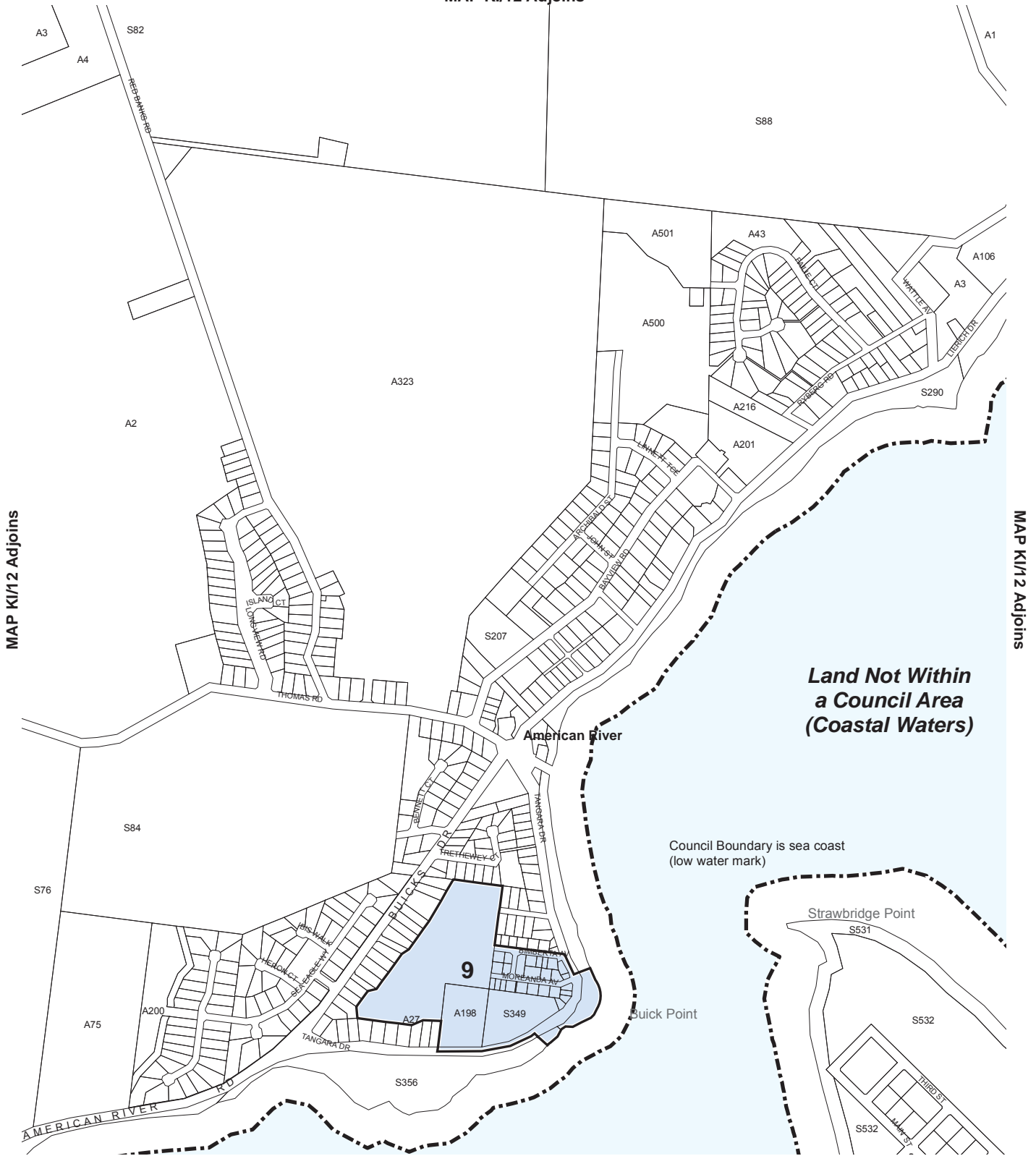
Lamberts Conformal Conic Projection, GDA94

- Zones**
- CstOS Coastal Open Space
 - CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - C Commercial
 - DU Deferred Urban
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - TCe Town Centre
 - Zone Boundary
 - Development Plan Boundary



AMERICAN RIVER
Zone Map KI/27

MAP KI/12 Adjoins



MAP KI/12 Adjoins

MAP KI/12 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)

MAP KI/14 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
9 American River

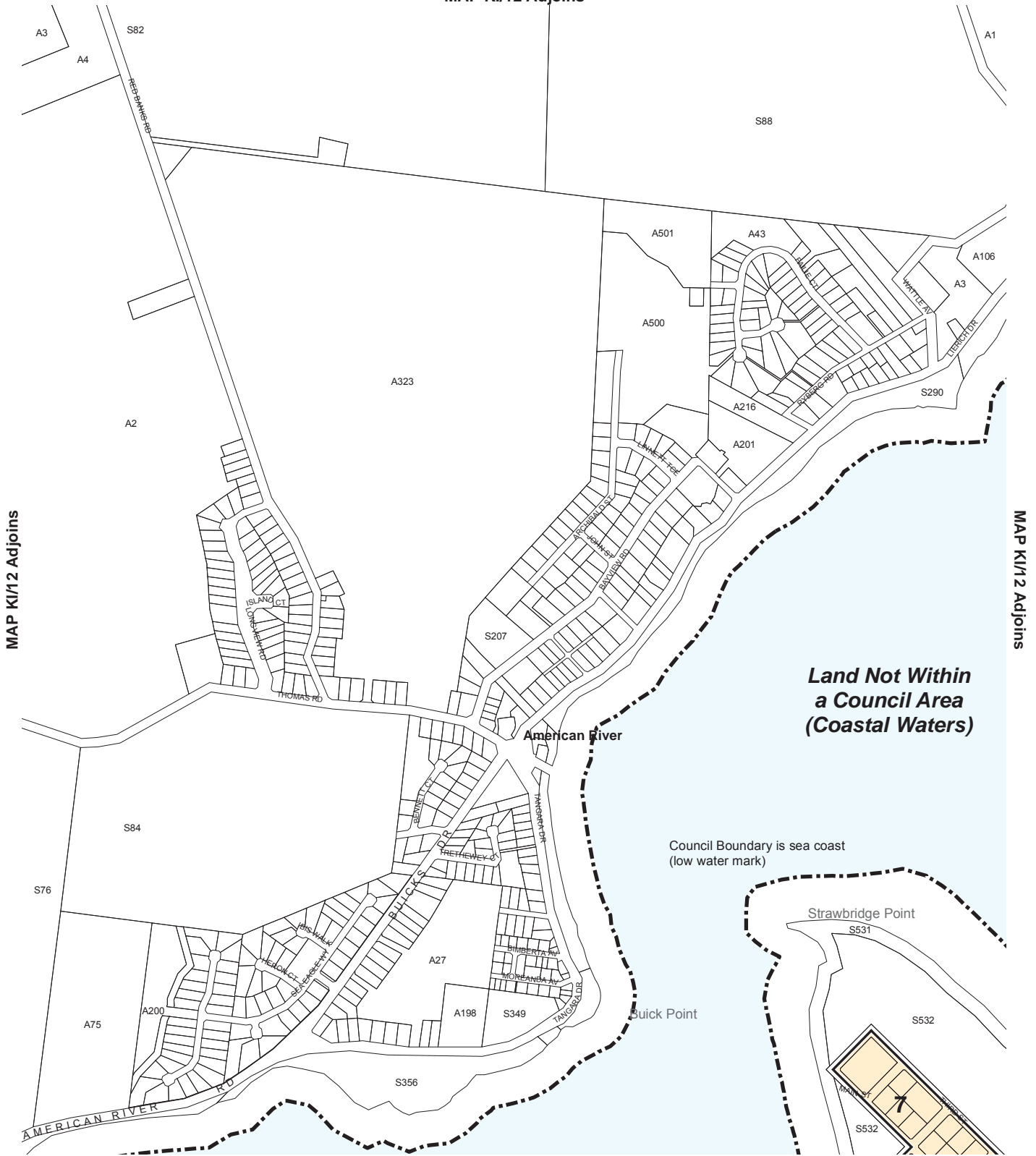


AMERICAN RIVER

Policy Area Map KI/27

- Policy Area Boundary
- Development Plan Boundary

MAP KI/12 Adjoins



MAP KI/14 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
7 Saphiretown



AMERICAN RIVER

Precinct Map KI/27

- Precinct Boundary
- Development Plan Boundary

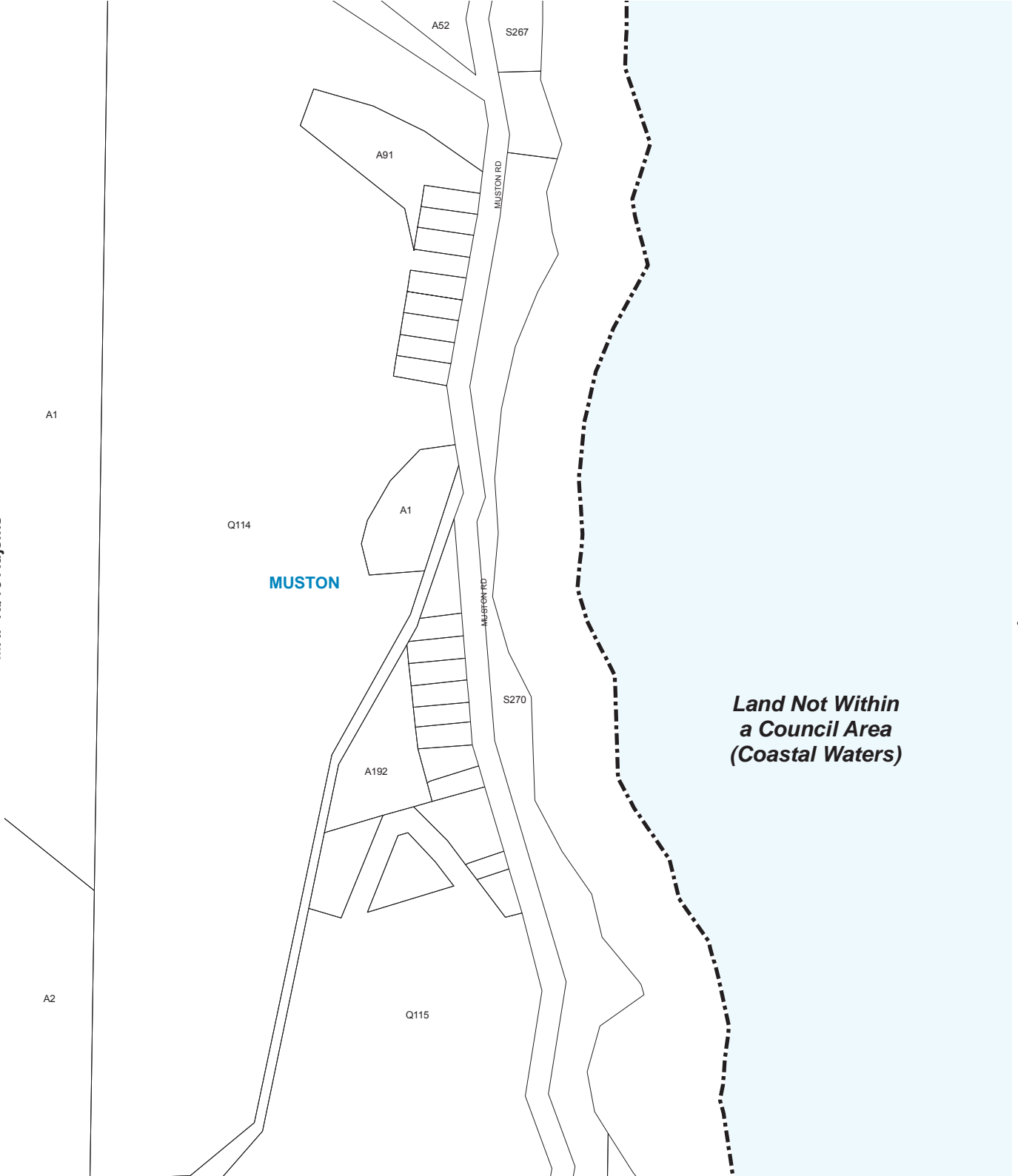
MAP KI/13 Adjoins

MAP KI/13 Adjoins

MAP KI/13 Adjoins

MAP KI/13 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*



MUSTON

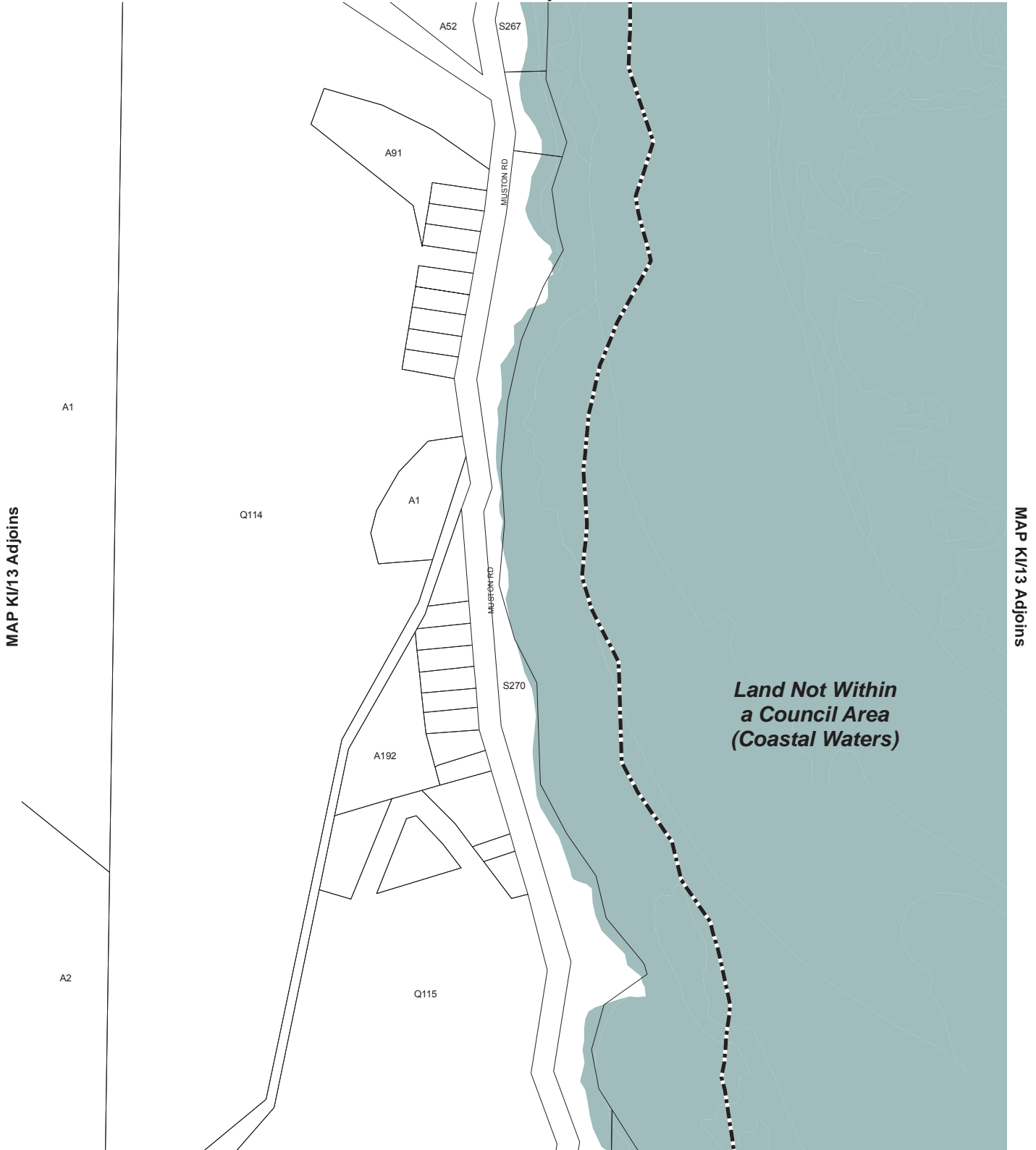
Location Map KI/28

----- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

MAP KI/13 Adjoins



MAP KI/13 Adjoins



MUSTON

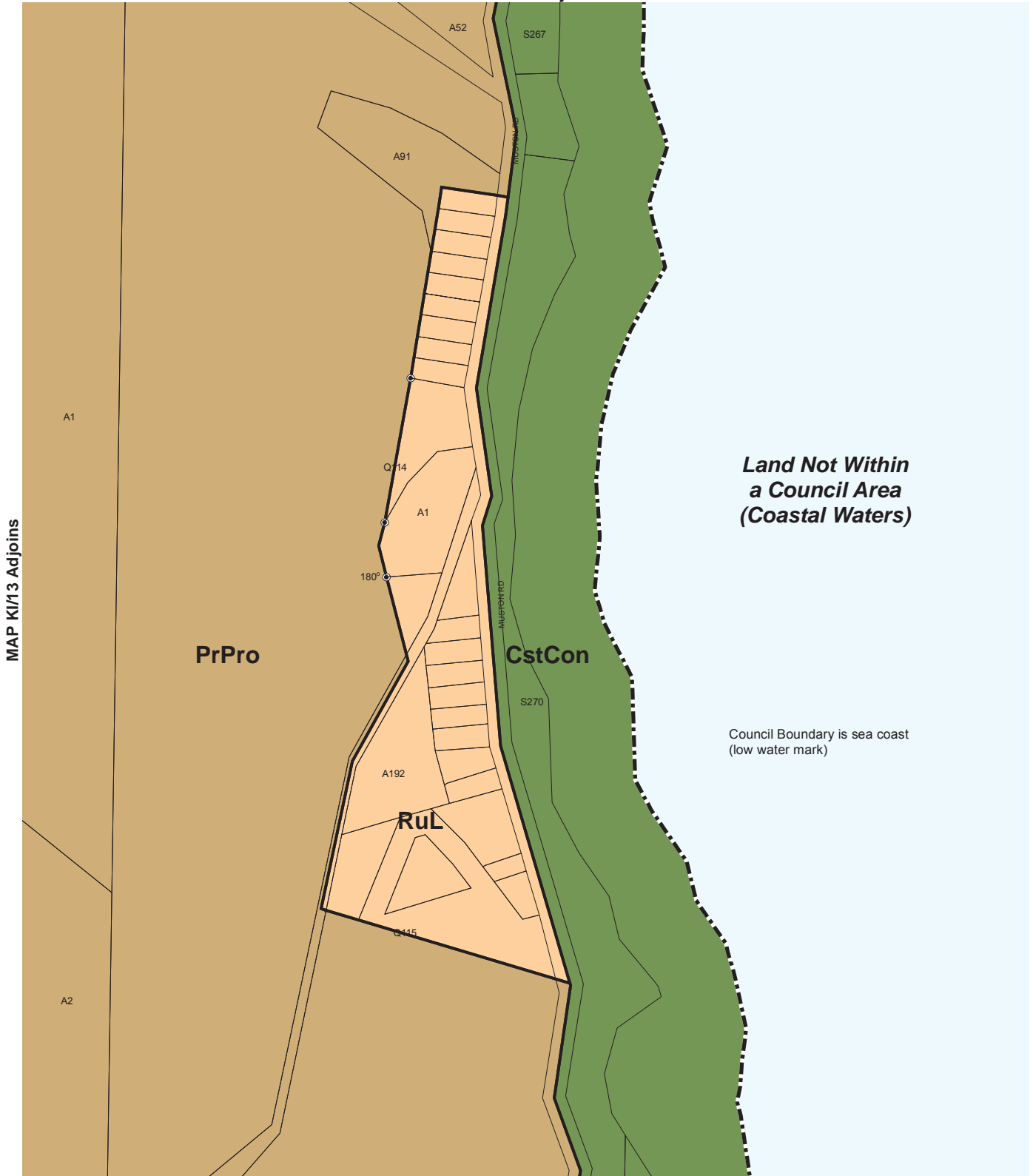
Overlay Map KI/28 DEVELOPMENT CONSTRAINTS

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

- Coastal Acid Sulfate Soils
- Development Plan Boundary

MAP KI/13 Adjoins



MAP KI/13 Adjoins

Lamberts Conformal Conic Projection, GDA94

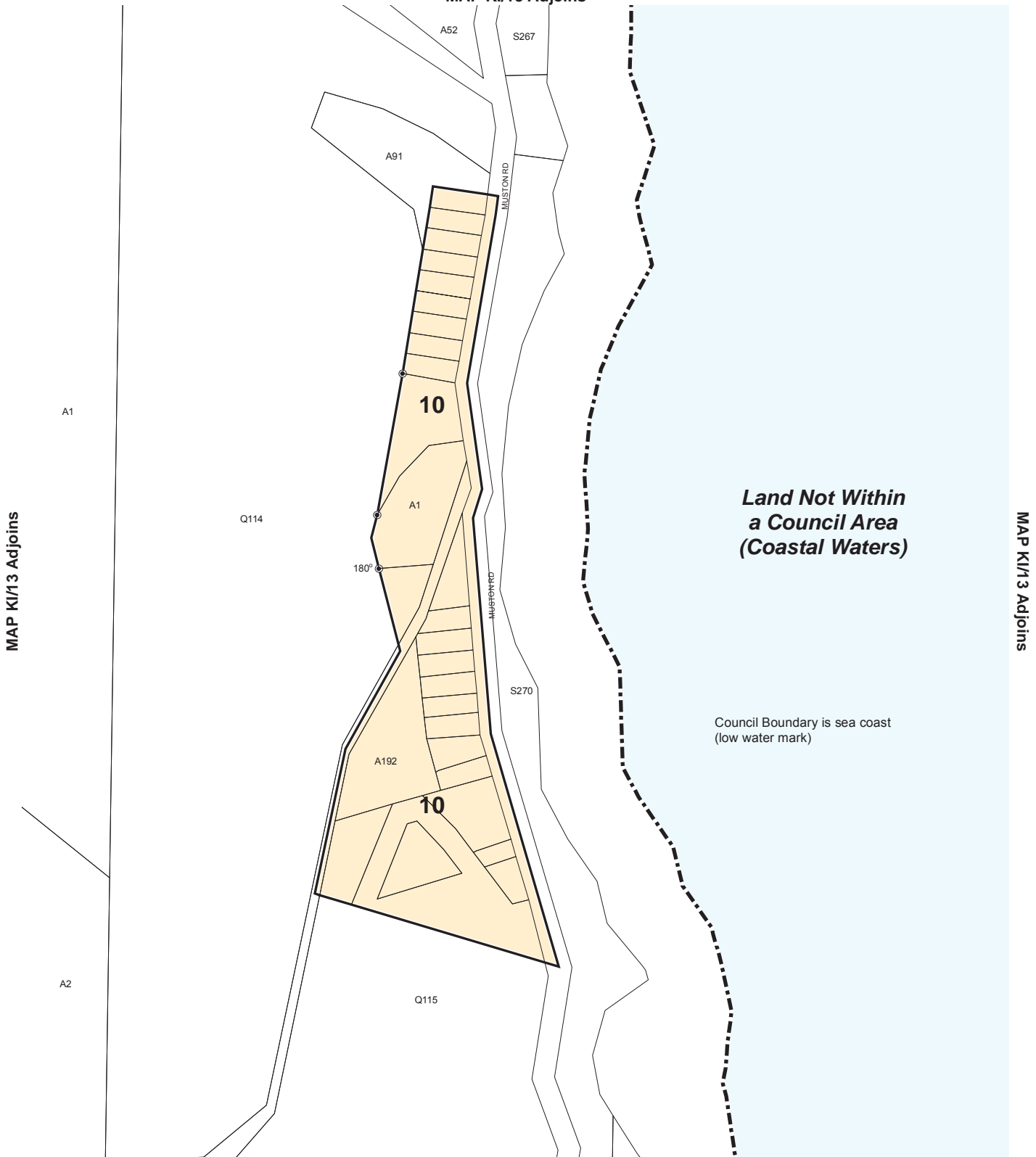


MUSTON

Zone Map KI/28

- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

MAP KI/13 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

Council Boundary is sea coast
(low water mark)

MAP KI/13 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
10 Muston



MUSTON

Precinct Map KI/28

-  Precinct Boundary
-  Development Plan Boundary



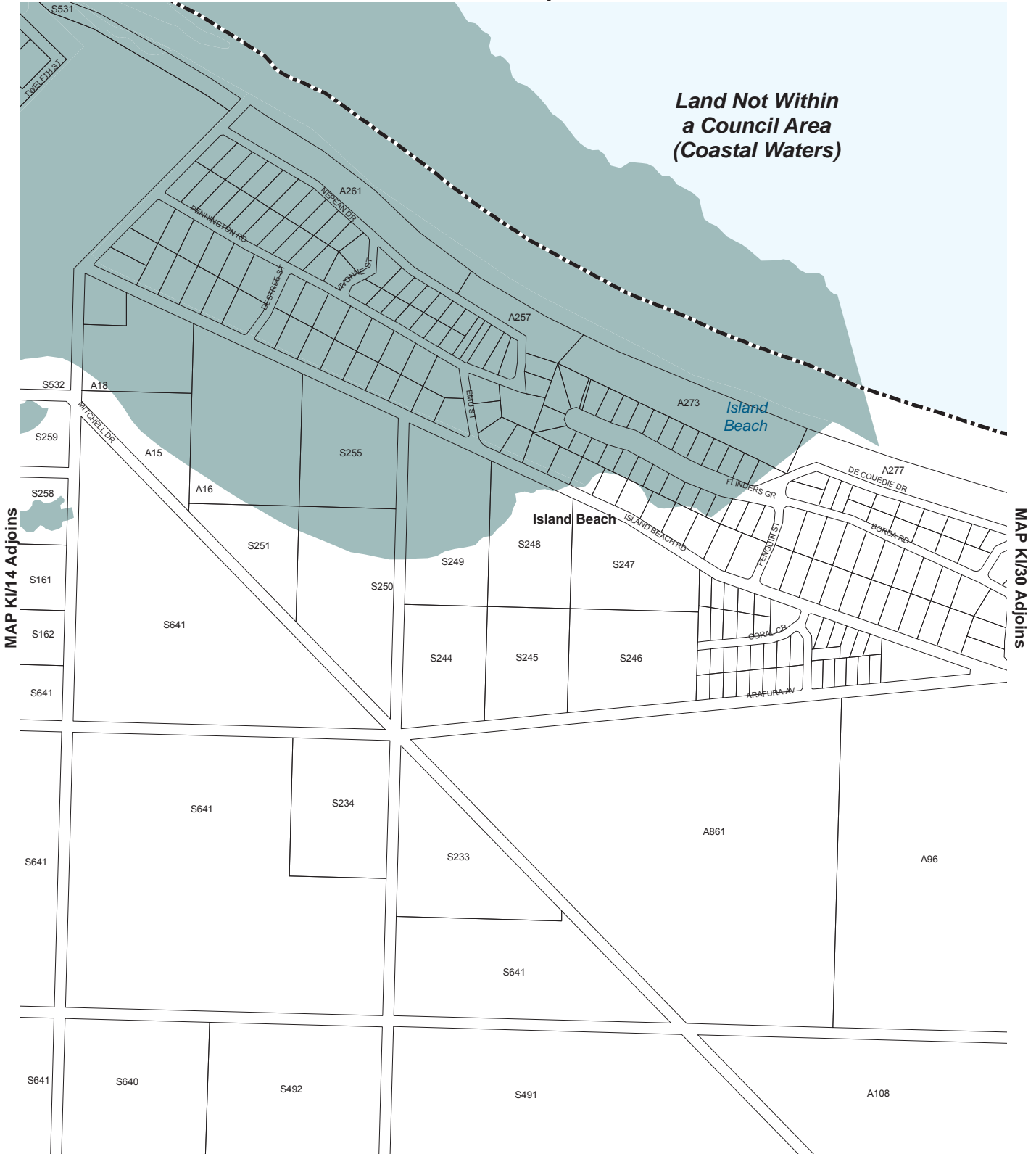
ISLAND BEACH

Location Map KI/29

- Conservation Park
- Development Plan Boundary

MAP KI/14 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



MAP KI/14 Adjoins



ISLAND BEACH

Overlay Map KI/29 DEVELOPMENT CONSTRAINTS

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

- Coastal Acid Sulfate Soils
- Development Plan Boundary

MAP KI/14 Adjoins



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Items please refer to the relevant tables within this document.



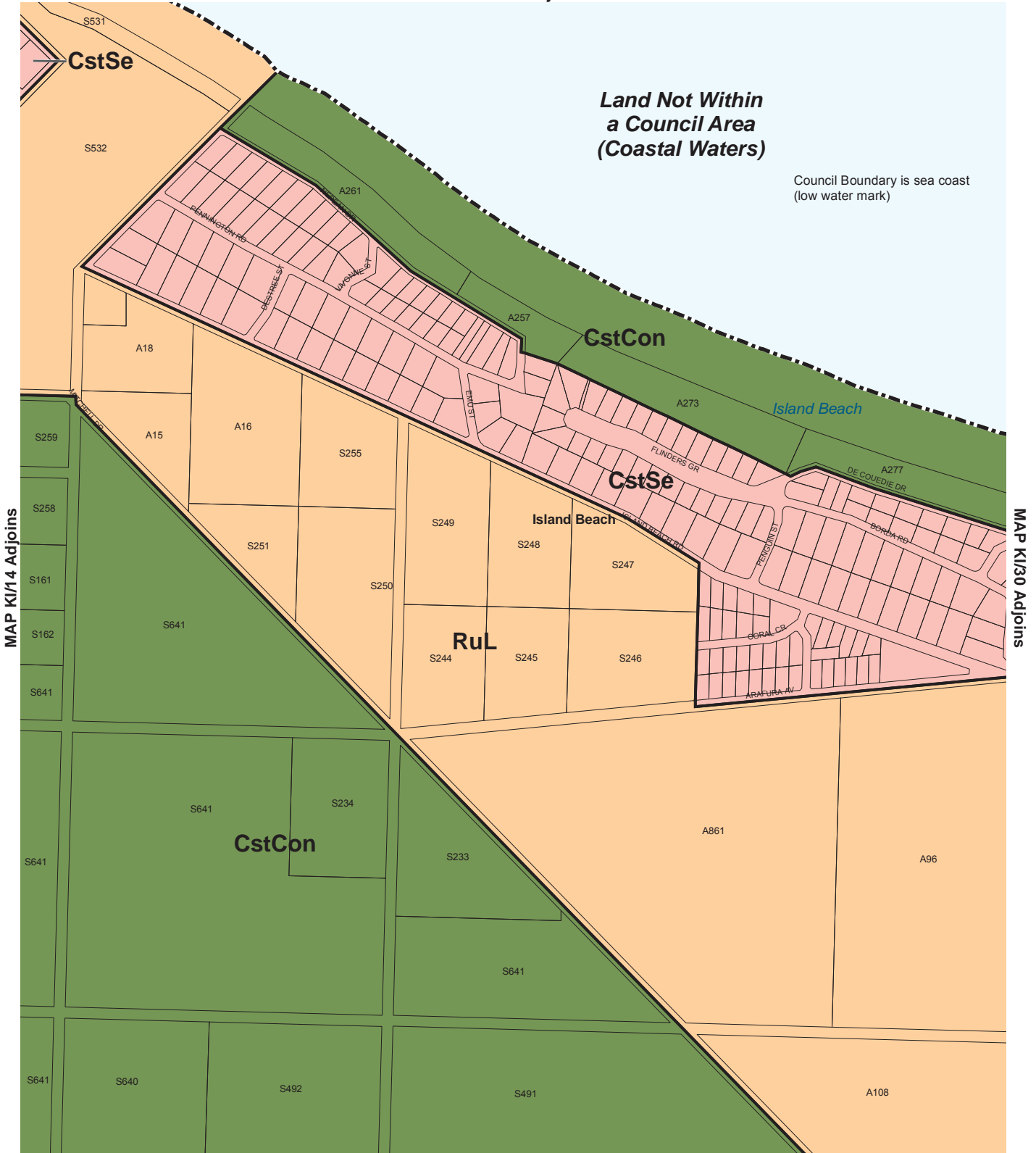
ISLAND BEACH

Overlay Map KI/29 HERITAGE

KANGAROO ISLAND COUNCIL
Consolidated - 17 September 2015

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP KI/14 Adjoins



MAP KI/14 Adjoins

Lamberts Conformal Conic Projection, GDA94



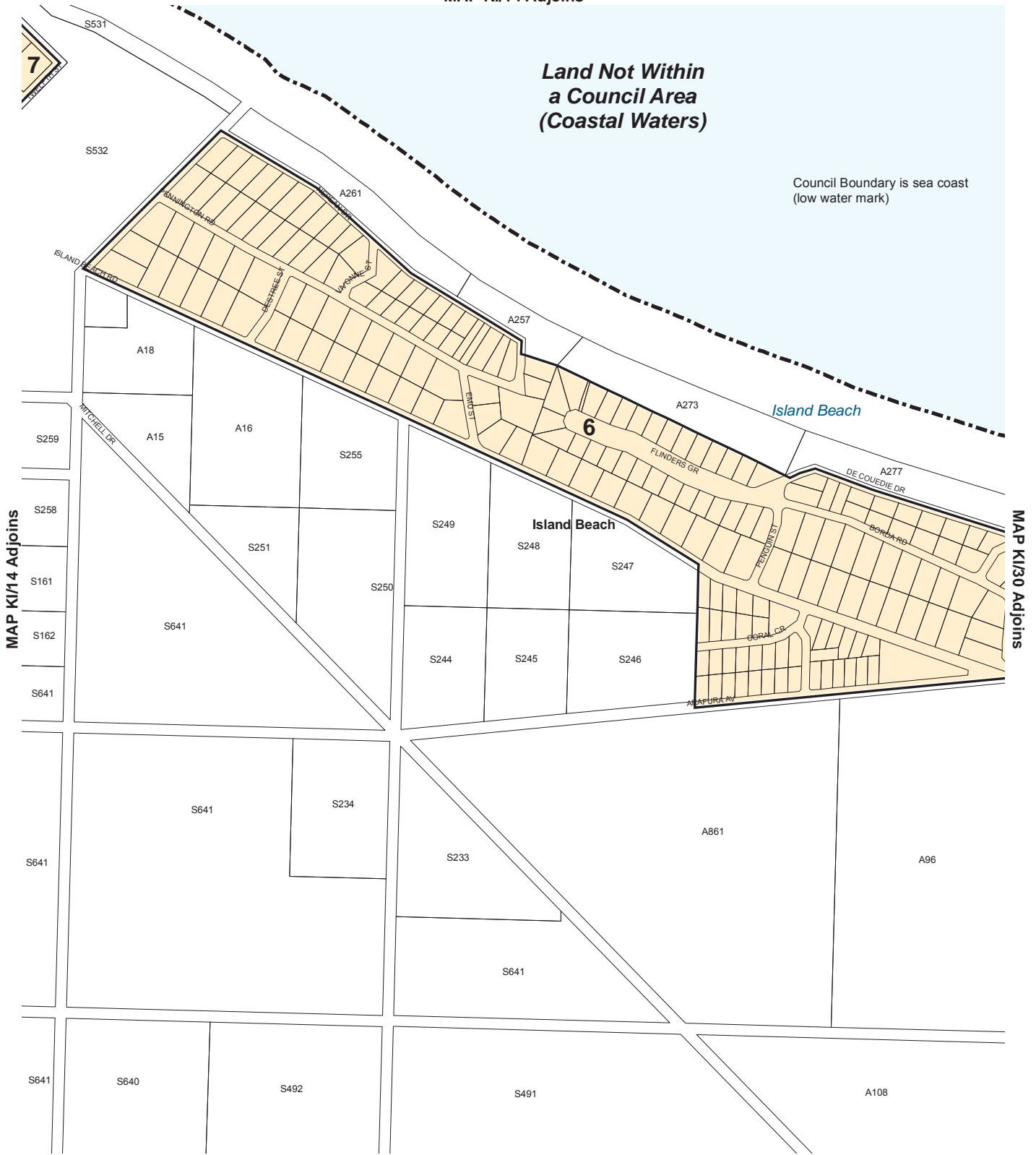
ISLAND BEACH

Zone Map KI/29

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

Council Boundary is sea coast
(low water mark)



MAP KI/14 Adjoins

MAP KI/30 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct

- 6 Island Beach
- 7 Sapphiretown

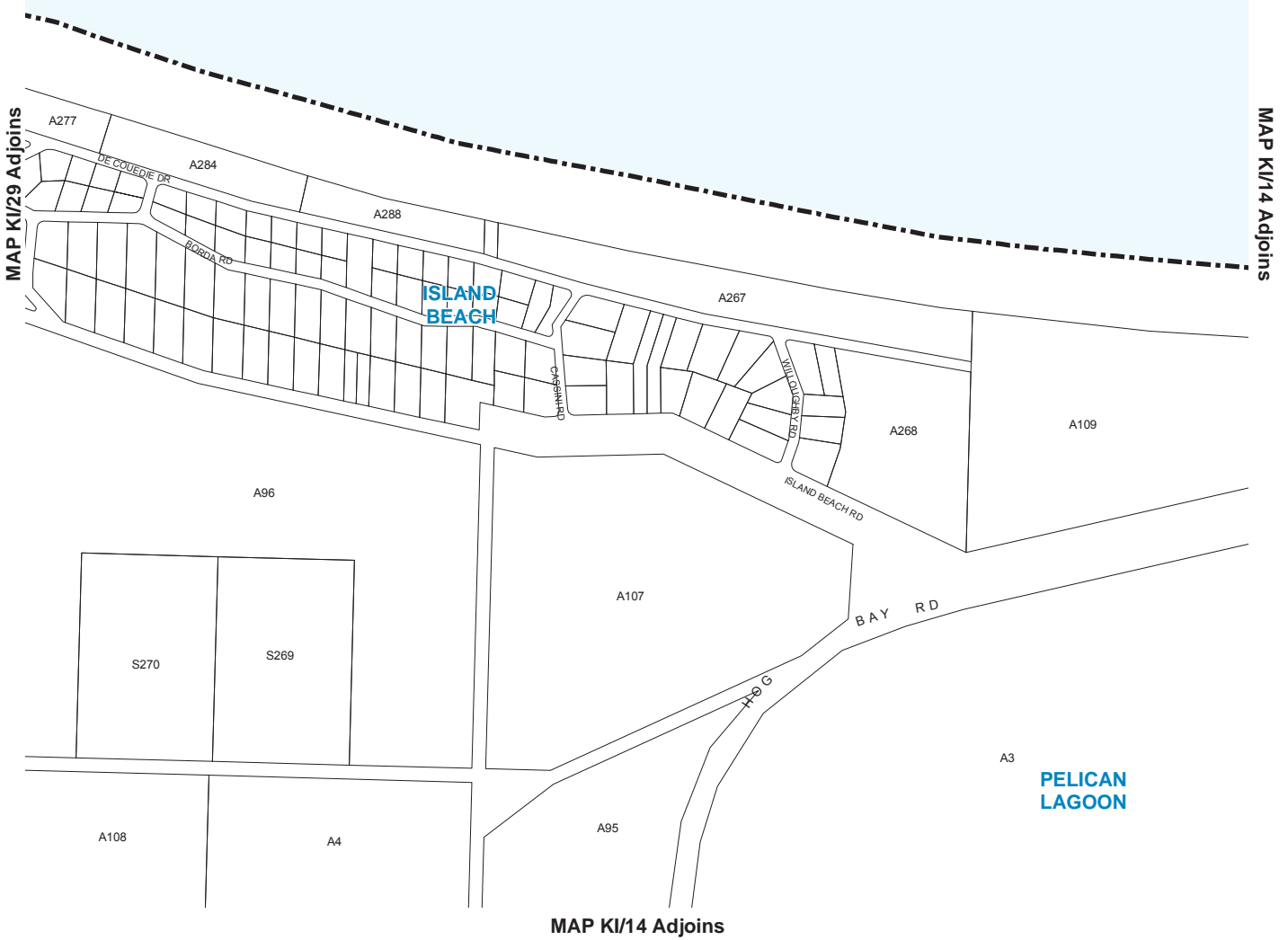


ISLAND BEACH

Precinct Map KI/29

- Precinct Boundary
- Development Plan Boundary

*Land Not Within
a Council Area
(Coastal Waters)*



ISLAND BEACH

Location Map KI/30

----- Development Plan Boundary

*Land Not Within
a Council Area
(Coastal Waters)*





ISLAND BEACH

Overlay Map KI/30 TRANSPORT

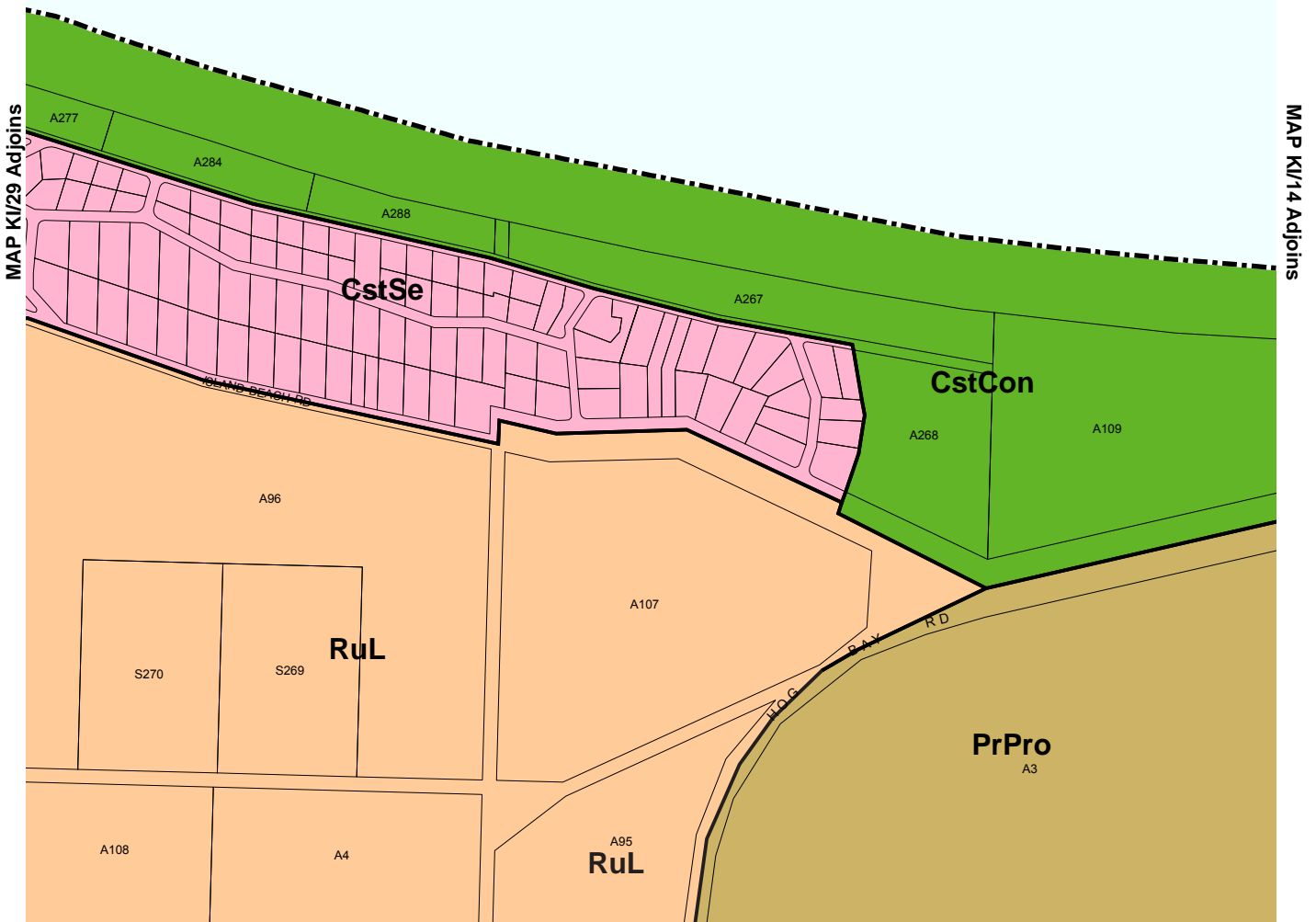
KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP KI/14 Adjoins

Council Boundary is sea coast
(low water mark)



MAP KI/14 Adjoins

Lamberts Conformal Conic Projection, GDA94



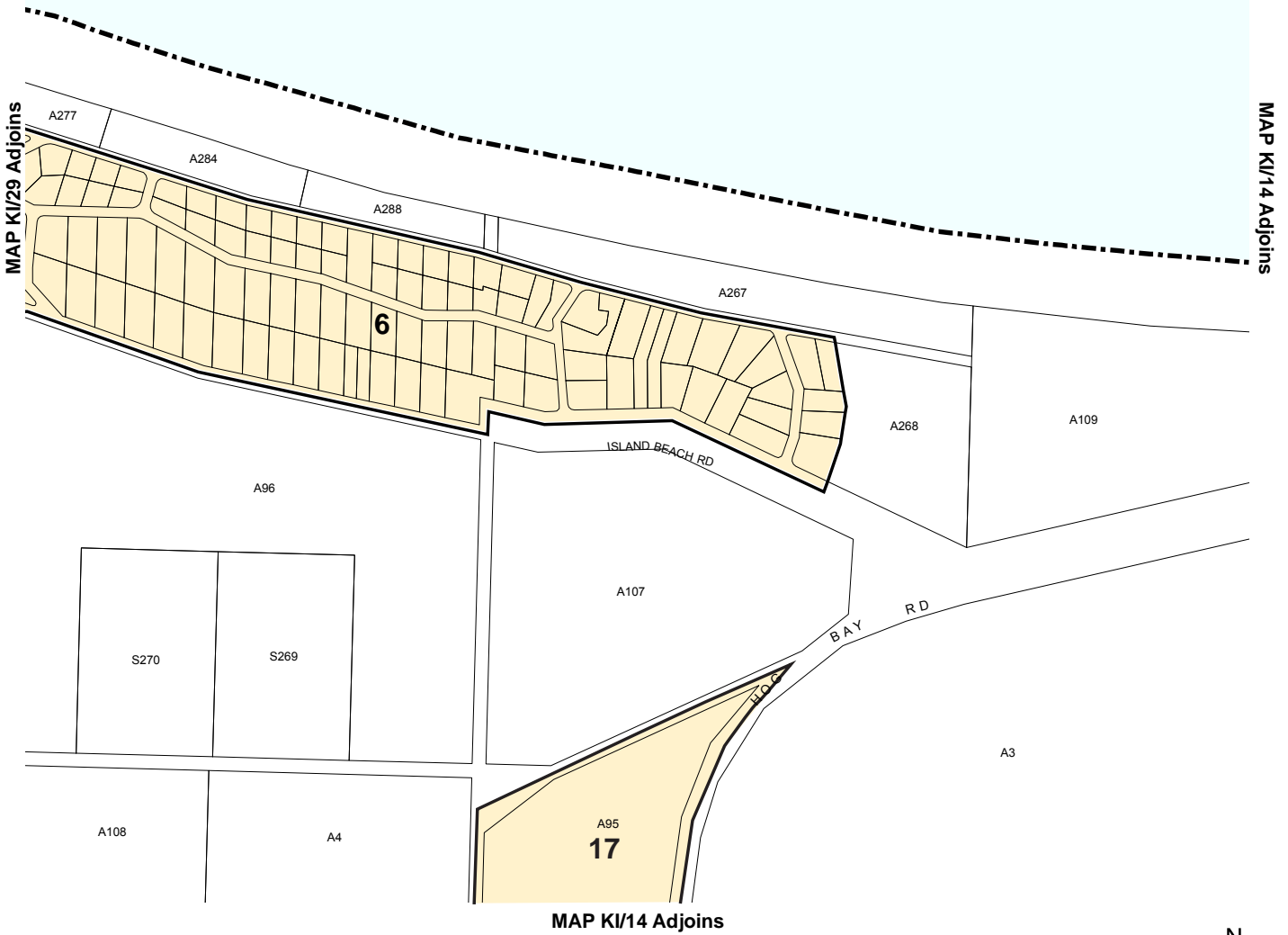
ISLAND BEACH

Zone Map KI/30

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

MAP KI/14 Adjoins

Council Boundary is sea coast
(low water mark)



Lamberts Conformal Conic Projection, GDA94

Precinct

- 6 Island Beach
- 17 Pelican Lagoon North



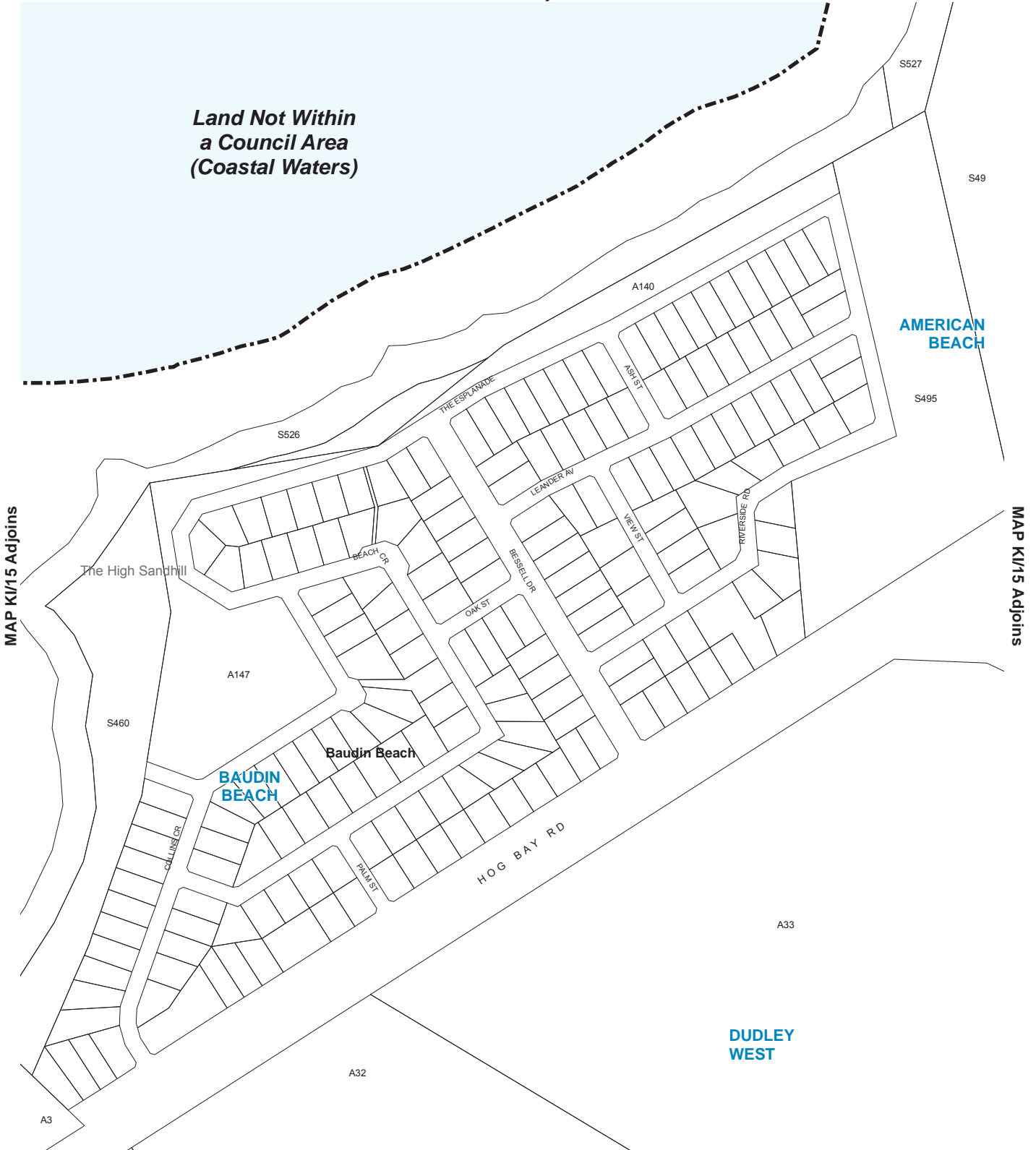
ISLAND BEACH

Precinct Map KI/30

- Precinct Boundary
- Development Plan Boundary

MAP KI/15 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



MAP KI/15 Adjoins

MAP KI/15 Adjoins

MAP KI/15 Adjoins



BAUDIN BEACH

Location Map KI/31

----- Development Plan Boundary

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

Land Not Within
a Council Area
(Coastal Waters)





BAUDIN BEACH

Overlay Map KI/31 TRANSPORT

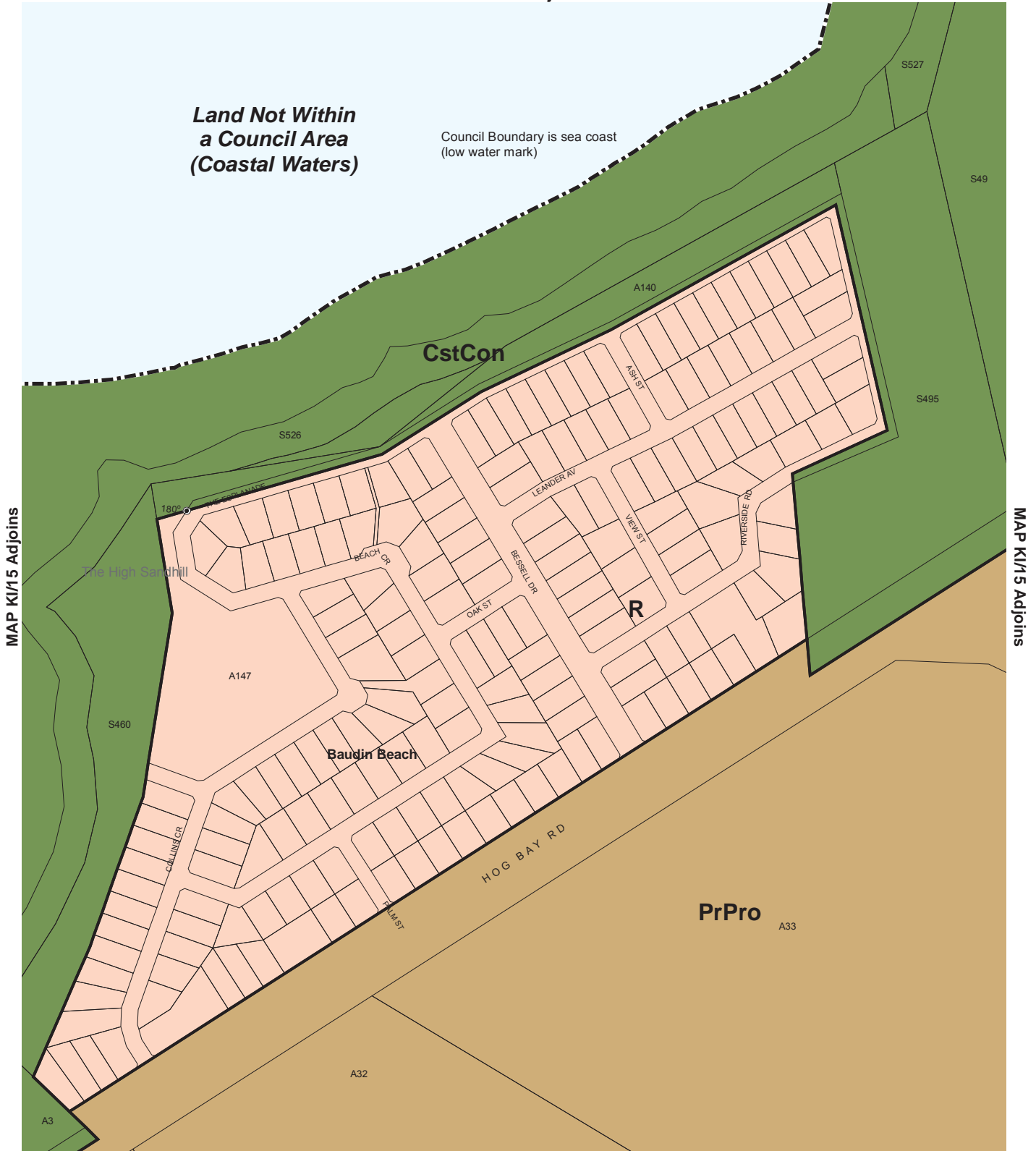
KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

-  Secondary Arterial Roads
-  Development Plan Boundary

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)



Lamberts Conformal Conic Projection, GDA94

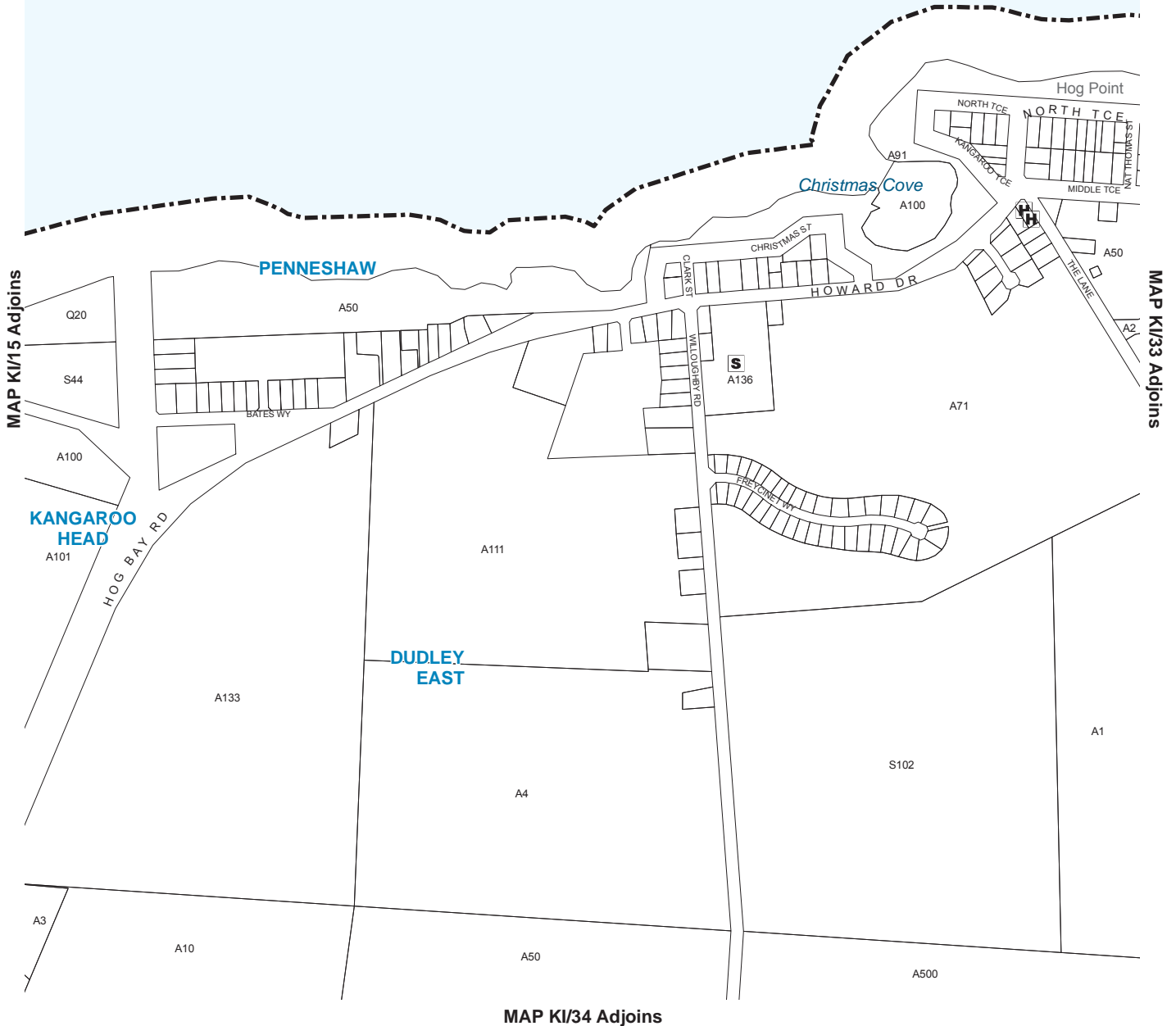


BAUDIN BEACH

Zone Map KI/31

- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - R Residential
 - Zone Boundary
 - Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



PENNESHAW

Location Map KI/32

- S** School
- H** Other Health Services

----- Development Plan Boundary

KANGAROO ISLAND COUNCIL

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Land Not Within
a Council Area
(Coastal Waters)





PENNESHAW

Overlay Map KI/32 TRANSPORT

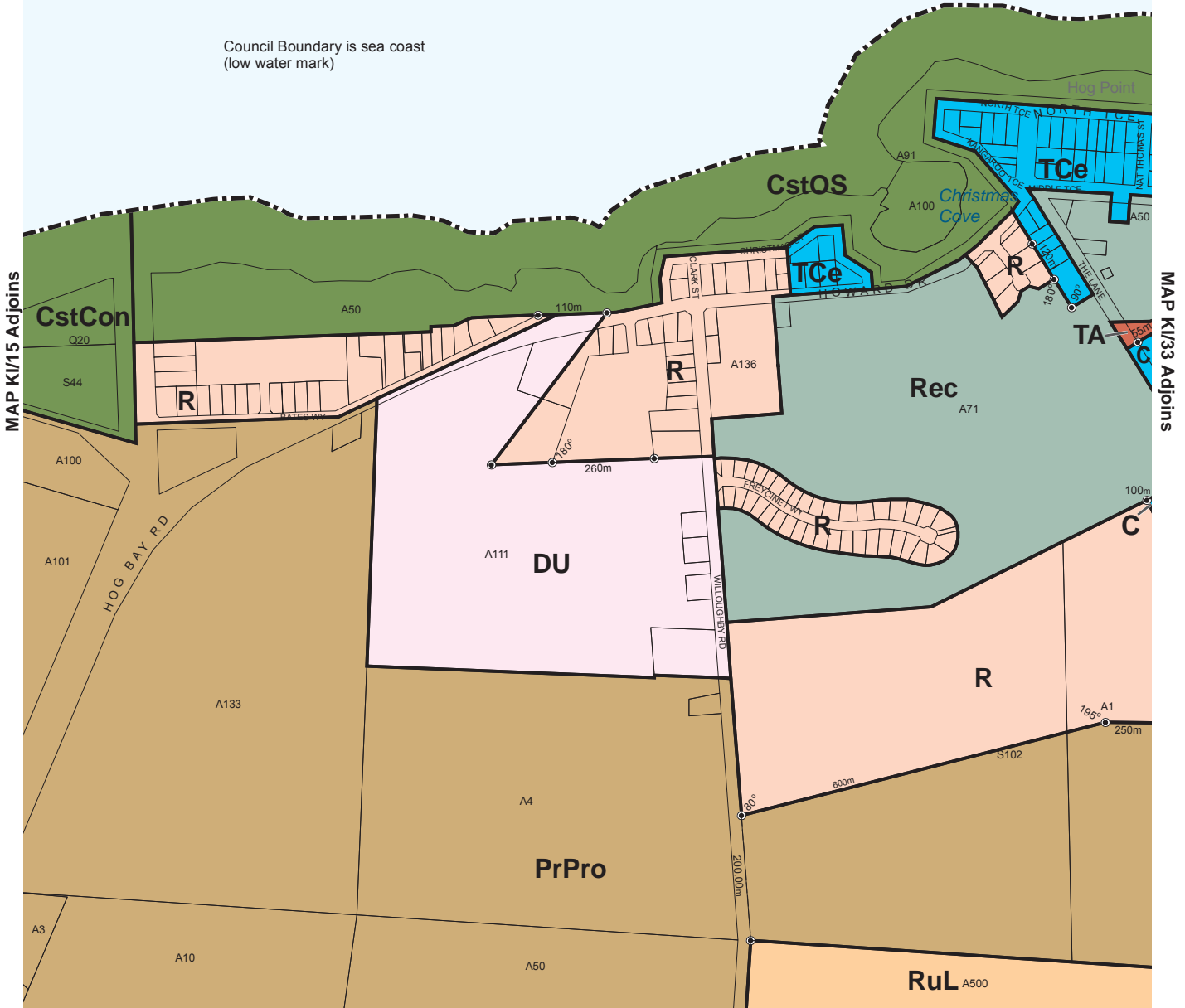
KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP KI/15 Adjoins

Council Boundary is sea coast
(low water mark)



MAP KI/34 Adjoins

Lamberts Conformal Conic Projection, GDA94



Zones		Zones	
 CstOS	Coastal Open Space	 Rec	Recreation
 CstCon	Coastal Conservation	 R	Residential
 C	Commercial	 RuL	Rural Living
 DU	Deferred Urban	 TA	Tourist Accommodation
 PrPro	Primary Production	 TCe	Town Centre
			Zone Boundary
			Development Plan Boundary

PENNESHAW

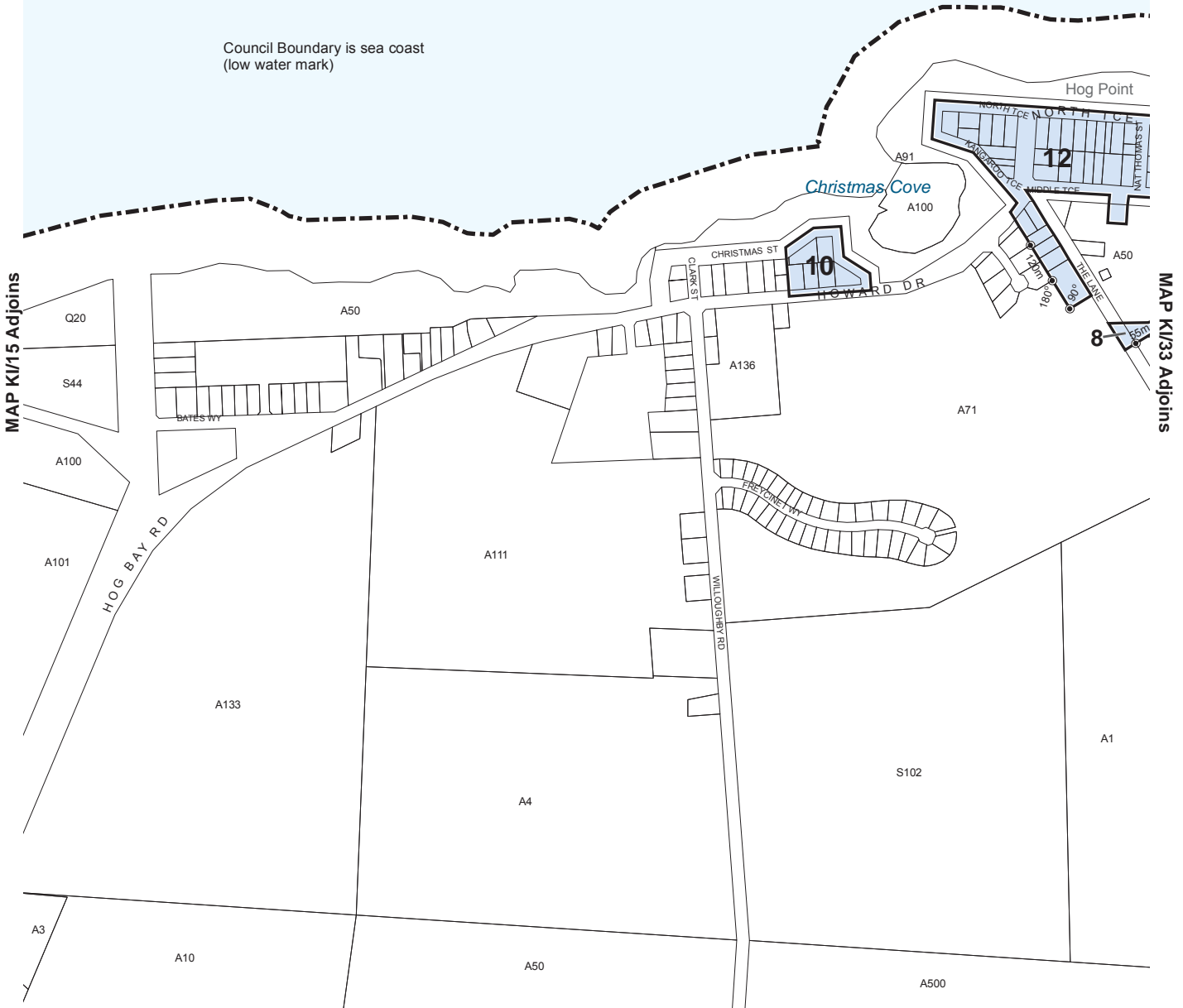
Zone Map KI/32

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
 10 Christmas Cove
 12 Penneshaw
 8 Visitor



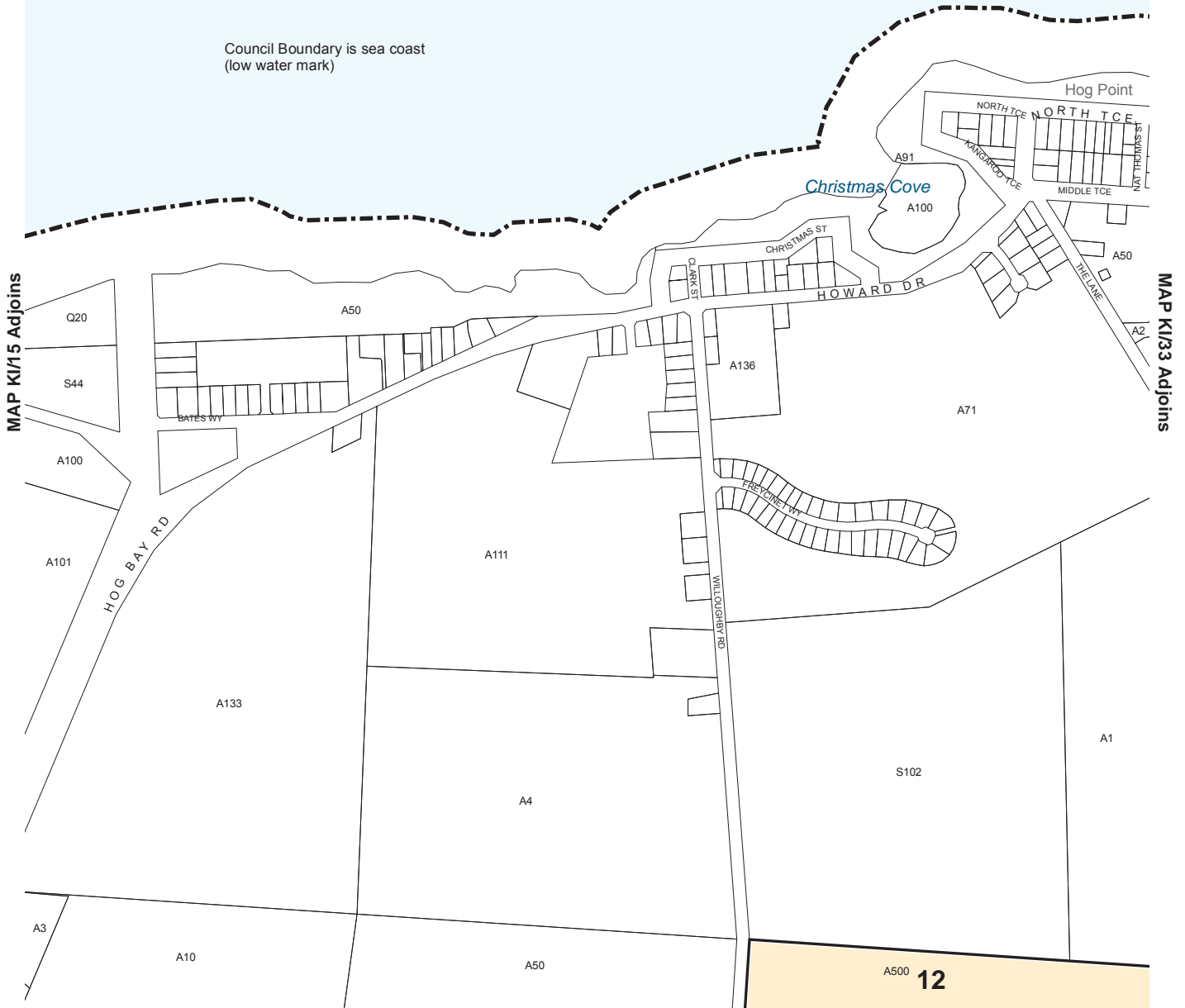
PENNESSHAW

Policy Area Map KI/32

- Policy Area Boundary
- Development Plan Boundary

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)



MAP KI/15 Adjoins

MAP KI/33 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
12 Penneshaw

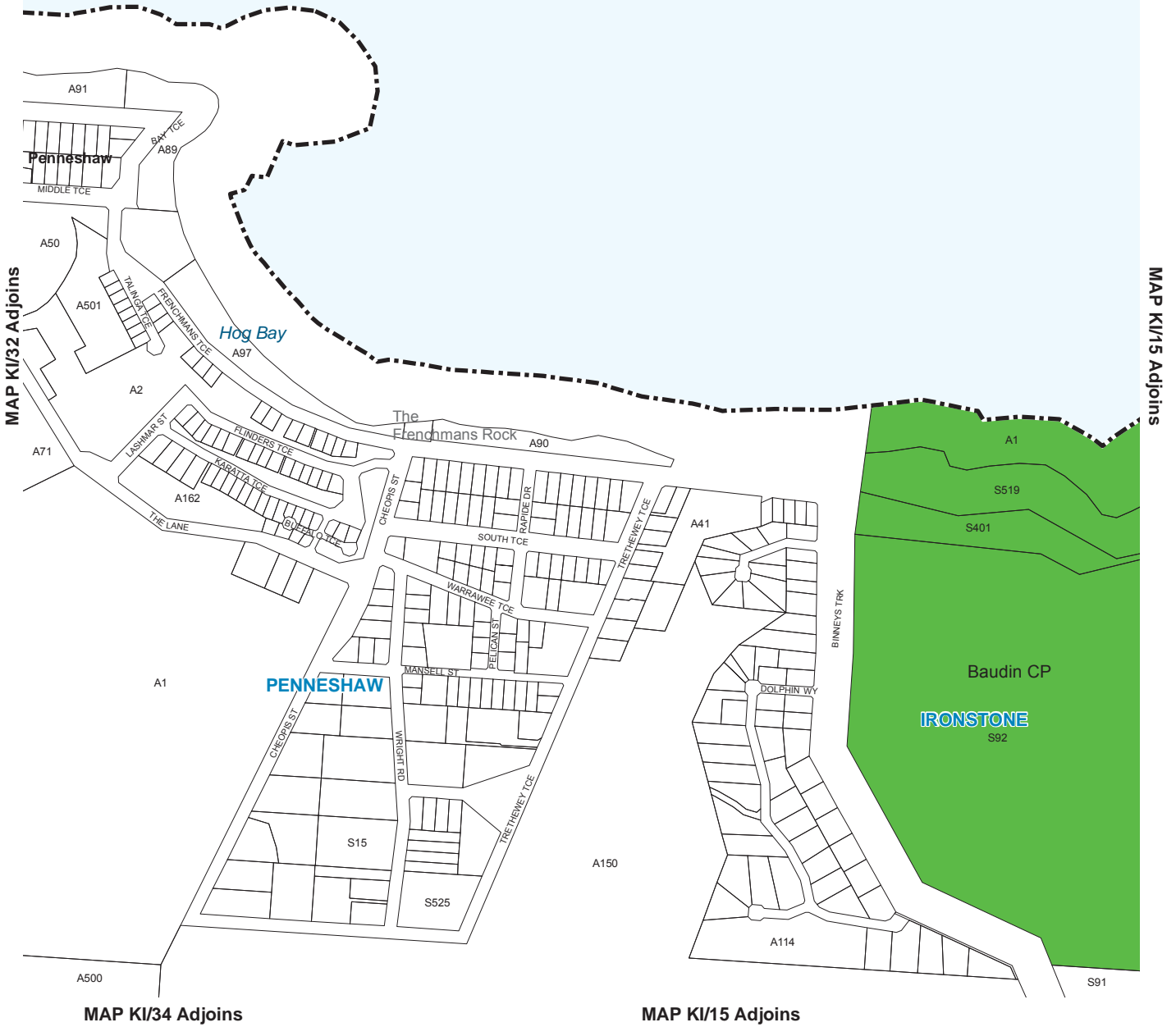


PENNESHAW

Precinct Map KI/32

- Precinct Boundary
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

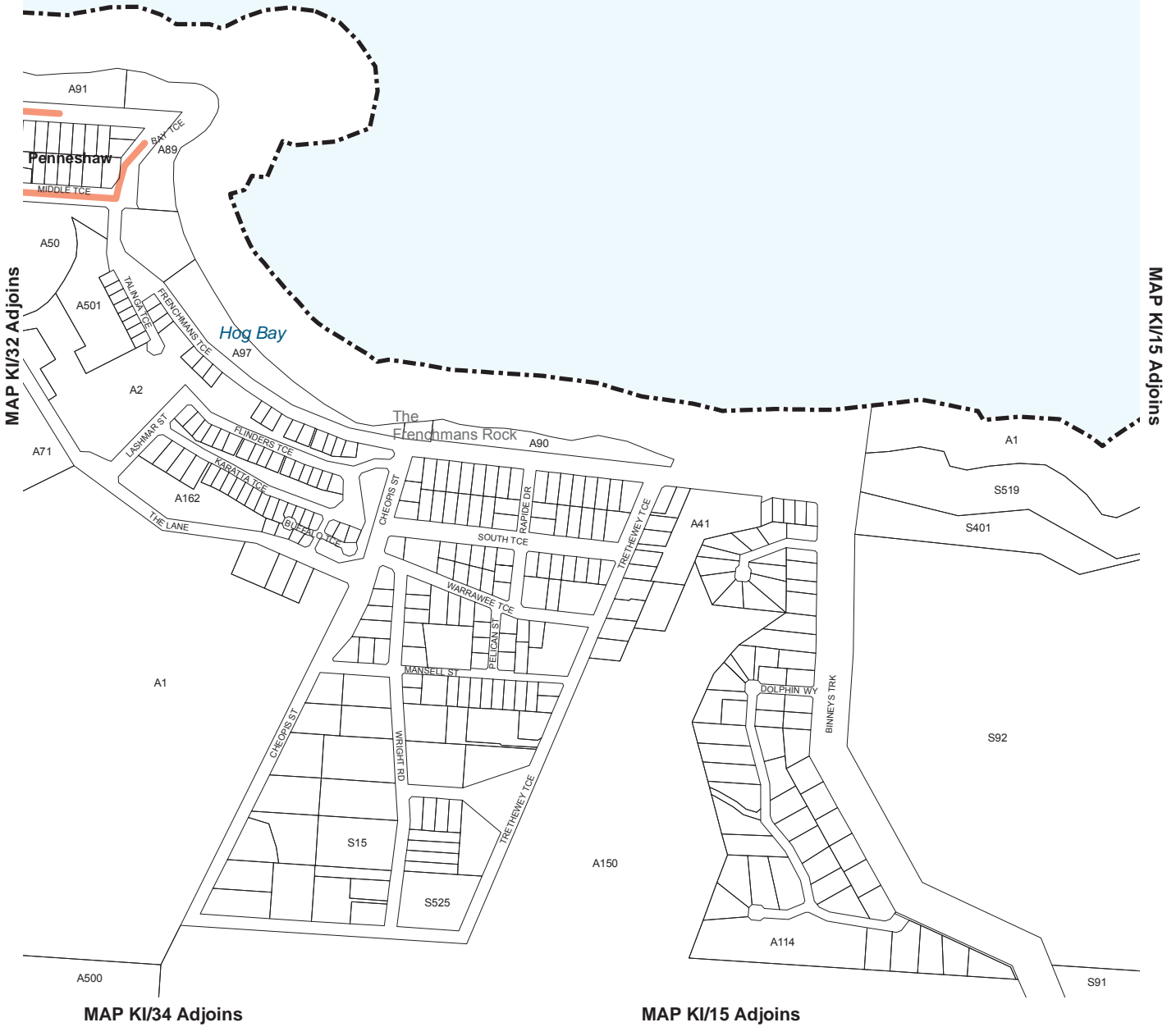


PENNESHAW

Location Map KI/33

- Conservation Park
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



- Secondary Arterial Roads
- - - - - Development Plan Boundary



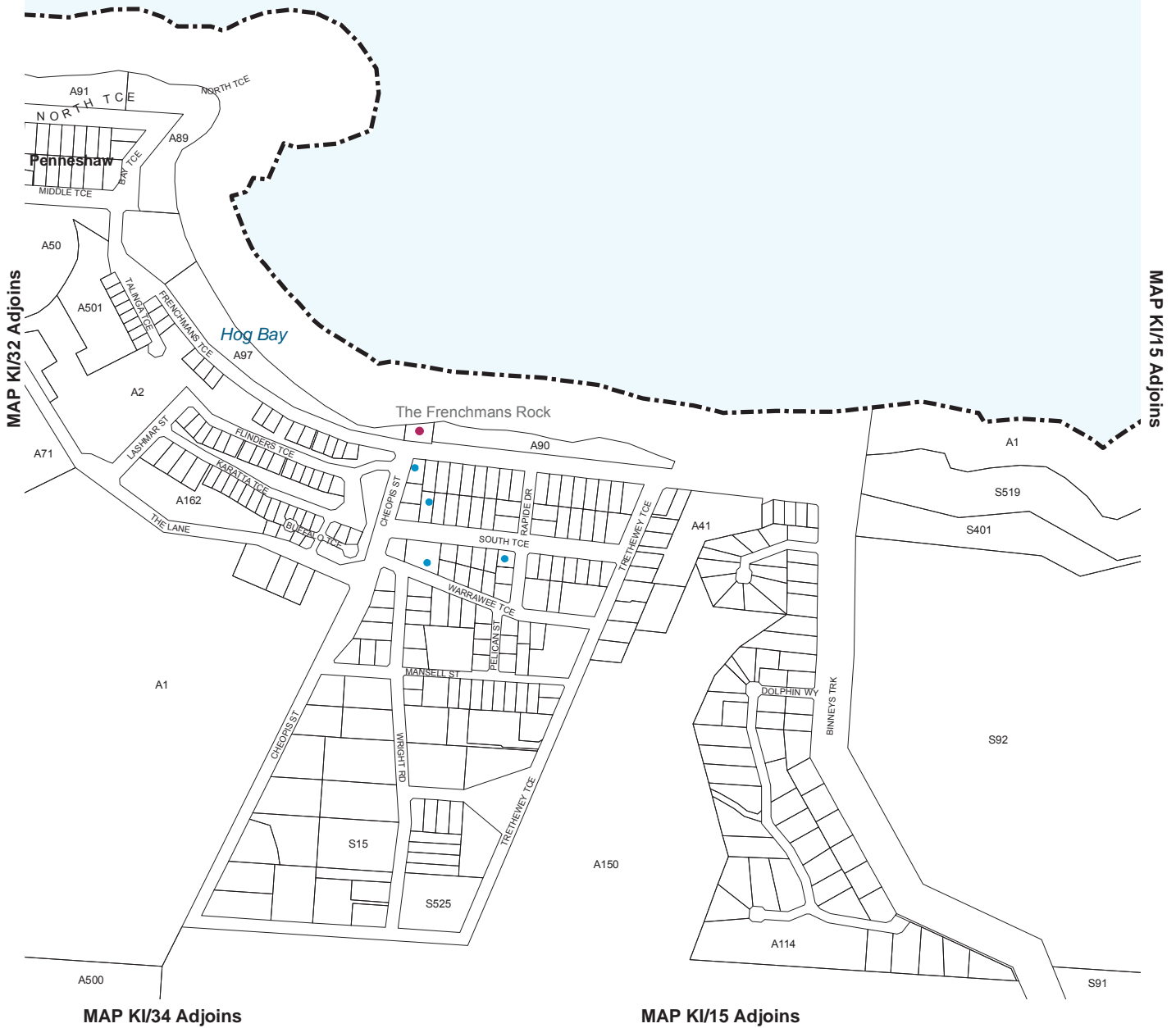
PENNESHAW

Overlay Map KI/33 TRANSPORT

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*Land Not Within
a Council Area
(Coastal Waters)*



Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



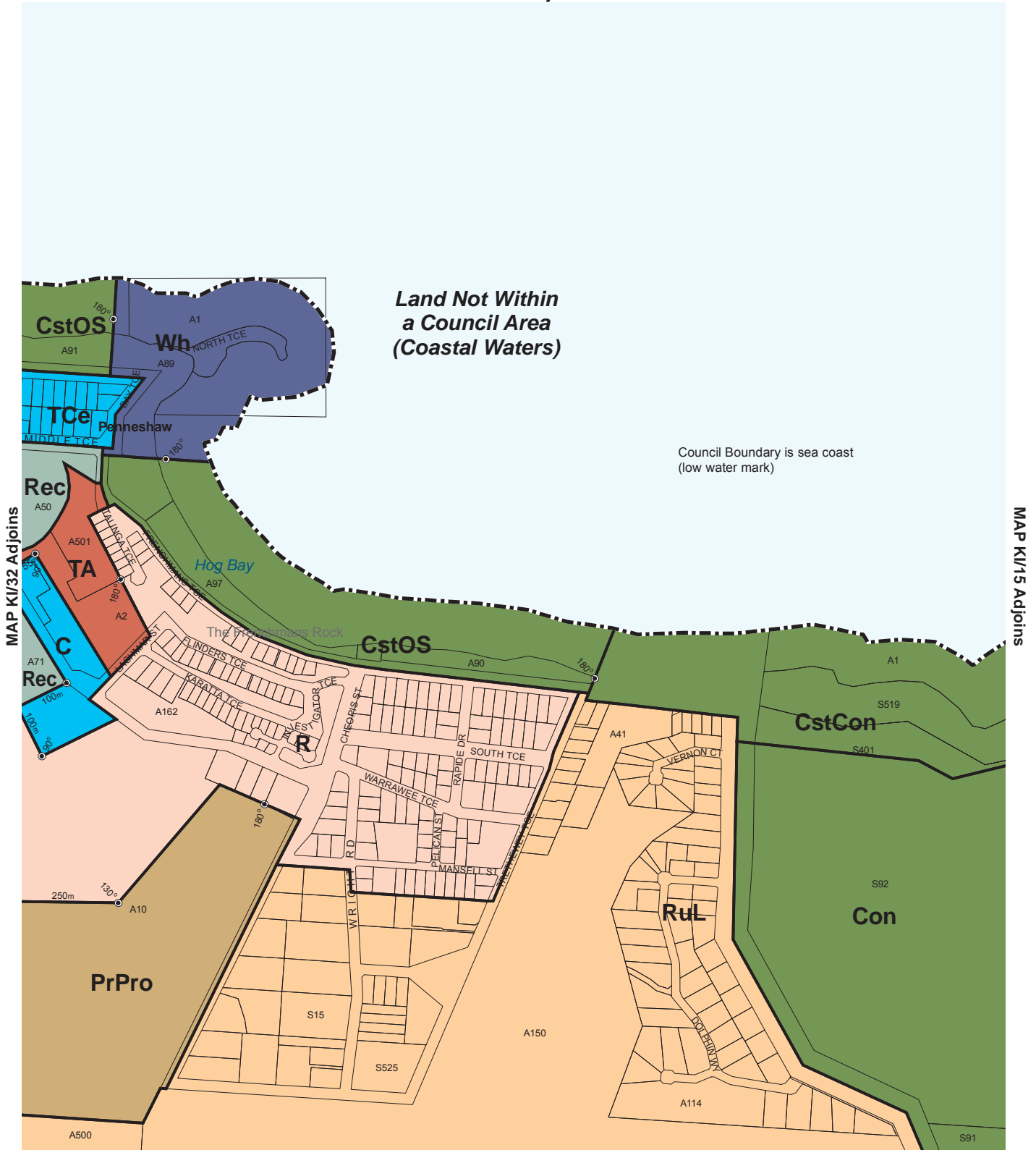
PENNESHAW

Overlay Map KI/33 HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

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Land Not Within
a Council Area
(Coastal Waters)

Council Boundary is sea coast
(low water mark)

MAP KI/34 Adjoins

MAP KI/15 Adjoins

Lamberts Conformal Conic Projection, GDA94



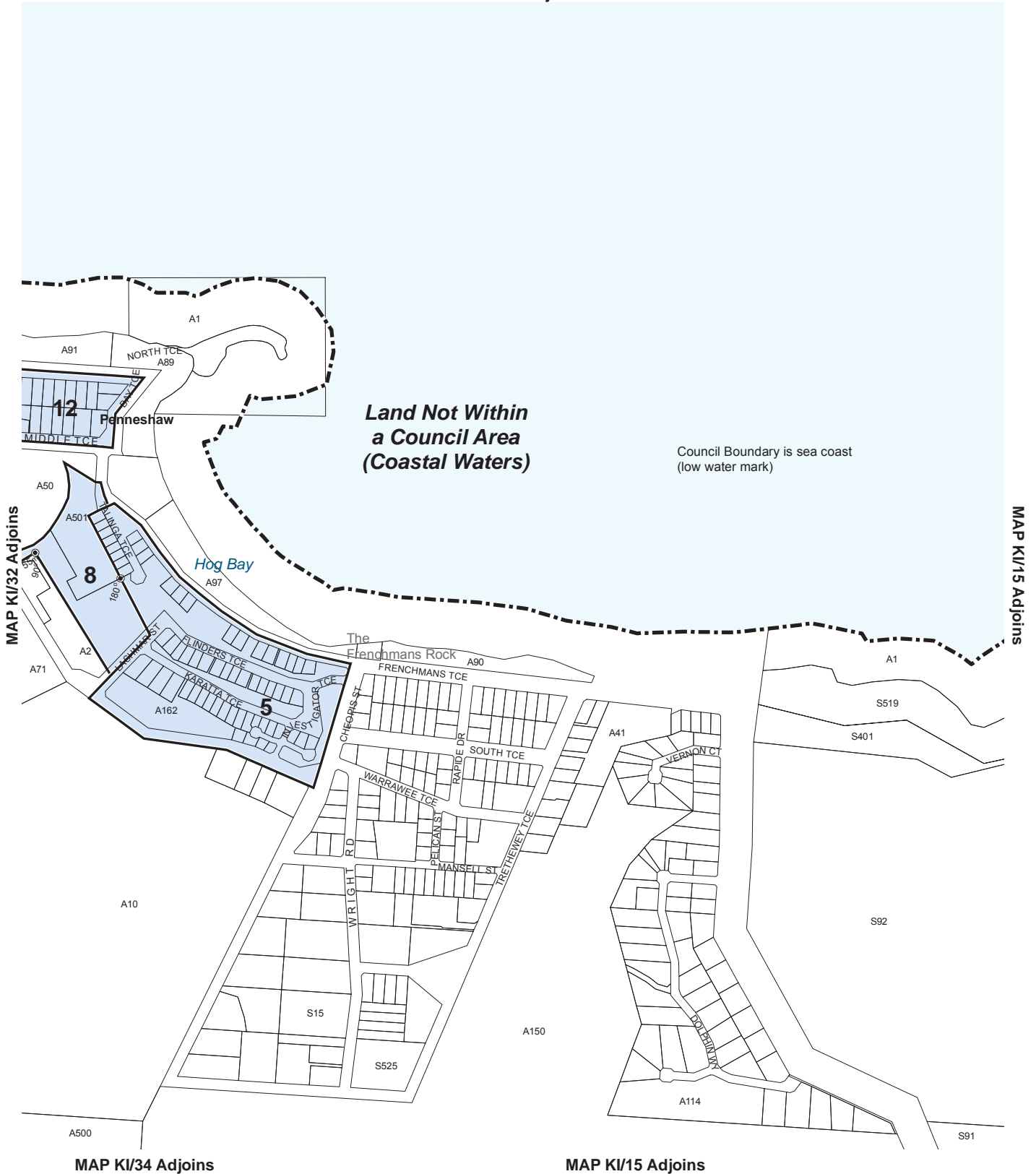
Zones	
 CstCon	Coastal Conservation
 CstOS	Coastal Open Space
 C	Commercial
 Con	Conservation
 PrPro	Primary Production
 Rec	Recreation
 R	Residential
 RuL	Rural Living
 TA	Tourist Accommodation
 TCe	Town Centre
 Wh	Wharf
	Zone Boundary
	Development Plan Boundary

PENNESHAW

Zone Map KI/33

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Lamberts Conformal Conic Projection, GDA94

- Policy Area**
- 12 Penneshaw
 - 5 Dudley
 - 8 Visitor



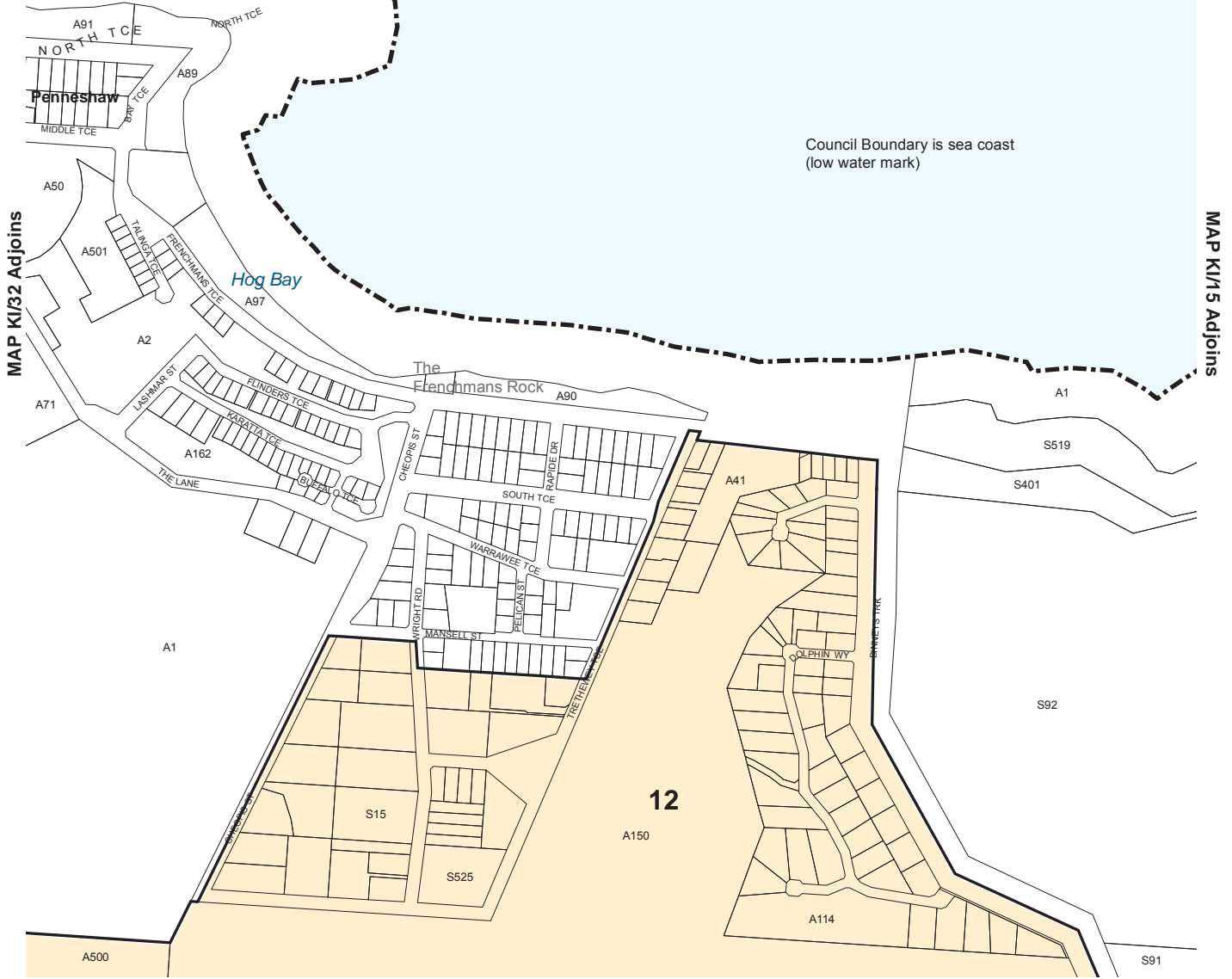
PENNESHAW

Policy Area Map KI/33

-  Policy Area Boundary
-  Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

Council Boundary is sea coast
(low water mark)



Lamberts Conformal Conic Projection, GDA94

Precinct
12 Penneshaw



PENNESHAW

Precinct Map KI/33

- Precinct Boundary
- Development Plan Boundary

MAP KI/32 Adjoins

MAP KI/33 Adjoins

KANGAROO HEAD

PENNESHAW

A500



MAP KI/15 Adjoins

MAP KI/15 Adjoins

MAP KI/15 Adjoins



PENNESHAW

Location Map KI/34

KANGAROO ISLAND COUNCIL

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MAP KI/32 Adjoins

MAP KI/33 Adjoins



PENNESHAW

Overlay Map KI/34 TRANSPORT

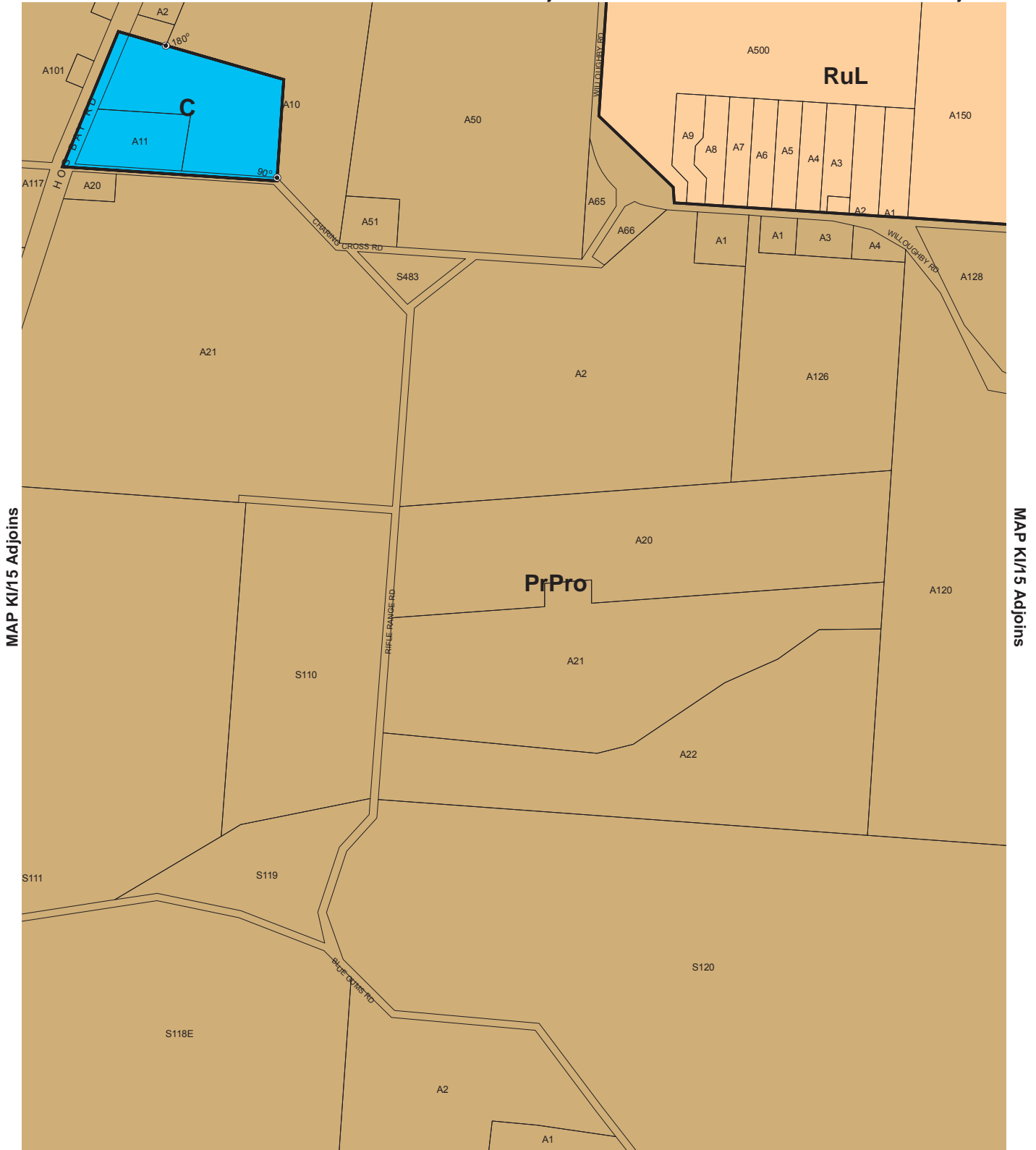
KANGAROO ISLAND COUNCIL

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Secondary Arterial Roads

MAP KI/32 Adjoins

MAP KI/33 Adjoins



MAP KI/15 Adjoins

MAP KI/15 Adjoins

MAP KI/15 Adjoins

Lamberts Conformal Conic Projection, GDA94



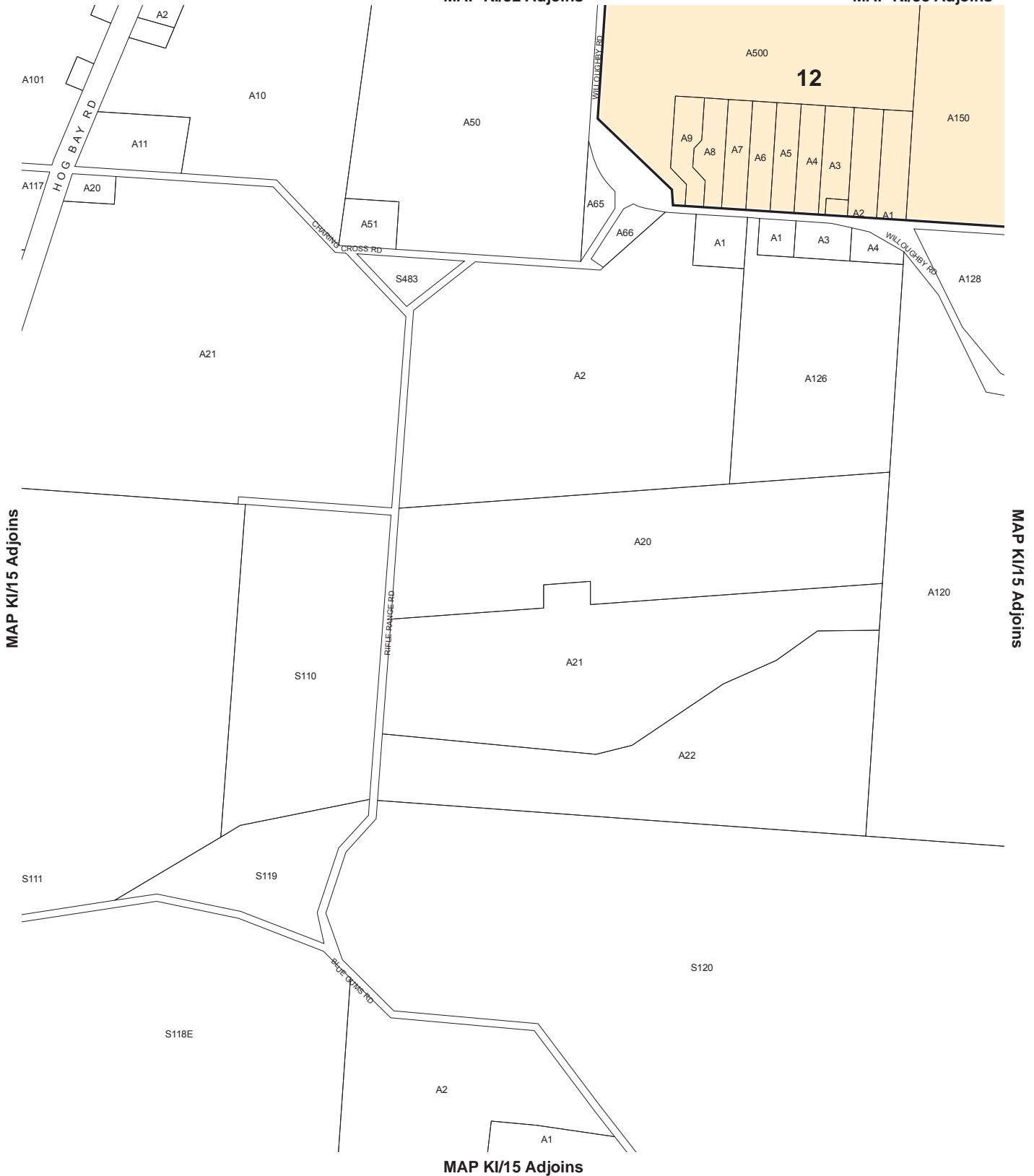
PENNESHAW

Zone Map KI/34

- Zones**
- Commercial
 - Primary Production
 - Rural Living
 - Zone Boundary

MAP KI/32 Adjoins

MAP KI/33 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
12 Penneshaw



PENNESHAW

Precinct Map KI/34

 Precinct Boundary

MAP KI/19 Adjoins

A838

S63

HARRIET RD

S62

SOUTH COAST RD

A1

A2

A836

VIVONNE BAY

S25

S121

Vivonne Bay

S59

VIVONNE BAY RD

S58

A1

A199

S101

S120

S113

A103

S115

MAP KI/36 Adjoins

MAP KI/19 Adjoins

Land Not Within a Council Area (Coastal Waters)



0

500 m



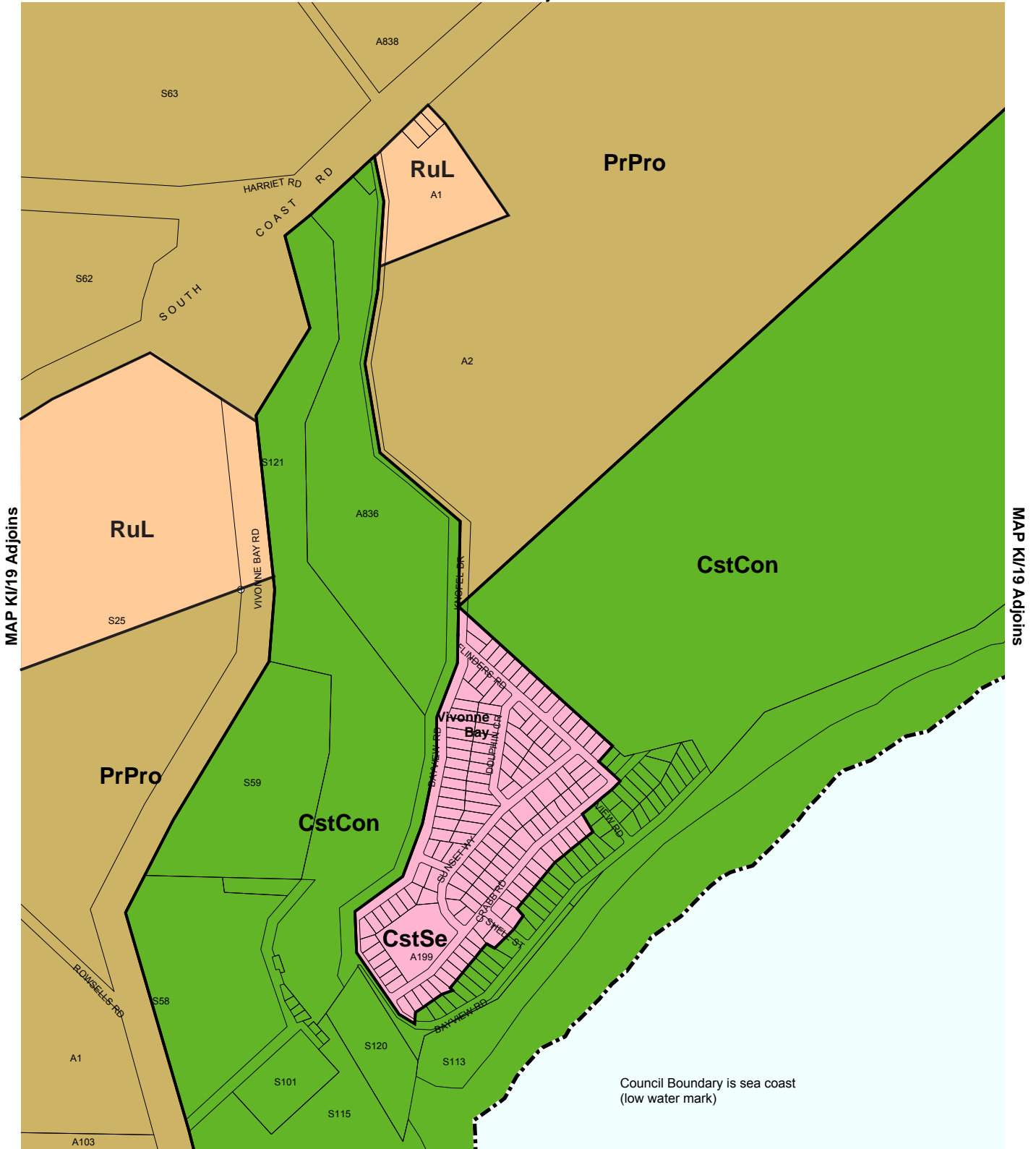
HARRIET RIVER ESTATE

Location Map KI/35

----- Development Plan Boundary

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Lamberts Conformal Conic Projection, GDA94

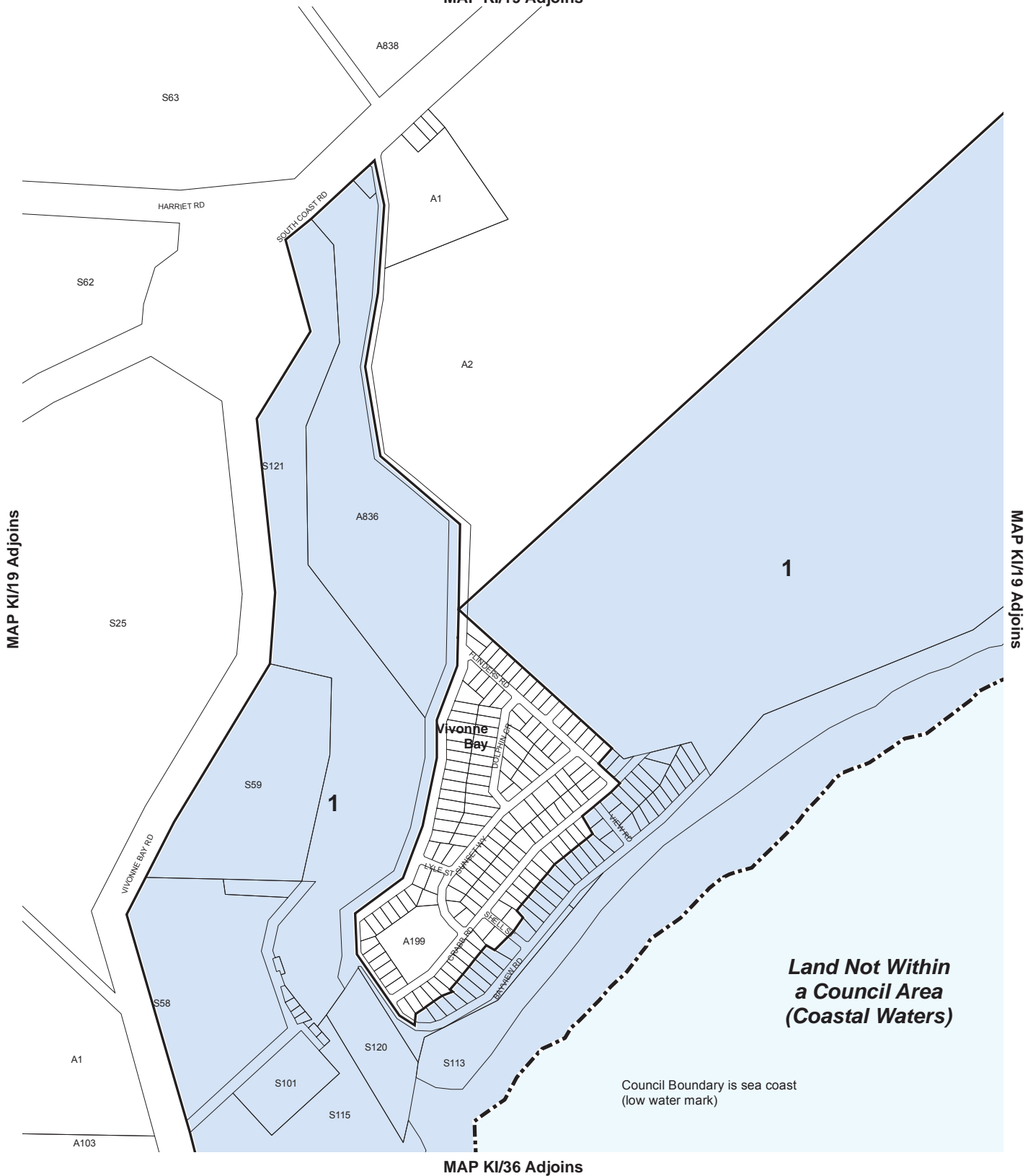


HARRIET RIVER ESTATE

Zone Map KI/35

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

MAP KI/19 Adjoins



MAP KI/19 Adjoins

MAP KI/19 Adjoins

MAP KI/36 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Landscape Protection



HARRIET RIVER ESTATE

Policy Area Map KI/35

-  Policy Area Boundary
-  Development Plan Boundary

MAP KI/19 Adjoins



MAP KI/19 Adjoins

MAP KI/19 Adjoins

MAP KI/36 Adjoins

Lamberts Conformal Conic Projection, GDA94

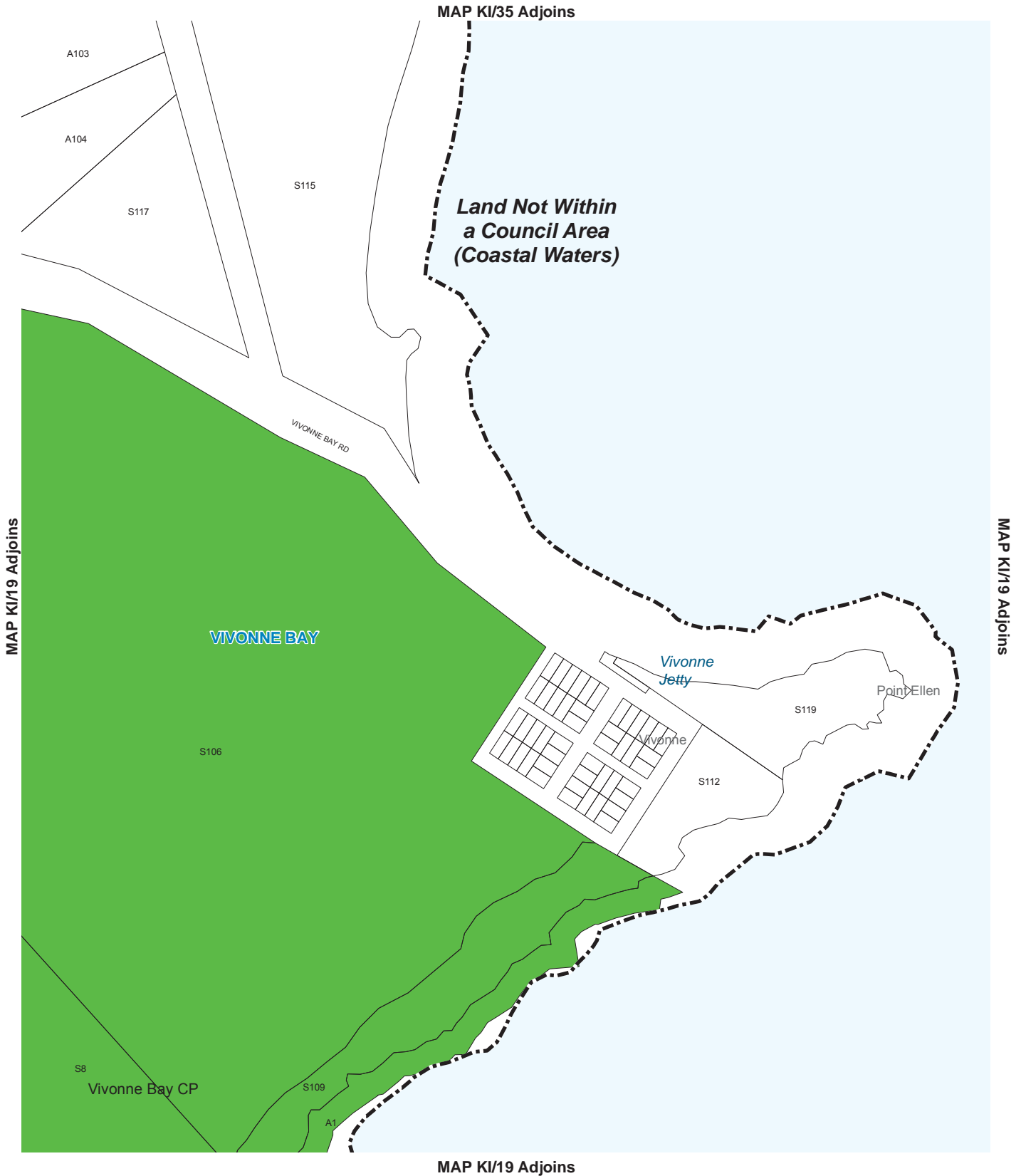
- Precinct**
- 5 Harriet River Estate
- 16 Vivonne Bay



HARRIET RIVER ESTATE

Precinct Map KI/35

- Precinct Boundary
- Development Plan Boundary



MAP KI/19 Adjoins

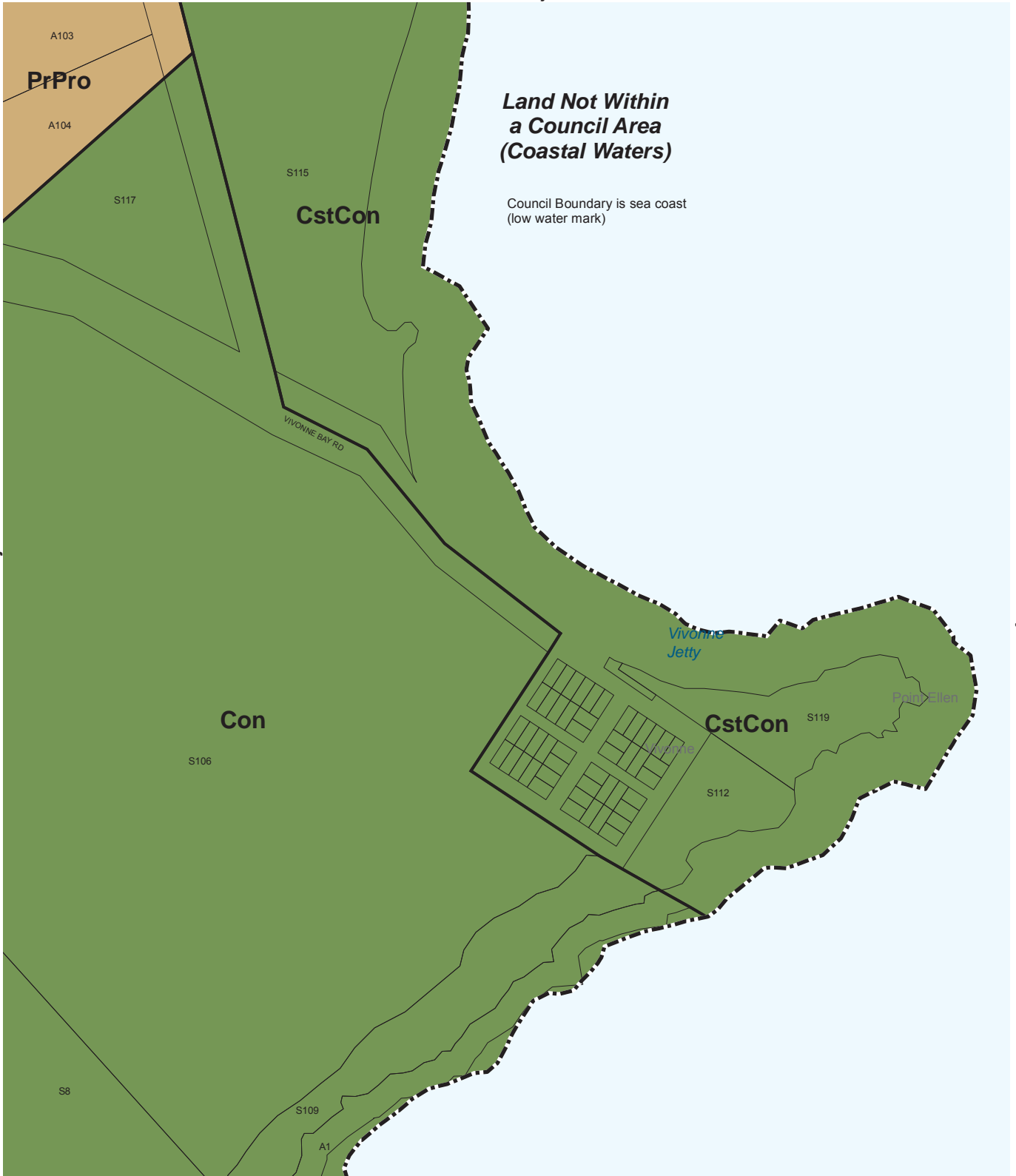


VIVONNE BAY

Location Map KI/36

- Conservation Park
- Development Plan Boundary

MAP KI/35 Adjoins



MAP KI/19 Adjoins

Lamberts Conformal Conic Projection, GDA94



VIVONNE BAY

Zone Map KI/36

- Zones**
- CstCon** Coastal Conservation
 - Con** Conservation
 - PrPro** Primary Production
 - Zone Boundary**
 - Development Plan Boundary**

KANGAROO ISLAND COUNCIL

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MAP KI/35 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

Council Boundary is sea coast
(low water mark)

1

A103

A104

S117

S115

VIVONNE BAY RD

S106

Vivonne
Jetty

Point Ellen

S119

Vivonne

S112

S8

S109

A1

MAP KI/19 Adjoins

MAP KI/19 Adjoins

MAP KI/19 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area

1 Landscape Protection



0 500 m

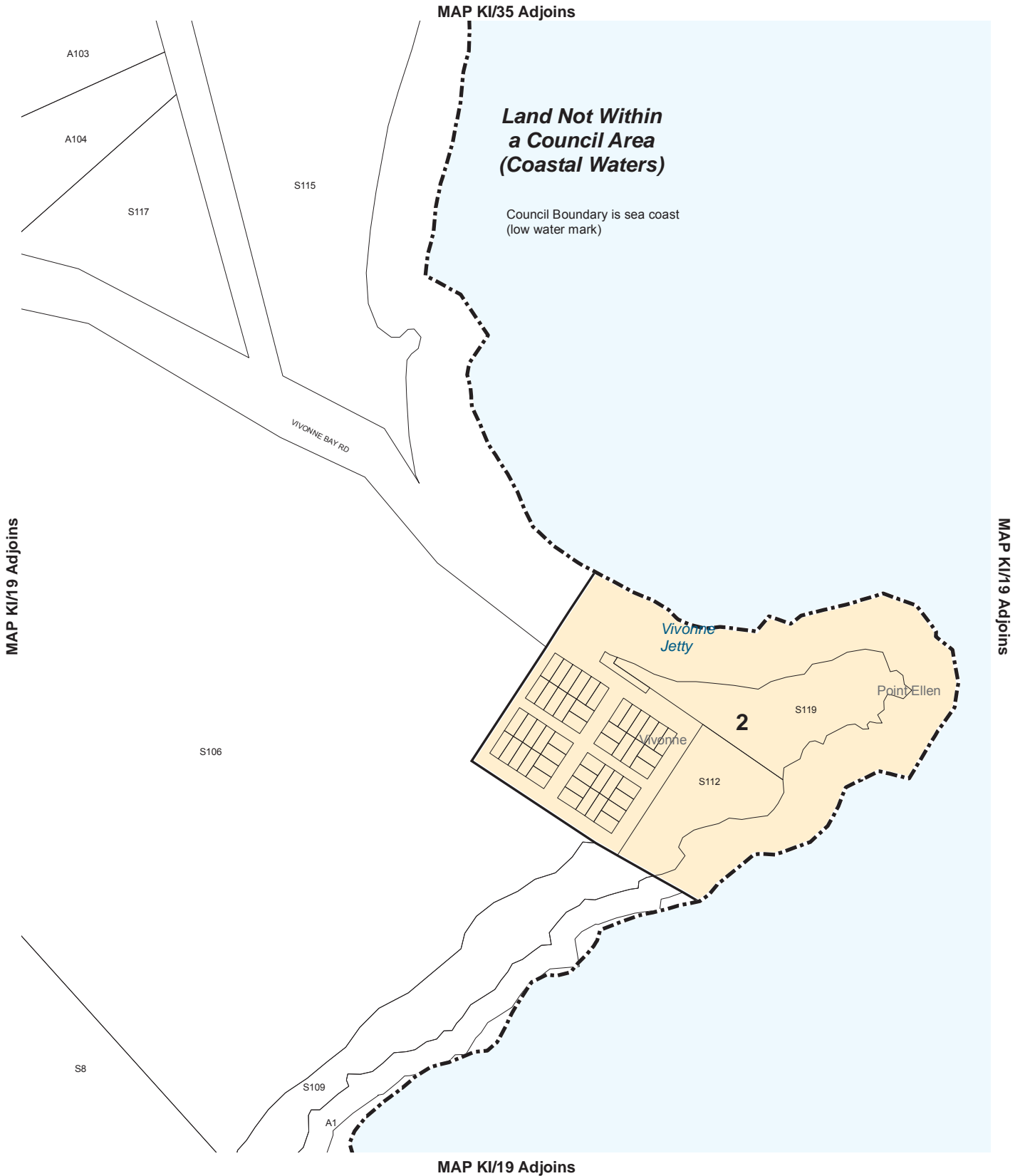
VIVONNE BAY

Policy Area Map KI/36

-  Policy Area Boundary
-  Development Plan Boundary

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Lamberts Conformal Conic Projection, GDA94

Precinct
2 Vivonne Bay

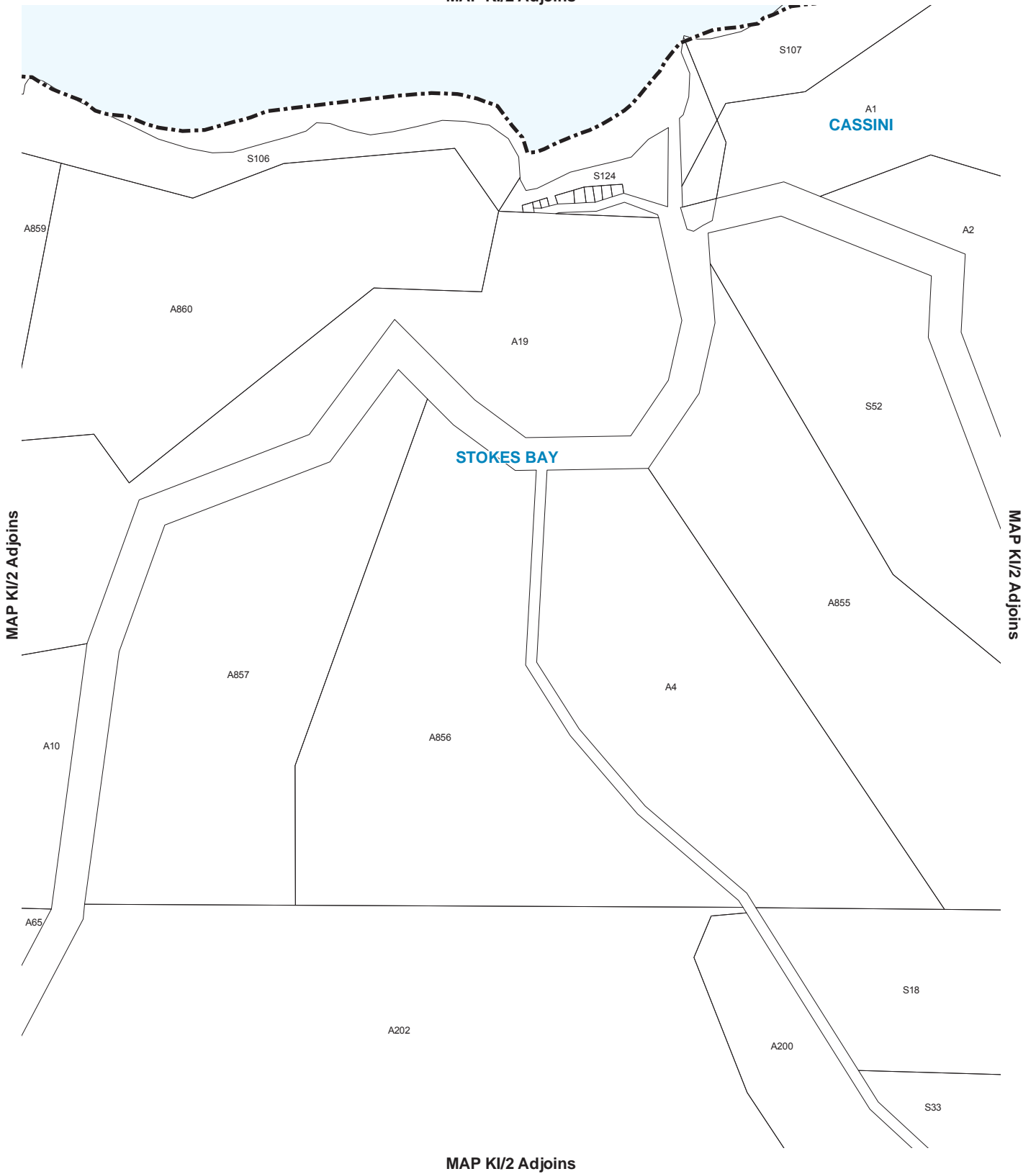


VIVONNE BAY

Precinct Map KI/36

- Precinct Boundary
- Development Plan Boundary

MAP KI/2 Adjoins



STOKES BAY

A1
CASSINI

MAP KI/2 Adjoins

MAP KI/2 Adjoins

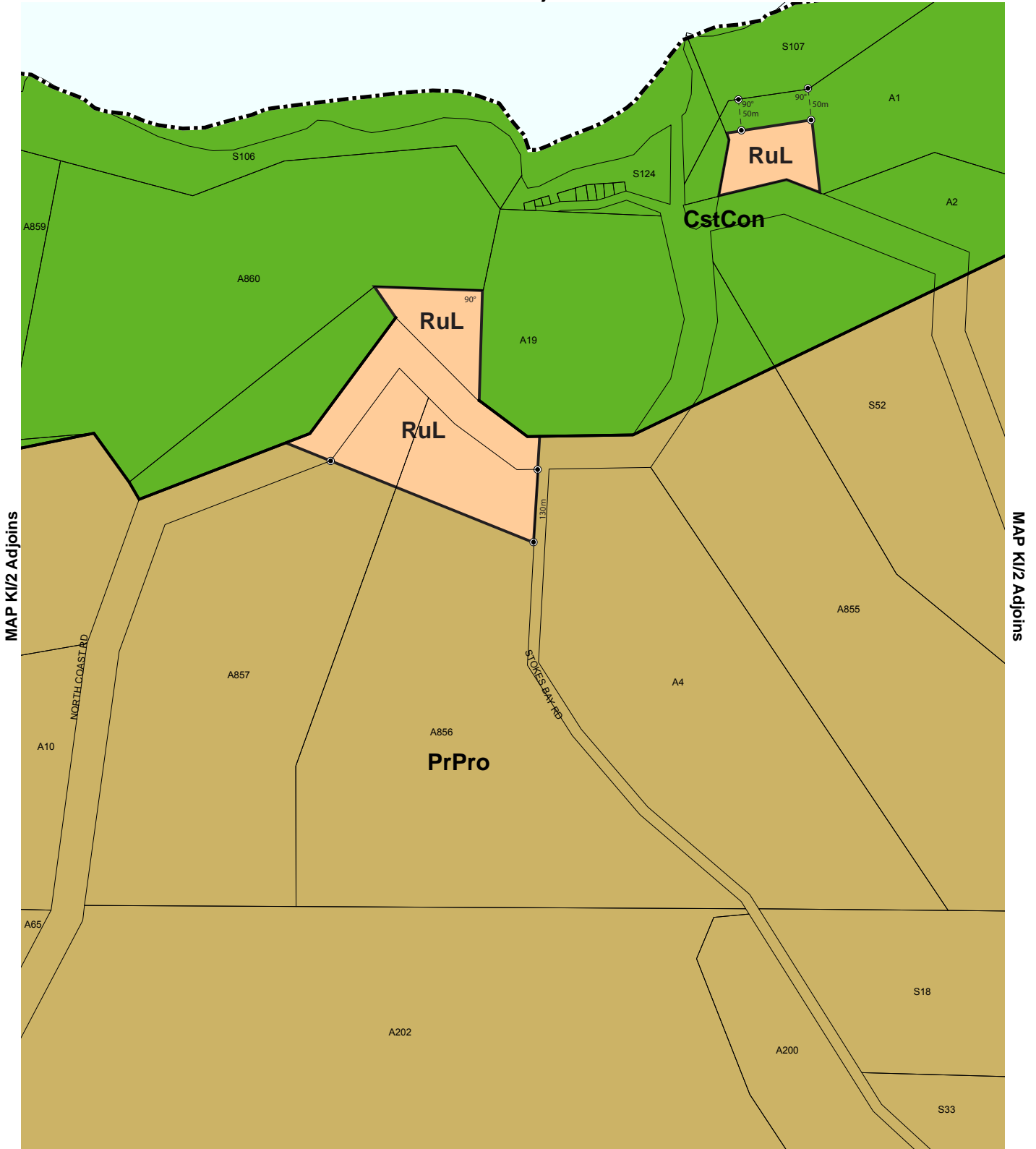


STOKES BAY

Location Map KI/37

----- Development Plan Boundary

MAP KI/2 Adjoins



MAP KI/2 Adjoins

Lamberts Conformal Conic Projection, GDA94



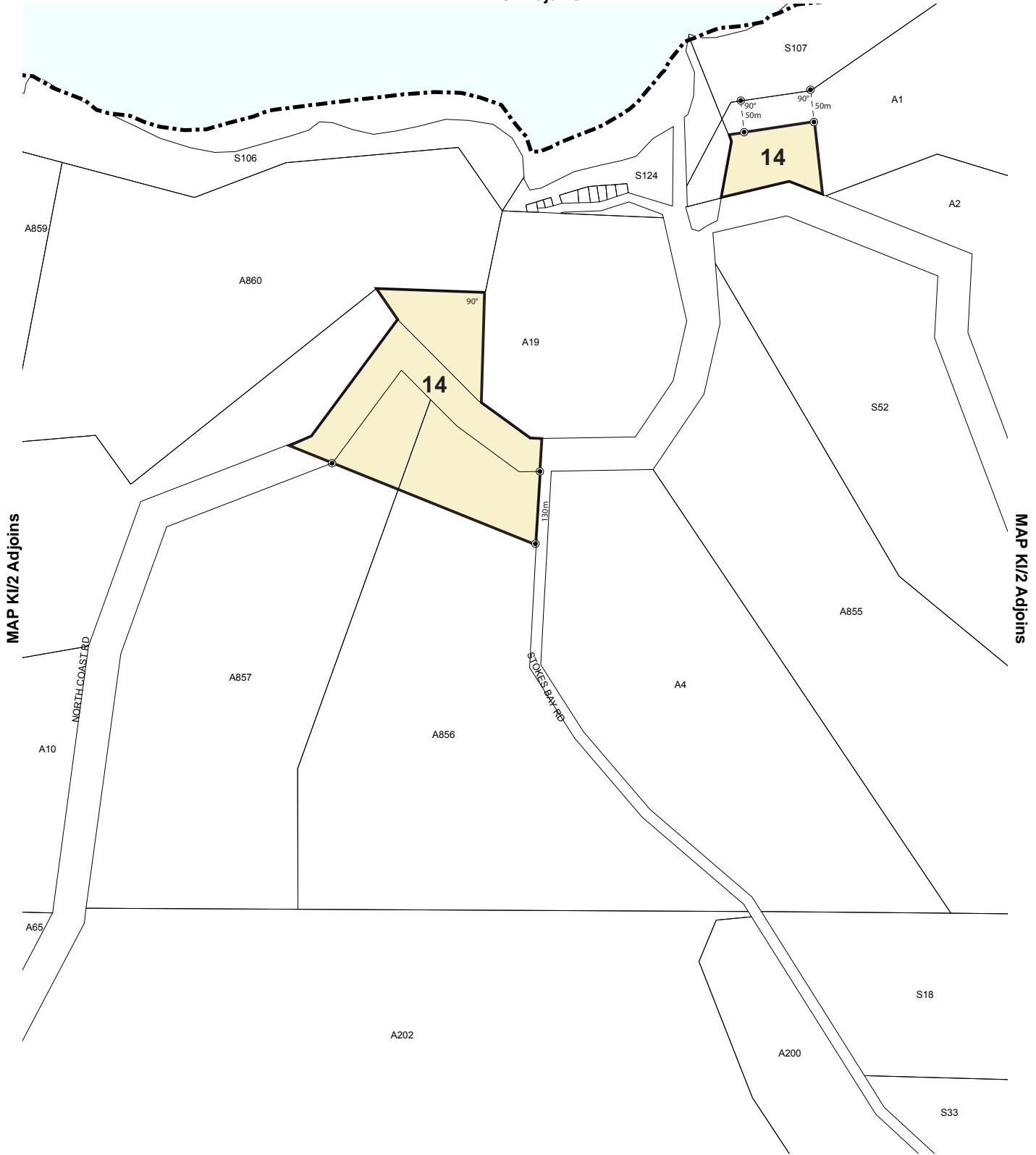
0 500m

STOKES BAY

Zone Map KI/37

- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

MAP KI/2 Adjoins



MAP KI/2 Adjoins

MAP KI/2 Adjoins

MAP KI/2 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
14 Stokes Bay



STOKES BAY

Precinct Map KI/37

- Precinct Boundary
- Development Plan Boundary

MAP KI/7 Adjoins

S101

S101

Middle River

A848

Snelling Beach

S100

A10

S70

A200

MIDDLE RIVER

A50

A53

A2

A1

A2

A101

A100

A1

A2

S24

MAP KI/7 Adjoins




MAP KI/7 Adjoins

MAP KI/7 Adjoins



SNELLING BEACH

Location Map KI/38

-  Local Reserves
-  Waterbodies
-  Development Plan Boundary

MAP KI/7 Adjoins



MAP KI/7 Adjoins



SNELLING BEACH

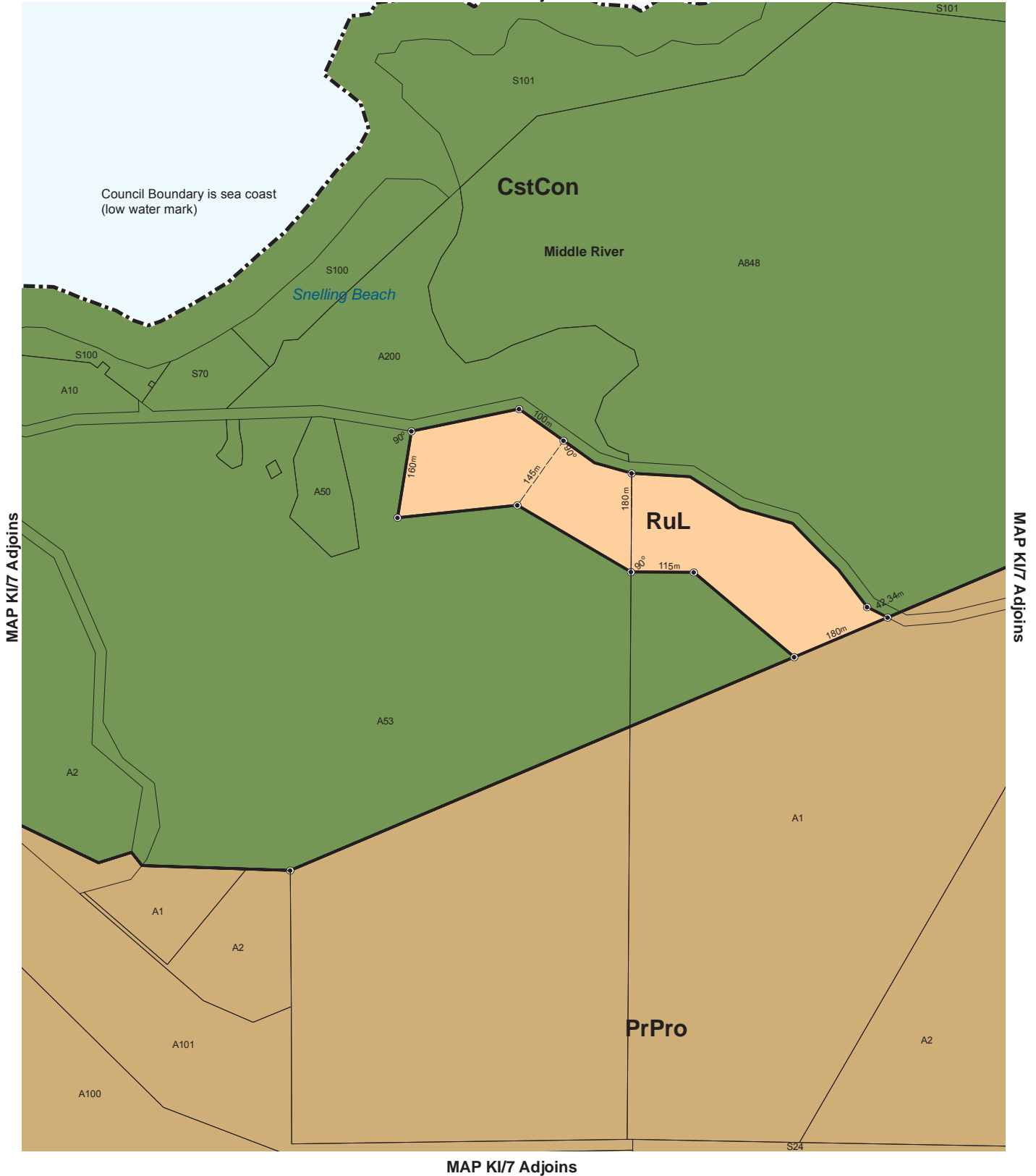
Overlay Map KI/38 DEVELOPMENT CONSTRAINTS

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- Coastal Acid Sulfate Soils
- Development Plan Boundary

MAP KI/7 Adjoins



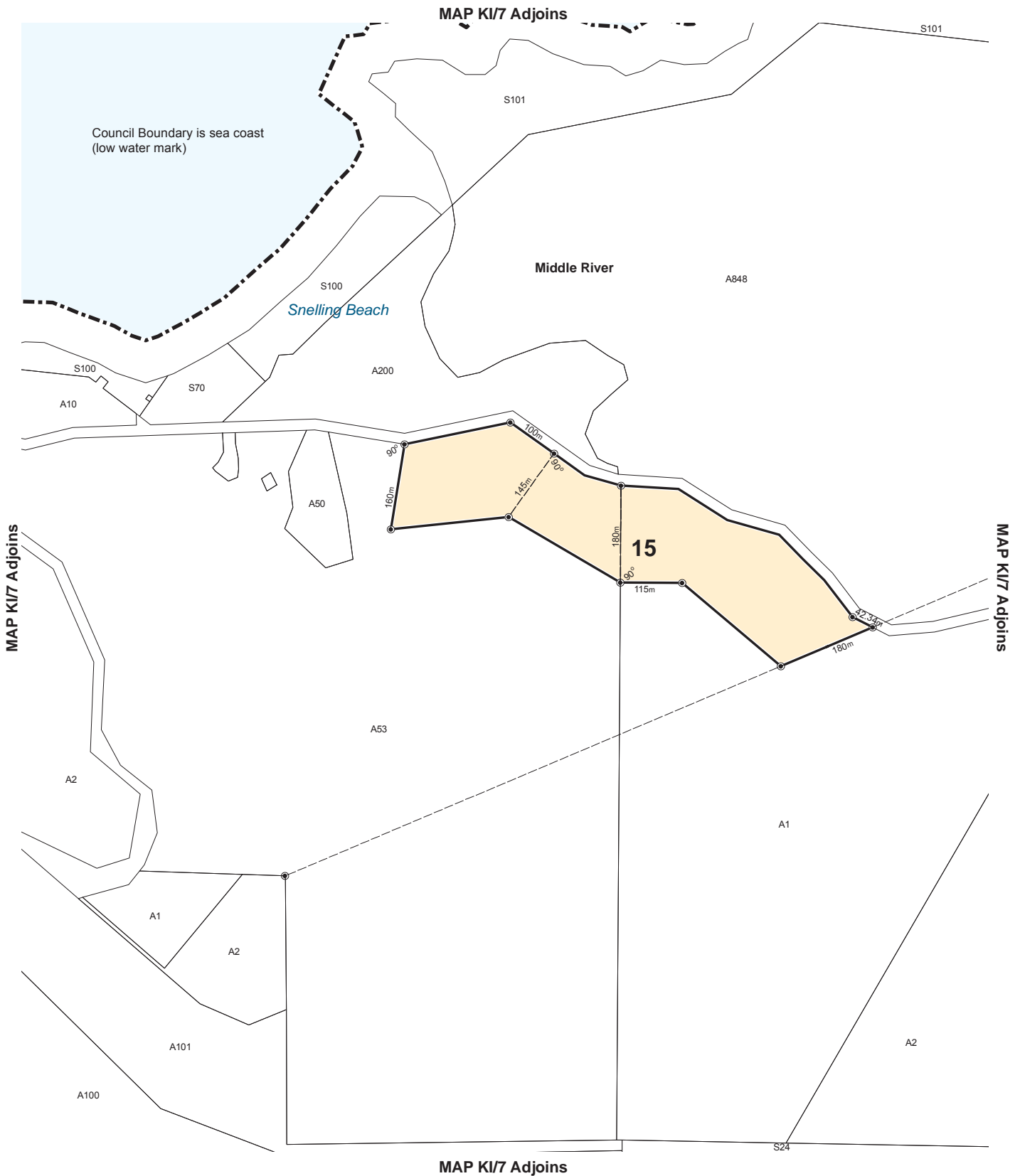
Lamberts Conformal Conic Projection, GDA94



SNELLING BEACH

Zone Map KI/38

- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary



Lamberts Conformal Conic Projection, GDA94

Precinct
15 Snelling Beach



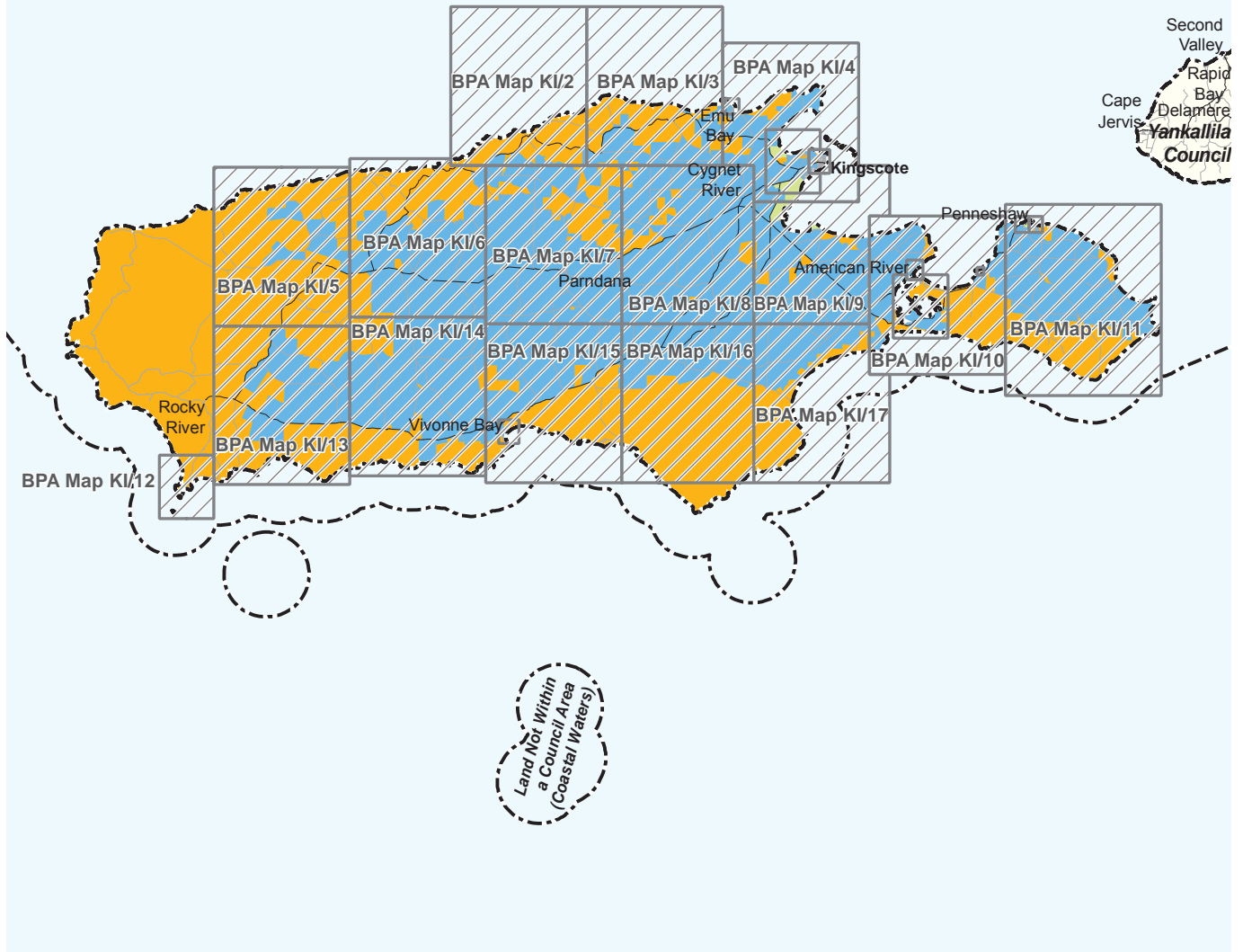
SNELLING BEACH

Precinct Map KI/38

- Precinct Boundary
- Development Plan Boundary

Bushfire Risk Maps

Land Not Within a Council Area (Coastal Waters)



See enlargement map for accurate representation.



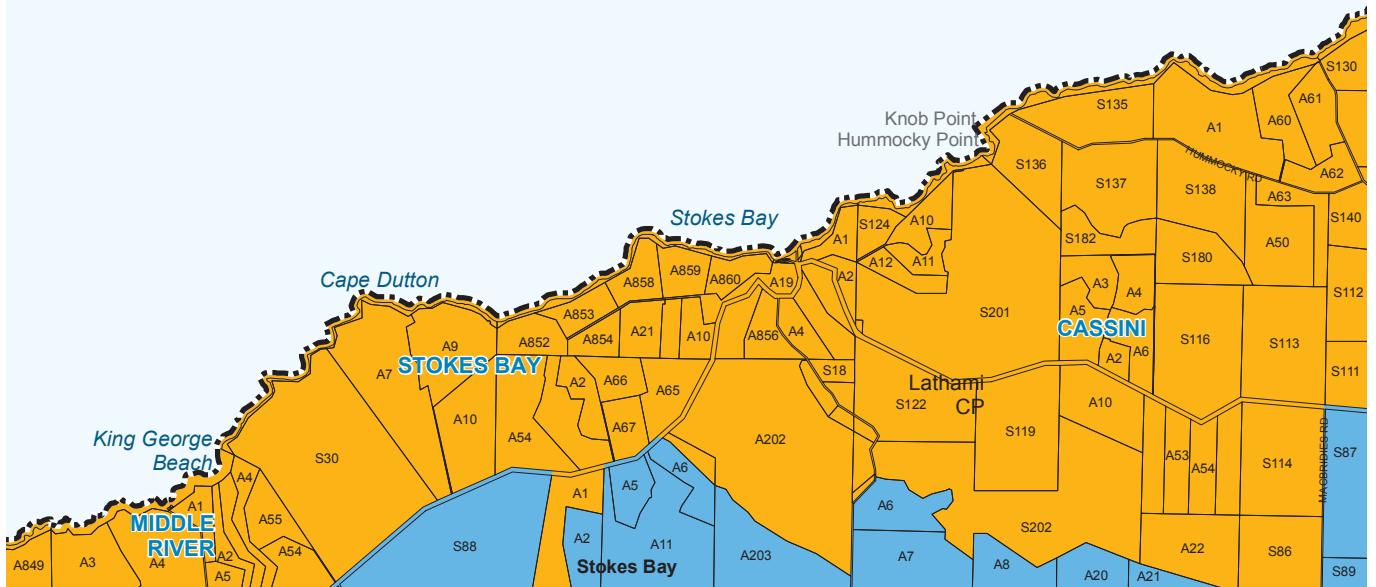
Bushfire Protection Area

BPA Map KI/1

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



BPA Map KI/6 Adjoins

BPA Map KI/7 Adjoins



0 5km

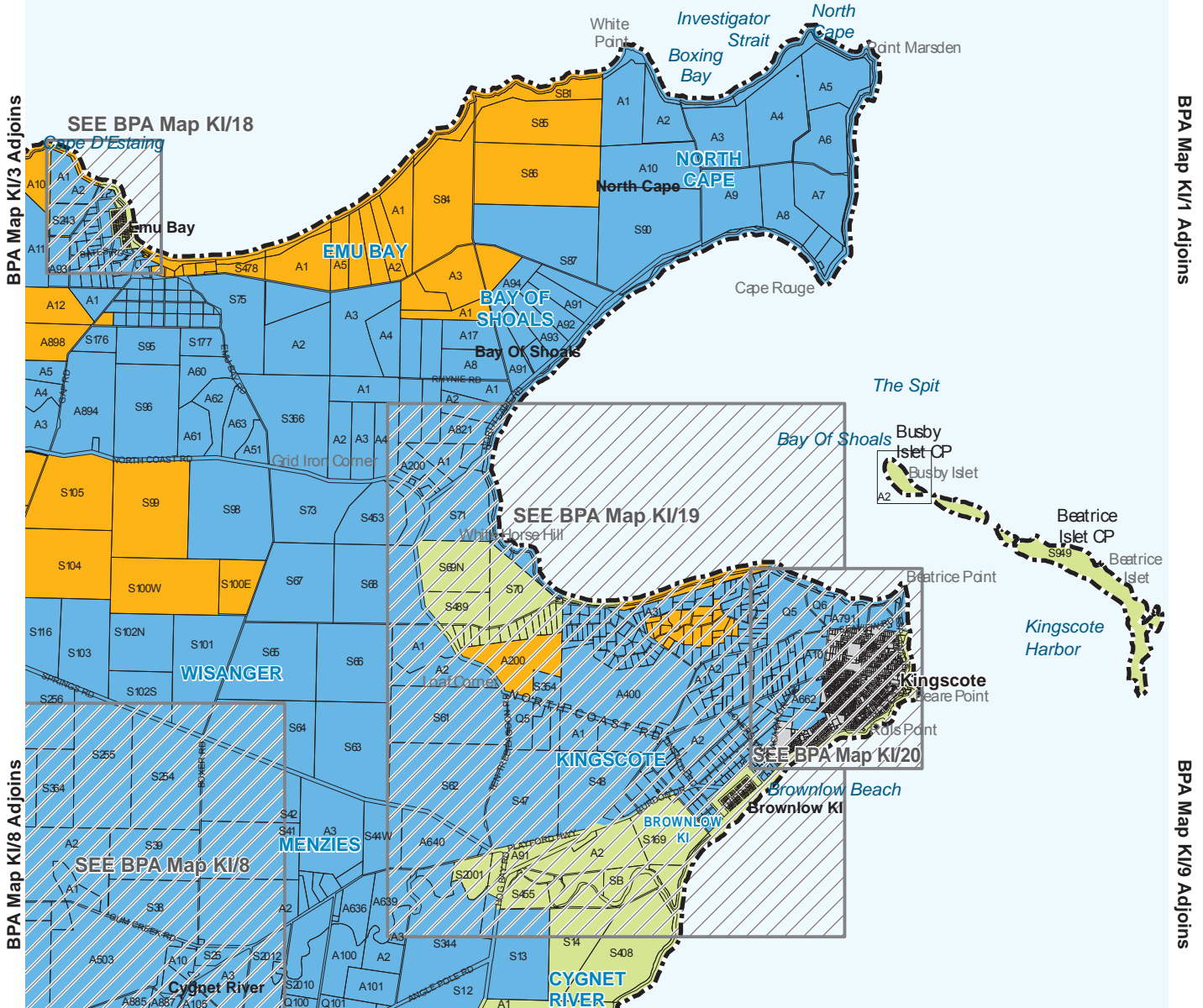
Bushfire Protection Area

BPA Map KI/2

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



BPA Map KI/8 Adjoins

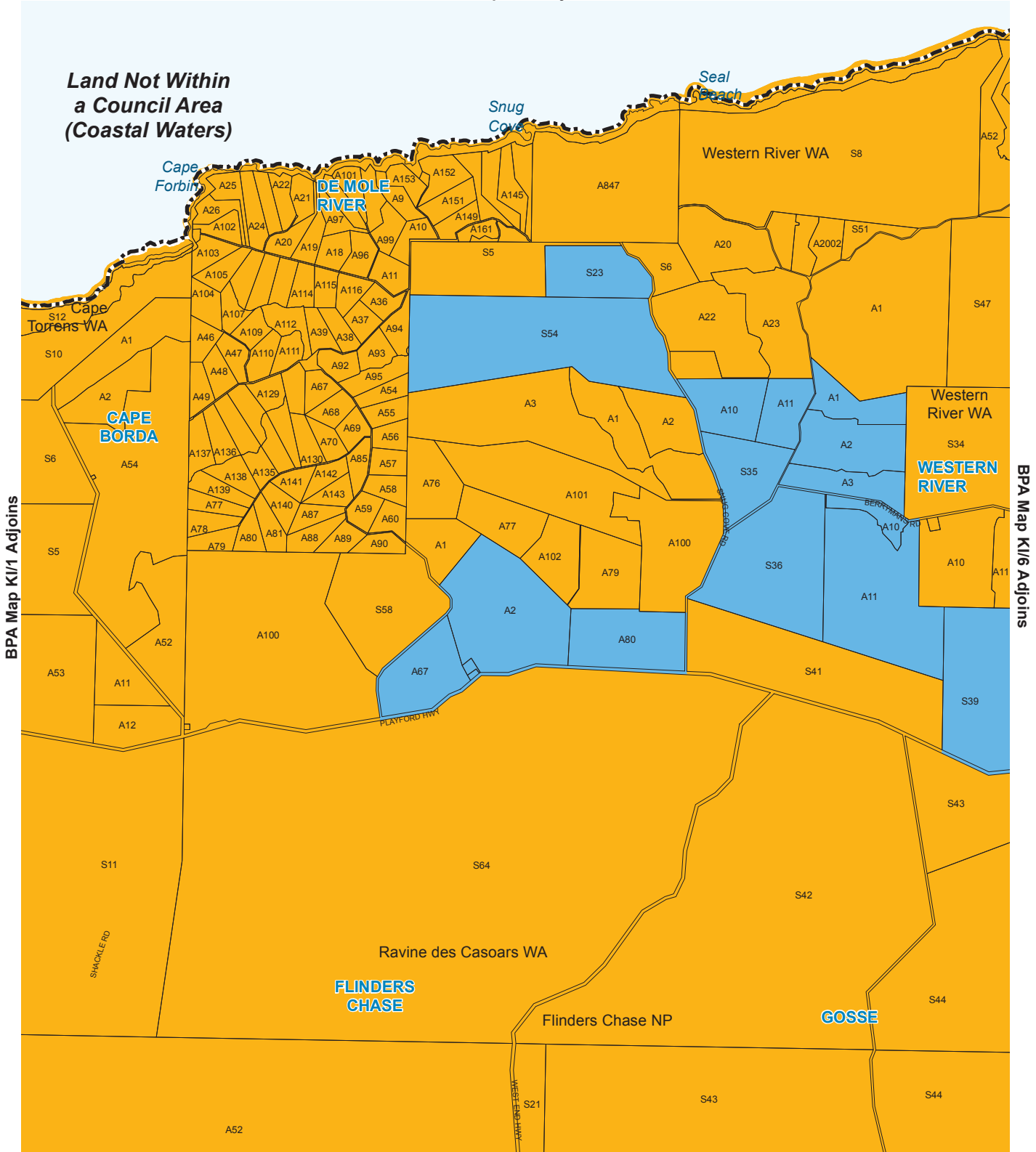
BPA Map KI/9 Adjoins

Seen enlargement map for accurate representation.



Bushfire Protection Area BPA Map KI/4 BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



N
5km

0

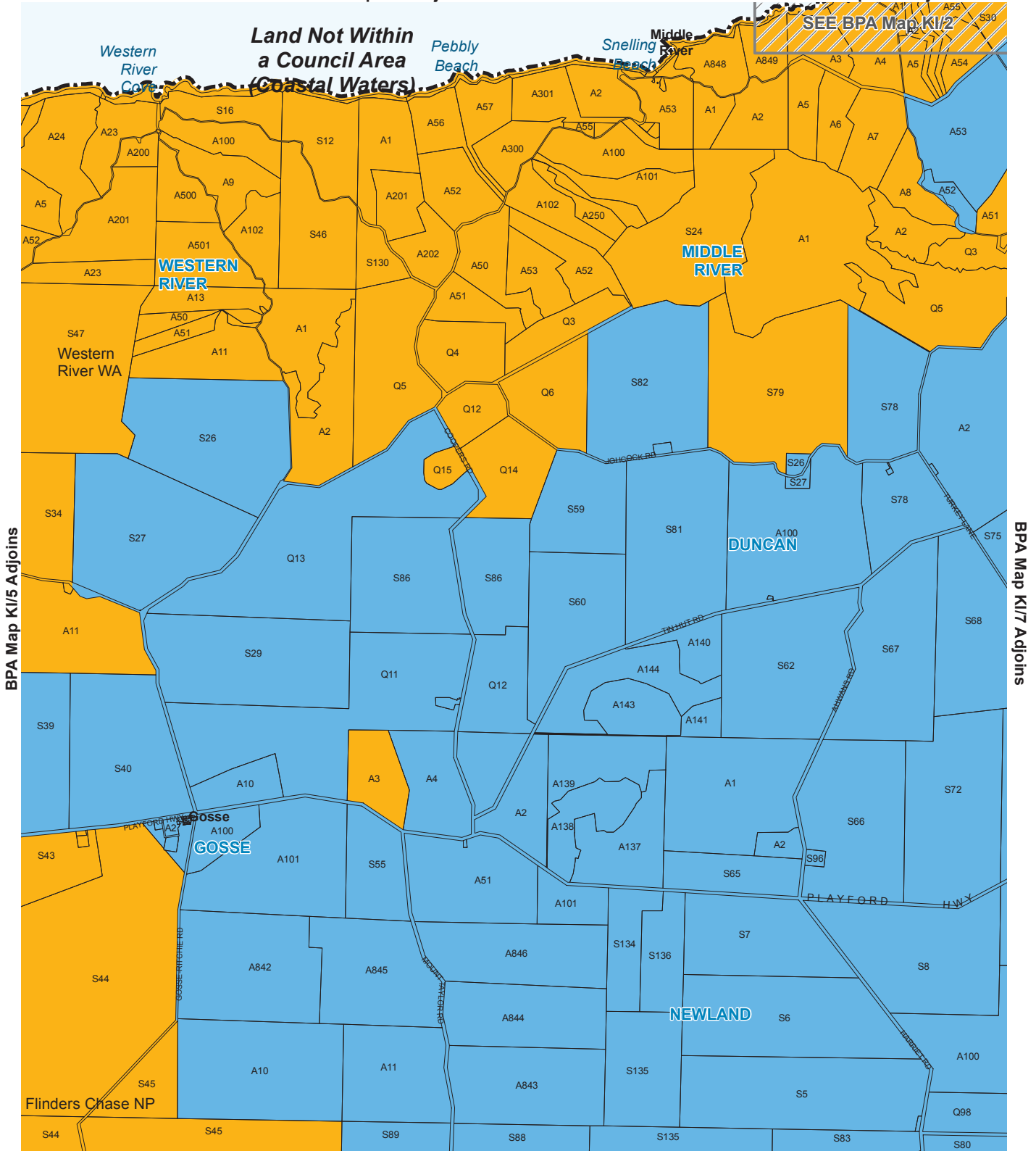
Bushfire Protection Area BPA Map KI/5 BUSHFIRE RISK

KANGAROO ISLAND COUNCIL
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- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

BPA Map KI/1 Adjoins

BPA Map KI/2 Adjoins



BPA Map KI/14 Adjoins

See enlargement map for accurate representation.



0 5km

Bushfire Protection Area

BPA Map KI/6

BUSHFIRE RISK

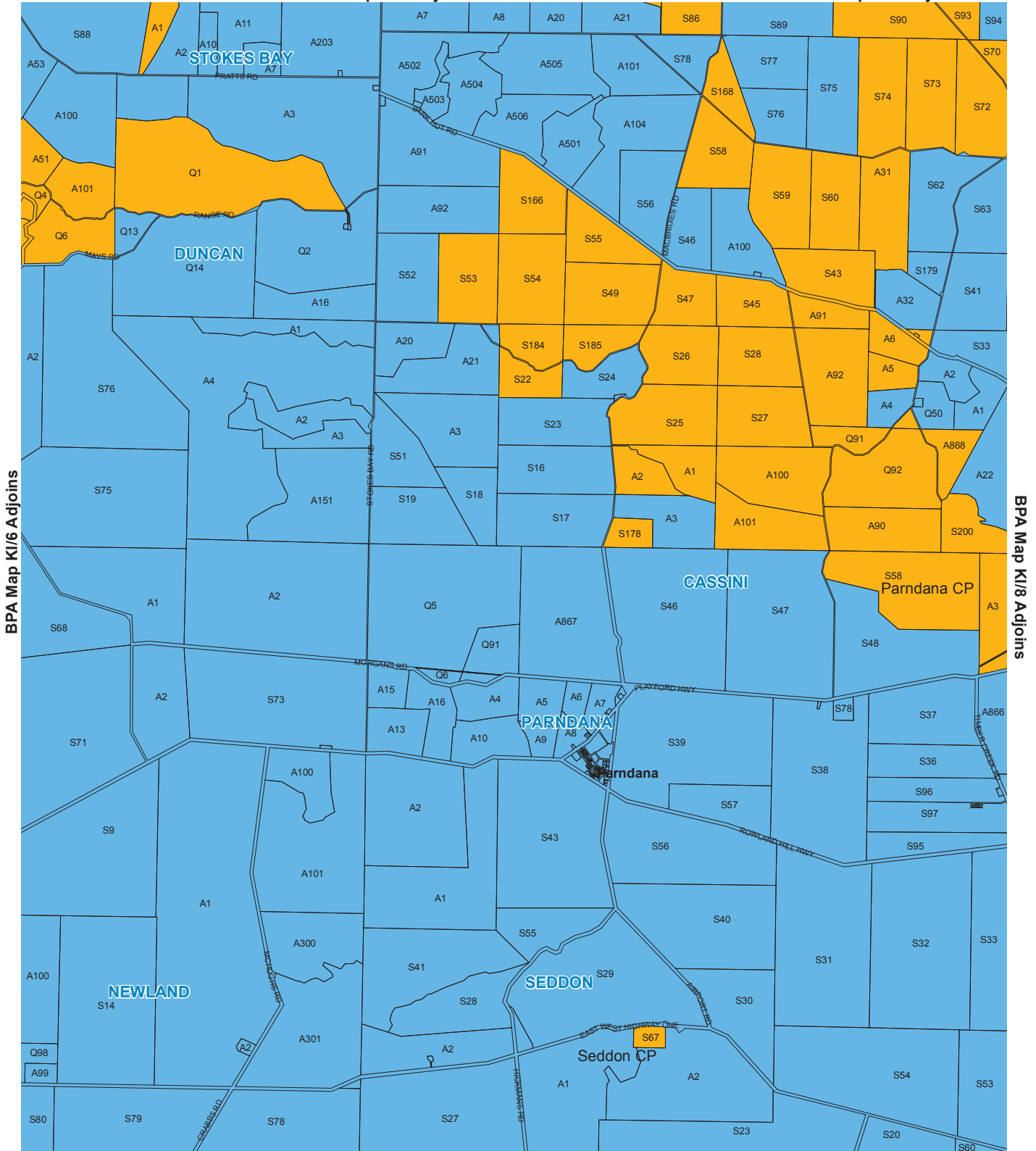
- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

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BPA Map KI/2 Adjoins

BPA Map KI/3 Adjoins



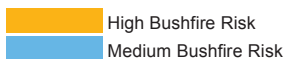
BPA Map KI/15 Adjoins

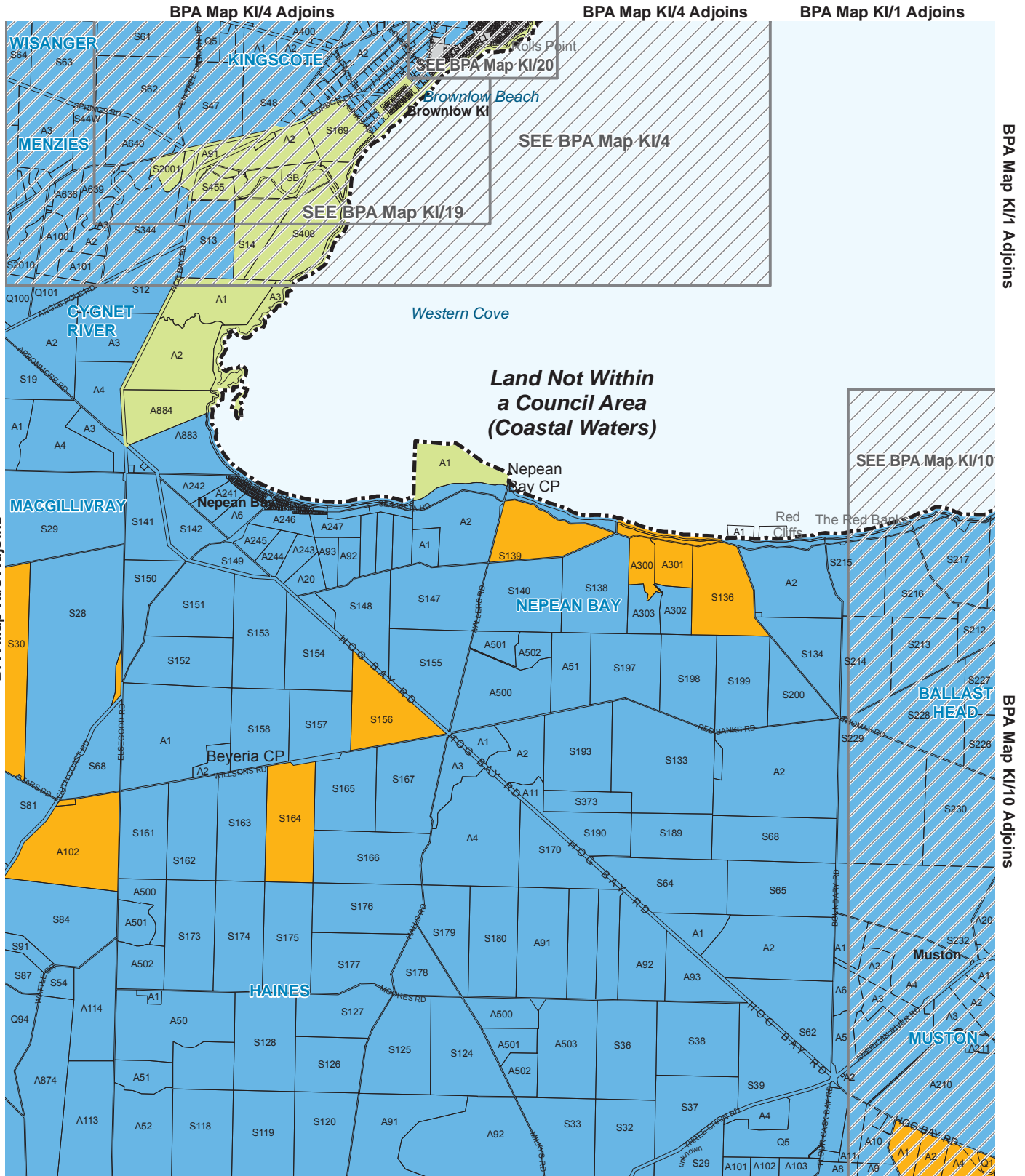


Bushfire Protection Area

BPA Map KI/7

BUSHFIRE RISK





BPA Map KI/17 Adjoins

See enlargement map for accurate representation.



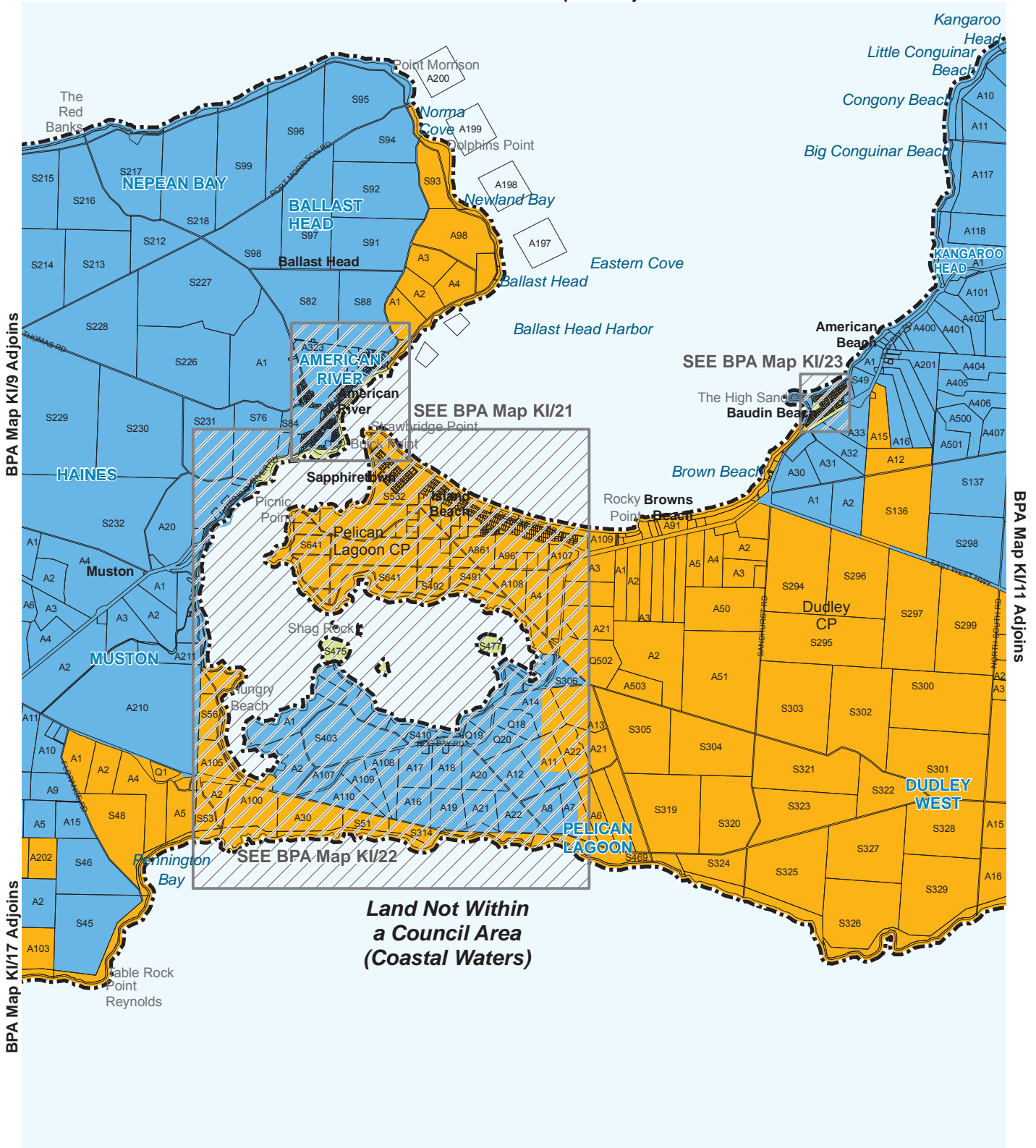
Bushfire Protection Area

BPA Map KI/9

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map KI/1 Adjoins



See enlargement map for accurate representation.

BPA Map KI/1 Adjoins



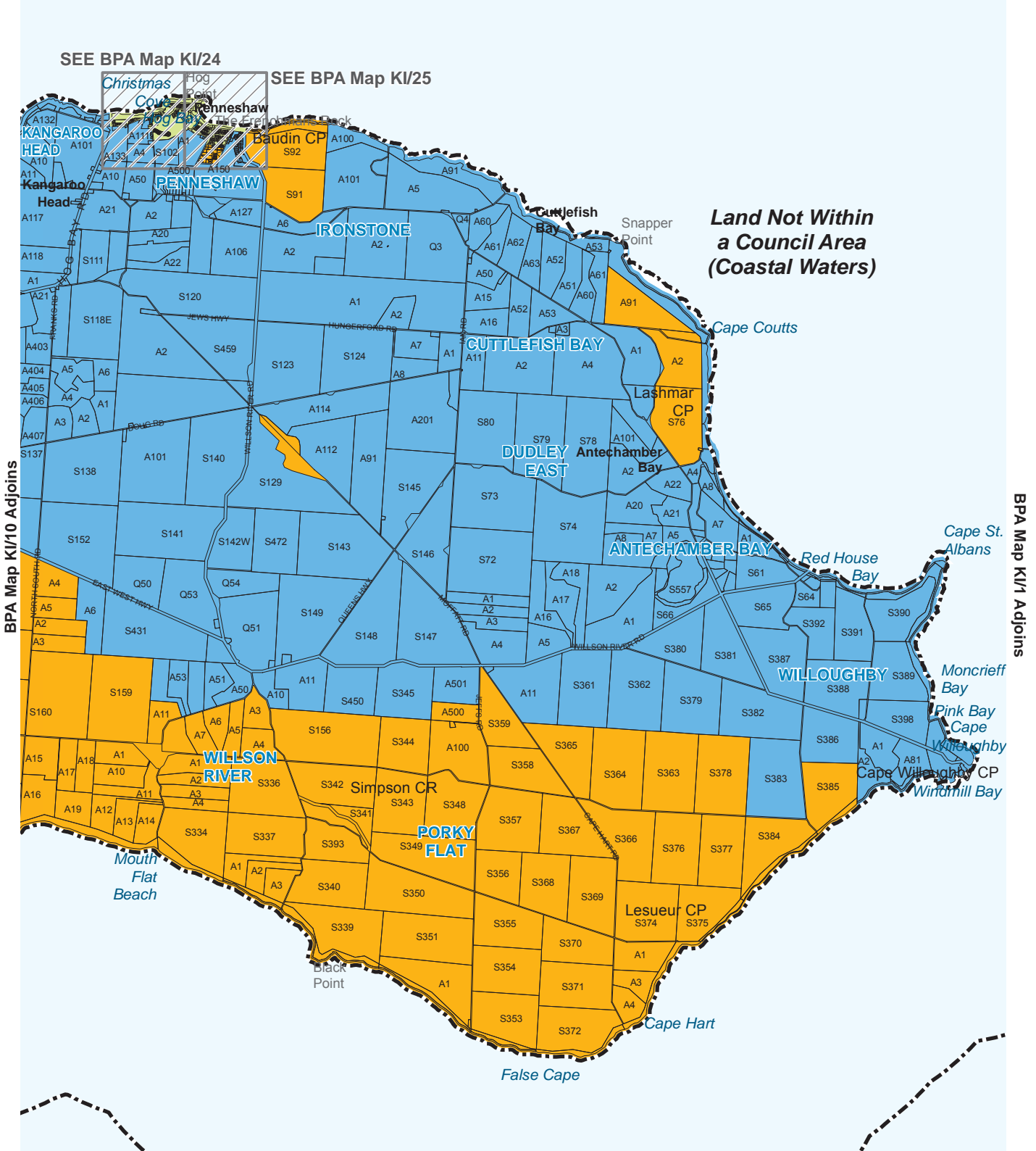
Bushfire Protection Area

BPA Map KI/10

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map KI/1 Adjoins



BPA Map KI/1 Adjoins

See enlargement map for accurate representation.

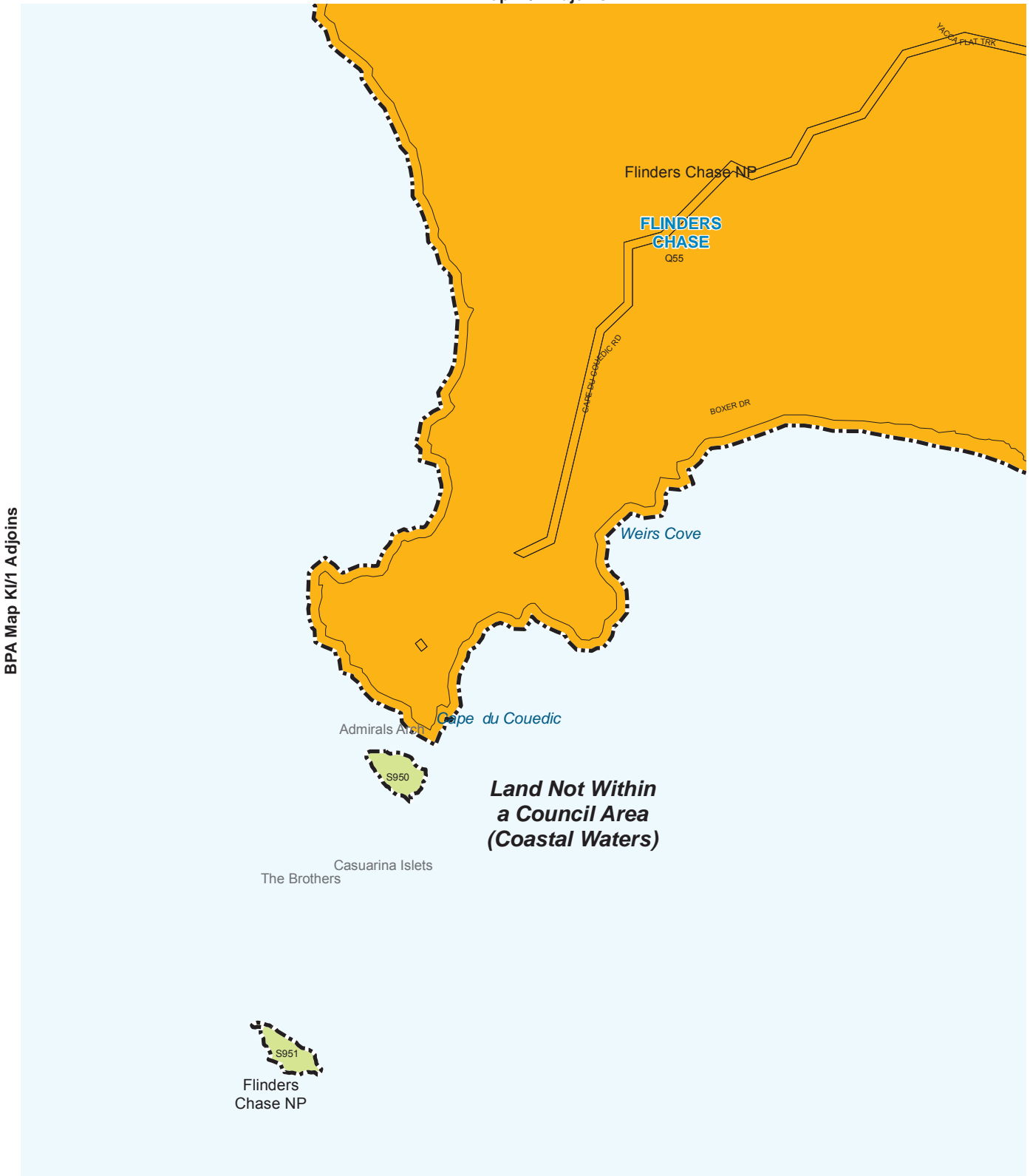


Bushfire Protection Area

BPA Map KI/11

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

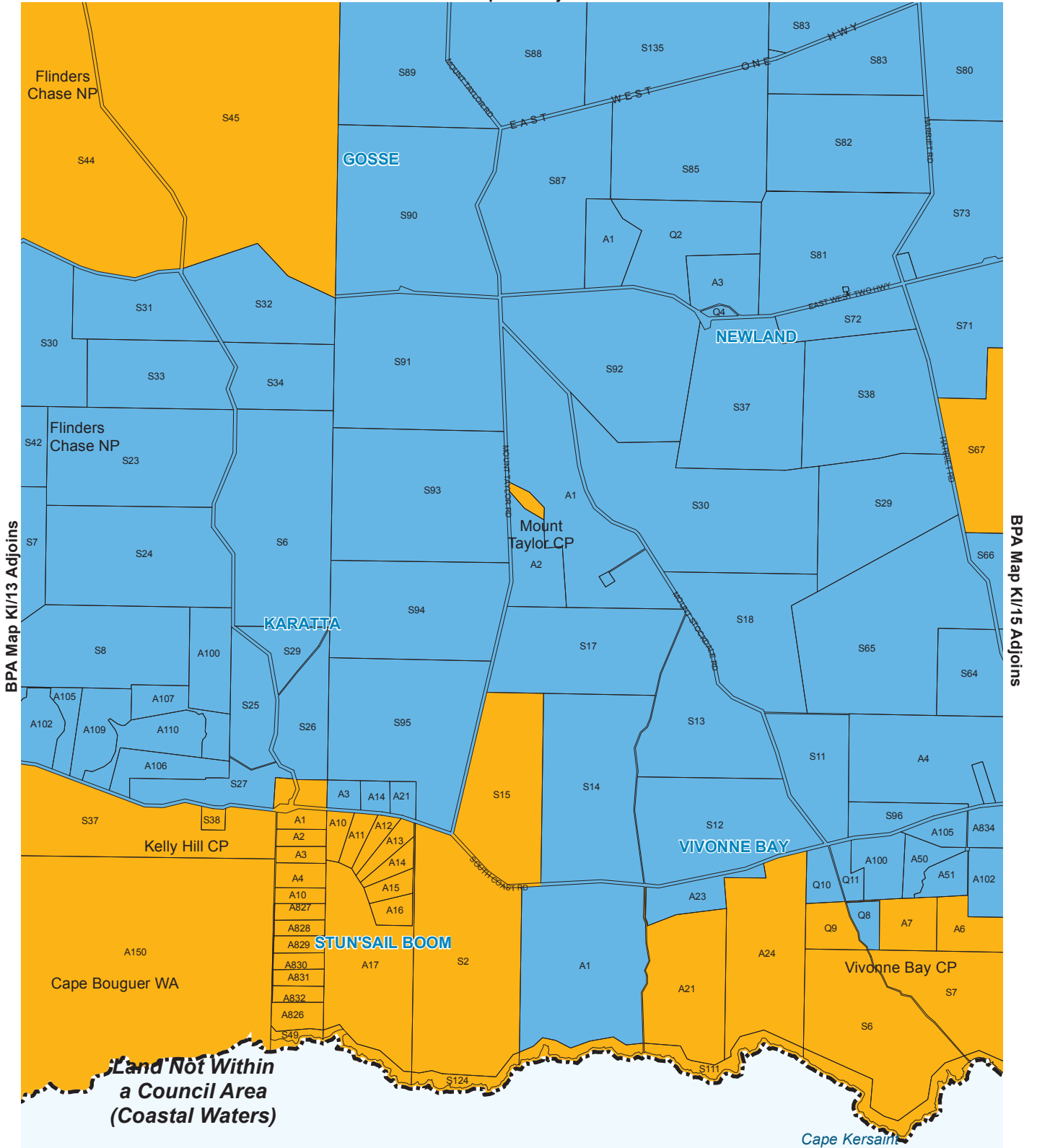


Bushfire Protection Area

BPA Map KI/12

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



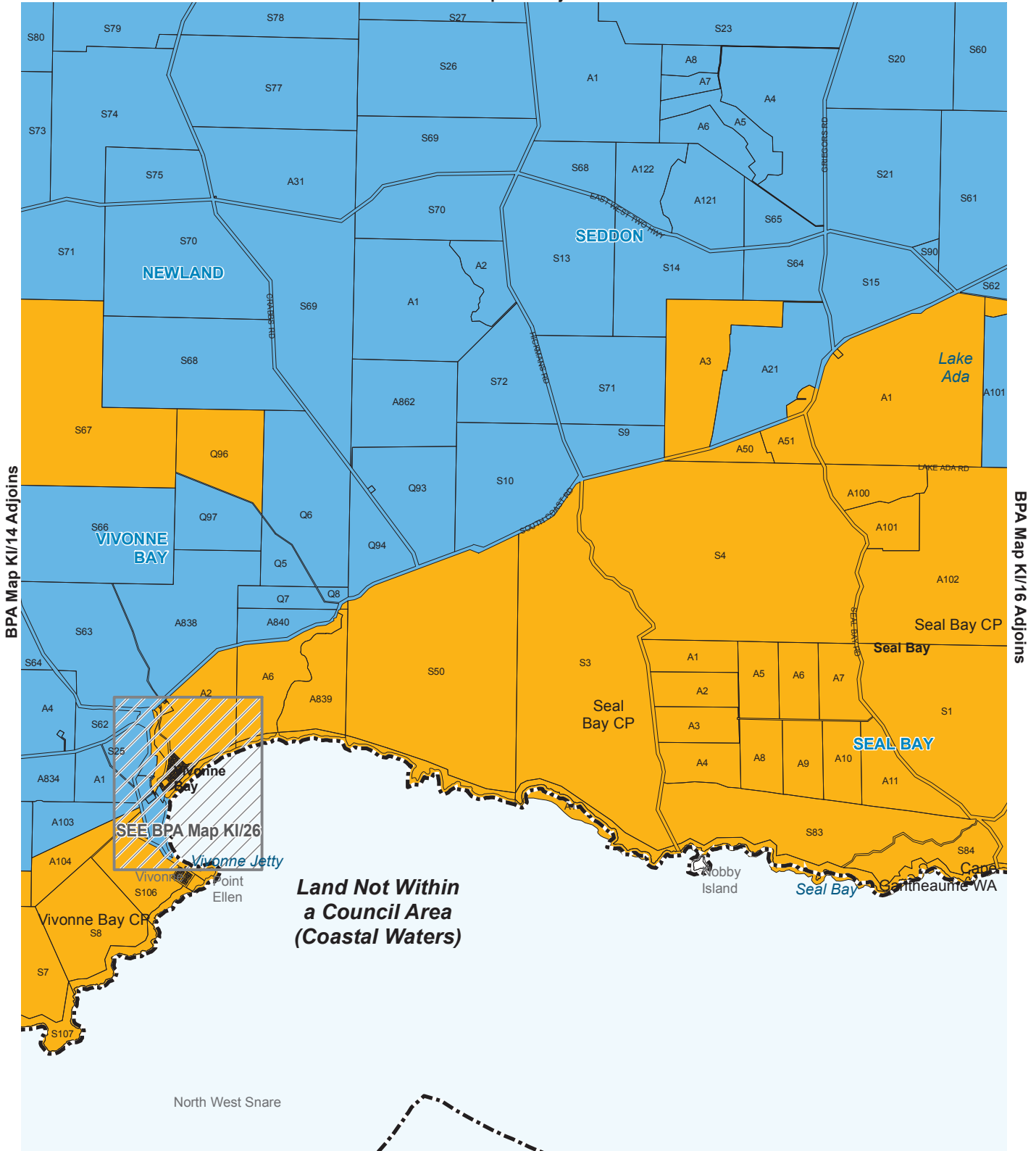
Bushfire Protection Area

BPA Map KI/14

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

BPA Map KI/7 Adjoins



See enlargement map for accurate representation.

BPA Map KI/1 Adjoins



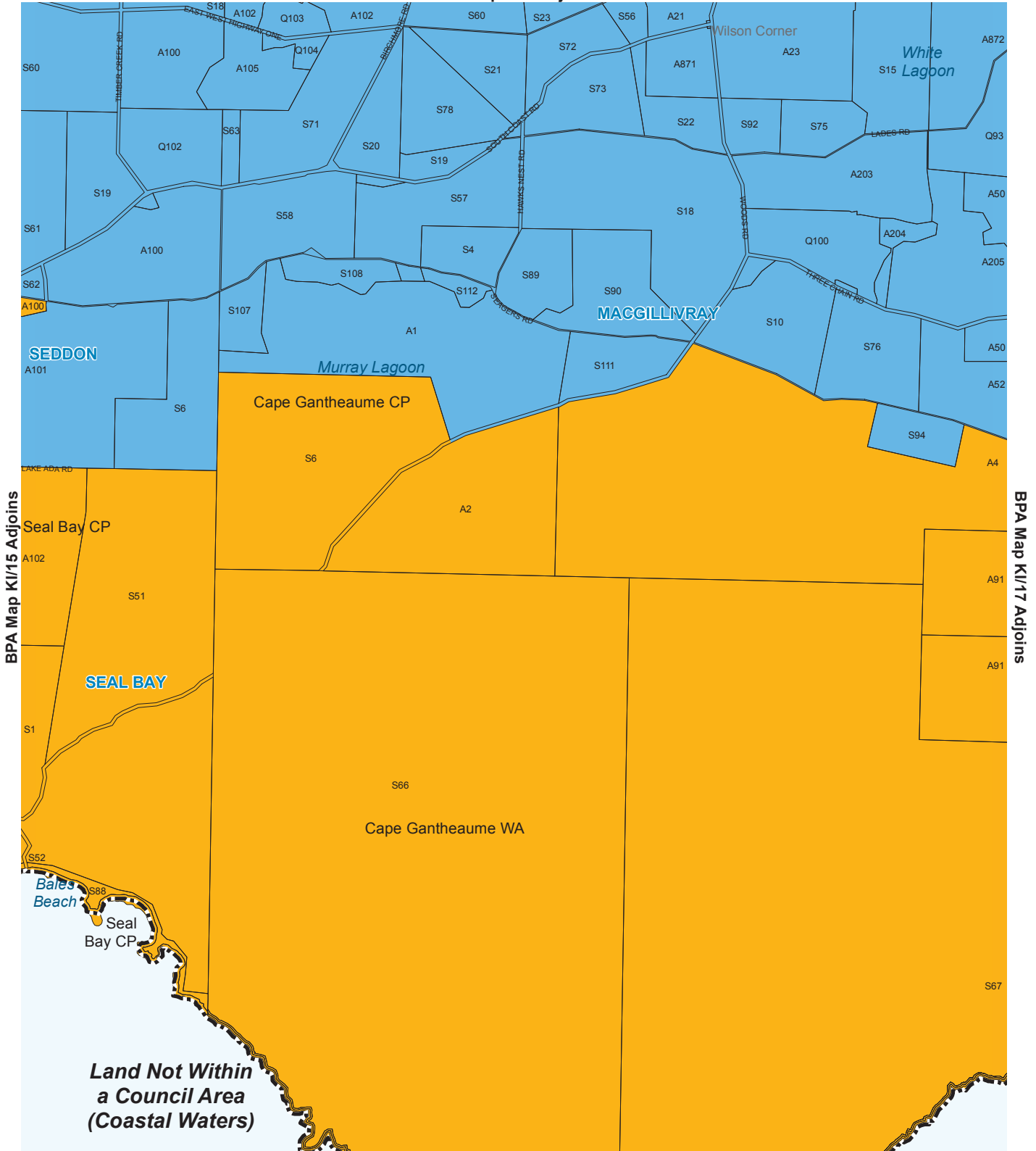
Bushfire Protection Area

BPA Map KI/15

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

BPA Map KI/8 Adjoins



BPA Map KI/1 Adjoins

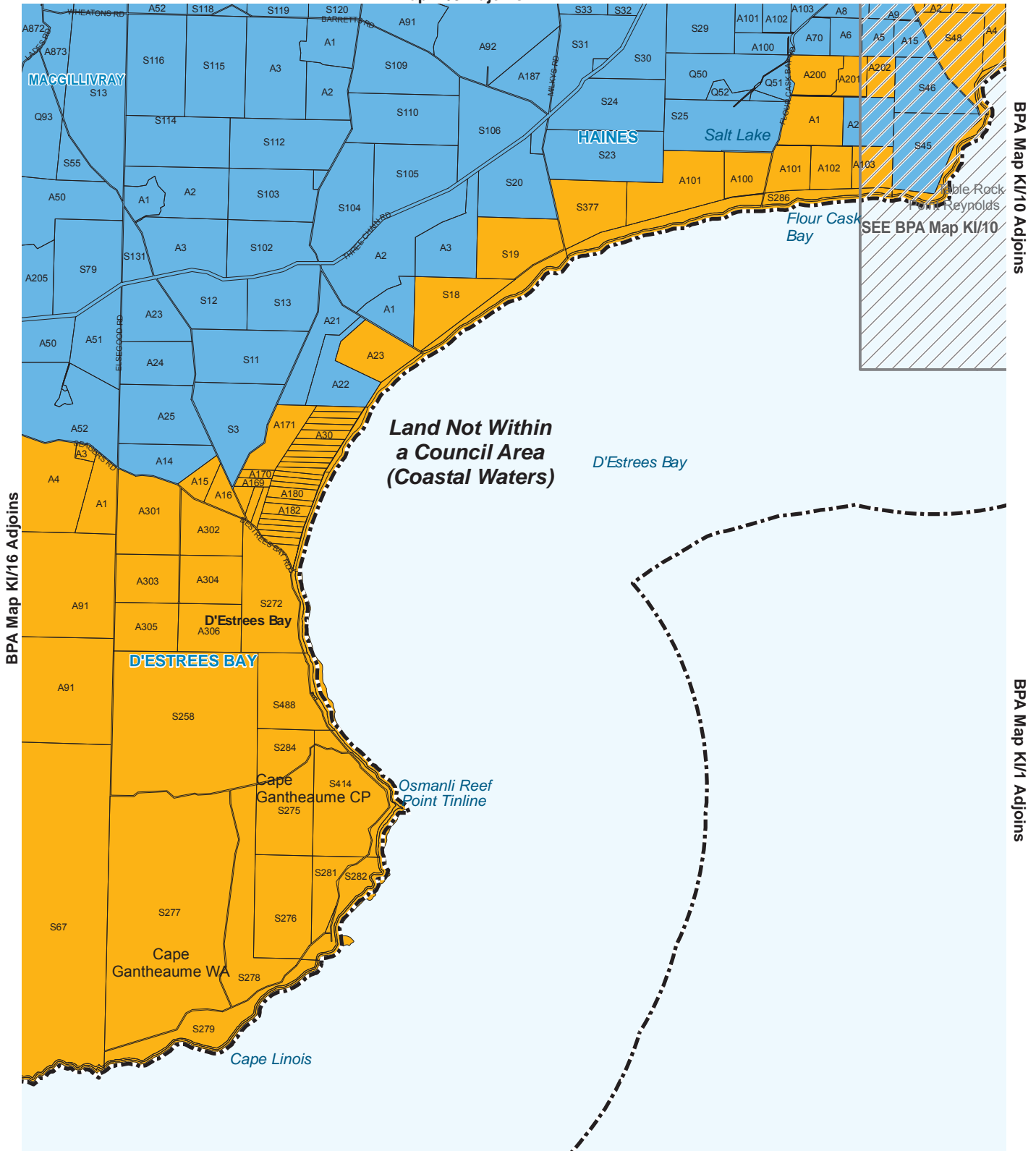


0 5 km

Bushfire Protection Area BPA Map KI/16 BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

BPA Map KI/9 Adjoins



See enlargement map for accurate representation.

BPA Map KI/1 Adjoins

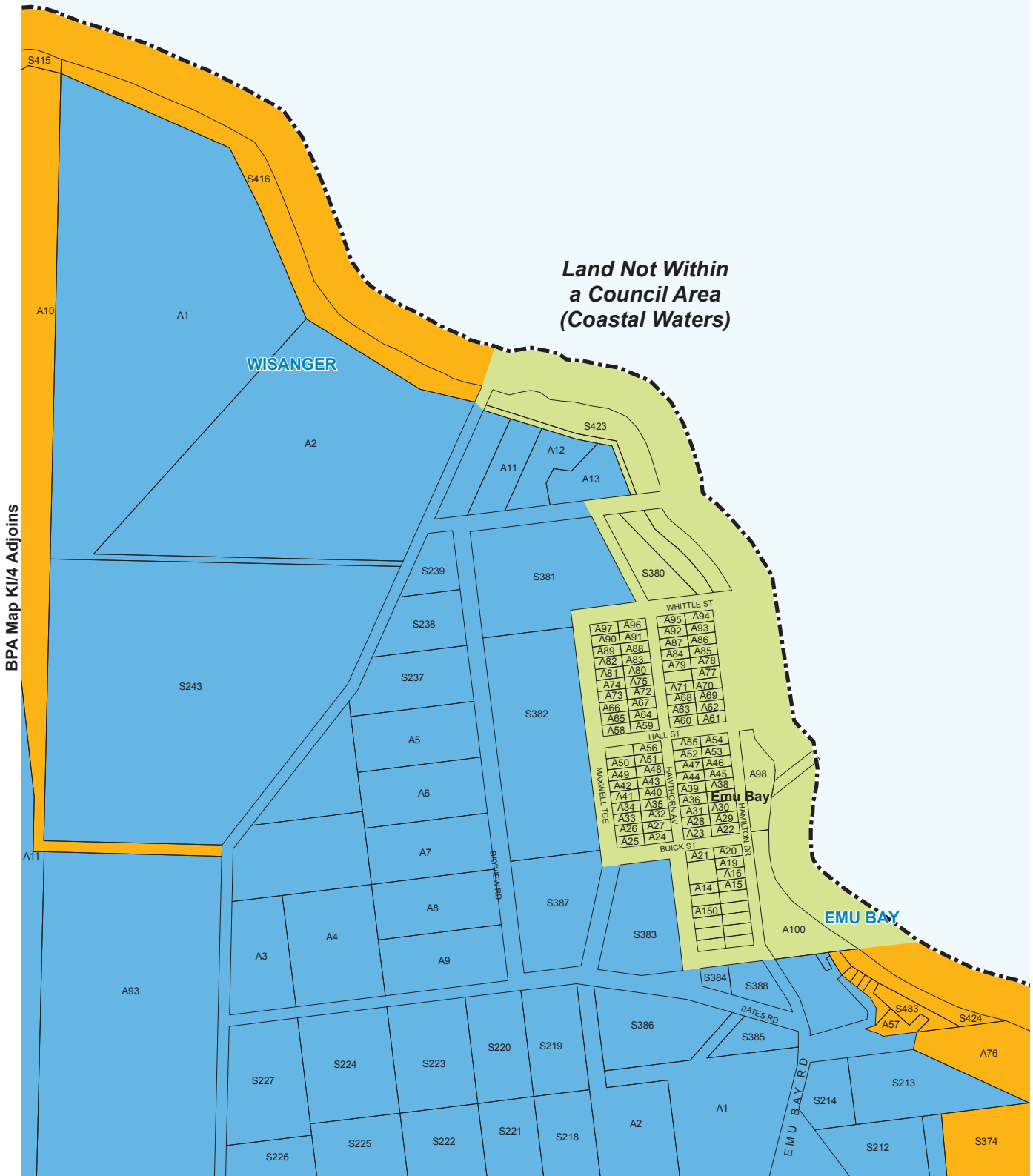


Bushfire Protection Area

BPA Map KI/17

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary



Land Not Within
a Council Area
(Coastal Waters)

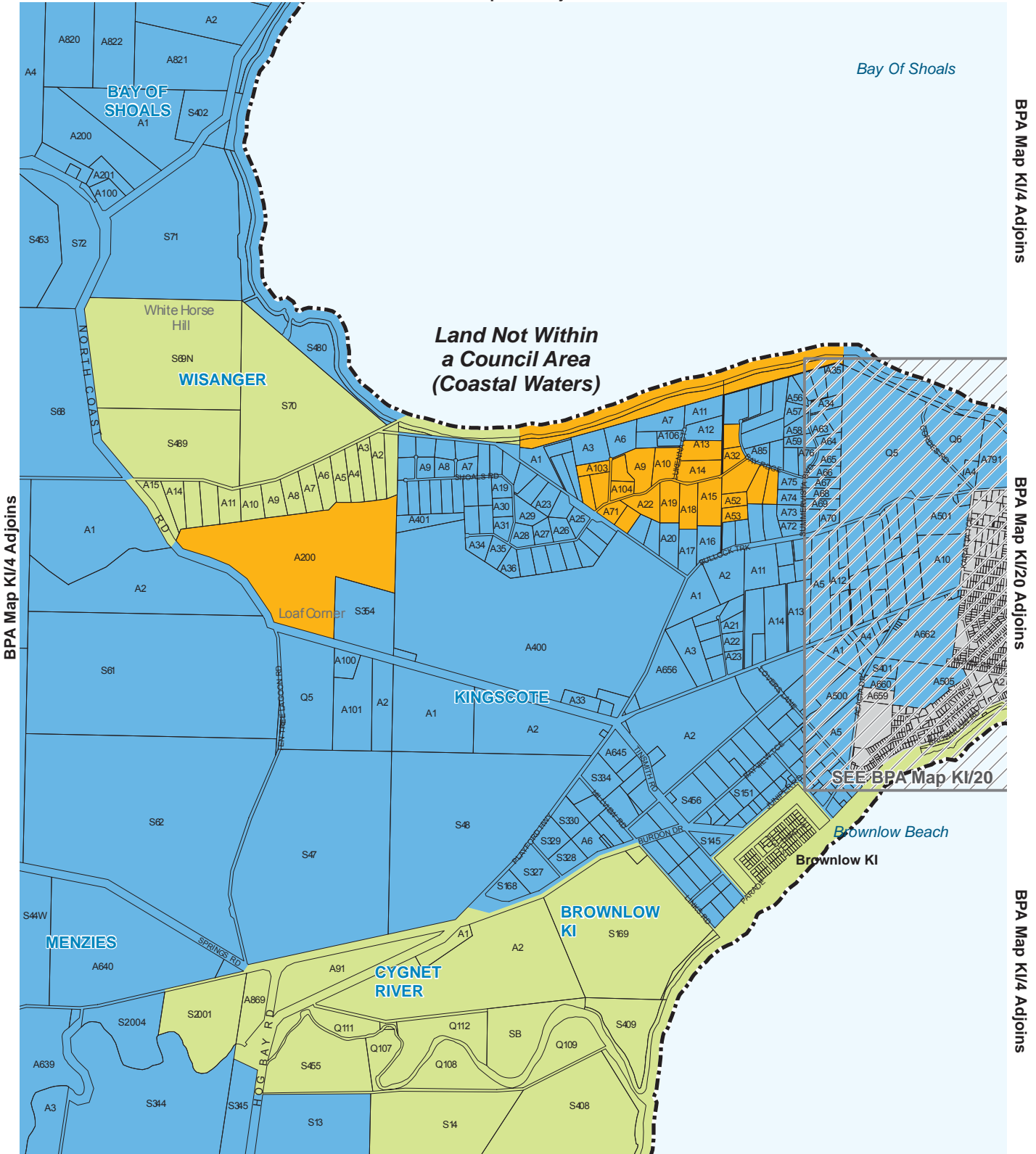
- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



Bushfire Protection Area

BPA Map KI/18

BUSHFIRE RISK



BPA Map KI/4 Adjoins

BPA Map KI/20 Adjoins

BPA Map KI/4 Adjoins

See enlargement map for accurate representation.



0 2000m

Bushfire Protection Area

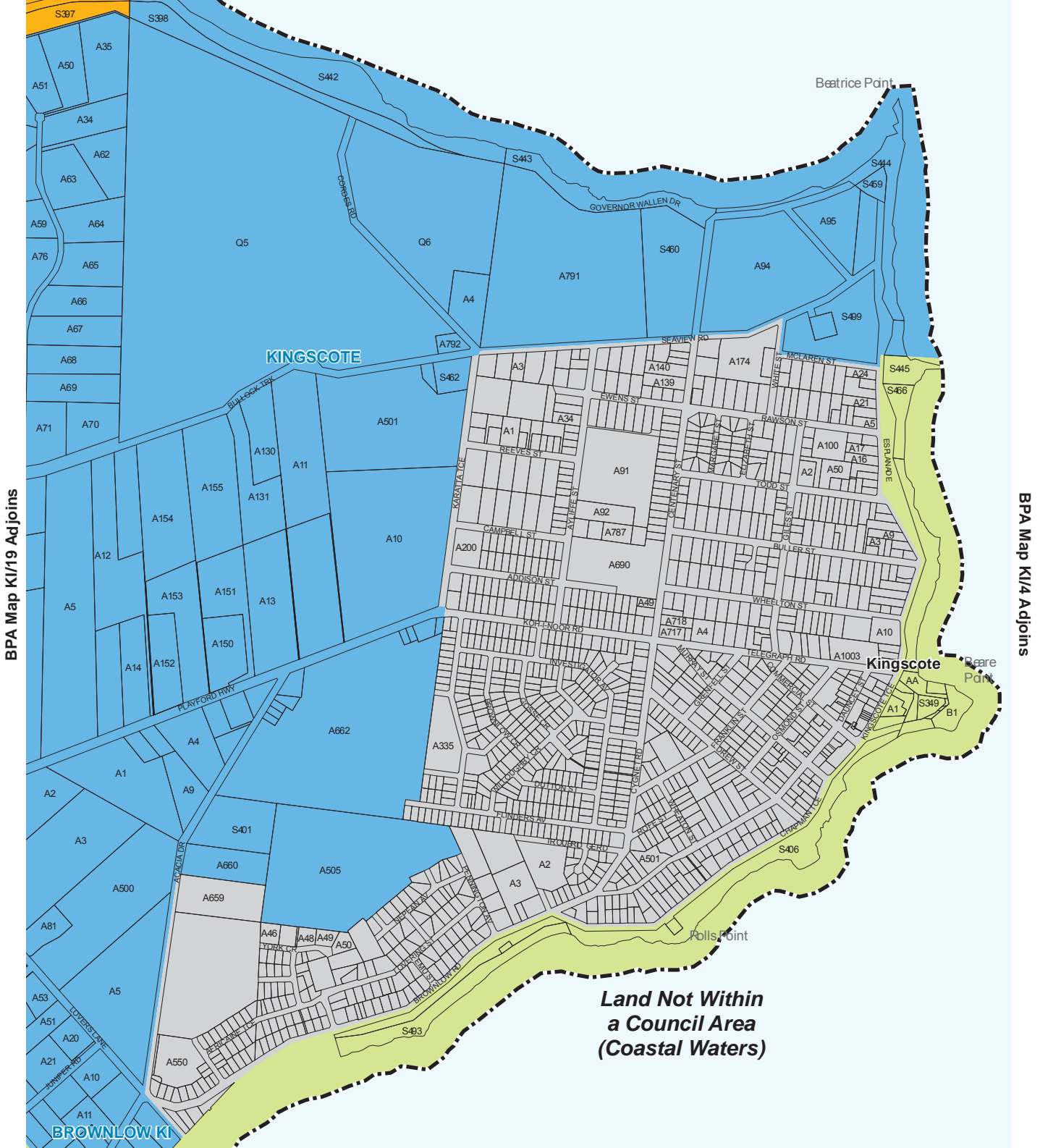
BPA Map KI/19

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

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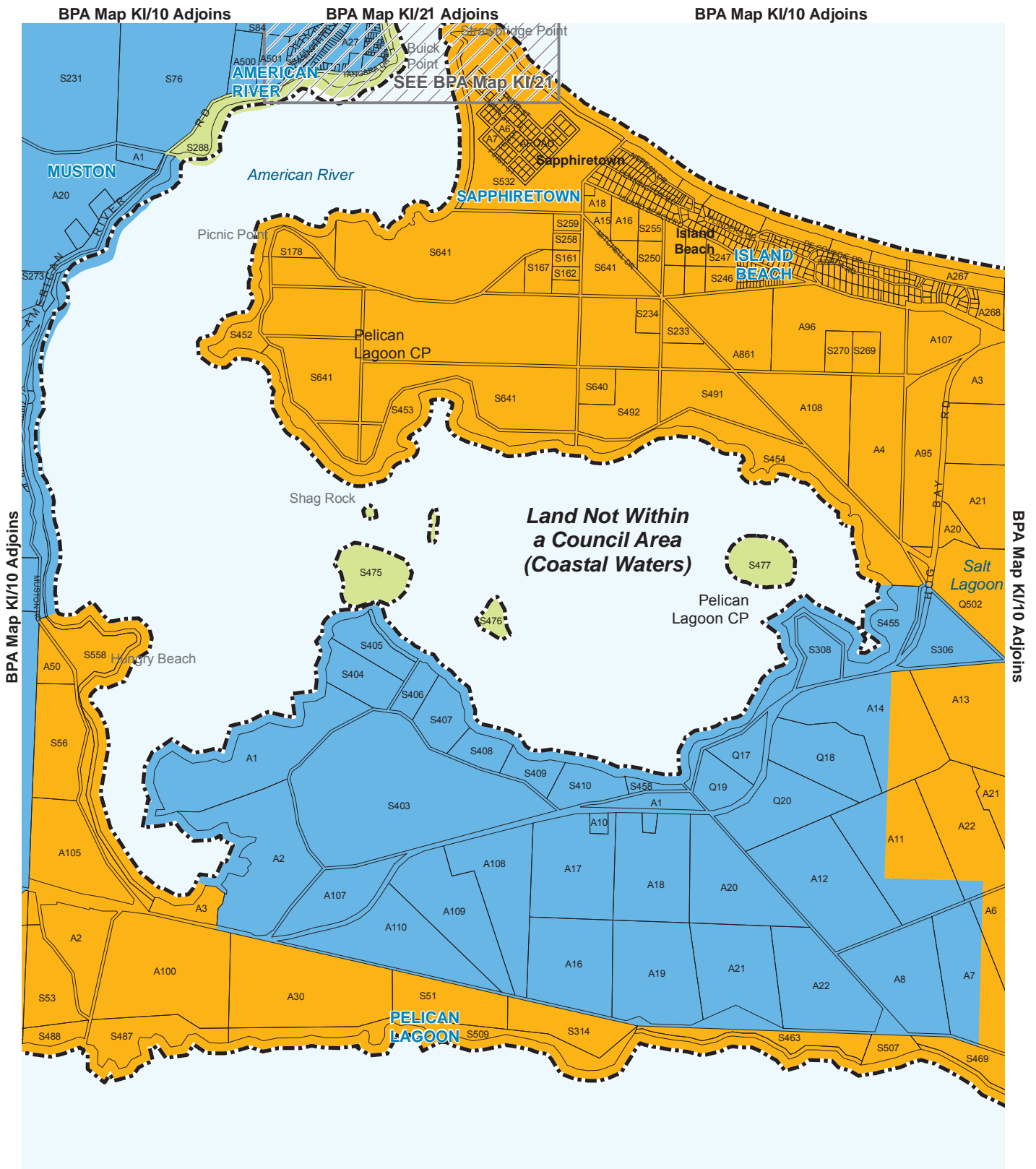


Bushfire Protection Area

BPA Map KI/20

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



BPA Map KI/10 Adjoins

See enlargement map for accurate representation.

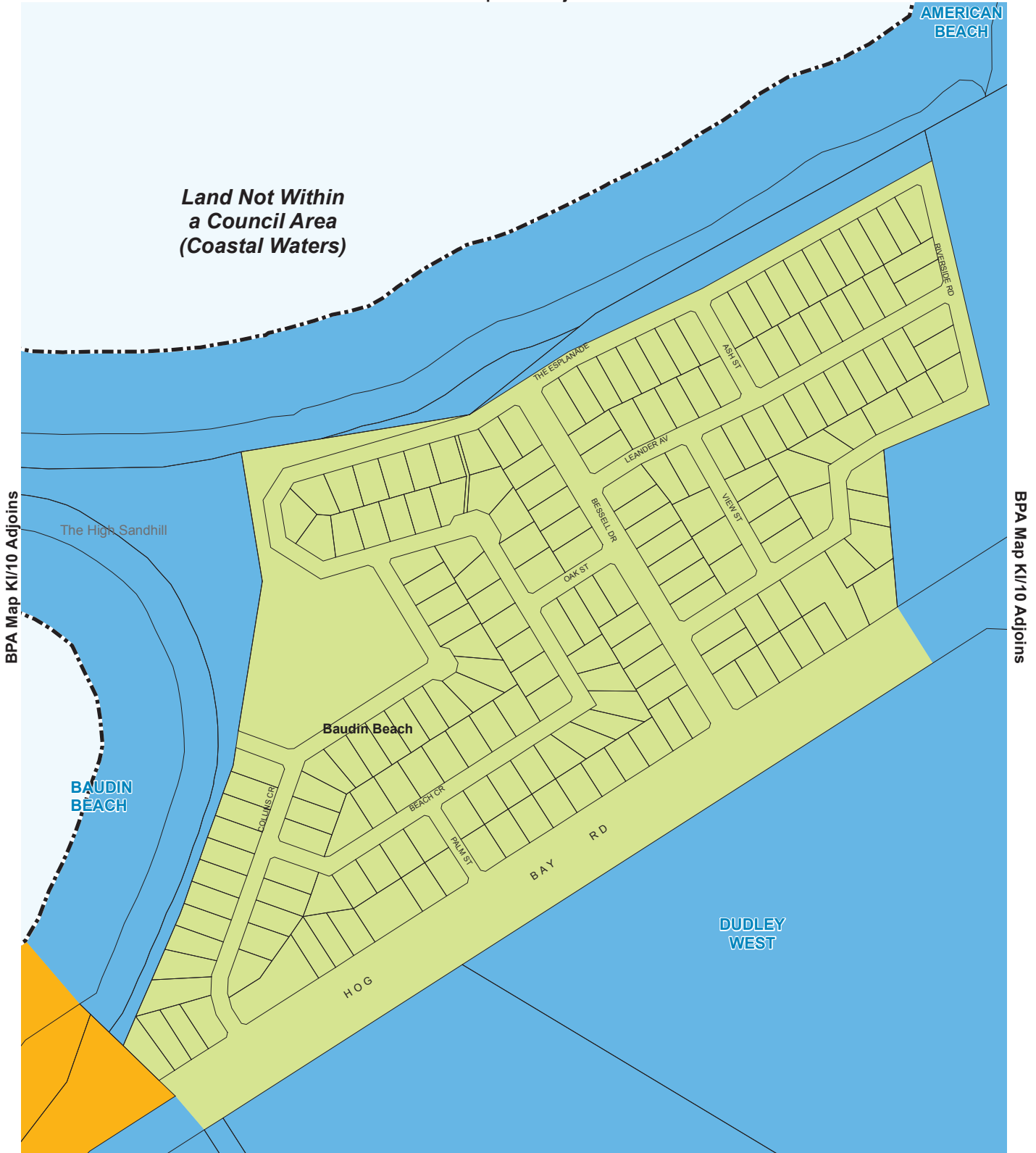


Bushfire Protection Area

BPA Map KI/22

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



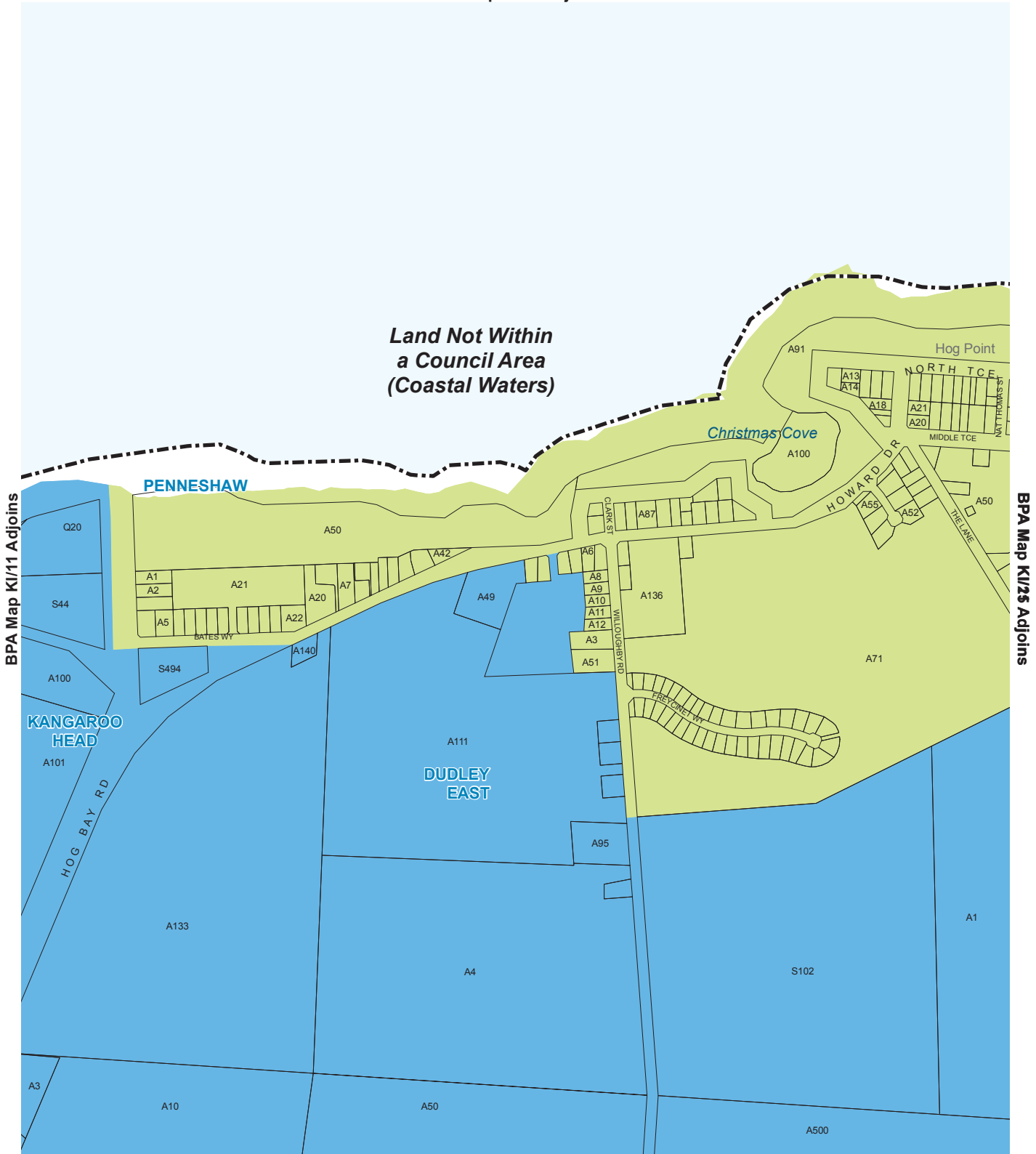
- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



Bushfire Protection Area

BPA Map KI/23

BUSHFIRE RISK



Land Not Within
a Council Area
(Coastal Waters)

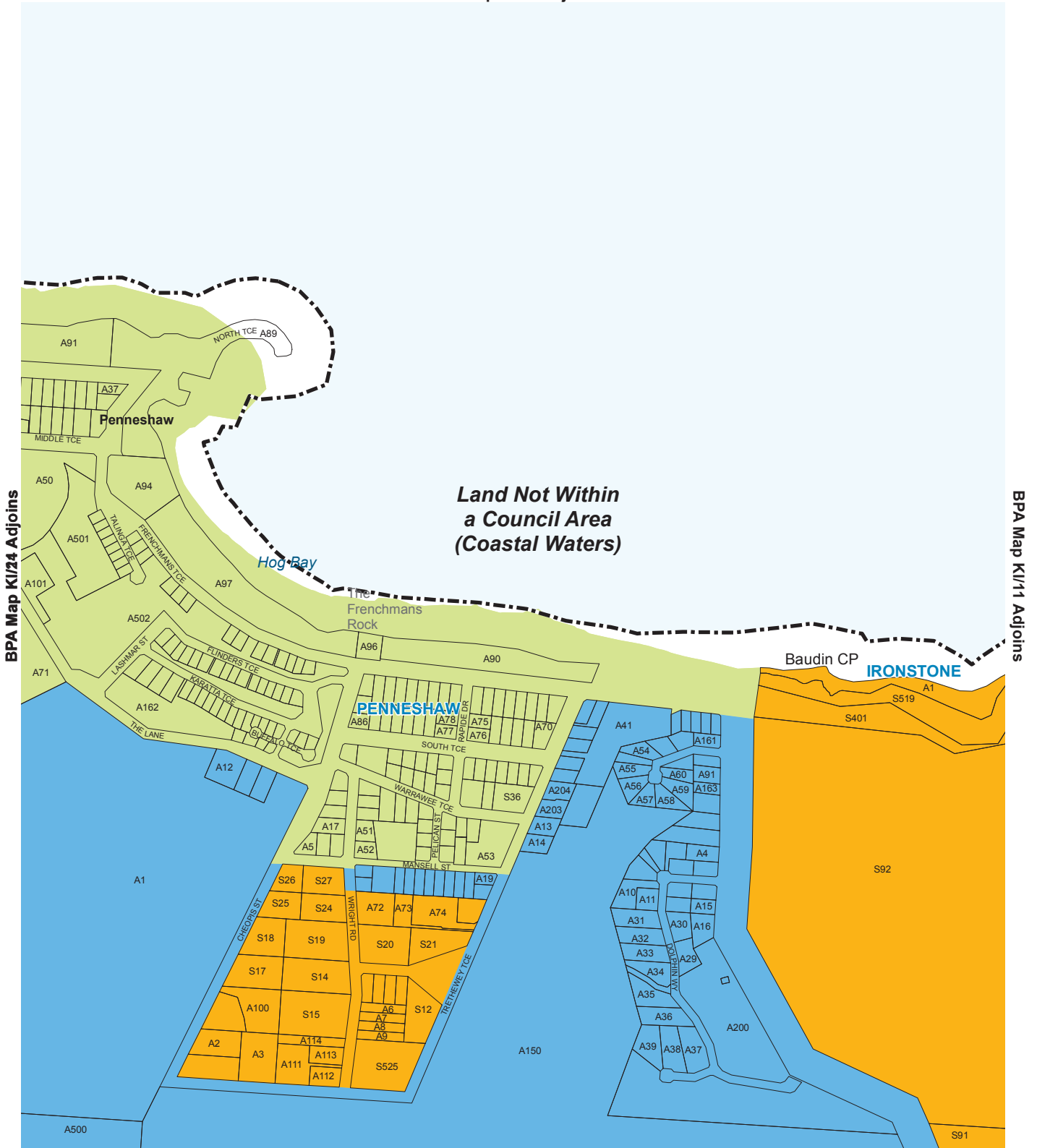


Bushfire Protection Area

BPA Map KI/24

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

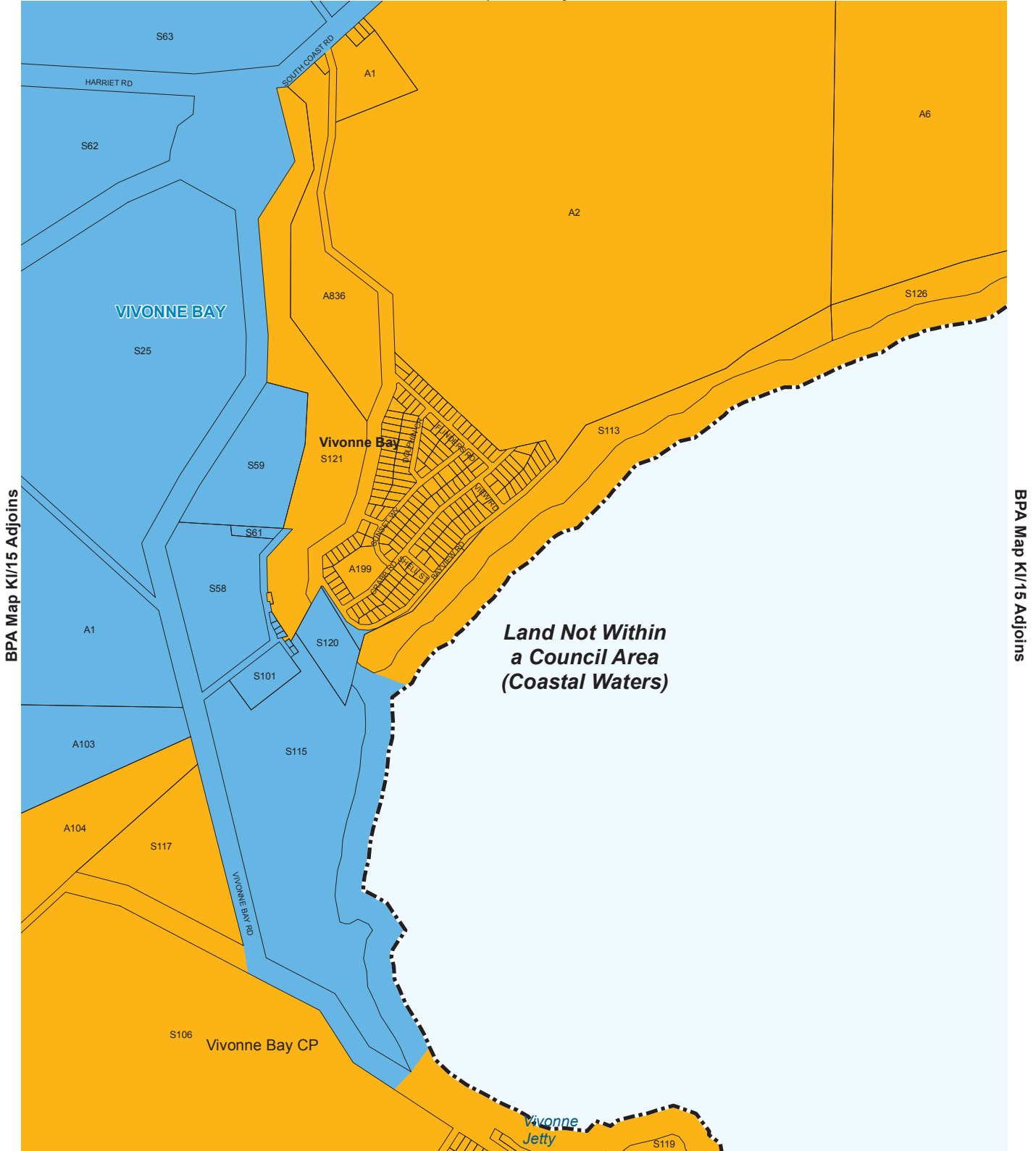


Bushfire Protection Area

BPA Map KI/25

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



0 500 m

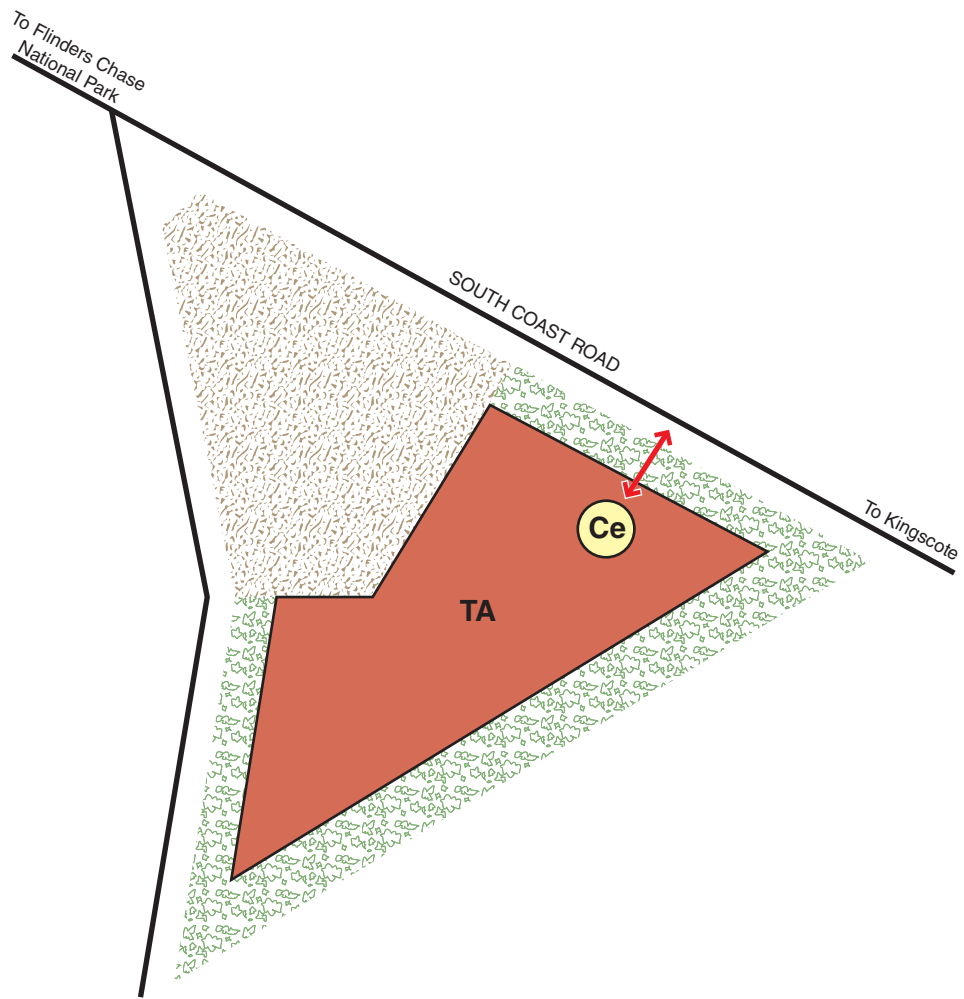
Bushfire Protection Area

BPA Map KI/26

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Development Plan Boundary

Concept Plan Maps



- Tourist Centre
- Tourist Accommodation
- Area of High Natural Value
- Vegetation Buffer
- Main Site Access
- Major Local Road

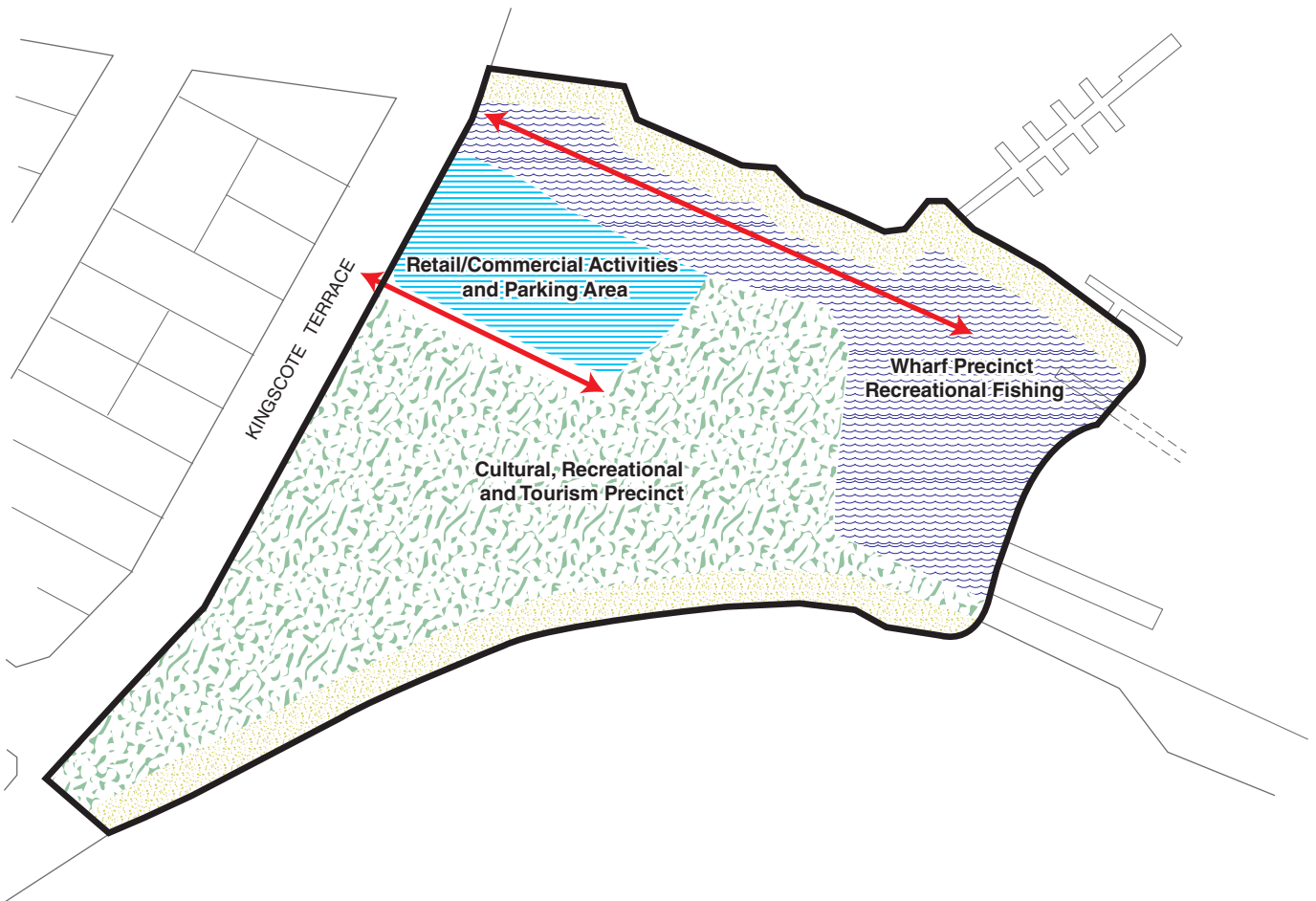







0 metres 150 300 450 600 750

Concept Plan Map KI/1

TOURIST ACCOMMODATION

KANGAROO ISLAND COUNCIL



-  Foreshore Recreation/Penguin Habitat and Viewing/Pedestrian Walking
-  Cultural Recreational and Tourism Precinct
-  Retail/Commercial Activities and Parking Area
-  Wharf Precinct and Recreational Fishing
-  Gateways

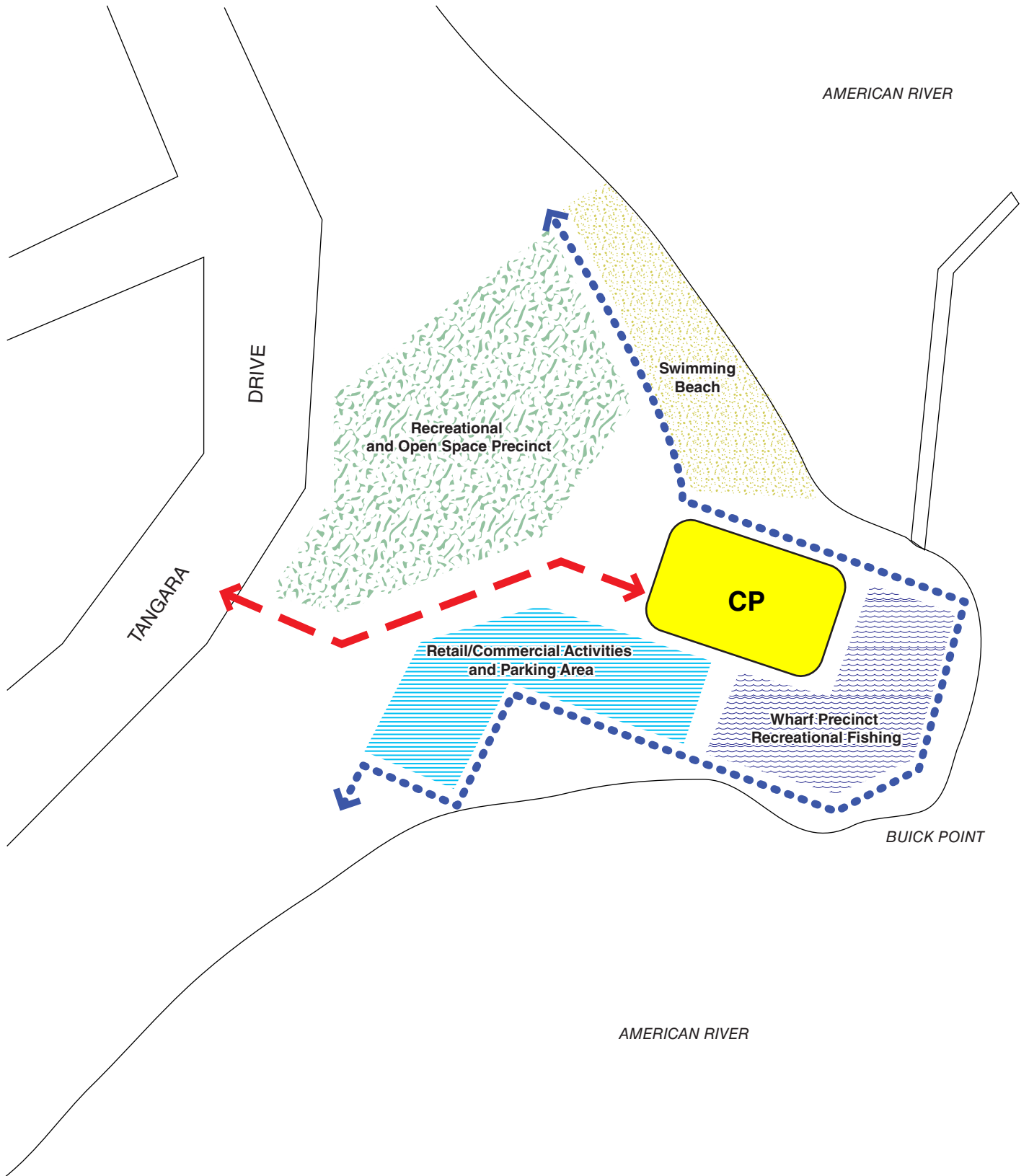









KINGSCOTE

Concept Plan Map KI/2

KINGSCOTE WHARF

KANGAROO ISLAND COUNCIL



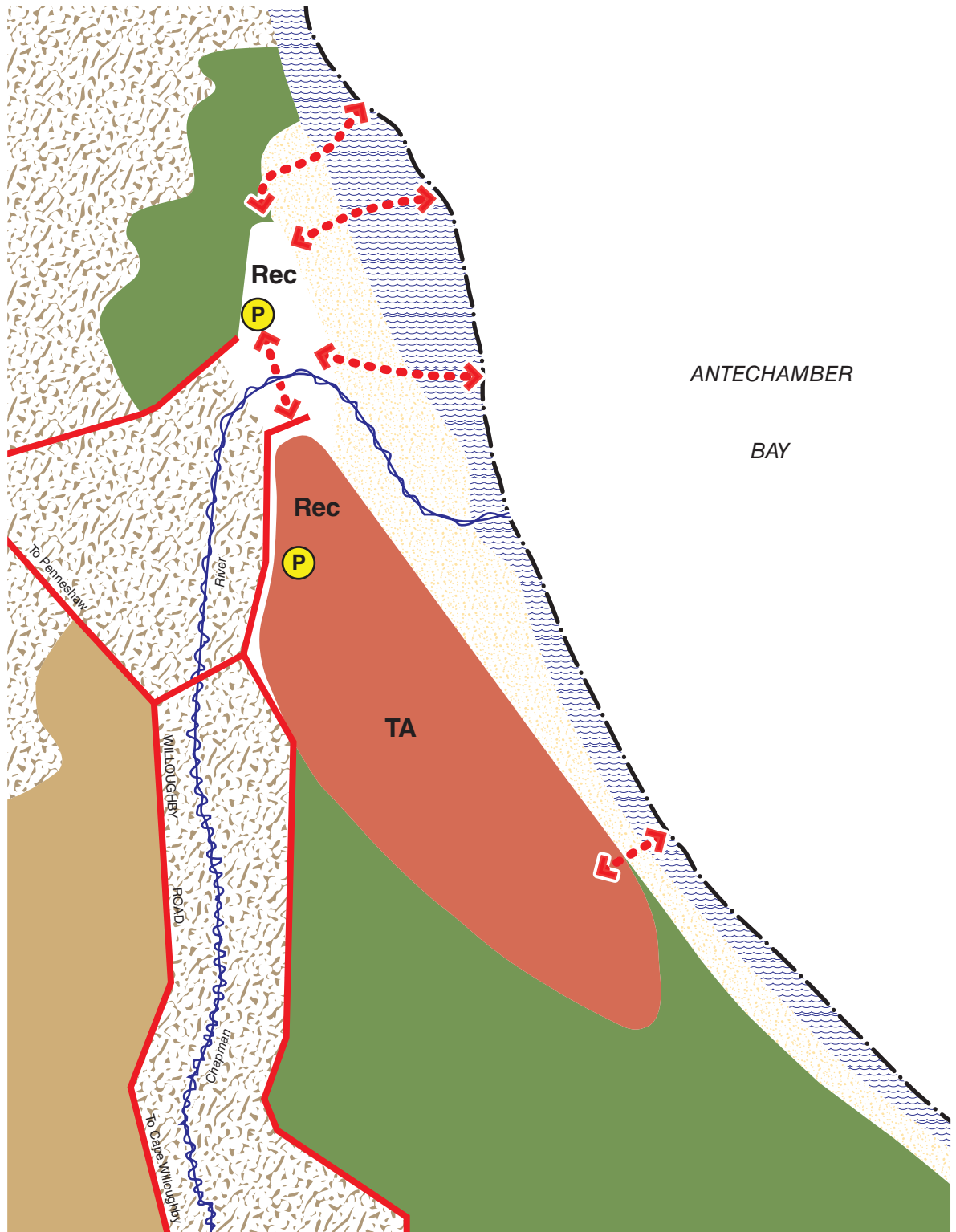
-  Car Parking Area
-  Swimming Beach
-  Recreational and Open Space Precinct
-  Retail/Commercial Activities and Parking Area
-  Wharf Precinct and Recreational Fishing
-  Pedestrian Access
-  Vehicle Access



AMERICAN RIVER

Concept Plan Map KI/3

AMERICAN RIVER WHARF



-  Significant Bushland
-  Dune Area
-  Foreshore Protection
-  Coastal Conservation
-  Primary Production
-  Tourist Accommodation
-  Parking
-  Passive Recreation
-  Limited Pedestrian Access
-  River
-  Local Road

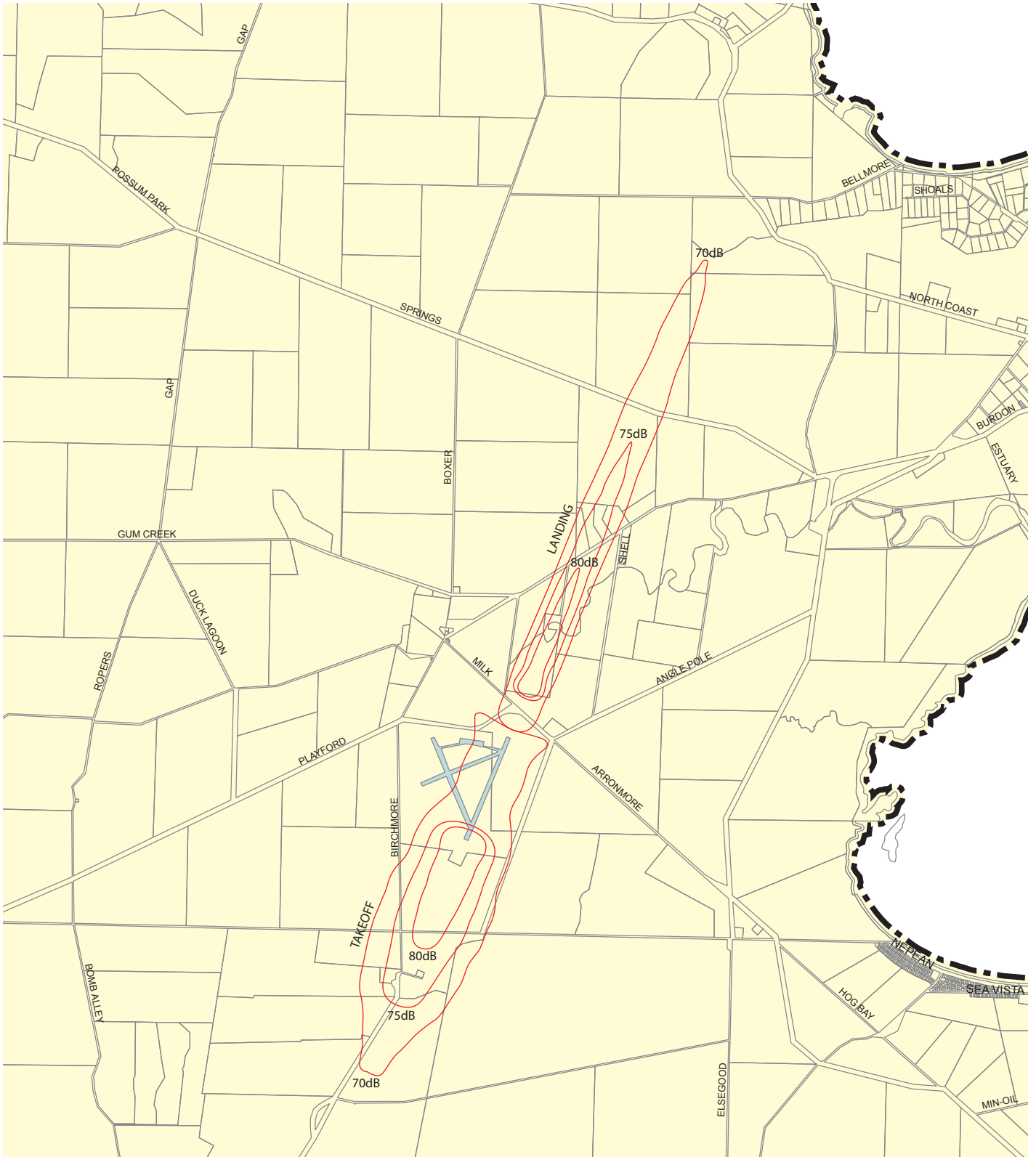


0m 200 400 600 800

Concept Plan Map KI/4 ANTECHAMBER BAY

KANGAROO ISLAND COUNCIL

Consolidated - 17 September 2015



1:70,000



Concept Plan Map KI/5

AIRCRAFT NOISE CONTOURS

- Noise Contour
- Development Plan Boundary