

Development Plan

Copper Coast Council

Consolidated – 23 May 2019

Please refer to the Copper Coast Council page at www.sa.gov.au/developmentplans to see any amendments not consolidated.



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Transport and Infrastructure



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Introduction

Section

Amendment Record Table

The following table is a record of authorised amendments and their consolidation dates for the Copper Coast Council Development Plan since its inception on 26 September 2002. Further information on authorised amendments prior to this date may be researched through the relevant Council, the Department of Planning, Transport and Infrastructure or by viewing Gazette records.

CONSOLIDATED	AMENDMENT – [Gazetted date]
26 September 2002	Northern Yorke Peninsula (DC) & Wallaroo (CT) Development Plans – General PAR – [26 September 2002]
15 May 2003	Section 27(5) Amendment – [15 May 2003]
11 September 2003	Wind Farms PAR (<i>Ministerial</i>) – [24 July 2003]
22 September 2005	North Moonta Rural Living Zone PAR – [22 September 2005]
28 June 2007	Port Hughes (The Dunes) PAR – [21 June 2007]
26 February 2009	Copper Cove (Wallaroo) Marina DPA – [19 February 2009] Wallaroo Ferry Terminal DPA – [26 February 2009]
1 September 2011	Incitec Pivot Site – Wallaroo DPA – [1 September 2011] Athena Drive Wallaroo – Residential DPA – [1 September 2011]
10 November 2011	Statewide Wind Farms DPA (Interim) (<i>Ministerial</i>) – [19 October 2011]
15 November 2012	Termination of the Statewide Wind Farms DPA (<i>Ministerial</i>) and its removal from the Copper Coast (DC) Development Plan – [18 October 2012] Statewide Wind Farms DPA (<i>Ministerial</i>) – [18 October 2012]
13 December 2012	Agery Road Residential DPA – [13 December 2012]
13 June 2013	Section 29(2)(b)(ii) Amendment – [7 March 2013]
28 August 2014	Better Development Plan (BDP) and General DPA – [28 August 2014]
9 June 2016	Section 29(2)(b)(ii) Amendment – [12 May 2016] Better Development Plan (BDP) and General DPA Part 2 – [9 June 2016]
12 December 2017	Section 29(2)(b)(ii) Amendment – [8 August 2017] Section 29(2)(b)(ii) Amendment – [12 December 2017]
23 May 2019	Editorial correction to Zone and Precinct Maps CoCo/15

Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

Introduction to the Development Plan

Welcome to the Development Plan for the Copper Coast Council.

This introduction has been prepared by the Department of Planning, Transport and Infrastructure as guide to assist you in understanding this Development Plan.

For full details about your rights and responsibilities, you are advised to refer to the *Development Act 1993* and the associated *Development Regulations 2008* and/or consult your council.

A number of guides and additional information regarding South Australia's Planning and Development Assessment System are available via the website www.saplanningportal.sa.gov.au or by contacting the Department of Planning, Transport and Infrastructure at Level 5, 50 Flinders Street, Adelaide.

Overview of the Planning System

South Australia has an integrated planning and development system, with three distinct but interrelated parts, these being:

- Legislation
- The Planning Strategy
- Development Plans.

The **legislative framework** establishing the planning and development system and setting out its statutory procedures is provided by the *Development Act 1993* and its associated *Development Regulations 2008*. The *Development Act* is the core legislation enacted by the South Australian Parliament to establish the planning and development system framework and many of the processes required to be followed within that framework (including processes for assessing development applications). The Regulations provide more details about the framework and are updated from time to time by the Governor (on the advice of the Minister for Planning).

The State Government's broad vision for sustainable land use and the built development of the state is outlined in the **Planning Strategy**. The relevant volume of the Planning Strategy for this Development Plan is the Yorke Peninsula Regional Land Use Framework (December 2007).

The Planning Strategy, which covers a full range of social, economic and environmental issues, informs and guides policies both across Government and in local area Development Plans. The Planning Strategy is required under section 22 of the *Development Act 1993* and is updated by the State Government every few years. Local councils also prepare strategic plans which guide the same matters but at a local level. These strategic plans are not, however, development assessment tools, that is the role of Development Plans.

Development Plans are the key on-the-ground development assessment documents in South Australia. They contain the rules that set out what can be done on any piece of land across the state, and the detailed criteria against which development applications will be assessed. Development Plans cover distinct and separate geographic areas of the state. There is a separate Development Plan for each one of the 68 local council areas, plus a handful of other Development Plans covering areas not situated within local government boundaries. Development Plans outline what sort of developments and land use are and are not envisaged for particular zones (eg residential, commercial, industrial), and various objectives, principles and policies further controlling and affecting the design and other aspects of proposed developments.

What is Development?

'Development' is defined in Section 4 of the *Development Act 1993* as:

- a change in the use of land or buildings
- the creation of new allotments through land division (including Strata and Community Title division)
- building work (including construction, demolition, alteration and associated excavation/fill)

- cutting, damaging or felling of significant trees
- specific work in relation to State and Local heritage places
- prescribed mining operations
- other acts or activities in relation to land as declared by the Development Regulations.

No development can be undertaken without an appropriate **Development Approval** being obtained from the relevant authority after an application and assessment process.

How does the Development Plan relate to other legislation?

The Development Plan is a self-contained policy document prepared under and given statutory recognition pursuant to *the Development Act 1993*.

It is generally independent of other legislation but is one of many mechanisms that control or manage the way that land and buildings are used.

The Development Act, 1993 and *Development Regulations, 2008* contain a number of provisions to ensure that development applications are referred to other government agencies when appropriate.

What doesn't a Development Plan do?

Development Plans are applicable only when new development is being designed or assessed. They do not affect existing development (see above for a description of what constitutes 'development').

Once a Development Approval is issued, the details contained within the application and any conditions attached to that approval are binding.

Development Plan policies guide the point in time assessment of a development application but do not generally seek to control the on-going management of land, which is the role of other legislation (eg the *Environment Protection Act 1993*, *Natural Resources Management Act 2004*, *Liquor Licensing Act 1997*).

When do you use the Development Plan?

The Development Plan should be used during a development application process. This may include:

- when undertaking or proposing to undertake 'development' (eg building a house or factory or converting an office into a shop)
- when assessing or determining a development proposal (eg by council staff, a Council or Regional Development Assessment Panel or the Development Assessment Commission)
- when you believe you could be affected by a proposed development and you are given an opportunity to comment on it as part of the assessment process.

How to read the Development Plan

Development Plans are comprised of several sections as described below.

All sections and **all** relevant provisions within each section of the Development Plan must be considered in relation to a development proposal or application.

Development Plans use three text font colours:

- (a) Black text is used to identify all standard policy that forms the basis of all council Development Plans.
- (b) Green text is used to identify additional council-specific policy or variables that have been included in the Development Plan to reflect local circumstances.
- (c) Blue text illustrates hyperlinks to maps, overlays and tables in the Development Plan. These hyperlinks are operational only when viewing electronic versions of the Development Plan.

Development Plan Structure Overview

Advisory Section	Function
Table of Contents	Navigational aid to reference sections within the Development Plan by name and page number.
Amendment Record Table	Tabled information recording previously-authorized Development Plan amendments and their consolidation dates.
Introduction Overview of the Planning System What is Development? How does the Development Plan relate to other legislation? What doesn't a Development Plan do? When do you use the Development Plan? How to read the Development Plan?	A general overview of the context, purpose and way a Development Plan is set out (this section is advisory only and not used for development assessment purposes).
Strategic Setting State Strategic Setting <i>(30-Year Plan for Greater Adelaide/Regional Planning Strategy)</i> Council Strategic Setting <i>(Council Strategy)</i>	To be developed, but intended to reflect the relevant Planning Strategy (as it relates to the council area) and council's own local strategic investigations.
Council Preface Map	Map of the entire Development Plan boundary and its spatial relationship to other Development Plans' boundaries.
Assessment Section	Function
General Section Provisions Objectives Principles of Development Control	These policies apply across the whole council area and relate to a range of social, environmental, and economic development issues such as: <ul style="list-style-type: none"> ▪ site and design criteria ▪ access and vehicle parking requirements ▪ heritage and conservation measures ▪ environmental issues ▪ hazards ▪ infrastructure requirements ▪ land use specific requirements. They establish the development standards that apply to all forms of development and provide a yardstick against which the suitability of development proposals is measured. Many policies include a number of subclauses. All subclauses should be met, unless otherwise stated.

Assessment Section	Function
Overlay Section Provisions	These policies are spatially located through the application of specific overlay mapping where there is an envisaged land use outcome or application of appropriate design requirements determined by the locality of the proposed development.
Zone Section Provisions	<p>These policies give greater certainty and direction about where certain forms of developments should be located. Maps are referenced within zones that show where land uses are suitable to be located.</p> <p>Generally, envisaged forms of development within a zone are identified and encouraged through carefully worded policies.</p>
Desired Character Statements	These express a vision about how the zone should look and feel in the future. They may describe the valued elements of the neighbourhood or area to be retained and/or what level and nature of change is desired.
Objectives	These are the specific planning policies that determine what land uses are encouraged or discouraged in the zone. They often contain detailed provisions to further guide the scale and design of development.
Principles of Development Control	These also provide lists of complying and non-complying development and any public notification provisions that vary from those in the Development Regulations.
Policy Area	Policy areas apply to a portion of a zone and contain additional objectives, desired character statements and principles of development control for that portion.
Precincts	<p>Precincts are used to express policies for a small sub-area of a zone or a policy area.</p> <p>Precincts are used if additional site-specific principles of development control are needed to reflect particular circumstances associated with those sub-areas.</p>
Procedural Matters	<p>All zones have a procedural matters section that identifies and lists complying, non-complying and public notification categories for various forms of development.</p> <p>Policy areas and/or precincts, which are a sub-set of the zone, share this procedural matters section. Their respective lists can be modified to accommodate policy area and precinct variations.</p>
Table Section Provisions	<p>These tables provide detailed data for the assessment of certain elements of development, for example, numeric values for setbacks from road boundaries and car parking rates for certain types of development.</p> <p>Conditions for complying development are grouped into their respective tables.</p>
Mapping Section Structure Plan Maps	Structure Plan maps will commonly show the general arrangement and broad distribution of land uses; key spatial elements; and movement patterns throughout the council area and major urban areas.

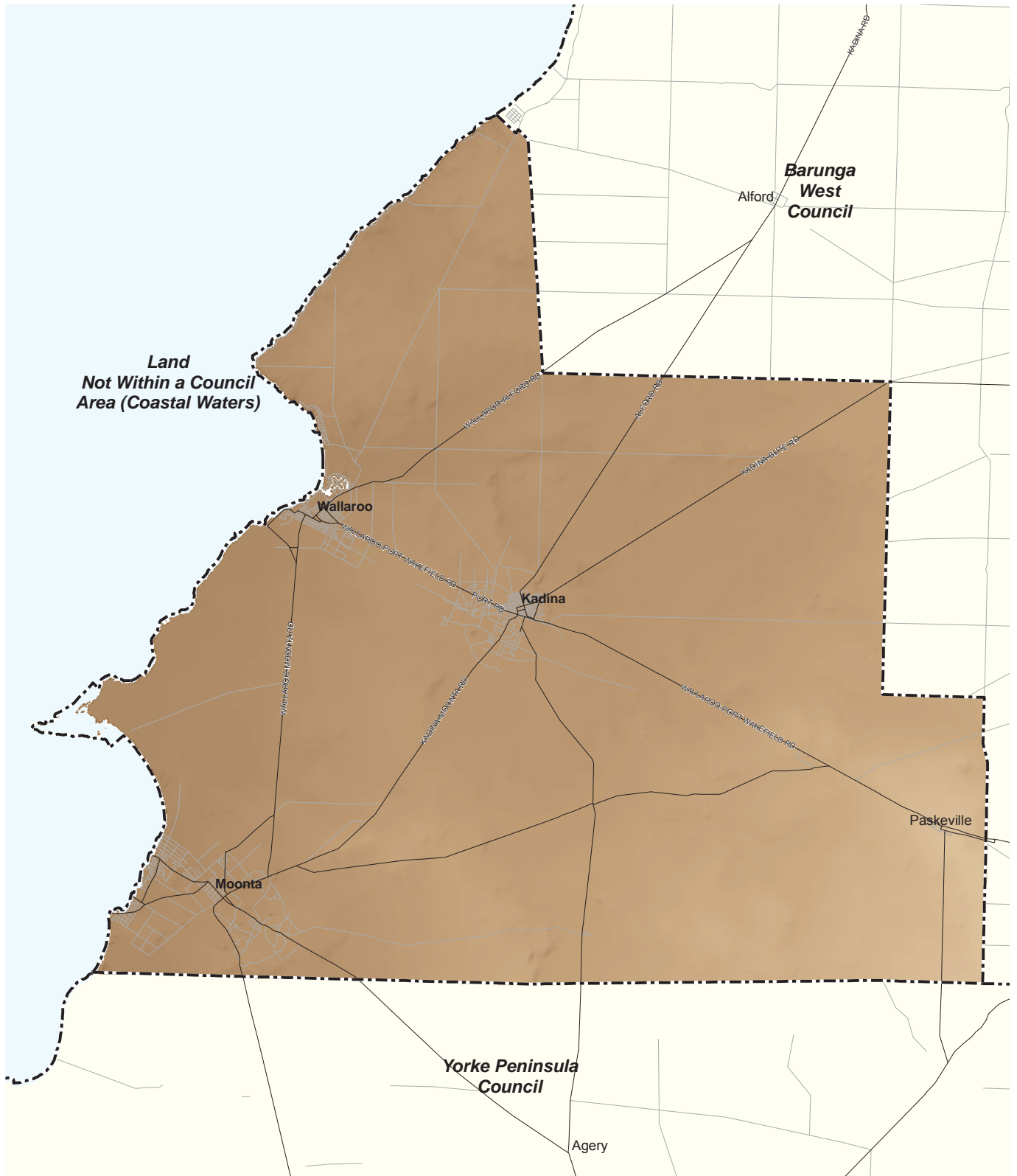
Assessment Section	Function
Council Index Maps	<p>This is the first point of reference when determining the appropriate map(s) applying to a specific property.</p> <p>An enlargement index map may be included where needed, eg for large townships.</p>
Extent Map Series Location Maps	<p>Individual overlay and spatial-based maps (based on the Council Index Maps) originate from a single Location Map and ‘drill down’ through relevant extent maps affecting that location.</p> <p><i>Note: the entire council area will always be represented as the first map in the extent map series and will commence as Map 1.</i></p>
Overlay Maps	<p>Used to show issue areas or features that run across a number of zones, and are spatially defined to a cadastre, for example:</p> <ul style="list-style-type: none"> ▪ Transport ▪ Development Constraints ▪ Heritage ▪ Heritage and Character Preservation District ▪ Natural Resources ▪ Affordable Housing ▪ Noise and Air Emissions ▪ Strategic Transport Routes <p><i>Note: issues that are not spatially defined to a cadastre can appear in this section; however they will be presented as illustrative maps only.</i></p>
Zone Maps	Used to determine which zone applies to which land.
Policy Area Maps	Used to depict the presence and location of any applicable policy area.
Precinct Maps	Used to depict the presence and location of any applicable precincts.
Bushfire Maps (<i>where applicable</i>) Bushfire Protection Area BPA Maps - Bushfire Risk	Bushfire Protection Area - BPA Maps are used to determine the potential bushfire risk (high, medium or general), associated with an allotment located within an area prone to bushfires.
Concept Plan Maps	<p>Concept Plans are used to depict graphically key features and conceptual layouts of how specific areas should be developed.</p> <p>Concept Plans appear at the end of the extent map series as a separate section. Concept Plans are consecutively numbered, commencing with number 1.</p>

Further info

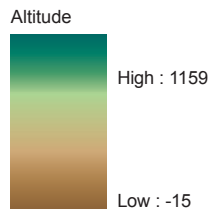
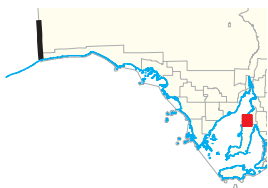
Contact the [Copper Coast Council](#).

Visit the Department Planning, Transport and Infrastructure website: www.saplanningportal.sa.gov.au.

Discuss your matter with your planning consultant.



To identify the precise location of the Development Plan boundary refer to Council Index Map then select the relevant map number.



Council Preface Map

General Section

Advertisements

OBJECTIVES

- 1 Urban and rural landscapes that are not disfigured by advertisements and/or advertising hoardings.
- 2 Advertisements and/or advertising hoardings that do not create a hazard.
- 3 Advertisements and/or advertising hoardings designed to enhance the appearance of the building and locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The location, siting, design, materials, size, and shape of advertisements and/or advertising hoardings should be:
 - (a) consistent with the predominant character of the urban or rural landscape
 - (b) in harmony with any buildings or sites of historic significance or heritage value in the area
 - (c) coordinated with and complement the architectural form and design of the building they are to be located on.
- 2 The number of advertisements and/or advertising hoardings associated with a development should be minimised to avoid:
 - (a) clutter
 - (b) disorder
 - (c) untidiness of buildings and their surrounds
 - (d) driver distraction.
- 3 Buildings occupied by a number of tenants should exhibit coordinated and complementary advertisements and/or advertising hoardings to identify the tenants and their type of business.
- 4 The content of advertisements should be limited to information relating to the legitimate use of the associated land.
- 5 Advertisements and/or advertising hoardings should:
 - (a) be completely contained within the boundaries of the subject allotment
 - (b) be sited to avoid damage to, or pruning or lopping of, on-site landscaping or street trees
 - (c) not obscure views to vistas or objects of high amenity value.
- 6 Advertisements and/or advertising hoardings should not be erected on:
 - (a) a public footpath or veranda post
 - (b) a road, median strip or traffic island
 - (c) a vehicle adapted and exhibited primarily as an advertisement

- (d) residential land.
- 7 Advertisements and/or advertising hoardings attached to buildings should not be sited on the roof or higher than the walls of a building, unless the advertisement or advertising hoarding is appropriately designed to form an integrated and complementary extension of the existing building.
- 8 Advertisements and/or advertising hoardings erected on a veranda or that project from a building wall should:
 - (a) have a **minimum** clearance over a footway of **2.5 metres** to allow for safe and convenient pedestrian access
 - (b) where erected on the side of a veranda, not exceed the width of the veranda or project from the veranda
 - (c) where erected on the front of a veranda, not exceed the length of the veranda or project from the veranda
 - (d) where projecting from a wall, have the edge of the advertisement or advertising hoarding abutting the surface of the wall.
- 9 Advertisements should be designed to conceal their supporting advertising hoarding from view.
- 10 Advertisements should convey the owner/occupier and/or generic type of business, merchandise or services using simple, clear and concise language, symbols, print style and layout and a small number of colours.
- 11 Advertisements which perform a secondary role in identifying the business, goods or services should only be readable in the immediate vicinity of the site.
- 12 Outside of townships and country settlements advertisements other than traffic signs, tourist signs or advertisements on an existing tourist information bay display board, should not be erected in road reserves.

Safety

- 13 Advertisements and/or advertising hoardings should not create a hazard by:
 - (a) being so highly illuminated as to cause discomfort to an approaching driver, or to create difficulty in the driver's perception of the road or persons or objects on the road
 - (b) being liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals
 - (c) distracting drivers from the primary driving task at a location especially where the demands on driver concentration are high
 - (d) obscuring a driver's view of other road or rail vehicles at/or approaching level crossings, or of pedestrians or of features of the road that are potentially hazardous (eg junctions, bends, changes in width, traffic control devices)
- 14 Any internally illuminated advertising signs and/or advertising hoardings which utilise LED, LCD or other similar technologies should be located a minimum of 80 metres from traffic signals, level crossings and other important traffic control devices.

Freestanding Advertisements

- 15 Freestanding advertisements and/or advertising hoardings should be:
 - (a) limited to only one primary advertisement per site or complex

- (b) not more than 6 metres in height or exceed 6 square metres in advertisement area
 - (c) of a scale and size in keeping with the desired character of the locality and compatible with the development on the site.
- 16 Freestanding advertisements and/or advertising hoardings for multiple-business tenancy complexes should:
- (a) incorporate the name or nature of each business or activity within the site or complex in a single advertisement
 - (b) be integrally designed and mounted below the more predominant main complex or site identity advertisement.
- 17 Portable, easel or A-frame advertisements should be displayed only where:
- (a) no other appropriate opportunity exists for an adequate coordinated and permanently erected advertisement and/or advertising hoarding
 - (b) they do not obstruct or compromise the safety of pedestrians or vehicle movement
 - (c) there is no unnecessary duplication or proliferation of advertising information
 - (d) there is no damage to, or removal of, any landscaping on the site
 - (e) the structure is not more than 900 millimetres in height and each face of the advertisement area does not exceed 1 square metre.
- 18 Portable, easel or A-frame advertisements should be limited to only one such advertisement structure per site or complex, or one per major road frontage if located on a corner site.
- 19 Portable, easel or A-frame advertisements associated with a development should be displayed only during the hours the development is open for trading.

Flags, Bunting and Streamers

- 20 Advertisements and/or advertising hoardings incorporating any flags, bunting, streamers, or suspended objects should:
- (a) be placed or arranged to complement and accord with the scale of the associated development
 - (b) other than flags, not be positioned higher than the building they are attached or related to
 - (c) not be displayed in residential areas.

Advertising along Arterial Roads

- 21 Advertising and/or advertising hoardings should not be placed along arterial roads that have a speed limit of 80 km/h or more.

Animal Keeping

OBJECTIVES

- 1 Animals not kept at a density beyond the carrying capacity of the land or water.
- 2 Animal keeping development sited and designed to avoid adverse effects on surrounding development.
- 3 Intensive animal keeping protected from encroachment by incompatible development.
- 4 Ecological sustainable development of the aquaculture industry.
- 5 Marine aquaculture development in marine waters that ensures fair and equitable sharing of marine and coastal resources and minimises conflict with water-based and land-based uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Animal keeping and associated activities should not create adverse impacts on the environment or the amenity of the locality.
- 2 Storage facilities for manure, used litter and other wastes should be designed and sited:
 - (a) to be vermin proof
 - (b) with an impervious base
 - (c) to ensure that all clean rainfall runoff is excluded from the storage area
 - (d) outside the 1-in-100 year average return interval flood event area.

Horse Keeping

- 3 Stables, horse shelters or associated yards should be sited:
 - (a) at least 50 metres from a watercourse
 - (b) on land with a slope no greater than 1-in-10.
- 4 A concrete drainage apron should be provided along the front of stables directing water from wash-down areas onto a suitably vegetated area that can absorb all the water, or into a constructed drainage pit.
- 5 Stables, horse shelters or associated yards should be sited at least 30 metres from any dwelling on the site and from the nearest allotment boundary to avoid adverse impacts from dust, erosion and odour.
- 6 Stables should:
 - (a) have an attached, fenced and sand-based yard
 - (b) measure a dimension of not less than 6 metres by 8 metres
 - (c) be provided with:
 - (i) manure bins
 - (ii) kickboards around their internal walls.

- 7 All areas accessible to horses should be separated from septic tank drainage areas.

Dairies

- 8 Dairies and associated wastewater lagoons and liquid/solid waste storage and disposal areas should be located at a distance from nearby dwellings, public roads and outside the 1-in-100 year average return interval flood event area of any watercourse to avoid adverse impacts or nuisance by noise, smell or pollution on nearby sensitive receptors such as dwellings.
- 9 Dairies should include a lagoon for the storage or treatment of milking shed effluent which should be located:
- (a) at least 20 metres from a public road
 - (b) at least 200 metres from any dwelling not located on the land
 - (c) outside any 1-in-100 year average return interval flood event area of any watercourse.

Intensive Animal Keeping

- 10 Intensive animal keeping operations and their associated components, including holding yards, temporary feeding areas, movement lanes and similar, should not be located on land within any of the following areas:
- (a) 800 metres of a public water supply reservoir
 - (b) the 1-in-100 year average return interval flood event area of any watercourse
 - (c) 200 metres of a major watercourse (third order or higher stream)
 - (d) 100 metres of any other watercourse, bore or well used for domestic or stock water supplies
 - (e) 1000 metres from a **Rural Living Zone**
 - (f) 2000 metres of a defined and zoned township, settlement or urban area (except for land based aquaculture)
 - (g) 500 metres of a dwelling (except for a dwelling directly associated with the intensive animal keeping facility).
- 11 Intensive animal keeping operations in uncovered situations should incorporate:
- (a) a controlled drainage system which:
 - (i) diverts runoff from external areas, and
 - (ii) directs surface runoff into an effluent management system that has sufficient capacity to hold run off from the controlled drainage area
 - (b) pen floors which:
 - (i) ensure that effluent does not infiltrate and contaminate groundwater or soil, and
 - (ii) are graded to a consistent uniform slope of between 2 **per cent** and 6 **per cent**
 - (c) effluent drainage into an effluent lagoon(s) that has sufficient capacity to hold runoff from the controlled drainage area.
- 12 Intensive animal keeping facilities and associated wastewater lagoons and liquid/solid waste disposal areas should be sited, designed, constructed and managed to avoid adverse odour impacts on nearby sensitive land uses.

Kennels

- 13 The floor of kennels should be constructed of concrete or similar impervious material and be designed to allow for adequate drainage when kennels are cleaned.
- 14 Kennels and exercise yards should be designed and sited to minimise noise nuisance to neighbours through:
 - (a) orienting their openings away from sensitive land uses such as dwellings
 - (b) siting them as far as practicable from allotment boundaries.
- 15 Kennels should occur only where there is a permanently occupied dwelling on the land.

Land Based Aquaculture

- 16 Land-based aquaculture and associated components should not be located on land within 500 metres of a defined and zoned township, settlement or urban area.
- 17 Land-based aquaculture ponds should be sited and designed to:
 - (a) prevent surface flows from entering the ponds in a 1-in-100 year average return interval flood event
 - (b) prevent pond leakage that would pollute groundwater
 - (c) prevent the farmed species escaping and entering into any waters
 - (d) minimise the need for intake and discharge pipes to traverse sensitive environments.
- 18 Buildings associated with land-based aquaculture should provide enclosed storage areas to accommodate all equipment associated with aquaculture operations in a manner which is integrated with the use of the land.
- 19 Development should ensure that pipe inlet and outlets associated with land-based aquaculture are located to minimise the risk of disease transmission.

Marine Based Aquaculture

- 20 Marine aquaculture and other offshore development should be ecologically sustainable and be located, designed, constructed and managed to:
 - (a) minimise adverse impacts on marine habitats and ecosystems, and public access to beaches, public watercourses or the foreshore
 - (b) take into account the requirements of traditional indigenous and commercial fishing grounds
 - (c) ensure satisfactory removal and disposal of litter, disused material, debris, detritus and dead animals from the development
 - (d) prevent the build up of waste.
- 21 In marine waters, marine aquaculture (other than inter tidal aquaculture) and other offshore development should be located a minimum of 100 metres seaward of the high-water mark.
- 22 Marine aquaculture development should not significantly obstruct or adversely affect any of the following:
 - (a) areas of high public use
 - (b) areas established for recreational activities

- (c) areas of outstanding visual, environmental, commercial or tourism value
 - (d) sites, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports.
- 23 Marine aquaculture should be sited, designed, constructed and managed to minimise interference and obstruction to the natural processes of the coastal and marine environment.
- 24 Marine aquaculture should be developed in areas where an adequate water current exists to disperse sediments and be sited a sufficient height above the sea floor to:
- (a) prevent the fouling of waters, publicly owned wetlands or the nearby coastline
 - (b) minimise seabed damage.
- 25 Racks, floats and other farm structures associated with marine aquaculture or other offshore development should where practicable be visually unobtrusive from the shoreline.
- 26 Marine aquaculture development should:
- (a) use feed hoppers that are painted in subdued colours and suspended as low as possible above the water
 - (b) position structures to protrude the minimum distance practicable above water
 - (c) avoid the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons.
- 27 Marine aquaculture should be developed to maintain existing rights of way within or adjacent to a site.
- 28 Marine aquaculture access, launching and maintenance facilities should:
- (a) where possible, use existing and established roads, tracks, ramps and paths to or from the sea
 - (b) be developed cooperatively and co-located.
- 29 Marine aquaculture and other offshore development should be located at least:
- (a) 550 metres from a proclaimed shipwreck
 - (b) 1000 metres seaward from the boundary of any reserve under the *National Parks and Wildlife Act 1972*, unless a lesser distance is agreed with the Minister responsible for that *Act*.
- 30 Marine aquaculture development should be located so as not to obstruct nor interfere with navigation channels, access channels, frequently used natural launching sites, safe anchorage areas, known diving areas, commercial shipping lanes or activities associated with existing jetties and wharves.
- 31 Marine aquaculture development should contribute to navigational safety by being:
- (a) suitably marked for navigational purposes
 - (b) sited to allow an adequate distance between farms for safe navigation
 - (c) located at least 250 metres from a commercial shipping lane
 - (d) comprised of structures that are secured and/or weighted to prevent drifting from the licensed site
 - (e) able to be rehabilitated when no longer operational.

Building near Airfields

OBJECTIVES

- 1 Development that ensures the long-term operational, safety, commercial and military aviation requirements of airfields (airports, airstrips and helicopter landing sites) continue to be met.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The height and location of buildings and structures should not adversely affect the long-term operational, safety, commercial and military aviation requirements of airfields.
- 2 Development in the vicinity of airfields should not create a risk to public safety, in particular through any of the following:
 - (a) lighting glare
 - (b) smoke, dust and exhaust emissions
 - (c) air turbulence
 - (d) storage of flammable liquids
 - (e) attraction of birds
 - (f) reflective surfaces (eg roofs of buildings, large windows)
 - (g) materials that affect aircraft navigational aids.
- 3 Lighting within 6 kilometres of an airport should be designed so that it does not pose a hazard to aircraft operations.
- 4 Development that is likely to increase the attraction of birds should not be located within 3 kilometres of an airport used by commercial aircraft. If located closer than 3 kilometres the facility should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 5 Dwellings should not be located within areas affected by airport noise.
- 6 Development within areas affected by aircraft noise should be consistent with *Australian Standard AS2021 - Acoustics - Aircraft Noise Intrusion - Building Siting and Construction*.

Bulk Handling and Storage Facilities

OBJECTIVES

- 1 Facilities for the bulk handling and storage of agricultural and other commodities sited and designed to minimise adverse impacts on the landscape and on and from surrounding land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Facilities for the handling, storage and dispatch of commodities in bulk should be:
 - (a) located in bulk handling, industry or primary production type zones
 - (b) sited, designed and operated to minimise risks of contamination to the environment and adverse impacts on nearby sensitive land uses and from surrounding land uses.
- 2 Development of facilities for the handling, transportation and storage of bulk commodities should have:
 - (a) areas set aside on the site of the development for the marshalling and manoeuvring of vehicles attending the site
 - (b) roadways and parking areas surfaced in a manner sufficient to control dust emissions from the site
 - (c) vehicle circulation between activity areas contained within the site and without the need to use public roads
 - (d) landscaping, using locally indigenous plant species wherever practical, established within the site for the purpose of providing shade and shelter, and to assist with screening and dust filtration
 - (e) a buffer area for the establishment of dense landscaping adjacent road frontages
 - (f) security fencing around the perimeter of the site.
- 3 Temporary bunkers for storage should not compromise the efficient circulation and parking of vehicles within the site.
- 4 Access to and from the site should be designed to allow simultaneous movement of vehicles entering and exiting in a forward direction to minimise interference to other traffic using adjacent public roads.

Centres and Retail Development

OBJECTIVES

- 1 Shopping, administrative, cultural, community, entertainment, educational, religious and recreational facilities located in integrated centres and mixed use zones.
- 2 Centres that ensure rational, economic and convenient provision of goods and services and provide:
 - (a) a focus for community life
 - (b) safe, permeable, pleasant and accessible walking and cycling environments.
- 3 The provision of a safe pedestrian environment within centres which gives high priority to pedestrians, public and community transport.
- 4 Increased vitality and activity in centres through the introduction and integration of housing.
- 5 Development of centres outside of Greater Adelaide in accordance with the following hierarchy:
 - (a) Regional Centre
 - (b) District Centre
 - (c) Town Centre (for smaller towns with a single centre zone)
 - (d) Local Centre (subsidiary centres for towns with a regional or district centre).

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within centres should:
 - (a) integrate facilities within the zone
 - (b) allow for the multiple use of facilities and the sharing of utility spaces
 - (c) allow for the staging of development within the centre
 - (d) be integrated with public and community transport.
- 2 Development within centres should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.
- 3 Development within centres should provide:
 - (a) public spaces such as malls, plazas and courtyards
 - (b) street furniture, including lighting, signs, litter bins, seats and bollards, that is sited and designed to complement the desired character
 - (c) unobtrusive facilities for the storage and removal of waste materials
 - (d) public facilities including toilets, infant changing facilities for parents, telephones and community information boards

- (e) access for public and community transport and sheltered waiting areas for passengers
- (f) lighting for pedestrian paths, buildings and associated areas
- (g) a single landscaping theme
- (h) safe and secure bicycle parking.

Arterial Roads

- 4 Centres should develop on one side of an arterial road or in one quadrant of an arterial road intersection.
- 5 Centre development straddling an arterial road should:
 - (a) concentrate on one side of the arterial road or one quadrant of the arterial road intersection
 - (b) minimise the need for pedestrian and vehicular movement from one part of the centre to another across the arterial road.

Retail Development

- 6 Bulky goods outlets located within centres zones should:
 - (a) complement the overall provision of facilities
 - (b) be sited towards the periphery of those centres where the bulky goods outlet has a gross leaseable area of 500 square metres or more.
- 7 Development should enable all vehicles to enter and exit the site in a forward direction.

Coastal Areas

OBJECTIVES

- 1 The protection and enhancement of the natural coastal environment, including environmentally important features of coastal areas such as mangroves, wetlands, sand dunes, cliff-tops, native vegetation, wildlife habitat shore and estuarine areas.
- 2 Protection of the physical and economic resources of the coast from inappropriate development.
- 3 Preservation of areas of high landscape and amenity value including stands of vegetation, shores, exposed cliffs, headlands, islands and hill tops, and areas which form an attractive background to urban and tourist areas.
- 4 Development that maintains and/or enhances public access to coastal areas with minimal impact on the environment and amenity.
- 5 Development only undertaken on land which is not subject to or that can be protected from coastal hazards including inundation by storm tides or combined storm tides and stormwater, coastal erosion or sand drift, and probable sea level rise.
- 6 Development that can accommodate anticipated changes in sea level due to natural subsidence and probable climate change during the first 100 years of the development.
- 7 Development which will not require, now or in the future, public expenditure on protection of the development or the environment.
- 8 Management of development in coastal areas to sustain or enhance the remaining natural coastal environment.
- 9 Low intensity recreational uses located where environmental impacts on the coast will be minimal.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be compatible with the coastal environment in terms of built-form, appearance and landscaping including the use of walls and low pitched roofs of non-reflective texture and natural earth colours.

Environmental Protection

- 2 The coast should be protected from development that would adversely affect the marine and onshore coastal environment, whether by pollution, erosion, damage or depletion of physical or biological resources, interference with natural coastal processes or any other means.
- 3 Development should not be located in delicate or environmentally-sensitive coastal features such as sand dunes, cliff-tops, wetlands or substantially intact strata of native vegetation.
- 4 Development should not be undertaken where it will create or aggravate coastal erosion, or where it will require coast protection works which cause or aggravate coastal erosion.
- 5 Development should be designed so that solid/fluid wastes and stormwater runoff is disposed of in a manner that will not cause pollution or other detrimental impacts on the marine and on-shore environment of coastal areas.

- 6 Effluent disposal systems incorporating soakage trenches or similar should prevent effluent migration onto the inter-tidal zone and be sited at least 100 metres from whichever of the following requires the greater distance:
 - (a) the mean high-water mark at spring tide, adjusted for any subsidence for the first 50 years of development plus a sea level rise of 1 metre
 - (b) the nearest boundary of any erosion buffer determined in accordance with the relevant provisions in this Development Plan.
- 7 Development that proposes to include or create confined coastal waters, as well as water subject to the ebb and flow of the tide should be designed to ensure the quality of such waters is maintained at an acceptable level.
- 8 Development should be designed and sited so that it does not prevent natural landform and ecological adjustment to changing climatic conditions and sea levels and should allow for the following:
 - (a) the unrestricted landward migration of coastal wetlands
 - (b) new areas to be colonised by mangroves, samphire and wetland species
 - (c) sand dune drift
 - (d) where appropriate, the removal of embankments that interfere with the abovementioned processes.

Maintenance of Public Access

- 9 Development should maintain or enhance public access to and along the foreshore.
- 10 Other than small-scale infill development in a predominantly urban zone, development adjacent to the coast should not be undertaken unless it incorporates an existing or proposed public reserve, not including a road or erosion buffer, of at least 50 metres width between the development and the landward toe of the frontal dune or the top edge of an escarpment.
- 11 If an existing reserve is less than 50 metres wide, the development should incorporate an appropriate width of reserve to achieve a total 50 metres wide reserve.
- 12 Development that abuts or includes a coastal reserve should be sited and designed to be compatible with the purpose, management and amenity of the reserve, as well as to prevent inappropriate access to the reserve.
- 13 Development, including marinas and aquaculture, should be located and designed to ensure convenient public access along the waterfront to beaches and coastal reserves is maintained, and where possible enhanced through the provision of one or more of the following:
 - (a) pedestrian pathways and recreation trails
 - (b) coastal reserves and lookouts
 - (c) recreational use of the water and waterfront
 - (d) safe public boating facilities at selected locations
 - (e) vehicular access to points near beaches and points of interest
 - (f) car parking.
- 14 Where a development such as a marina creates new areas of waterfront, provision should be made for public access to, and recreational use of, the waterfront and the water.

- 15 Public access through sensitive coastal landforms, particularly sand dunes, wetlands and cliff faces, should be restricted to defined pedestrian paths constructed to minimise adverse environmental impact.
- 16 Access roads to the coast and lookouts should preferably be spur roads rather than through routes, other than tourist routes where they:
 - (a) do not detract from the amenity or the environment
 - (b) are designed for slow moving traffic
 - (c) provide adequate car parking.

Hazard Risk Minimisation

- 17 Development and its site should be protected against the standard sea-flood risk level which is defined as the 1-in-100 year average return interval flood extreme sea level (tide, stormwater and associated wave effects combined), plus an allowance to accommodate land subsidence until the year 2100.
- 18 Development including associated roads and parking areas, other than minor structures unlikely to be adversely affected by flooding, should be protected from sea level rise by ensuring all of the following apply:
 - (a) site levels are at least 0.3 metres above the standard sea flood risk level
 - (b) building floor levels are at least 0.55 metres above the standard sea flood risk level
 - (c) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres, plus an allowance to accommodate land subsidence until the year 2100 at the site.
- 19 Buildings to be sited over tidal water or which are not capable of being raised or protected by flood protection measures in future, should have a floor level of at least 1.25 metres above the standard sea-flood risk level.
- 20 Development that requires protection measures against coastal erosion, sea or stormwater flooding, sand drift or the management of other coastal processes at the time of development, or in the future, should only be undertaken if all of the following apply:
 - (a) the measures themselves will not have an adverse effect on coastal ecology, processes, conservation, public access and amenity
 - (b) the measures do not nor will not require community resources, including land, to be committed
 - (c) the risk of failure of measures such as sand management, levee banks, flood gates, valves or stormwater pumping, is acceptable relative to the potential hazard resulting from their failure
 - (d) binding agreements are in place to cover future construction, operation, maintenance and management of the protection measures
- 21 Development should not compromise the structural integrity of any sea wall or levee bank adjacent to the foreshore, or compromise its capacity to protect against coastal flooding and erosion.

Erosion Buffers

- 22 Development should be set back a sufficient distance from the coast to provide an erosion buffer (in addition to a public reserve) which will allow for at least 100 years of coastal retreat for single buildings or small scale developments, or 200 years of coastal retreat for large scale developments (ie new townships) unless **any one** of the following applies:
 - (a) the development incorporates appropriate private coastal protection measures to protect the development and public reserve from the anticipated erosion

- (b) the council is committed to protecting the public reserve and development from the anticipated coastal erosion.
- 23 Where a coastal reserve exists or is to be provided it should be increased in width by the amount of any required erosion buffer. The width of an erosion buffer should be based on the following:
- (a) the susceptibility of the coast to erosion
 - (b) local coastal processes
 - (c) the effect of severe storm events
 - (d) the effect of a 0.3 metres sea level rise over the next 50 years on coastal processes and storms
 - (e) the availability of practical measures to protect the development from erosion caused by a further sea level rise of 0.7 metres per 50 years thereafter.
- 24 Development should not occur where essential services cannot be economically provided and maintained having regard to flood risk and sea level rise, or where emergency vehicle access would be prevented by a 1-in-100 year average return interval flood event, adjusted for 100 years of sea level rise.

Land Division

- 25 Land in coastal areas should only be divided if:
- (a) it or the subsequent development and use of the land will not adversely affect the management of the land, adjoining land or the coast
 - (b) sand dunes, wetlands and substantially intact strata of native vegetation are maintained or consolidated within single allotments.
- 26 Land division in coastal areas outside of designated urban or settlement zones should not increase either of the following:
- (a) the number of allotments abutting the coast or a reserve
 - (b) the number of allotments, including community title allotments and those that incorporate rights of way, with direct access to the coast or a reserve.
- 27 Land should not be divided for commercial, industrial or residential purposes unless a layout can be achieved whereby roads, parking areas and development sites on each allotment are at least 0.3 metres above the standard sea-flood risk level, unless the land is, or can be provided with appropriate coastal protection measures.

Protection of Economic Resources

- 28 Development should be sited, designed and managed so as not to conflict with or jeopardise the continuance of an existing aquaculture development.

Development in Appropriate Locations

- 29 Development along the coast should be in the form of infill in existing developed areas or concentrated into appropriately chosen nodes and not be in a scattered or linear form.
- 30 Development of a kind or scale (eg commercial or large-scale retail) that does not require a coastal location and would not significantly contribute to the community's enjoyment of the coast should not be located in coastal areas.

Community Facilities

OBJECTIVES

- 1 Location of community facilities including social, health, welfare, education and recreation facilities where they are conveniently accessible to the population they serve.
- 2 The proper provision of public and community facilities including the reservation of suitable land in advance of need.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Community facilities should be sited and developed to be accessible by pedestrians, cyclists and public and community transport.
- 2 Community facilities should be integrated in their design to promote efficient land use.
- 3 Design of community facilities should encourage flexible and adaptable use of open space and facilities for a range of uses over time.

Crime Prevention

OBJECTIVES

- 1 A safe, secure, crime resistant environment where land uses are integrated and designed to facilitate community surveillance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be designed to maximise surveillance of public spaces through the incorporation of clear lines of sight, appropriate lighting and the use of visible permeable barriers wherever practicable.
- 2 Buildings should be designed to overlook public and communal streets and public open space to allow casual surveillance.
- 3 Development should provide a robust environment that is resistant to vandalism and graffiti.
- 4 Development should provide lighting in frequently used public spaces including those:
 - (a) along dedicated cyclist and pedestrian pathways, laneways and access routes
 - (b) around public facilities such as toilets, telephones, bus stops, seating, litter bins, automatic teller machines, taxi ranks and car parks.
- 5 Development, including car park facilities should incorporate signage and lighting that indicate the entrances and pathways to, from and within sites.
- 6 Landscaping should be used to assist in discouraging crime by:
 - (a) screen planting areas susceptible to vandalism
 - (b) planting trees or ground covers, rather than shrubs, alongside footpaths
 - (c) planting vegetation other than ground covers a minimum distance of two metres from footpaths to reduce concealment opportunities.
- 7 Site planning, buildings, fences, landscaping and other features should clearly differentiate public, communal and private areas.
- 8 Buildings should be designed to minimise and discourage access between roofs, balconies and windows of adjoining dwellings.
- 9 Public toilets should be located, sited and designed:
 - (a) to promote the visibility of people entering and exiting the facility (eg by avoiding recessed entrances and dense shrubbery that obstructs passive surveillance)
 - (b) near public and community transport links and pedestrian and cyclist networks to maximise visibility.
- 10 Development should avoid pedestrian entrapment spots and movement predictors (eg routes or paths that are predictable or unchangeable and offer no choice to pedestrians).

Design and Appearance

OBJECTIVES

- 1 Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.
- 2 Roads, open spaces, buildings and land uses laid out and linked so that they are easy to understand and navigate.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Buildings should reflect the desired character of the locality while incorporating contemporary designs that have regard to the following:
 - (a) building height, mass and proportion
 - (b) external materials, patterns, colours and decorative elements
 - (c) roof form and pitch
 - (d) façade articulation and detailing
 - (e) verandas, eaves, parapets and window screens.
- 2 Where a building is sited on or close to a side or rear boundary, the boundary wall should minimise:
 - (a) the visual impact of the building as viewed from adjacent properties
 - (b) overshadowing of adjacent properties and allow adequate sunlight access to neighbouring buildings.
- 3 The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties, drivers or cyclists.
- 4 Structures located on the roofs of buildings to house plant and equipment should be screened from view and should form an integral part of the building design in relation to external finishes, shaping and colours.
- 5 Balconies should:
 - (a) be integrated with the overall form and detail of the building
 - (b) include balustrade detailing that enables line of sight to the street
 - (c) be recessed where wind would otherwise make the space unusable
 - (d) be self-draining and plumbed to minimise runoff
 - (e) be screened with opaque material to a height of 1.7 metres above floor level where the privacy of adjoining development is compromised.
- 6 Water tanks should be:
 - (a) finished in colours that are in keeping with the natural environment

- (b) adequately screened from the road frontage and/or water frontage
 - (c) set back at least 0.6 metres from a rear or side boundary for maintenance purposes.
- 7 Buildings and structures, including transportable or removable dwellings, should not be developed unless the external cladding, wall materials and roof sheeting are not damaged in any way, punctured, rusted, stained or weathered.

Transportable Buildings

- 8 Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like should be designed and constructed:
- (a) to a suitable standard which will not detract from the character of adjoining residential development
 - (b) to minimise the distance between the finished ground level of the site upon which the building is located and the underside of the building, which, in any event should not be greater than 1.2 metres
 - (c) to disguise the appearance of the building as a transportable structure by:
 - (i) providing for a solid enclosure of brick, fibre cement sheeting or timber base boards between the underside of the building and finished ground beneath the building
 - (ii) providing for the addition of a carport, verandas or pergolas integrated with the design of the building, which impart a permanent appearance to the building.

Development Adjacent Heritage Places

- 9 The design of multi-storey buildings should not detract from the form and materials of adjacent State heritage places listed in [Table CoCo/4 – State Heritage Places](#).
- 10 Development on land adjacent to a State heritage place, as listed in [Table CoCo/4 – State Heritage Places](#), should be sited and designed to reinforce the historic character of the place and maintain its visual prominence.

Overshadowing

- 11 The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of:
- (a) windows of habitable rooms
 - (b) upper-level private balconies that provide the primary open space area for a dwelling
 - (c) solar collectors (such as solar hot water systems and photovoltaic cells).

Visual Privacy

- 12 Development should minimise direct overlooking of habitable rooms and private open spaces of dwellings through measures such as:
- (a) off-setting the location of balconies and windows of habitable rooms with those of other buildings so that views are oblique rather than direct
 - (b) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms
 - (c) screening devices (including fencing, obscure glazing, screens, external ventilation blinds, window hoods and shutters) that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.

- 13 Permanently fixed external screening devices should be designed and coloured to complement the associated building's external materials and finishes.

Relationship to the Street and Public Realm

- 14 Buildings (other than ancillary buildings, group dwellings or buildings on allotments with a battle axe configuration) should be designed so that the main façade faces the primary street frontage of the land on which they are situated.
- 15 Buildings, landscaping, paving and signage should have a coordinated appearance that maintains and enhances the visual attractiveness of the locality.
- 16 Buildings should be designed and sited to avoid extensive areas of uninterrupted walling facing areas exposed to public view.
- 17 Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.
- 18 The ground floor of mixed use buildings should comprise non-residential land uses.
- 19 In mixed use areas, development facing the street should be designed to activate the street frontage(s):
- (a) including features that attract people to the locality such as frequent doors and display windows, retail shopfronts and/or outdoor eating or dining areas
 - (b) minimising the frontage for fire escapes, service doors, plant and equipment hatches
 - (c) avoiding undercroft or ground floor vehicle parking that is visible from the primary street frontage
 - (d) using colour, vertical and horizontal elements, roof overhangs and other design techniques to provide visual interest and reduced massing.
- 20 Where zero or minor setbacks are desirable, development should incorporate shelter over footpaths to enhance the quality of the pedestrian environment.

Outdoor Storage and Service Areas

- 21 Outdoor storage, loading and service areas should be:
- (a) screened from public view by a combination of built form, solid fencing and/or landscaping
 - (b) conveniently located and designed to enable the manoeuvring of service and delivery vehicles
 - (c) sited away from sensitive land uses.

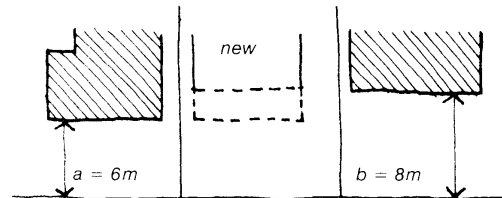
Building Setbacks from Road Boundaries

- 22 Except in areas where a new character is desired, the setback of buildings from public roads should:
- (a) be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality
 - (b) contribute positively to the function, appearance and/or desired character of the locality.
- 23 Except where specified in a particular zone, policy area, or precinct, buildings and structures should be set back from road boundaries having regard to the requirements set out in [Table CoCo/1 - Building Setbacks from Road Boundaries](#).

- 24 Except where specified in a particular zone, policy area or precinct, the main face of a building should be set back from the primary road frontage in accordance with the following table:

Setback difference between buildings on adjacent allotments	Setback of new building
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Up to 2 metres	The same setback as one of the adjacent buildings, as illustrated below:
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When $b - a \leq 2$, setback of new dwelling = a or b

Greater than 2 metres	At least the average setback of the adjacent buildings.
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- 25 Except in areas where a new character is desired or where specified in a zone, policy area or precinct, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality.

Energy Efficiency

OBJECTIVES

- 1 Development designed and sited to conserve energy.
- 2 Development that provides for on-site power generation including photovoltaic cells and wind power.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should provide for efficient solar access to buildings and open space all year around.
- 2 Buildings should be sited and designed:
 - (a) to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings
 - (b) so that open spaces associated with the main activity areas face north for exposure to winter sun.

On-site Energy Generation

- 3 Development should facilitate the efficient use of photovoltaic cells and solar hot water systems by:
 - (a) taking into account overshadowing from neighbouring buildings
 - (b) designing roof orientation and pitches to maximise exposure to direct sunlight.
- 4 Public infrastructure, including lighting and telephones, should be designed to generate and use renewable energy.

Forestry

OBJECTIVES

- 1 Forestry development that is designed and sited to maximise environmental and economic benefits whilst managing potential negative impacts on the environment, transport networks and surrounding land uses and landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Forestry plantations should not be undertaken if they will cause or require the clearance of valued trees or substantially intact strata of vegetation, or detrimentally affect the physical environment or scenic quality of the rural landscape.
- 2 Forestry plantations should not occur:
 - (a) on land with a slope exceeding 20 degrees
 - (b) within a separation distance (which may include forestry firebreaks and vehicle access tracks) of 50 metres of either of the following:
 - (i) any dwelling including those on an adjoining allotment
 - (ii) a reserve gazetted under the *National Parks and Wildlife Act 1972* or *Wilderness Protection Act 1992*.
- 3 Forestry plantations should:
 - (a) not involve cultivation (excluding spot cultivation) in drainage lines or within 20 metres of a major watercourse (a third order or higher watercourse), lake, reservoir, wetland and sink hole (direct connection to aquifer)
 - (b) incorporate artificial drainage lines (ie culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas
 - (c) retain a minimum 5 metre width separation distance immediately to either side of a watercourse (a first or second order watercourse) and sink hole (no direct connection to aquifer). This separation distance should contain locally indigenous vegetation (including grasses) and unmodified topography to ensure water flow.
- 4 Forestry plantations should incorporate:
 - (a) 7 metre wide external boundary firebreaks for plantations of 40 hectares or less
 - (b) 10 metre wide external boundary firebreaks for plantations of between 40 and 100 hectares
 - (c) 20 metre wide external boundary firebreaks, or 10 metres with an additional 10 metres of fuel-reduced plantation, for plantations of 100 hectares or greater.
- 5 Forestry plantations should incorporate vehicle access tracks:
 - (a) within all firebreaks
 - (b) of a minimum width of 7 metres with a vertical clearance of 4 metres

- (c) that are aligned to provide straight through access at junctions, or if they are a no through access track they are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles
 - (d) that partition the plantation into units not exceeding 40 hectares in area.
- 6 Forestry plantations should ensure the clearances from power lines listed in the Table following are maintained when planting trees with an expected mature height of more than 6 metres:

Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines (in metres)
500 kV	Tower	38
275 kV	Tower	25
132 kV	Tower	30
132 kV	Pole	20
66 kV	Pole	20
Less than 66 kV	Pole	20

Hazards

OBJECTIVES

- 1 Maintenance of the natural environment and systems by limiting development in areas susceptible to natural hazard risk.
- 2 Development located away from areas that are vulnerable to, and cannot be adequately and effectively protected from the risk of natural hazards.
- 3 Critical community facilities such as hospitals, emergency control centres, major service infrastructure facilities, and emergency service facilities located where they are not exposed to natural hazard risks.
- 4 Development located and designed to minimise the risks to safety and property from flooding.
- 5 Development located to minimise the threat and impact of bushfires on life and property.
- 6 Expansion of existing non-rural uses directed away from areas of high bushfire risk.
- 7 The environmental values and ecological health of receiving waterways and marine environments protected from the release of acid water resulting from the disturbance of acid sulphate soils.
- 8 Protection of human health and the environment wherever site contamination has been identified or suspected to have occurred.
- 9 Appropriate assessment and remediation of site contamination to ensure land is suitable for the proposed use and provides a safe and healthy living and working environment.
- 10 Minimisation of harm to life, property and the environment through appropriate location of development and appropriate storage, containment and handling of hazardous materials.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be excluded from areas that are vulnerable to, and cannot be adequately and effectively protected from, the risk of hazards.
- 2 Development located on land subject to hazards as shown on the *Overlay Maps – Development Constraints* should not occur unless it is sited, designed and undertaken with appropriate precautions being taken against the relevant hazards.
- 3 There should not be any significant interference with natural processes in order to reduce the exposure of development to the risk of natural hazards.

Flooding

- 4 Development should not occur on land where the risk of flooding is likely to be harmful to safety or damage property.
- 5 Development should not be undertaken in areas liable to inundation by tidal, drainage or flood waters unless the development can achieve all of the following:
 - (a) it is developed with a public stormwater system capable of catering for a 1-in-100 year average return interval flood event
 - (b) buildings are designed and constructed to prevent the entry of floodwaters in a 1-in-100 year average return interval flood event.

- 6 Development, including earthworks associated with development, should not do any of the following:
- (a) impede the flow of floodwaters through the land or other surrounding land
 - (b) increase the potential hazard risk to public safety of persons during a flood event
 - (c) aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood
 - (d) cause any adverse effect on the floodway function
 - (e) increase the risk of flooding of other land
 - (f) obstruct a watercourse.

Bushfire

- 7 Habitable buildings should have a dedicated water supply comprising a minimum of 5000 litres available at all times for fire fighting which is located adjacent to the building or in another convenient location on the allotment accessible to fire fighting vehicles.
- 8 Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:
- (a) vegetation cover comprising trees and/or shrubs
 - (b) poor access
 - (c) rugged terrain
 - (d) inability to provide an adequate building protection zone
 - (e) inability to provide an adequate supply of water for fire-fighting purposes.
- 9 Residential, tourist accommodation and other habitable buildings should:
- (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect
 - (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation
 - (c) have a dedicated and accessible water supply available at all times for fire fighting.
- 10 **In areas where there is a risk of bushfire**, extensions to existing buildings, outbuildings and other ancillary structures should be sited and constructed using materials to minimise the threat of fire spread to habitable buildings in the event of bushfire.
- 11 **In areas where there is a risk of bushfire**, buildings and structures should be designed and configured to reduce the impact of bushfire through using designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.
- 12 **In areas where there is a risk of bushfire**, land division should be designed to:
- (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel
 - (b) minimise the extent of damage to buildings and other property during a bushfire
 - (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire

- (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 13 In areas where there is a risk of bushfire, vehicle access and driveways to properties and public roads created by land division should be designed and constructed to facilitate safe and effective operational use for fire-fighting, other emergency vehicles and residents.
- 14 In areas where there is a risk of bushfire, olive orchards should be located and developed in a manner that minimises their potential to fuel bushfires.

Salinity

- 15 Development should not increase the potential for, or result in an increase in, soil and water salinity.
- 16 Preservation, maintenance and restoration of locally indigenous plant species should be encouraged in areas affected by dry land salinity.
- 17 Irrigated horticulture and pasture should not increase groundwater-induced salinity.

Acid Sulfate Soils

- 18 Development and activities, including excavation and filling of land, that may lead to the disturbance of potential or actual acid sulfate soils should be avoided unless such disturbances are managed in a way that effectively avoids the potential for harm or damage to any of the following:
 - (a) the marine and estuarine environment
 - (b) natural water bodies and wetlands
 - (c) agricultural or aquaculture activities
 - (d) buildings, structures and infrastructure
 - (e) public health.
- 19 Development, including primary production, aquaculture activities and infrastructure, should not proceed unless it can be demonstrated that the risk of releasing acid water resulting from the disturbance of acid sulfate soils is minimal.

Site Contamination

- 20 Development, including land division, should not occur where site contamination has occurred unless the site has been assessed and remediated as necessary to ensure that it is suitable and safe for the proposed use.
- 21 Site contamination should be assessed to determine the potential impacts of past industrial activities and landfill practices on the proposed development potential of the land and should be conducted in accordance with *Australian Standard AS 4482 Guide to the Investigation and sampling of sites with potentially contaminated soil*.

Containment of Chemical and Hazardous Materials

- 22 Hazardous materials should be stored and contained in a manner that minimises the risk to public health and safety and the potential for water, land or air contamination.
- 23 Development that involves the storage and handling of hazardous materials should ensure that these are contained in designated areas that are secure, readily accessible to emergency vehicles, impervious, protected from rain and stormwater intrusion and other measures necessary to prevent:
 - (a) discharge of polluted water from the site

- (b) contamination of land
- (c) airborne migration of pollutants
- (d) potential interface impacts with sensitive land uses.

Landslip

- 24 Development, including associated cut and fill activities, should not lead to an increased danger from land surface instability or to the potential of landslip occurring on the site or on surrounding land.
- 25 Development on **land with steep slopes of 15 per cent or greater** should promote the retention and replanting of vegetation as a means of stabilising and reducing the possibility of surface movement or disturbance.
- 26 Development in areas susceptible to landslip should:
 - (a) incorporate split level designs to minimise cutting into the slope
 - (b) ensure that cut and fill and heights of faces are minimised
 - (c) ensure cut and fill is supported with engineered retaining walls or are battered to appropriate grades
 - (d) control any erosion that will increase the gradient of the slope and decrease stability
 - (e) ensure the siting and operation of an effluent drainage field does not contribute to landslip
 - (f) provide drainage measures to ensure surface stability is not compromised
 - (g) ensure natural drainage lines are not obstructed.

Heritage Places

OBJECTIVES

- 1 The conservation of **State Heritage Areas** and State and local heritage places.
- 2 The continued use, or adaptive re-use of State and local heritage places that supports the conservation of their cultural significance.
- 3 Conservation of the setting of **State Heritage Areas** and State and local heritage places.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 **Buildings within a State Heritage Area, or a heritage place, all of which are** spatially located on *Overlay Maps - Heritage* and **the latter** more specifically identified in [Table CoCo/TableCoCo 4 - State Heritage Places](#) should not be demolished, destroyed or removed, in total or in part, unless either of the following apply:
 - (a) that portion of the place to be demolished, destroyed or removed is excluded from the extent of the places identified in the *Table*
 - (b) the structural condition of the place represents an unacceptable risk to public or private safety.
- 2 Development **within a State Heritage Area** or of a State or local heritage place should retain those elements contributing to its heritage value, which may include (but not be limited to):
 - (a) principal elevations
 - (b) important vistas and views to and from the place
 - (c) setting and setbacks
 - (d) building materials
 - (e) outbuildings and walls
 - (f) trees and other landscaping elements
 - (g) access conditions (driveway form/width/material)
 - (h) architectural treatments
 - (i) the use of the place.
- 3 Development **within a State Heritage Area** or of a State or local heritage place should be compatible with the heritage value of the place.
- 4 Original unpainted plaster, brickwork, stonework, or other masonry of existing State or local heritage places should be preserved, unpainted.
- 5 New buildings should not be placed or erected between the front street boundary and the façade of existing State or local heritage places.
- 6 Development that materially affects the context within which the heritage place is situated should be compatible with the heritage place **or Area**. It is not necessary to replicate historic detailing, however design elements that should be compatible include, but are not limited to:

- (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as rooflines, openings, fencing and landscaping
 - (e) colour and texture of external materials.
- 7 The introduction of advertisements and signage to a **State Heritage Area** or to a State or local heritage place should:
- (a) be placed on discrete elements of its architecture such as parapets and wall panels, below the canopy, or within fascias and infill end panels and windows
 - (b) not conceal or obstruct historical detailing of the heritage place
 - (c) not project beyond the silhouette or skyline of the heritage place
 - (d) not form a dominant element of the place.
- 8 The division of land adjacent to or containing a **State Heritage Area** or a State or local heritage place should occur only where it will:
- (a) create an allotment pattern that maintains or reinforces the integrity of the heritage place and the character of the surrounding area
 - (b) create an allotment or allotments of a size and dimension that can accommodate new development that will reinforce and complement the heritage place and the zone or policy area generally
 - (c) be of a size and dimension that will enable the siting and setback of new buildings from allotment boundaries so that they do not overshadow, dominate, encroach on or otherwise impact on the setting of the heritage place
 - (d) provide an area for landscaping of a size and dimension that complements the landscape setting of the heritage place and the landscape character of the locality
 - (e) enable the State or local heritage place to have a curtilage of a size sufficient to protect its setting.

Historic Conservation Area

Refer to the [Map Reference Tables](#) for a list of the *Overlay Maps - Heritage* that relate to this Historic Conservation Area.

OBJECTIVES

- 1 The conservation of areas of historical significance.
- 2 Development that promotes, conserves and enhances the cultural significance and historic character of identified places and areas.
- 3 Development that complements the historic significance of the area.
- 4 The retention and conservation of places such as land, buildings, structures and landscape elements that contribute positively to the historic character of the area.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character for the Historic Conservation Area.
- 2 Development within the Historic Conservation Areas should be carried out, where applicable, in accordance with the Design Guidelines contained in [Table CoCo/2 - Historic Conservation Guidelines](#).
- 3 Buildings and structures should not be demolished in whole or in part, unless they are:
 - (a) structurally unsafe and/or unsound and cannot reasonably be rehabilitated
 - (b) inconsistent with the desired character for the Historic Conservation Area
 - (c) associated with a proposed development that supports the desired character for the Historic Conservation Area
- 4 Development should take design cues from the existing historic built forms. In doing this, it is not necessary to replicate historic detailing; however design elements for consideration should be compatible with building and streetscape character and should include but not be limited to:
 - (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as roof lines, pitches, openings, verandas, fencing and landscaping
 - (e) colour and texture of external materials
 - (f) visual interest.
- 5 Front fences and gates should:
 - (a) reflect and conserve the traditional period, style and form of the associated building

- (b) generally be of low timber pickets, low pier and plinth masonry, wrought iron, brush or masonry
 - (c) be no more than 1.2 metres in height.
- 6 Rear and side boundary fences located behind the front dwelling alignment should be no more than 1.8 metres in height.
- 7 Advertisements and/or advertising hoardings associated with places and areas of heritage significance should:
- (a) be of a size, colour, shape and materials that enhances the character of the locality
 - (b) not dominate or detract from the prominence of any place and/or area of historic significance.
- 8 Development should respect the existing topography and the relationship of sites to street levels and to adjoining land and not involve substantial cut and/or fill or sites.
- 9 The division of land should occur only where it will maintain the traditional pattern and scale of allotments.

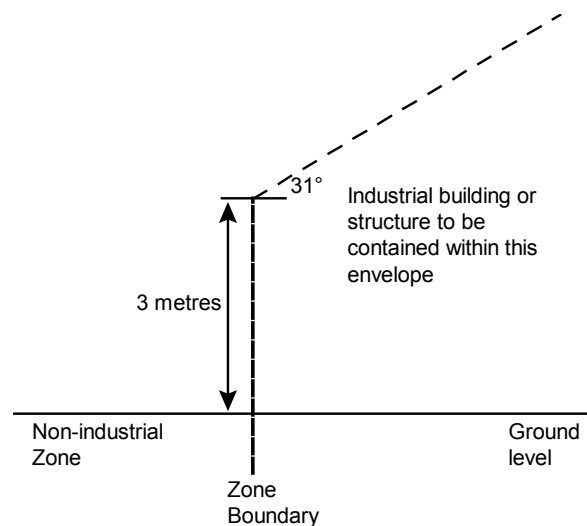
Industrial Development

OBJECTIVES

- 1 Industrial, warehouse, storage and transport distribution development on appropriately located land, integrated with transport networks and designed to minimise potential impact on these networks.
- 2 Industrially zoned allotments and uses protected from encroachment by adjoining uses that would reduce industrial development or expansion.
- 3 Industrial development occurring without adverse effects on the health and amenity of occupiers of land in adjoining zones.
- 4 Compatibility between industrial uses within industrial zones.
- 5 The improved amenity of industrial areas.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Offices and showrooms associated with industrial, warehouse, storage and transport development should be sited at the front of the building with direct and convenient pedestrian access from the main visitor parking area.
- 2 Any building or structure on, or abutting the boundary of a non-industrial zone should be restricted to a height of 3 metres above ground level at the boundary and a plane projected at 31 degrees above the horizontal into the development site from that 3 metre height, as shown in the following diagram:



- 3 Industrial development should enable all vehicles to enter and exit the site in a forward direction.
- 4 Industrial development abutting an arterial road, a non-industrial zone boundary, or significant open space should be developed in a manner that does not create adverse visual impacts on the locality.
- 5 Building facades facing a non-industrial zone, public road, or public open space should:
 - (c) use a variety of building finishes
 - (d) not consist solely of metal cladding

- (e) contain materials of low reflectivity
 - (f) incorporate design elements to add visual interest
 - (g) avoid large expanses of blank walls.
- 6 Industrial development should minimise significant adverse impact on adjoining uses due to hours of operation, traffic, noise, fumes, smell, dust, paint or other chemical over-spray, vibration, glare or light spill, electronic interference, ash or other harmful or nuisance-creating impacts.
- 7 Landscaping should be incorporated as an integral element of industrial development, especially along non-industrial zone boundaries and, where it abuts a **Residential Zone**, solid screen fencing to a height of 1.8 metres should be also provided.
- 8 Development should provide landscaped areas which incorporate:
- (a) a landscape strip adjacent to a non arterial road or a reserve that has a minimum width of 5 metres
 - (b) a landscape strip that has a minimum width of 10 metres along the full length of the road frontage, where located on an arterial road.
 - (c) a landscape strip adjacent to a **Residential Zone** that has a minimum width of 10 metres
 - (d) 20 per cent of all plantings being in the form of trees capable of growing to at least the height of the main building on the land.
- 9 Fencing (including colour-coated wire mesh fencing) adjacent to public roads should be set back in one of the following ways:
- (a) in line with the building façade
 - (b) behind the building line
 - (c) behind a landscaped area that softens its visual impact.
- 10 Marine aquaculture onshore storage, cooling and processing facilities should not impair the coastline and its visual amenity and should:
- (a) be sited, designed, landscaped and developed at a scale and using external materials that minimise any adverse visual impact on the coastal landscape
 - (b) be sited and designed with appropriate vehicular access arrangement
 - (c) include appropriate waste treatment and disposal.

Infrastructure

OBJECTIVES

- 1 Infrastructure provided in an economical and environmentally sensitive manner.
- 2 The visual impact of infrastructure facilities minimised
- 3 The efficient and cost-effective use of existing infrastructure.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not occur without the provision of adequate utilities and services, including:
 - (a) electricity supply
 - (b) water supply
 - (c) drainage and stormwater systems
 - (d) effluent disposal systems
 - (e) formed all-weather public roads
 - (f) telecommunications services.
- 2 Development should incorporate any relevant and appropriate social infrastructure, community services and facilities.
- 3 Development should only occur where it provides, or has access to, relevant easements for the supply of infrastructure.
- 4 Development should incorporate provision for the supply of infrastructure services to be located within common service trenches where practicable.
- 5 Development should not **take place** until adequate and coordinated drainage of the land is provided.
- 6 Development in urban areas should not occur without provision of an adequate reticulated domestic quality mains water supply and an appropriate waste treatment system.
- 7 **Additional load to Council infrastructure should be augmented by the owner/developer by way of a financial contribution in accordance with Council policy.**
- 8 **In areas where no reticulated water supply is available, development should provide for an adequate and reliable on-site water storage system having a capacity of at least 60 000 litres which is connected to the development.**
- 9 **In areas where an unrestricted reticulated water supply is available, development should provide for and be connected to an adequate and reliable on-site water storage system having a capacity of at least 22 000 litres.**
- 10 **In areas where a restricted reticulated water supply is available, development should provide for an adequate and reliable on-site water storage system having a capacity of at least 44 000 litres which should be:**

- (a) connected to and trickle fed from the reticulated water supply at a rate of not less than 2.5 litres per minute
 - (b) used in connection with an on-site pump of sufficient capacity to reticulate water to a dwelling and throughout the site generally
 - (c) interconnected to a roof collection rainwater system that is subject to the installation of a residential dual check valve in compliance with *Australian Standard AS 2845: Water supply - Backflow prevention devices - Materials, design and performance requirements*.
- 11 The on-site storage of stormwater and water run-off for water supply purposes to development should be adopted in preference to the extension and/or augmentation of an existing reticulated water supply system where:
- (a) sufficient land is available to accommodate on-site water storage at the volumes required
 - (b) roof areas of the development are sufficient to provide a water supply of a volume necessary to supply the development.
- 12 Urban development should have a direct water supply.
- 13 Electricity infrastructure should be designed and located to minimise its visual and environmental impacts.
- 14 Utilities and services, including access roads and tracks, should be sited on areas already cleared of native vegetation. If this is not possible, their siting should cause minimal interference or disturbance to existing native vegetation and biodiversity.
- 15 Utility buildings and structures should be grouped with non-residential development, where possible.
- 16 Development in proximity to infrastructure facilities should be sited and be of a scale to ensure adequate separation to protect people and property.
- 17 Incompatible uses should not encroach upon the easements of infrastructure corridors for existing and proposed transmission lines.
- 18 In urban areas, electricity supply (except transmission lines) serving new development should be installed underground, excluding lines having a capacity greater than or equal to 33kV.
- 19 Provision should be made for new transmission and distribution substations and overhead major electricity line corridors (having a capacity greater than or equal to 33kV) in areas which have the required buffer distance to protect people and allow for adequate access.
- 20 Land division for the purpose of residential and other sensitive land uses should not occur within electricity line corridors or existing electricity easements unless the resultant allotments are large enough to enable accommodation of safe clearances and expected structures.

Interface between Land Uses

OBJECTIVES

- 1 Development located and designed to prevent adverse impact and conflict between land uses.
- 2 Protect community health and amenity from adverse impacts of development.
- 3 Protect desired land uses from the encroachment of incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:
 - (a) the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants
 - (b) noise
 - (c) vibration
 - (d) electrical interference
 - (e) light spill
 - (f) glare
 - (g) hours of operation
 - (h) traffic impacts.
- 2 Development should be sited and designed to minimise negative impacts on existing and potential future land uses desired in the locality.
- 3 Development adjacent to a **Residential Zone** or residential area within a **Township Zone** should be designed to minimise overlooking and overshadowing of adjacent dwellings and private open space.
- 4 Residential development adjacent to non-residential zones and land uses should be located, designed and/or sited to protect residents from potential adverse impacts from non-residential activities.
- 5 Sensitive uses likely to conflict with the continuation of lawfully existing developments and land uses desired for the zone should be designed to minimise negative impacts.
- 6 Non-residential development on land abutting a residential zone should be designed to minimise noise impacts to achieve adequate levels of compatibility between existing and proposed uses.

Noise Generating Activities

- 7 Development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant *Environment Protection (Noise) Policy* criteria when assessed at the nearest existing noise sensitive premises.
- 8 Development with the potential to emit significant noise (e.g. industry) should incorporate noise attenuation measures that prevent noise from causing unreasonable interference with the amenity of noise sensitive premises.

- 9 Outdoor areas (such as beer gardens or dining areas) associated with licensed premises should be designed or sited to minimise adverse noise impacts on adjacent existing or future noise sensitive development.
- 10 Development proposing music should include noise attenuation measures that achieve the following desired noise levels:

Noise level assessment location	Desired noise level
Adjacent existing noise sensitive development property boundary	Less than 8 dB above the level of background noise (L90,15min) in any octave band of the sound spectrum and Less than 5 dB(A) above the level of background noise (LA90,15min) for the overall (sum of all octave bands) A-weighted level
Adjacent land property boundary	Less than 65dB(Lin) at 63Hz and 70dB(Lin) in all other octave bands of the sound spectrum or Less than 8 dB above the level of background noise (L90,15min) in any octave band of the sound spectrum and 5 dB(A) overall (sum of all octave bands) A-weighted level

Air Quality

- 11 Development with the potential to emit harmful or nuisance-generating air pollution should incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity of sensitive uses within the locality.
- 12 Chimneys or exhaust flues associated with commercial development (including cafes, restaurants and fast food outlets) should be designed to ensure they do not cause a nuisance or health concerns to nearby sensitive receivers by:
 - (a) incorporating appropriate treatment technology before exhaust emissions are released to the atmosphere
 - (b) ensuring that the location and design of chimneys or exhaust flues maximises dispersion and takes into account the location of nearby sensitive uses.

Rural Interface

- 13 The potential for adverse impacts resulting from rural development should be minimised by:
 - (a) not locating horticulture or intensive animal keeping on land adjacent to townships
 - (b) maintaining an adequate separation between horticulture or intensive animal keeping and townships, other sensitive uses and, where desirable, other forms of primary production
 - (c) the provision of adequate landscaped and raised buffers where practicable.
- 14 Traffic movement, spray drift, dust, noise, odour, and the use of frost fans and gas guns associated with primary production activities should not lead to unreasonable impact on adjacent land uses.
- 15 Existing primary production uses and mineral extraction should not be prejudiced by the inappropriate encroachment of sensitive uses such as urban development.

- 16 Development that is adjacent to land used for primary production (within either the zone or adjacent zones) should include appropriate setbacks and vegetative plantings designed to minimise the potential impact of chemical spray drift and other impacts associated with primary production.
- 17 New urban development should provide a buffer of at least 40 metres wide (inclusive of any fuel break, emergency vehicle access or road) separating urban and rural activities.
- 18 Development within 300 metres of facilities for the handling, transportation and storage of bulk commodities should:
 - (a) not prejudice the continued operation of those facilities
 - (b) be located, designed, and developed having regard to the potential environmental impact arising from the operation of such facilities and the potential extended operation of activities.
- 19 Development within 700 metres of a wastewater treatment facility should:
 - (a) not prejudice the continued operation of that facility
 - (b) be located, designed, and developed having regard to the potential environmental impact arising from the operation of such a facility.

Land Division

OBJECTIVES

- 1 Land division that occurs in an orderly sequence allowing efficient provision of new infrastructure and facilities and making optimum use of existing under utilised infrastructure and facilities.
- 2 Land division that creates allotments appropriate for the intended use.
- 3 Land division layout that is optimal for energy efficient building orientation.
- 4 Land division that is integrated with site features, including landscape and environmental features, adjacent land uses, the existing transport network and the availability of infrastructure.
- 5 Land division restricted in rural areas to ensure the efficient use of rural land for primary production and avoidance of uneconomic infrastructure provision.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 When land is divided:
 - (a) stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner
 - (b) a sufficient water supply should be made available for each allotment
 - (c) provision should be made for the disposal of wastewater, sewage and other effluent from each allotment without risk to health
 - (d) proposed roads should be graded, or be capable of being graded to connect safely and conveniently with an existing road or thoroughfare.
- 2 Land should not be divided if any of the following apply:
 - (a) the size, shape, location, slope or nature of the land makes any of the allotments unsuitable for the intended use
 - (b) any allotment will not have a frontage to one of the following:
 - (i) an existing road
 - (ii) a proposed public road
 - (iii) access to a public road via an internal roadway in a plan of community division
 - (c) the intended use of the land is likely to require excessive cut and/or fill
 - (d) it is likely to lead to undue erosion of the subject land or land within the locality
 - (e) the wastewater treatment plant to which subsequent development will be connected does not have sufficient capacity to handle the additional wastewater volumes and pollutant loads generated by such development
 - (f) the area is unsewered and cannot accommodate an appropriate onsite wastewater disposal system within the allotment that complies with (or can comply with) the relevant public and environmental health legislation applying to the intended use(s)

- (g) any allotments will straddle more than one zone or policy area
 - (h) the allotments unreasonably restrict access to publicly owned land such as recreation areas.
- 3 Land division intended for residential purposes should:
- (a) provide a variety of allotment sizes to meet the diverse housing needs of the population
 - (b) take into consideration the climatic and topographical features of the land
 - (c) provide allotments which are of a shape and size sufficient to accommodate:
 - (i) a dwelling and accessory structures
 - (ii) an area of outdoor private open space
 - (iii) vehicle parking and manoeuvring
 - (iv) domestic outbuildings
 - (v) landscaping
 - (d) not result in the creation of an allotment with an area less than:
 - (i) 1200 square metres where effluent is to be disposed onsite
 - (ii) 450 square metres where effluent is to be disposed off site.

Design and Layout

- 4 Land divisions should be designed to ensure that areas of native vegetation and wetlands:
- (a) are not fragmented or reduced in size
 - (b) do not need to be cleared as a consequence of subsequent development.
- 5 The design of a land division should incorporate:
- (a) roads, thoroughfares and open space that result in safe and convenient linkages with the surrounding environment, including public and community transport facilities, and which, where necessary, facilitate the satisfactory future division of land and the inter-communication with neighbouring localities
 - (b) new road and allotment access points providing appropriate separation distances from existing road junctions or level crossings
 - (c) safe and convenient access from each allotment to an existing or proposed public road or thoroughfare
 - (d) areas to provide appropriate separation distances between potentially conflicting land uses and/or zones
 - (e) suitable land set aside for useable local open space
 - (f) public utility services within road reserves and where necessary within dedicated easements
 - (g) the preservation of significant natural, cultural or landscape features including State and local heritage places
 - (h) protection for existing vegetation and drainage lines

- (i) where appropriate, the amalgamation of smaller allotments to ensure coordinated and efficient site development
 - (j) landscaped buffers where appropriate to minimise impact on or impact from adjoining uses (eg higher order roads and incompatible uses).
- 6 Land division should result in allotments of a size suitable for their intended use.
- 7 Land division should facilitate optimum solar access for energy efficiency.
- 8 Allotments in the form of a battleaxe configuration should:
- (a) have an area of at least 450 square metres (excluding the area of the 'handle' of such an allotment)
 - (b) provide for an access onto a public road, with the driveway 'handle' being not less than 6 metres in width nor more than 30 metres in length
 - (c) contain sufficient area on the allotment for a vehicle to turn around to enable it to egress the allotment in a forward direction
 - (d) not be created where it would lead to multiple access points onto a road which would dominate or adversely affect the amenity of the streetscape
 - (e) be avoided where their creation would be incompatible with the prevailing pattern of development
- 9 Allotments should have an orientation, size and configuration to encourage development that:
- (a) minimises the need for earthworks and retaining walls
 - (b) maintains natural drainage systems
 - (c) faces abutting streets and open spaces
 - (d) does not require the removal of native vegetation to facilitate that development
 - (e) will not overshadow, dominate, encroach on or otherwise detrimentally affect the setting of the surrounding locality.
- 10 Within defined townships and settlements where the land to be divided borders a river, lake, wetland or creek, the land adjoining the bank should become public open space and linked with an existing or proposed pedestrian or transport network.
- 11 Within defined townships and land division should make provision for a reserve or an area of open space that is at least 25 metres wide from the top of the bank of a watercourse and that incorporates land within the 1-in-100 year average return interval flood event area.
- 12 The layout of a land division should keep flood-prone land free from development.
- 13 The arrangement of roads, allotments, reserves and open space should enable the provision of a stormwater management drainage system that:
- (a) contains and retains all watercourses, drainage lines and native vegetation
 - (b) enhances amenity
 - (c) integrates with the open space system and surrounding area.

Roads and Access

- 14 Road reserves should be of a width and alignment that can:
 - (a) provide for safe and convenient movement and parking of projected volumes of vehicles and other users
 - (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors
 - (c) allow vehicles to enter or reverse from an allotment or site in a single movement allowing for a car parked on the opposite side of the street
 - (d) accommodate street tree planting, landscaping and street furniture
 - (e) accommodate the location, construction and maintenance of stormwater drainage and public utilities
 - (f) provide unobstructed, safe and efficient vehicular access to individual allotments and sites
 - (g) allow for the efficient movement of service and emergency vehicles.
- 15 The design of the land division should facilitate the most direct route to local facilities for pedestrians and cyclists and enable footpaths, cycle lanes and shared-use paths to be provided of a safe and suitable width and reasonable longitudinal gradient.
- 16 The layout of land divisions should result in roads designed and constructed to ensure:
 - (a) that traffic speeds and volumes are restricted where appropriate by limiting street length and/or the distance between bends and slow points
 - (b) there are adequate sight distances for motorists at intersections, junctions, pedestrian and cyclist crossings, and crossovers to allotments to ensure the safety of all road users and pedestrians
 - (c) that existing dedicated cycling and walking routes are not compromised.
- 17 The design of the land division should provide space sufficient for on-street visitor car parking for the number and size of allotments, taking account of:
 - (a) the size of proposed allotments and sites and opportunities for on-site parking
 - (b) the availability and frequency of public and community transport
 - (c) on-street parking demand likely to be generated by nearby uses.
- 18 The layout of land divisions should incorporate street patterns designed to enhance the efficient movement of traffic and minimise trip lengths.

Land Division in Rural Areas

- 19 Rural land should not be divided if the resulting allotments would be of a size and configuration likely to impede the efficient use of rural land for any of the following:
 - (a) primary production
 - (b) value adding industries related to primary production
 - (c) protection of natural resources.

- 20 Rural land should not be divided where new allotments would result in any of the following:
- (a) fragmentation of productive primary production land
 - (b) strip development along roads or water mains
 - (c) prejudice against the proper and orderly development of townships
 - (d) removal of native vegetation for allotment boundaries, access roads, infrastructure, dwellings and other buildings or firebreaks
 - (e) uneconomic costs to the community for the provision of services.
- 21 Land division creating an allotment of less than 40 hectares for agricultural use should provide evidence to be submitted with a plan of division to demonstrate that:
- (a) water, of sufficient quality and quantity, is available to sustain the proposed use
 - (b) the land is appropriate for the proposed use
 - (c) the land is capable of supporting the proposed use with reasonable investment and management inputs
 - (d) the use will be compatible with adjacent or nearby uses of land
 - (e) a management plan has been prepared for the proposed use
 - (f) there will not be a deleterious risk of the water table either falling or rising because of excessive irrigation or water use.

Landscaping, Fences and Walls

OBJECTIVES

- 1 The amenity of land and development enhanced with appropriate planting and other landscaping works, using locally indigenous plant species where possible.
- 2 Functional fences and walls that enhance the attractiveness of development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should incorporate open space and landscaping and minimise hard paved surfaces in order to:
 - (a) complement built form and reduce the visual impact of larger buildings (eg taller and broader plantings against taller and bulkier building components)
 - (b) enhance the appearance of road frontages
 - (c) screen service yards, loading areas and outdoor storage areas
 - (d) minimise maintenance and watering requirements
 - (e) enhance and define outdoor spaces, including car parking areas
 - (f) maximise shade and shelter
 - (g) assist in climate control within and around buildings
 - (h) minimise heat absorption and reflection
 - (i) maintain privacy
 - (j) maximise stormwater re-use
 - (k) complement existing vegetation, including native vegetation
 - (l) contribute to the viability of ecosystems and species
 - (m) promote water and biodiversity conservation.
- 2 Landscaping should:
 - (a) include the planting of locally indigenous species where appropriate
 - (b) be oriented towards the street frontage
 - (c) result in the appropriate clearance from powerlines and other infrastructure being maintained.
- 3 Landscaping should not:
 - (a) unreasonably restrict solar access to adjoining development
 - (b) cause damage to buildings, paths and other landscaping from root invasion, soil disturbance or plant overcrowding

- (c) introduce pest plants
 - (d) increase the risk of bushfire
 - (e) remove opportunities for passive surveillance
 - (f) increase leaf fall in watercourses
 - (g) increase the risk of weed invasion
 - (h) obscure driver sight lines.
- 4 Fences and walls, including retaining walls, should:
- (a) not result in damage to neighbouring trees
 - (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality
 - (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance
 - (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street
 - (e) assist in highlighting building entrances
 - (f) be sited and limited in height, to ensure adequate sight lines for motorists and pedestrians especially on corner sites
 - (g) in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land
 - (h) be constructed of non-flammable materials.
- 5 Fencing should be open in form to allow cross ventilation and access to sunlight.

Marinas and Maritime Structures

OBJECTIVE

- 1 The provision, in appropriate locations, of marinas, pontoons, jetties, piers, wharves and boat moorings that cater for vessels and:
 - (a) maintain public access to the waterfront
 - (b) do not compromise public safety
 - (c) preserve the structural integrity of the marine infrastructure
 - (d) minimise adverse impacts on the natural environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Marina development should include one or more of the following:
 - (a) wet and dry berthing of boats
 - (b) launching and retrieval of recreational boats and associated trailer and car parking areas
 - (c) access ramps, landings, storage and other structures associated with a marina
 - (d) clubrooms for maritime organisations.
- 2 The design of marinas, berths, channels, fairways, gangways and floating structures should comply with:
 - (a) *Australian Standard AS 3962: Guidelines for Design of Marinas*
 - (b) *Australian Standard AS 4997: Guidelines for the Design of Maritime Structures.*
- 3 Development should not obstruct or impair:
 - (a) navigation and access channels
 - (b) maintenance activities of marine infrastructure including revetment walls
 - (c) the operation of wharves.
- 4 Safe public access should be provided or maintained to:
 - (a) the waterfront
 - (b) known diving areas
 - (c) jetties, wharves and associated activities.
- 5 Marinas should be designed to:
 - (a) facilitate water circulation and exchange
 - (b) maximise the penetration of sunlight into the water.

Medium and High Rise Development (3 or More Storeys)

OBJECTIVES

- 1 Medium and high rise development that provides housing choice and employment opportunities.
- 2 Residential development that provides a high standard of amenity and adaptability for a variety of accommodation and living needs.
- 3 Commercial, office and retail development that is designed to create a strong visual connection to the public realm and that contributes to the vitality of the locality.
- 4 Buildings designed and sited to be energy and water efficient.

PRINCIPLES OF DEVELOPMENT CONTROL

Design and Appearance

- 1 Buildings should:
 - (a) achieve a human scale at ground level through the use of elements such as canopies, verandas or building projections
 - (b) provide shelter over the footpath where minimal setbacks are desirable
 - (c) ensure walls on the boundary that are visible from public land include visually interesting treatments to break up large blank facades.
- 2 The ground floor level of buildings (including the foyer areas of residential buildings) should be designed to enable surveillance from public land to the inside of the building at night.
- 3 Entrances to multi-storey buildings should:
 - (a) be oriented towards the street
 - (b) be clearly identifiable
 - (c) provide shelter, a sense of personal address and transitional space around the entry
 - (d) provide separate access for residential and non-residential land uses.

Visual Privacy

- 4 The visual privacy of ground floor dwellings within multi-storey buildings should be protected through the use of design features such as the elevation of ground floors above street level, setbacks from street and the location of verandas, windows porticos or the like.

Building Separation and Outlook

- 5 Residential buildings (or the residential floors of mixed use buildings) should:
 - (a) have adequate separation between habitable room windows and balconies from other buildings to provide visual and acoustic privacy for dwelling occupants and allow the infiltration of daylight into interior and outdoor spaces
 - (b) ensure living rooms have, at a minimum, a satisfactory short range visual outlook to public or communal space.

Dwelling Configuration

- 6 Buildings comprising more than 20 dwellings should provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling.
- 7 Dwellings with 3 or more bedrooms located on the ground floor of medium and high rise buildings should, where possible, have the windows of habitable rooms overlooking internal courtyard space or other public space.

Adaptability

- 8 Multi-storey buildings should include a variety of internal designs that will facilitate adaptive reuse.

Environmental

- 9 Multi-storey buildings should:
 - (a) minimise detrimental micro-climatic and solar access impacts on adjacent land or buildings, including effects of patterns of wind, temperature, daylight, sunlight, glare and shadow
 - (b) incorporate roof designs that enable the provision of rain water tanks (where they are not provided elsewhere), photovoltaic cells and other features that enhance sustainability.
- 10 Green roofs (which can be a substitute for private or communal open space provided they can be accessed by occupants of the building) are encouraged on all new residential, commercial or mixed use buildings.
- 11 Development of 5 or more storeys, or 21 metres or more in building height (excluding the rooftop location of mechanical plant and equipment), should be designed to minimise the risk of wind tunnelling effects on adjacent streets by adopting one or more of the following:
 - (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street
 - (b) substantial verandas around a building to deflect downward travelling wind flows over pedestrian areas
 - (c) the placement of buildings and use of setbacks to deflect the wind at ground level.

Site Facilities and Storage

- 12 Dwellings should provide a covered storage area of not less than 8 cubic metres in one or more of the following areas:
 - (a) in the dwelling (but not including a habitable room)
 - (b) in a garage, carport or outbuilding
 - (c) within an on-site communal facility.
- 13 Development should provide a dedicated area for the on-site collection and sorting of recyclable materials and refuse.
- 14 Development with a gross floor area of 2000 square metres or more should provide for the communal storage and management of waste.

Mineral Extraction

OBJECTIVES

- 1 Development of mining activities in a way that contributes to the sustainable growth of the industry.
- 2 Protection of mineral deposits against intrusion by inappropriate forms of development.
- 3 Areas with scenic or conservation significance protected from undue damage arising from mining operations.
- 4 Mining operations undertaken with minimal adverse impacts on the environment and on the health and amenity of adjacent land uses.
- 5 Minimisation of the impacts from mining activities upon the existing groundwater level and the quality of groundwater resources.
- 6 Mining operations that make adequate provision for site rehabilitation.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Known reserves of economically-viable mineral deposits should be kept free of development that may inhibit their future exploitation.
- 2 Development in proximity to mining operations should not be undertaken where it may be exposed to adverse impacts resulting from mining activities.
- 3 Mining in scenic and native vegetation areas should only be undertaken if:
 - (a) the proposed location is the best site in regard to minimising loss of amenity, degradation of the landscape and loss of native vegetation
 - (b) there are a limited number of known reserves of the minerals in the area or elsewhere in the State
 - (c) the extraction and transportation of materials from alternative sites to principal centres of consumption carry significantly higher costs
 - (d) the site is capable of restoration with locally indigenous plant species to counter the long-term impact on the landscape and biodiversity.
- 4 Stormwater and/or wastewater from land used for mining should be diverted into a silt retention structure so that it can be reused on-site for purposes such as truck wash-down, dust control, washing of equipment and landscape irrigation or for disposal off-site in an environmentally responsible manner.
- 5 Access to land used for mining should be sited and designed to accommodate heavy-vehicle traffic and ensure the safety of all road users.
- 6 Mining operations should:
 - (a) ensure that minimal damage is caused to the landscape
 - (b) minimise the area required for operations, and provide for the progressive reclamation of disturbed areas
 - (c) minimise disturbance to natural hydrological systems

- (d) not result in the degradation of roads or an increased maintenance burden to the relevant road authority.

Separation Treatments, Buffers and Landscaping

- 7 Mining development should be sited, designed and sequenced to protect the amenity of surrounding land uses from environmental nuisance such as dust or vibration emanating from mining operations.
- 8 Mining operations that are likely to impact upon the amenity of the locality should incorporate a separation distance and/or mounding/vegetation between the mining operations (including stockpiles) and adjoining allotments to help minimise exposure to those potential impacts.
- 9 Quarry faces should be orientated away from public view.
- 10 Screening of mining areas should occur in advance of extraction commencing.
- 11 An area of densely vegetated and/or mounded land should be established around the perimeter of mining sites in order to screen excavated land and mineral processing facilities from all of the following:
 - (a) residential areas
 - (b) tourist areas
 - (c) tourist routes
 - (d) scenic routes.
- 12 Screen planting around mining operations should incorporate a mixture of trees and shrubs that:
 - (a) contribute to an attractive landscape
 - (b) suit local soil and climatic conditions
 - (c) are fast growing and/or have a long life expectancy
 - (d) are locally indigenous species.
- 13 Borrow pits for road making materials should be sited so as to cause the minimum effect on their surroundings.

Natural Resources

OBJECTIVES

- 1 Retention, protection and restoration of the natural resources and environment.
- 2 Protection of the quality and quantity of South Australia's surface waters, including inland, marine and estuarine and underground waters.
- 3 The ecologically sustainable use of natural resources including water resources, including marine waters, ground water, surface water and watercourses.
- 4 Natural hydrological systems and environmental flows reinstated, and maintained and enhanced.
- 5 Development consistent with the principles of water sensitive design.
- 6 Development sited and designed to:
 - (a) protect natural ecological systems
 - (b) achieve the sustainable use of water
 - (c) protect water quality, including receiving waters
 - (d) reduce runoff and peak flows and prevent the risk of downstream flooding
 - (e) minimise demand on reticulated water supplies
 - (f) maximise the harvest and use of stormwater
 - (g) protect stormwater from pollution sources.
- 7 Storage and use of stormwater which avoids adverse impact on public health and safety.
- 8 Native flora, fauna and ecosystems protected, retained, conserved and restored.
- 9 Restoration, expansion and linking of existing native vegetation to facilitate habitat corridors for ease of movement of fauna.
- 10 Minimal disturbance and modification of the natural landform.
- 11 Protection of the physical, chemical and biological quality of soil resources.
- 12 Protection of areas prone to erosion or other land degradation processes from inappropriate development.
- 13 Protection of the scenic qualities of natural and rural landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be undertaken with minimum impact on the natural environment, including air and water quality, land, soil, biodiversity, and scenically attractive areas.
- 2 The visual impact of wind farms and ancillary development should be managed in accordance with the policies contained within the General Section headed Renewable Energy Facilities.

- 3 Development should ensure that South Australia's natural assets, such as biodiversity, water and soil, are protected and enhanced.
- 4 Development should not significantly obstruct or adversely affect sensitive ecological areas such as creeks, wetlands, estuaries and significant seagrass and mangrove communities.
- 5 Development should be appropriate to land capability and the protection and conservation of water resources and biodiversity.

Water Sensitive Design

- 6 Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 7 Development should not take place if it results in unsustainable use of surface or underground water resources.
- 8 Development should be sited and designed to:
 - (a) capture and re-use stormwater, where practical
 - (b) minimise surface water runoff
 - (c) prevent soil erosion and water pollution
 - (d) protect and enhance natural water flows
 - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies
 - (f) not contribute to an increase in salinity levels
 - (g) avoid the water logging of soil or the release of toxic elements
 - (h) maintain natural hydrological systems and not adversely affect:
 - (i) the quantity and quality of groundwater
 - (ii) the depth and directional flow of groundwater
 - (iii) the quality and function of natural springs.
- 9 Water discharged from a development site should:
 - (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state
 - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 10 Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 11 Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 12 Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.

- 13 Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.
- 14 Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 15 Stormwater management systems should:
 - (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source
 - (b) utilise, but not be limited to, one or more of the following harvesting methods:
 - (i) the collection of roof water in tanks
 - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks
 - (iii) the incorporation of detention and retention facilities
 - (iv) aquifer recharge.
- 16 Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 17 Artificial wetland systems, including detention and retention basins, should be sited and designed to:
 - (a) ensure public health and safety is protected
 - (b) minimise potential public health risks arising from the breeding of mosquitoes.

Water Catchment Areas

- 18 Development should ensure watercourses and their beds, banks, wetlands and floodplains are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.
- 19 No development should occur where its proximity to a swamp or wetland will damage or interfere with the hydrology or water regime of the swamp or wetland.
- 20 A wetland or low-lying area providing habitat for native flora and fauna should not be drained, except temporarily for essential management purposes to enhance environmental values.
- 21 Along watercourses, areas of remnant native vegetation, or areas prone to erosion, that are capable of natural regeneration should be fenced off to limit stock access.
- 22 Development such as cropping, intensive animal keeping, residential, tourism, industry and horticulture, that increases the amount of surface run-off should include a strip of land at least 20 metres wide measured from the top of existing banks on each side of a watercourse that is:
 - (a) fenced to exclude livestock
 - (b) kept free of development, including structures, formal roadways or access ways for machinery or any other activity causing soil compaction or significant modification of the natural surface of the land
 - (c) revegetated with locally indigenous vegetation comprising trees, shrubs and other groundcover plants to filter run-off so as to reduce the impacts on native aquatic ecosystems and to minimise soil loss eroding into the watercourse.

- 23 Development resulting in the depositing of an object or solid material in a watercourse or floodplain or the removal of bank and bed material should not:
- (a) adversely affect the migration of aquatic biota
 - (b) adversely affect the natural flow regime
 - (c) cause or contribute to water pollution
 - (d) result in watercourse or bank erosion
 - (e) adversely affect native vegetation upstream or downstream that is growing in or adjacent to a watercourse.
- 24 The location and construction of dams, water tanks and diversion drains should:
- (a) occur off watercourse
 - (b) not take place in ecologically sensitive areas or on erosion-prone sites
 - (c) provide for low flow by-pass mechanisms to allow for migration of aquatic biota
 - (d) not negatively affect downstream users
 - (e) minimise in-stream or riparian vegetation loss
 - (f) incorporate features to improve water quality (eg wetlands and floodplain ecological communities)
 - (g) protect ecosystems dependent on water resources.
- 25 Irrigated horticulture and pasture should not increase groundwater-induced salinity.
- 26 Development should comply with the current *Natural Resources Management Water Allocation Plans and Environment Protection (Water Quality) Policy*.

Biodiversity and Native Vegetation

- 27 Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.
- 28 Development should be designed and sited to minimise the loss and disturbance of native flora and fauna, including marine animals and plants, and their breeding grounds and habitats.
- 29 Where possible the provision of services, including power, water, effluent and waste disposal, access roads and tracks should be sited on areas already cleared of native vegetation.
- 30 Native vegetation should be conserved and its conservation value and function not compromised by development if the native vegetation does any of the following:
- (a) provides an important habitat for wildlife or shade and shelter for livestock
 - (b) has a high plant species diversity or includes rare, vulnerable or endangered plant species or plant associations and communities
 - (c) provides an important seed bank for locally indigenous vegetation
 - (d) has high amenity value and/or significantly contributes to the landscape quality of an area, including the screening of buildings and unsightly views

- (e) has high value as a remnant of vegetation associations characteristic of a district or region prior to extensive clearance for agriculture
 - (f) is growing in, or is characteristically associated with a wetland environment.
- 31 Native vegetation should not be cleared if such clearing is likely to lead to, cause or exacerbate any of the following:
- (a) erosion or sediment within water catchments
 - (b) decreased soil stability
 - (c) soil or land slip
 - (d) deterioration in the quality of water in a watercourse or surface water runoff
 - (e) a local or regional salinity problem
 - (f) the occurrence or intensity of local or regional flooding.
- 32 Development that proposes the clearance of native vegetation should address or consider the implications that removing the native vegetation will have on the following:
- (a) provision for linkages and wildlife corridors between significant areas of native vegetation
 - (b) erosion along watercourses and the filtering of suspended solids and nutrients from run-off
 - (c) the amenity of the locality
 - (d) bushfire safety
 - (e) the net loss of native vegetation and other biodiversity.
- 33 Where native vegetation is to be removed, it should be replaced in a suitable location on the site with locally indigenous vegetation to ensure that there is not a net loss of native vegetation and biodiversity.
- 34 Development should be located and occur in a manner which:
- (a) does not increase the potential for, or result in, the spread of pest plants, or the spread of any non-indigenous plants into areas of native vegetation or a conservation zone
 - (b) avoids the degradation of remnant native vegetation by any other means including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or change to groundwater levels
 - (c) incorporates a separation distance and/or buffer area to protect wildlife habitats and other features of nature conservation significance.
- 35 Development should promote the long-term conservation of vegetation by:
- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunk of trees and beneath their canopies
 - (b) minimising impervious surfaces beneath the canopies of trees
 - (c) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.

- 36 Horticulture involving the growing of olives should be located at least:
- (a) 500 metres from:
 - (i) a national park
 - (ii) a conservation park
 - (iii) a wilderness protection area
 - (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area
 - (b) 50 metres from the edge of stands of native vegetation 5 hectares or less in area.
- 37 Horticulture involving the growing of olives should have at least one locally indigenous tree that will grow to a height of at least 7 metres sited at least every 100 metres around the perimeter of the orchard.

Soil Conservation

- 38 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 39 Development should be designed and sited to prevent erosion.
- 40 Development should take place in a manner that will minimise alteration to the existing landform.
- 41 Development should minimise the loss of soil from a site through soil erosion or siltation during the construction phase of any development and following the commencement of an activity.

Open Space and Recreation

OBJECTIVES

- 1 The creation of a network of linked parks, reserves and recreation areas at regional and local levels.
- 2 Pleasant, functional and accessible open spaces providing a range of physical environments.
- 3 A wide range of settings for active and passive recreational opportunities.
- 4 The provision of open space in the following hierarchy:
 - State
 - Regional
 - District
 - Neighbourhood
 - Local.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Urban development should include public open space and recreation areas.
- 2 Public open space and recreation areas should be of a size, dimension and location that:
 - (a) facilitate a range of formal and informal recreation activities
 - (b) provide for the movement of pedestrians and cyclists
 - (c) incorporate existing vegetation and natural features, watercourses, wildlife habitat and other sites of natural or cultural value
 - (d) link habitats, wildlife corridors, public open spaces and existing recreation facilities
 - (e) enable effective stormwater management
 - (f) provides for the planting and retention of large trees and vegetation.
- 3 Open space should be designed to incorporate:
 - (a) pedestrian, cycle linkages to other open spaces, centres, schools and public transport nodes
 - (b) park furniture, shaded areas and resting places to enhance pedestrian comfort
 - (c) safe crossing points where pedestrian routes intersect the road network
 - (d) easily identified access points
 - (e) frontage to abutting public roads to optimise pedestrian access and visibility
 - (f) re-use of stormwater for irrigation purposes
 - (g) recreational trails where appropriate.
- 4 Where practical, access points to regional parks should be located close to public transport.

- 5 District level parks should be at least 3 hectares in size, and provided within 2 kilometres of all households that they serve.
- 6 Neighbourhood parks should be at least 0.5 hectares and generally closer to 1 hectare in size, and provided within 500 metres of households that they serve.
- 7 Local parks should be:
 - (a) a minimum of 0.4 hectares in size
 - (b) centrally located within a residential area, close to schools, shops and generally within 300 metres of households that they serve.
- 8 No more than 20 per cent of land allocated as public open space should:
 - (a) have a slope in excess of 1-in-4
 - (b) comprise creeks or other drainage areas.
- 9 Signage should be provided at entrances to and within public open space to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes and park activities.
- 10 Buildings in open space, including structures and associated car parking areas, should be designed, located and of a scale that is unobtrusive and does not detract from the desired open space character.
- 11 Development in open space should:
 - (a) be clustered where practical to ensure that the majority of the site remains open
 - (b) where practical, be developed for multi-purpose use
 - (c) be constructed to minimise the extent of hard paved areas.
- 12 Open spaces and recreation areas should be located and designed to maximise safety and security by:
 - (a) ensuring that within urban areas, their edges are overlooked by housing, commercial or other development that can provide effective informal surveillance
 - (b) ensuring fenced parks and playgrounds have more than one entrance or exit when fenced
 - (c) locating play equipment where it can be informally observed by nearby residents and users during times of use
 - (d) clearly defining the perimeters of play areas
 - (e) providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks
 - (f) focusing pedestrian and bicycle movement after dark along clearly defined, adequately lit routes with observable entries and exits.
- 13 Landscaping associated with open space and recreation areas should:
 - (a) not compromise the drainage function of any drainage channel
 - (b) provide shade and windbreaks along cyclist and pedestrian routes, around picnic and barbecue areas and seating, and in car parking areas
 - (c) maximise opportunities for informal surveillance throughout the park

- (d) enhance the visual amenity of the area and complement existing buildings
 - (e) be designed and selected to minimise maintenance costs
 - (f) provide habitat for local fauna.
- 14 Development of recreational activities in areas not zoned for that purpose should be compatible with surrounding activities.
- 15 Recreation facilities development should be sited and designed to minimise negative impacts on the amenity of the locality.

Orderly and Sustainable Development

OBJECTIVES

- 1 Orderly and economical development that creates a safe, convenient and pleasant environment in which to live.
- 2 Development occurring in an orderly sequence and in a compact form to enable the efficient provision of public services and facilities.
- 3 Development that does not jeopardise the continuance of adjoining authorised land uses.
- 4 Development that does not prejudice the achievement of the provisions of the Development Plan.
- 5 Development abutting adjoining Council areas having regard to the policies of that Council's Development Plan.
- 6 Urban development contained within existing townships and settlements and located only in zones designated for such development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not prejudice the development of a zone for its intended purpose.
- 2 Land outside of townships and settlements should primarily be used for primary production, conservation purposes.
- 3 The economic base of the region should be expanded in a sustainable manner.
- 4 Urban development should form a compact extension to an existing built-up area.
- 5 Ribbon development should not occur along the coast, water frontages or arterial roads shown in *Overlay Maps - Transport*.
- 6 Development should be located and staged to achieve the economical provision of public services and infrastructure, and to maximise the use of existing services and infrastructure.
- 7 Where development is expected to impact upon the existing infrastructure network (including the transport network), development should demonstrate how the undue effect will be addressed.
- 8 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to not prejudice the orderly development of adjacent land.
- 9 Development should be undertaken in accordance with the following Concept Plan Maps:
 - (a) [Concept Plan Map CoCo/1 - Bulk Handling \(Wallaroo\)](#)
 - (b) [Concept Plan Map CoCo/2 - Industrial Area \(Moonta\)](#)
 - (c) [Concept Plan Map CoCo/3 - Industrial Area \(Kadina\)](#)
 - (d) [Concept Plan Map CoCo/4 - Residential Jones Street \(Wallaroo\)](#)
 - (e) [Concept Plan Map CoCo/5 - Residential Athena Drive \(Wallaroo\)](#)

- (f) [Concept Plan Map CoCo/6 - Residential Agery Road \(Kadina\)](#)
- (g) [Concept Plan Map CoCo/7 - Residential North Beach \(Wallaroo\)](#)
- (h) [Concept Plan Map CoCo/8 - Residential Golf Course \(Port Hughes\)](#)
- (i) [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#)
- (j) [Concept Plan Map CoCo/10 - Town Centre \(Moonta\)](#)
- (k) [Concept Plan Map CoCo/11 - Motor Vehicle Showrooms \(Kadina\)](#)
- (l) [Concept Plan Map CoCo/12 - Residential Schilling Street \(Kadina\)](#)
- (m) [Concept Plan Map CoCo/13 - Tourist Accommodation Pamir Court \(Wallaroo\)](#)
- (n) [Concept Plan Map CoCo/14 - Town Centre \(Wallaroo\)](#).

Renewable Energy Facilities

OBJECTIVES

- 1 The development of renewable energy facilities, such as wind and biomass energy facilities, in appropriate locations.
- 2 Location, siting, design and operation of renewable energy facilities to avoid or minimise adverse impacts and maximize positive impacts on the environment, the local community and the State.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Renewable energy facilities, including wind farms and ancillary development, should be:
 - (a) located in areas that maximize efficient generation and supply of electricity
 - (b) designed and sited so as not to impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips.
- 2 Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power lines, should be sited, designed and operated in a manner that:
 - (a) avoids or minimises negative impacts on the character, landscape quality, visual significance or amenity of the area
 - (b) uses elements of the landscape and appropriate materials and finishes to minimise visual impact
 - (c) avoids or minimises the potential for adverse impact on areas of native vegetation, conservation, environmental, geological, tourism or built or natural heritage significance
 - (d) does not impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips
 - (e) avoids or minimises nuisance or hazard to nearby property owners and/or occupiers, road users and wildlife by not:
 - (i) causing shadowing, flickering, reflection or blade glint impacts
 - (ii) creating excessive noise
 - (iii) interfering with television and radio signals
 - (iv) modifying vegetation, soils and habitats
 - (v) striking birds or bats.

Residential Development

OBJECTIVES

- 1 Safe, convenient, sustainable and healthy living environments that meet the full range of needs and preferences of a diverse community.
- 2 A diverse range of dwelling types and sizes available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Medium and high density residential development in areas close to activity centres, public and community transport and public open spaces.
- 4 The revitalisation of residential areas to support the viability of community services and infrastructure.
- 5 Affordable housing, student housing and housing for aged persons provided in appropriate locations.
- 6 Increased affordable housing opportunities through land division and the conversion of buildings to a residential use.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:
 - (a) the siting and construction of a dwelling and associated ancillary outbuildings
 - (b) the provision of landscaping and private open space
 - (c) convenient and safe vehicle, pedestrian and cycling access and parking
 - (d) water sensitive design systems that enable the storage, treatment and reuse of stormwater.
- 2 Buildings on battleaxe allotments or the like should be single storey and be designed to maintain the privacy of adjoining properties.
- 3 Residential allotments should be of varying sizes to encourage housing diversity.

Design and Appearance

- 4 Dwellings and accommodation at ground floor level should contribute to the character of the locality and create active, safe streets by incorporating one or more of the following:
 - (a) front landscaping or terraces that contribute to the spatial and visual structure of the street while maintaining adequate privacy for occupants
 - (b) individual entries for ground floor accommodation
 - (c) opportunities to overlook adjacent public space
- 5 Where a dwelling has direct frontage to a street the dwelling should be designed to provide surveillance and address the street.
- 6 Residential development should be designed to ensure living rooms have an external outlook.

- 7 Entries to dwellings or foyer areas should be clearly visible from the street, or access ways that they face to enable visitors to easily identify individual dwellings.
- 8 The design of residential flat buildings should:
 - (a) define individual dwellings in the external appearance of the building
 - (b) provide transitional space around the entry
 - (c) ensure building entrances provide shelter, are visible and easily identifiable from the street.

Garages, Carports and Outbuildings

- 9 Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.
- 10 Garages and carports facing the street should not dominate the streetscape.
- 11 Residential outbuildings, including garages and sheds, should not be constructed unless in association with an existing dwelling.
- 12 Residential outbuildings, including garages and sheds should be constructed of masonry or factory pre-painted cladding.

Street and Boundary Setbacks

- 13 Dwellings should be set back from allotment or site boundaries to:
 - (a) contribute to the desired character of the area
 - (b) provide adequate visual privacy by separating habitable rooms from pedestrian and vehicle movement.
- 14 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:
 - (a) minimise the visual impact of buildings from adjoining properties
 - (b) minimise the overshadowing of adjoining properties.
- 15 Side boundary walls in residential areas should be limited in length and height to:
 - (a) minimise their visual impact on adjoining properties
 - (b) minimise the overshadowing of adjoining properties.
- 16 Carports and garages should be set back from road and building frontages so as to:
 - (a) contribute to the desired character of the area
 - (b) not adversely impact on the safety of road users
 - (c) provide safe entry and exit
 - (d) not dominate the appearance of dwellings from the street.

Site Coverage

- 17 Site coverage should ensure sufficient space is provided for:
 - (a) pedestrian and vehicle access and vehicle parking

- (b) domestic storage
- (c) outdoor clothes drying
- (d) rainwater tanks
- (e) private open space and landscaping
- (f) convenient storage of household waste and recycling receptacles
- (g) front, side and rear boundary setbacks that contribute to the desired character of the area.

Private Open Space

18 Private open space (available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:

- (a) to be accessed directly from the internal living areas of the dwelling
- (b) to be generally at ground level (other than for residential flat buildings) and to the side or rear of a dwelling and screened for privacy
- (c) to take advantage of, but not adversely affect, natural features of the site
- (d) to minimise overlooking from adjacent buildings
- (e) to achieve separation from bedroom windows on adjacent sites
- (f) to have a northerly aspect to provide for comfortable year-round use
- (g) to not be significantly shaded during winter by the associated dwelling or adjacent development
- (h) to be partly shaded in summer
- (i) to minimise noise or air quality impacts that may arise from traffic, industry or other business activities within the locality
- (j) to have sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site.

19 Dwellings at ground level should provide private open space in accordance with the following table:

Site area per dwelling (square metres)	Minimum dimension (metres)	Minimum area provided at the rear or side of the dwelling, directly accessible from a habitable room (square metres)
<300	3	24 of which 12 may be under cover provided it is open along at least two adjoining sides and not used for the parking of vehicles
300 - 500	4	60 of which 12 may be under cover provided it is open along at least two adjoining sides and not used for the parking of vehicles
>500	5	80 of which 12 may be under cover provided it is open along at least two adjoining sides and not used for the parking of vehicles

- 20 Private open space should not include driveways, effluent drainage areas, rubbish bin storage areas, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space.
- 21 Private open space at ground level should be designed to provide a consolidated area of deep soil (an area of natural ground which excludes areas where there is a structure underneath, pools and non-permeable paved areas) to:
- (a) assist with ease of drainage
 - (b) allow for effective deep planting
 - (c) reduce urban heat loading and improve micro-climatic conditions around sites and buildings.

- 22 Dwellings located above ground level should provide private open space in accordance with the following table:

Dwelling type	Minimum area of private open space
Studio (where there is no separate bedroom)	No minimum requirement
One bedroom dwelling	8 square metres
Two bedroom dwelling	11 square metres
Three + bedroom dwelling	15 square metres

- 23 Private open space located above ground level should have a minimum dimension of 2 metres and be directly accessible from a habitable room.
- 24 Private open space may be substituted for the equivalent area of communal open space where:
- (a) at least 50 per cent of the communal open space is visually screened from public areas of the development
 - (b) ground floor communal space is overlooked by habitable rooms to facilitate passive surveillance
 - (c) it contains landscaping and facilities that are functional, attractive and encourage recreational use.

Communal Open Space

- 25 Communal open space should be shared by more than one dwelling, not be publicly accessible and exclude:
- (a) private open space
 - (b) public rights of way
 - (c) private streets
 - (d) parking areas and driveways
 - (e) service and storage areas
 - (f) narrow or inaccessible strips of land.
- 26 Communal open space should only be located on elevated gardens or roof tops where the area and overall design is useful for the recreation and amenity needs of residents and where it is designed to:
- (a) address acoustic, safety, security and wind effects

- (b) minimise overlooking into habitable room windows or onto the useable private open space of other dwellings
- (c) facilitate landscaping and food production
- (d) be integrated into the overall facade and composition of buildings.

Visual Privacy

- 27 Except for buildings of 3 or more storeys, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level.

Noise

- 28 Noise generated by fixed noise sources such as air conditioning units, and pool pumps should be located, designed and attenuated to avoid causing potential noise nuisance to adjoining landowners and occupiers.
- 29 External noise and artificial light intrusion into bedrooms should be minimised by separating or shielding these rooms from:
- (a) active communal recreation areas, parking areas and vehicle access ways
 - (b) service equipment areas and fixed noise sources on the same or adjacent sites.

Site Facilities and Storage

- 30 Site facilities for group dwellings, residential parks and residential flat buildings should include:
- (a) mail box facilities sited close to the major pedestrian entrance to the site
 - (b) bicycle parking for residents and visitors (for developments containing more than 6 dwellings)
 - (c) household waste and recyclable material storage areas away from dwellings
 - (d) provision for industrial bins in lieu of individual bins for domestic waste where the development includes more than 6 units
 - (e) external clothes drying areas, which are readily accessible to each dwelling and complement the development and streetscape character for dwellings which do not incorporate ground level private open space.

Affordable Housing

- 31 Affordable housing should be well integrated and complementary in design and appearance to other dwellings within the development.

Dependent Accommodation

- 32 Dependent accommodation (ie accommodation where the living unit is connected to the same services of the main dwelling) should be developed on the same allotment as the existing dwelling only where:
- (a) the site is of adequate size and configuration and the minimum total site is 450 square metres
 - (b) the accommodation has a small floor area relative to the associated main dwelling with a floor area not exceeding 60 square metres
 - (c) adequate outdoor space of a minimum of 30 square metres, having a minimum dimension of 4 metres, is provided for the use of all occupants

- (d) adequate on-site car parking is provided by one additional car parking space being provided on the site
- (e) the building is designed to, and comprises colours and materials that will, complement the original dwelling
- (f) the building is attached to the associated main dwelling
- (g) sufficient land is available to accommodate any required onsite wastewater disposal.

Swimming Pools and Outdoor Spas

- 33 Swimming pools, outdoor spas and associated ancillary equipment and structures should be sited so as to protect the privacy and amenity of adjoining residential land.

Siting and Visibility

OBJECTIVES

- 1 Protection of scenically attractive areas, particularly natural, rural and coastal landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 2 Development should be sited and designed to minimise its visual impact on:
 - (a) the natural, rural or heritage character of the area
 - (b) areas of high visual or scenic value, particularly rural and coastal areas
 - (c) views from the coast, near-shore waters, public reserves, tourist routes and walking trails
 - (d) the amenity of public beaches.
- 3 Buildings should be sited in unobtrusive locations and, in particular, should:
 - (a) be grouped together
 - (b) where possible be located in such a way as to be screened by existing vegetation when viewed from public roads.
- 4 Buildings outside of urban areas and in undulating landscapes should be sited in unobtrusive locations and in particular should be:
 - (a) sited below the ridgeline
 - (b) sited within valleys or behind spurs
 - (c) sited in such a way as to not be visible against the skyline when viewed from public roads
 - (d) set well back from public roads, particularly when the allotment is on the high side of the road.
- 5 Buildings and structures should be designed to minimise their visual impact in the landscape, in particular:
 - (a) the profile of buildings should be low and the rooflines should complement the natural form of the land
 - (b) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land
 - (c) large eaves, verandas and pergolas should be incorporated into designs so as to create shadowed areas that reduce the bulky appearance of buildings.
- 6 The nature of external surface materials of buildings should not detract from the visual character and amenity of the landscape.
- 7 Driveways and access tracks should be designed and surfaced to blend sympathetically with the landscape and to minimise interference with natural vegetation and landforms.

- 8 Development should be screened through the establishment of landscaping using locally indigenous plant species:
- (a) around buildings and earthworks to provide a visual screen as well as shade in summer, and protection from prevailing winds
 - (b) along allotment boundaries to provide permanent screening of buildings and structures when viewed from adjoining properties and public roads
 - (c) along the verges of new roads and access tracks to provide screening and minimise erosion.

Sloping Land

OBJECTIVES

- 1 Development on sloping land designed to manage visual impacts, minimise impacts on the natural environment and protect soil stability and water quality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development and associated driveways and access tracks should be sited and designed to integrate with the natural topography of the land and minimise the need for earthworks.
- 2 Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that:
 - (a) minimises their visual impact
 - (b) reduces the bulk of the buildings and structures
 - (c) minimises the extent of cut and/or fill
 - (d) minimises the need for, and the height of, retaining walls
 - (e) does not cause or contribute to instability of any embankment or cutting
 - (f) avoids the silting of watercourses
 - (g) protects development and its surrounds from erosion caused by water run-off.
- 3 Driveways and access tracks across sloping land should be accessible and have a safe, all-weather trafficable surface.
- 4 Development sites should not be at risk of landslip.
- 5 Development on steep land should include site drainage systems to minimise erosion and avoid adverse impacts on slope stability.
- 6 Steep sloping sites in unsewered areas should not be developed unless the physical characteristics of the allotments enable the proper siting and operation of an effluent drainage field suitable for the development intended.
- 7 The cutting and/or filling of land outside townships and urban areas should:
 - (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation
 - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment
 - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion
 - (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.

Supported Accommodation, Housing for Aged Persons and People with Disabilities

OBJECTIVES

- 1 Provision of well designed supported accommodation for community groups with special needs in appropriate locations.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Supported accommodation including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses and housing for aged persons and people with disabilities should be:
 - (a) located within walking distance of essential facilities such as convenience shops, health and community services and public and community transport
 - (b) located where on-site movement of residents is not unduly restricted by the slope of the land
 - (c) sited and designed to promote interaction with other sections of the community, without compromising privacy
 - (d) of a scale and appearance that reflects the residential style and character of the locality
 - (e) provided with public and private open space and landscaping.
- 2 Supported accommodation and housing for aged persons and people with disabilities should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:
 - (a) internal communal areas and private spaces
 - (b) useable recreation areas for residents and visitors, including visiting children
 - (c) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry
 - (d) storage areas for items such as boats, trailers and caravans and specialised equipment
 - (e) mail boxes and waste disposal areas within easy walking distance of all units.
- 3 Access roads within supported accommodation and development incorporating housing for aged persons and people with disabilities should:
 - (a) not have steep gradients
 - (b) provide convenient access for emergency vehicles, visitors and residents
 - (c) provide space for manoeuvring cars and community buses
 - (d) include kerb ramps at pedestrian crossing points
 - (e) have level-surface passenger loading areas.

- 4 Car parking associated with supported accommodation and housing for aged persons and people with disabilities should:
 - (a) be conveniently located on site within easy walking distance of resident units
 - (b) be adequate for residents, service providers and visitors
 - (c) include covered and secure parking for residents' vehicles
 - (d) have slip-resistant surfaces with gradients not steeper than 1-in-40
 - (e) allow ease of vehicle manoeuvrability
 - (f) be designed to allow the full opening of all vehicle doors
 - (g) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise
 - (h) be appropriately lit to enable safe and easy movement to and from vehicles.
- 5 Supported accommodation should include:
 - (a) ground-level access or lift access to all units
 - (b) an interesting and attractive outlook from units and communal areas for all residents including those in wheelchairs
 - (c) adequate living space allowing for the use of wheelchairs with an attendant
 - (d) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles.
- 6 Car parking associated with supported accommodation should:
 - (a) have adequate identifiable provisions for staff
 - (b) include private parking spaces for independent living units
 - (c) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles.

Telecommunications Facilities

OBJECTIVES

- 1 Telecommunications facilities provided to deliver communication services to the community.
- 2 Telecommunications facilities sited and designed to minimise visual impact on the amenity of the local environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Telecommunications facilities should:
 - (a) be located in a coordinated manner to deliver communication services efficiently
 - (b) use materials and finishes that minimise visual impact
 - (c) have antennae located as close as practical to the support structure
 - (d) be located primarily in industrial, commercial, business, office, centre and rural zones
 - (e) where technically feasible, be co-located with other telecommunications facilities
 - (f) incorporate landscaping to screen the development, particularly equipment shelters and huts
 - (g) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points and significant vistas.
- 2 Telecommunications facilities in areas of high visitation and community use should use innovative design techniques (eg sculpture and other artworks) where possible and where the resulting design would positively contribute to the character of the area.
- 3 Telecommunications facilities should be located in residential zones only if sited and designed to minimise visual impact by:
 - (a) using existing buildings and vegetation for screening
 - (b) incorporating the facility within an existing structure that may serve another purpose
 - (c) taking into account the size, scale, context and characteristics of existing structures, landforms and vegetation so as to complement the local environment.
- 4 Telecommunications facilities should not have a direct or significant effect on the amenity, character and settings of Historic Conservation Areas, local heritage places, State heritage places or State Heritage Areas.

Tourism Development

OBJECTIVES

- 1 Environmentally sustainable and innovative tourism development.
- 2 Tourism development that assists in the conservation, interpretation and public appreciation of significant natural and cultural features including State or local heritage places.
- 3 Tourism development that sustains or enhances the local character, visual amenity and appeal of the area.
- 4 Tourism development that protects areas of exceptional natural value, allows for appropriate levels of visitation, and demonstrates an environmental analysis and design response which enhances environmental values.
- 5 Tourism development in rural areas that does not adversely affect the use of agricultural land for primary production.
- 6 Tourism development that contributes to local communities by adding vitality to neighbouring townships, regions and settlements.
- 7 Increased opportunities for visitors to stay overnight.
- 8 Ensure new development, together with associated bushfire management minimise the threat and impact of bushfires on life and property while protecting the environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Tourism development should have a functional or locational link with its natural, cultural or historical setting.
- 2 Tourism development and any associated activities should not damage or degrade any significant natural and cultural features.
- 3 Tourism development should ensure that its scale, form and location will not overwhelm, over commercialise or detract from the intrinsic natural values of the land on which it is sited or the character of its locality.
- 4 Tourism development should, where appropriate, add to the range of services and accommodation types available in an area.
- 5 Any upgrading of infrastructure to serve tourism development should be consistent with the landscape and the intrinsic natural values of the land and the basis of its appeal.
- 6 Major tourism developments should generally be located within designated areas and existing townships, towns or cities.

Tourism Development in Association with Dwelling(s)

- 7 Tourist facilities developed on the site of a dwelling should not detrimentally affect residential amenity.
- 8 Car parking for tourist accommodation associated with a dwelling should be provided at the rate of one space for each guest room or suite of rooms, and ensure that:

- (a) parking areas are attractively developed and landscaped, or screen fenced, and do not dominate the street frontage
- (b) the bedrooms of residential neighbours are suitably shielded from noise and headlight glare associated with guest vehicle movements
- (c) a domestic character is retained through the scale and appearance of landscaping and paving materials that provide a suitable all-weather surface.

Tourism Development Outside Townships

- 9 Tourist developments should demonstrate excellence in design to minimise potential impacts or intrusion on primary production activities and on areas of high conservation, landscape and cultural value.
- 10 Tourism developments in rural areas should be sited and designed to minimise impacts and have a functional or locational link with either of the following:
 - (a) the surrounding agricultural production or processing
 - (b) the natural, cultural or historical setting of the area.
- 11 Tourism developments in rural areas should primarily be developed in association with one or more of the following:
 - (a) agricultural, horticultural, viticultural or winery development
 - (b) heritage places and areas
 - (c) public open space and reserves
 - (d) walking and cycling trails
 - (e) interpretive infrastructure and signs.
- 12 Where appropriate, tourism developments in areas outside townships should:
 - (a) adapt and upgrade existing buildings of heritage value
 - (b) seek to improve conditions in disturbed or degraded areas on the site.
- 13 Advertisements associated with tourism developments should:
 - (a) not exceed 0.5 square metres in area for each display
 - (b) be limited to no more than two per site
 - (c) be located on the same site as the tourist development
 - (d) not be internally illuminated.
- 14 Tourism development in rural areas should occur only where it:
 - (a) incorporates a separation distance or buffers to avoid conflict with existing rural industries or agriculture or otherwise is designed to overcome the potential impacts associated with the adjoining land use (such as noise, dust, spray drift, odour and traffic)
 - (b) will not give rise to demands for infrastructure and services, especially on public lands, that are inappropriate to the primary purpose of the zone and/or policy area.

- 15 Tourism development, particularly in remote areas should be designed to minimise energy and water demands and incorporate alternative, sustainable technologies that use renewable energy sources and/or treat and reuse stormwater and wastewater to minimise reliance on mains services.
- 16 Natural features, signs and walkways should be used to manage and minimise potential risks of visitors damaging areas of cultural or natural significance, fragile areas, and areas of highest environmental value.
- 17 The visual and ambient impact of vehicles should be minimised by placing roadways and parking areas in unobtrusive locations.

Residential Parks and Caravan and Tourist Parks

- 18 Residential parks which are principally designed for residents should be located in areas with access to employment, shops, schools, public transport and community and recreation facilities.
- 19 Residential parks and Caravan and Tourist parks should be designed to:
 - (a) minimise potential conflicts between long-term residents and short-term tourists
 - (b) protect the privacy and amenity of occupants through landscaping and fencing
 - (c) minimise traffic speeds and provide a safe environment for pedestrians
 - (d) include centrally located recreation areas
 - (e) include extensive landscaping that enhances the appearance of the locality, with a landscape buffer around the perimeter of the site.
 - (f) ensure that adequate amenity blocks (showers, toilets, laundry and kitchen facilities) and service facilities (eg public telephones, kiosks and restaurants) are provided to serve the population to be accommodated by the facility.
- 20 On-site visitor parking in Caravan and Tourist parks should:
 - (a) be designed and located to be accessible to visitors at all times
 - (b) not dominate the internal site layout
 - (c) be clearly defined as visitor spaces and not specifically associated with any particular accommodation site.
- 21 Long-term occupation of Caravan and Tourist parks should not lead to the displacement of existing tourist accommodation, particularly in important tourist destinations, such as in coastal or riverside locations.
- 22 A minimum of 12.5 per cent of a park should comprise communal open space, landscaped areas and recreation areas.
- 23 Landscaping should comprise locally indigenous species that are appropriate to the development and the subject land, and facilitate amenity and environmental sustainability.

Transportation and Access

OBJECTIVES

- 1 A comprehensive, integrated, affordable and efficient air, rail, sea, road, cycle and pedestrian transport system that will:
 - (a) provide equitable access to a range of public, community and private transport services for all people
 - (b) ensure a high level of safety
 - (c) effectively support the economic development of the State
 - (d) have minimal negative environmental and social impacts
 - (e) maintain options for the introduction of suitable new transport technologies.
- 2 Development that:
 - (a) provides safe and efficient movement for all transport modes
 - (b) ensures access for vehicles including emergency services, public infrastructure maintenance and commercial vehicles
 - (c) provides off street parking
 - (d) is appropriately located so that it supports and makes best use of existing transport facilities and networks
 - (e) provides convenient and safe access to public transport stops.
- 3 A road hierarchy that promotes safe and efficient transportation in an integrated manner throughout the State.
- 4 Provision of safe, pleasant, accessible, integrated and permeable pedestrian and cycling networks that are connected to the public transport network.
- 5 Safe and convenient freight and people movement throughout the State.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Land uses arranged to support the efficient provision of sustainable transport networks and encourage their use.

Movement Systems

- 2 Development should be integrated with existing transport networks, particularly major rail, road and public transport corridors as shown on *Location Maps* and *Overlay Maps - Transport*, and designed to minimise its potential impact on the functional performance of the transport networks.
- 3 Transport corridors should be sited and designed so as to not unreasonably interfere with the health and amenity of adjacent sensitive land uses.

- 4 Roads should be sited and designed to blend with the landscape and be in sympathy with the terrain.
- 5 **Access roads (existing and proposed) servicing industrial development should be capable of accommodating heavy vehicle movements.**
- 6 Land uses that generate large numbers of visitors such as shopping centres and areas, places of employment, schools, hospitals and medium to high density residential uses should be located so that they can be serviced by existing transport networks and encourage walking and cycling.
- 7 Development generating high levels of traffic, such as schools, shopping centres and other retail areas, entertainment and sporting facilities, should incorporate passenger pick-up and set down areas. The design of such areas should ensure interference to existing traffic is minimised and give priority to pedestrians, cyclists and public and community transport users.
- 8 The location and design of public and community transport set-down and pick-up points should maximise safety and minimise the isolation and vulnerability of users.
- 9 Development should provide safe and convenient access for all anticipated modes of transport.
- 10 Development at intersections, pedestrian and cycle crossings, and crossovers to allotments should maintain or enhance sightlines for motorists, cyclists and pedestrians to ensure safety for all road users and pedestrians.
- 11 Driveway cross-overs affecting pedestrian footpaths should maintain the level and surface colour of the footpath.
- 12 Driveway cross-overs should be separated and the number minimised to optimise the provision of on-street visitor parking (where on-street parking is appropriate).
- 13 Development should be designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive land uses.
- 14 Industrial/commercial vehicle movements should be separated from passenger vehicle car parking areas.
- 15 Development should provide for the on-site loading, unloading and turning of all traffic likely to be generated.

Cycling and Walking

- 16 Development should ensure that a permeable street and path network is established that encourages walking and cycling through the provision of safe, convenient and attractive routes with connections to adjoining streets, paths, open spaces, schools, pedestrian crossing points on arterial roads, public and community transport stops and activity centres.
- 17 Development should provide access, and accommodate multiple route options, for pedestrians and cyclists by enhancing and integrating with open space networks, recreational trails, parks, reserves, and sport and recreation areas.
- 18 New developments should give priority to and not compromise existing designated bicycle routes.
- 19 Where development coincides with, intersects or divides a proposed bicycle route or corridor, development should incorporate through-access for cyclists.
- 20 Developments should encourage and facilitate cycling as a mode of transport by incorporating end-of-journey facilities including:
 - (a) showers, changing facilities, and secure lockers
 - (b) signage indicating the location of bicycle facilities.

- 21 On-site secure bicycle parking facilities should be:
- (a) located in a prominent place
 - (b) located at ground floor level
 - (c) located undercover
 - (d) located where surveillance is possible
 - (e) well lit and well signed
 - (f) close to well used entrances
 - (g) accessible by cycling along a safe, well lit route
- 22 Pedestrian and cycling facilities and networks should be designed and provided in accordance with relevant provisions of the *Australian Standards and Austroads Guides*.

Access

- 23 Development should have direct access from an all-weather public road.
- 24 Development should be provided with safe and convenient access which:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads
 - (b) provides appropriate separation distances from existing roads or level crossings
 - (c) accommodates the type and volume of traffic likely to be generated by the development or land use and minimises induced traffic through over-provision
 - (d) is sited and designed to minimise any adverse impacts on the occupants of and visitors to neighbouring properties.
- 25 Development should not restrict access to publicly owned land such as recreation areas.
- 26 The number of vehicle access points onto arterial roads shown on *Overlay Maps - Transport* should be minimised, and where possible access points should be:
- (a) limited to local roads (including rear lane access)
 - (b) shared between developments.
- 27 Development with access from arterial roads or roads as shown on *Overlay Maps - Transport* should be sited to avoid the need for vehicles to reverse on to the road.
- 28 Structures such as canopies and balconies that encroach onto the footpath of an arterial road should not cause visual or physical obstruction to:
- (a) signalised intersections
 - (b) heavy vehicles
 - (c) street lighting
 - (d) overhead electricity lines
 - (e) street trees
 - (f) bus stops.

29 Driveways, access tracks and parking areas should be designed and constructed to:

- (a) follow the natural contours of the land
- (b) minimise excavation and/or fill
- (c) minimise the potential for erosion from surface runoff
- (d) avoid the removal of existing vegetation
- (e) be consistent with *Australian Standard AS 2890 Parking facilities*.

Access for People with Disabilities

30 Development should be sited and designed to provide convenient access for people with a disability.

31 Where appropriate and practical, development should provide for safe and convenient access to the coast and beaches for disabled persons.

Vehicle Parking

32 Development should provide off-street vehicle parking and specifically marked disabled car parking places to meet anticipated demand in accordance with [Table CoCo/3 - Off Street Vehicle Parking](#) unless all the following conditions are met:

- (a) the site is located in a **Town Centre Zone, the Coastal Marina Zone or in the Coastal Open Space Zone at Wallaroo**
- (b) an agreement is reached between the Council and the applicant for a reduced number of parking spaces
- (c) a financial contribution is paid into the Council Car Parking Fund specified by the Council, in accordance with the gazetted rate per car park.

33 Development should be consistent with *Australian Standard AS 2890 Parking facilities*.

34 Vehicle parking areas should be sited and designed to:

- (a) facilitate safe and convenient pedestrian linkages to the development and areas of significant activity or interest in the vicinity of the development
- (b) include safe pedestrian and bicycle linkages that complement the overall pedestrian and cycling network
- (c) not inhibit safe and convenient traffic circulation
- (d) result in minimal conflict between customer and service vehicles
- (e) avoid the necessity to use public roads when moving from one part of a parking area to another
- (f) minimise the number of vehicle access points onto public roads
- (g) avoid the need for vehicles to reverse onto public roads
- (h) where practical, provide the opportunity for shared use of car parking and integration of car parking areas with adjoining development to reduce the total extent of vehicle parking areas and the requirement for access points
- (i) not dominate the character and appearance of a centre when viewed from public roads and spaces

- (j) provide landscaping that will shade and enhance the appearance of the vehicle parking areas
 - (k) include infrastructure such as underground cabling and connections to power infrastructure that will enable the recharging of electrical vehicles.
- 35 Where vehicle parking areas are not obviously visible or navigated, signs indicating the location and availability of vehicle parking spaces associated with businesses should be displayed at locations readily visible to users.
- 36 Vehicle parking areas that are likely to be used during non-daylight hours should provide floodlit entry and exit points and site lighting directed and shaded in a manner that will not cause nuisance to adjacent properties or users of the car park.
- 37 Vehicle parking areas should be sealed or paved in order to minimise dust and mud nuisance.
- 38 To assist with stormwater detention and reduce heat loads in summer, outdoor vehicle parking areas should include landscaping.
- 39 Vehicle parking areas should be line-marked to indicate parking bays, movement aisles and direction of traffic flow.
- 40 On-site visitor parking spaces should be sited and designed to:
- (a) not dominate internal site layout
 - (b) be clearly defined as visitor spaces not specifically associated with any particular dwelling
 - (c) be accessible to visitors at all times.

Vehicle Parking for Residential Development

- 41 On-site vehicle parking should be provided having regard to:
- (a) the number, nature and size of proposed dwellings
 - (b) proximity to centre facilities, public and community transport within walking distance of the dwellings
 - (c) the anticipated mobility and transport requirements of the likely occupants, particularly groups such as aged persons.
- 42 Vehicle parking areas servicing more than one dwelling should be of a size and location to:
- (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely
 - (b) provide adequate space for vehicles, including emergency service vehicles, to manoeuvre between the street and the parking area
 - (c) reinforce or contribute to attractive streetscapes
 - (d) ensure that it allows all vehicles leaving or entering the site from a public road in a forward direction.
- 43 The provision of ground level vehicle parking areas, including garages and carports (other than where located along a rear lane access way), should:
- (a) not face the primary street frontage
 - (b) be located to the rear of buildings with access from a shared internal laneway

- (c) ensure vehicle park entries are recessed at least 0.5 metres behind the main face of the building.

Vehicle Parking for Mixed Use Zones

- 44 Development should provide off-street vehicle parking and specifically marked accessible car parking places to meet anticipated demand.
- 45 Loading areas and designated parking spaces for service vehicles should:
 - (a) be provided within the boundary of the site
 - (b) not be located in areas where there is parking provided for any other purpose.
- 46 Vehicle parking spaces and multi-level vehicle parking structures within buildings should:
 - (a) enhance active street frontages by providing land uses such as commercial, retail or other non-car park uses along ground floor street frontages
 - (b) complement the surrounding built form in terms of height, massing and scale
 - (c) incorporate facade treatments along major street frontages that are sufficiently enclosed and detailed to complement neighbouring buildings consistent with the desired character of the locality.
- 47 In mixed use buildings, the provision of vehicle parking may be reduced in number and shared where the operating hours of commercial activities complement the residential use of the site.

Undercroft and Below Ground Garaging and Parking of Vehicles

- 48 Undercroft and below ground garaging of vehicles should only occur where envisaged in the relevant zone or policy area or precinct and ensure:
 - (a) the overall height and bulk of the undercroft structure does not adversely impact on streetscape character of the locality or the amenity of adjacent properties
 - (b) vehicles can safely enter and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles
 - (c) driveway gradients provide for safe and functional entry and exit
 - (d) driveways and adjacent walls, fencing and landscaping are designed to provide adequate sightlines from vehicles to pedestrians using the adjacent footpath
 - (e) openings to undercroft areas are integrated with the main building so as to minimise visual impact
 - (f) landscaping, mounding and/or fencing is incorporated to improve its presentation to the street and to adjacent properties
 - (g) the overall streetscape character of the locality is not adversely impaired (e.g. visual impact, building bulk, front setbacks relative to adjacent development)
 - (h) the height of the car park ceiling does not exceed 1 metre above the finished ground level.
- 49 In the case of undercroft and below ground car parks where cars are visible from public areas, adequate screening and landscaping should be provided.

Waste

OBJECTIVES

- 1 Development that, in order of priority, avoids the production of waste, minimises the production of waste, reuses waste, recycles waste for reuse, treats waste and disposes of waste in an environmentally sound manner.
- 2 Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including, soil, plant and animal biodiversity, human health and the amenity of the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:
 - (a) avoiding the production of waste
 - (b) minimising waste production
 - (c) reusing waste
 - (d) recycling waste
 - (e) recovering part of the waste for re-use
 - (f) treating waste to reduce the potentially degrading impacts
 - (g) disposing of waste in an environmentally sound manner.
- 2 The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.
- 3 Development should avoid as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).
- 4 Untreated waste should not be discharged to the environment, and in particular to any water body.
- 5 Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.
- 6 Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:
 - (a) screened and separated from adjoining areas
 - (b) located to avoid impacting on adjoining sensitive environments or land uses
 - (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system
 - (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water

- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

Wastewater

- 7 The disposal of wastewater to land should only occur where methods of wastewater reduction and reuse are unable to remove the need for its disposal, and where its application to the land is environmentally sustainable.
- 8 Wastewater lagoons should not be sited in any of the following areas:
 - (a) within land subject to a 1-in-100 year average return interval flood event
 - (b) within 50 metres of the top of the bank of a watercourse
 - (c) within 500 metres of the coastal high water mark
 - (d) where the base of the lagoon would be below any seasonal water table.
- 9 Artificial wetland system for the storage of treated wastewater, such as wastewater lagoons, should be:
 - (a) sufficiently separated from adjoining sensitive uses to minimise potential adverse odour impacts.
 - (b) sited and designed to minimise potential public health risks arising from the breeding of mosquitoes.

Waste Treatment Systems

- 10 Development that produces any sewage or effluent should be connected to a waste treatment system that complies with (or can comply with) the relevant public and environmental health legislation applying to that type of system.
- 11 The methods for, and siting of, effluent and waste storage, treatment and disposal systems should minimise the potential for environmental harm and adverse impacts on:
 - (a) the quality of surface and groundwater resources
 - (b) public health
 - (c) the amenity of a locality
 - (d) sensitive land uses.
- 12 Waste treatment should only occur where the capacity of the treatment facility is sufficient to accommodate likely maximum daily demands including a contingency for unexpected high flows and breakdowns.
- 13 Any on-site wastewater treatment system/ re-use system or effluent drainage field should be located within the allotment of the development that it will service.
- 14 A dedicated on-site effluent disposal area should not include any areas to be used for, or could be reasonably foreseen to be used for, private outdoor open space, driveways, car parking or outbuildings.
- 15 The spreading or discharging of treated liquid or solid waste onto the ground should:
 - (a) comply with the relevant public and environmental health legislator requirements

- (b) only occur where the disposal area consists of soil and vegetation that has the capacity to store and use the waste without contaminating soil or surface or ground water resources or damaging crops.
- 16 Stock slaughter works, poultry processors, saleyards, piggeries, cattle feedlots, milking sheds, milk processing works, fish processing works, wineries, distilleries, tanneries and fellmongeries, composting works and concrete batching works should have a wastewater management system that is designed so as not to discharge wastes generated by the premises:
- (a) into any waters
 - (b) onto land in a place where it is reasonably likely to enter any waters by processes such as:
 - (i) seepage
 - (ii) infiltration
 - (iii) carriage by wind, rain, sea spray, or stormwater
 - (iv) the rising of the watertable.

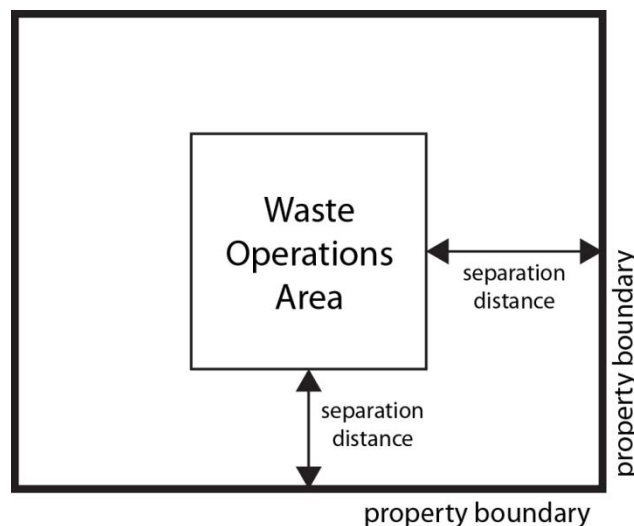
Waste Management Facilities

OBJECTIVES

- 1 The orderly and economic development of waste management facilities in appropriate locations.
- 2 Minimisation of human and environmental health impacts from the location and operation of waste management facilities.
- 3 Protection of waste management facilities from incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Waste management facilities should be located and designed to minimise adverse impacts on both the site and surrounding areas from the generation of surface water and groundwater pollution, traffic, noise, odours, dust, vermin, weeds, litter, gas and visual impact.
- 2 Waste management facilities in the form of land fill and organic processing facilities should not be located in existing or future township, living, residential, centre, office, business, institutional or environmental protection, conservation, landscape, water protection and open space areas.
- 3 Waste management facilities should not be located where access to the facility requires, or is likely to involve, the use of non-arterial roads in adjacent residential areas.
- 4 Waste management facilities should:
 - (a) be appropriately separated from sensitive land uses and environmentally-sensitive areas
 - (b) incorporate the separation distance between the waste operations area (including all closed, operating and future cells) and sensitive uses within the development site as illustrated in the figure below:



- (c) not incorporate other land uses and activities within the separation distance unless they are compatible with both a waste management facility and any adjacent land uses.
- 5 Separation and/or noise attenuation should be used to ensure noise generation associated with the waste management operation does not unreasonably interfere with the amenity of sensitive land uses.

- 6 Sufficient area should be provided within the waste operations area for the:
 - (a) maximum expected volume of material on the site at any one time
 - (b) containment of potential groundwater and surface water contaminants
 - (c) diversion of clean stormwater away from the waste and potentially-contaminated areas.
- 7 Processing facilities and operational areas should be screened from public view.
- 8 Waste management sites should be accessed by appropriately constructed and maintained roads.
- 9 Traffic circulation movements within any waste management site should:
 - (a) be of a dimension and constructed to support all vehicles transporting waste
 - (b) enable all vehicles to enter and exit the site in a forward direction.
- 10 Suitable access for emergency vehicles should be provided to and within waste management sites.
- 11 Chain wire mesh or pre-coated painted metal fencing to a minimum height of 2 metres should be erected on the perimeter of a waste management facility site to prevent access other than at entry points.
- 12 Plant, equipment or activities that could cause a potential hazard to the public should be enclosed by a security fence.
- 13 Litter control measures that minimise the incidence of wind blown litter should be provided.
- 14 The waste operations area of a landfill or organic waste processing facility should be sited at least:
 - (a) 3 kilometres from an airfield used by commercial aircraft to minimise the risk of bird strikes to aircraft
 - (b) 500 metres from:
 - (i) the boundaries of the allotment
 - (ii) the nearest dwelling, shop, office, public institution or other building designed primarily for human occupation in the case of an organic waste processing facility for the composting of waste
 - (c) 250 metres from a public open space reserve, forest reserve, national park, conservation zone or policy area
 - (d) 100 metres from:
 - (i) the nearest surface water (whether permanent or intermittent)
 - (ii) a 1-in-100 year average return interval flood event area.
- 15 The waste operations area of a landfill should not be located on land:
 - (a) that is subject to land slipping
 - (b) with ground slopes greater than 10 per cent, except where the site incorporates a disused quarry.
- 16 The waste operations area of an organic waste processing facility should not be located on land:
 - (a) that is subject to land slipping

- (b) with ground slopes greater than 6 per cent
 - (c) where the interface of the engineered landfill liner and natural soils would be within any of the following:
 - (i) 15 metres of unconfined aquifers bearing groundwater with less than 3000 milligrams per litre total dissolved salts
 - (ii) 5 metres of groundwater with a water quality of 3000 to 12 000 milligrams per litre total dissolved salts
 - (iii) 2 metres of groundwater with a water quality of greater than 12 000 milligrams per litre total dissolved salts.
- 17 Where required, a leachate barrier should be provided between the operational areas and underlying soil and groundwater.
- 18 Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should make sustainable use of landfill gas emissions. For smaller landfill activities, if the sustainable use of the landfill gas emissions is not practical or feasible, flaring should be used to avoid gases being vented directly to the air.

Overlay Section

Affordable Housing Overlay

Refer to the [Map Reference Tables](#) for a list of maps that relate to this overlay.

The following policies apply to the 'designated area' marked on the relevant *Overlay Map(s) - Affordable Housing*.

INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this overlay are in conflict with the relevant General Objectives and/or Principles of Development Control in the Development Plan, the overlay will prevail.

OBJECTIVES

- 1 Affordable housing that is integrated into residential and mixed use development.
- 2 Development that comprises a range of affordable dwelling types that caters for a variety of household structures.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development comprising 20 or more dwellings should include a minimum of 15 per cent affordable housing unless it can be demonstrated that any shortfall in affordable housing from a preceding stage of development will be accommodated in a subsequent stage or stages.

Zone Section

Airfield Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating aircraft operations, passenger terminals, airport and aviation-related light industrial, service industrial, warehouse and storage purposes
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone accommodates the existing air strip on the outskirts of Kadina. Future expansion of this facility is envisioned to enhance its operational role, particularly for pilot training.

Future development needs to be well planned and will be subject to a 'master plan' prior to any development taking place.

This airstrip is a valuable regional facility. Development of an industrial nature which relates to the operation of the airfield, or may provide a commodity which requires transportation by air, is encouraged within the zone.

The land is on multiple sections. It is desirable to maintain the majority of the land in a single land parcel of land to assist with airfield management; however separate allotments under a community title scheme are encouraged to foster development of uses complementary to the airfield's primary purpose.

Development throughout the zone will be required to conform to Civil Aviation Safety Authority requirements to maintain the safety of the airfield's operation.

It is envisaged that the airport will be developed for a range of air services including charter operations, flight training, access for the Royal Flying Doctor Service, aircraft maintenance and agricultural operations.

Buildings will be sited and designed so as to not impact upon the safe operation of the airfield.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - air passenger or air freight terminal
 - aircraft related facility
 - airport
 - commercial development ancillary to and in association with aviation activities
 - fuel depot
 - light industry ancillary to and in association with aviation activities
 - service industry ancillary to and in association with aviation activities
 - shop within a terminal building
 - warehouse ancillary to and in association with aviation activities.
- 2 Development listed as non-complying is generally inappropriate.

- 3 Development that would be adversely affected by noise and other hazards caused by airport activities should not be undertaken in the zone.
- 4 Development should not impede the use of the zone for aviation purposes.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Commercial and light industrial development located on the airport site should:
 - (a) facilitate the more efficient operation of the airport
 - (b) be sited in defined clusters
 - (c) not adversely affect the amenity of surrounding land uses.

Land Division

- 7 Land should not be divided except for the realignment of allotment boundaries, where this assists in the more efficient operation and use of the airport.
- 8 There should be no increase in the total number of allotments in the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Community centre	
Consulting room	
Dwelling	
Educational establishment	Except where ancillary to and in association with aviation activities.
Hospital	
Horticulture	
Hotel	
Intensive animal keeping	
Land division	Except where no additional allotments are created wholly or partly within the zone.
Motel	
Nursing home	
Place of worship	

Form of development	Exceptions
Pre-school	
Residential flat building	
Shop	Except where located within the terminal building.
Tourist accommodation	
Waste reception, storage, treatment or disposal	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Air passenger or air freight terminal	
Aircraft related facility	
Airfield	
Commercial development ancillary to and in association with aviation activities	
Fuel depot	
Light industry ancillary to and in association with aviation activities	
Service industry ancillary to and in association with aviation activities	
Shop within a terminal building	
Warehouse ancillary to and in association with aviation activities	

Bulk Handling Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone in which agricultural and other commodities are received, stored and dispatched in bulk.
- 2 Buildings and structures screened from adjoining areas by landscaping, using locally indigenous plant species where possible.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Facilities for the transportation, handling and storage of farm commodities in bulk are an essential component of the rural economy. The townships of Paskeville and Wallaroo contains essential infrastructure for the bulk handling, storage and export of farm commodities, in particular, the deep sea port at Wallaroo which services export markets.

The facilities are integral to the rural economy and will be protected from encroachment by incompatible development or activities likely to be affected by continued operation of them. In particular the facilities at Wallaroo are of strategic importance to the economy of the State.

Because of the extensive nature of storage facilities associated with the use landscaping will be established around the perimeter of the land to screen the development from view from adjoining roads and residential areas, and where appropriate landscaped mounding will be used to minimise noise impacts on nearby residential areas.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - office and workers' amenities (operating as an adjunct to a bulk handling use of the site)
 - road transport terminal
 - value-adding industries associated with bulk commodities.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development unrelated to facilities associated with the reception, storage and dispatch of agricultural and other commodities in bulk, or value-adding industries processing such commodities, should not occur.
- 4 Development should not impede the on-going operation of facilities associated with the handling and storage of bulk commodities.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development of land shown on [Concept Plan Map CoCo/1 - Bulk Handling \(Wallaroo\)](#) should be carried out in accordance with the concepts outlined.

- 7 Development associated with the handling and storage of bulk commodities, or value-adding processing, should be undertaken in a manner that minimises adverse off-site impacts on sensitive land uses.
- 8 Development within the zone should avoid direct access to/from Spencer Highway (Moonta Road).

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Amusement machine centre	
Caravan park	
Community centre	
Consulting room	
Dwelling	
Educational establishment	
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Motor repair station	
Nursing home	
Petrol filling station	
Place of worship	
Pre-school	
Residential flat building	
Shop	
Special industry	
Tourist accommodation	
Waste reception, storage, treatment or disposal	Except where it is in the form of a recycling collection depot.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Bulk handling and storage facilities	General industry
Fuel depot	Road transport terminal
Light industry	
Store	
Warehouse	

Caravan and Tourist Park Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily for short-term tourist accommodation and associated facilities.
- 2 A zone accommodating a range of short-term tourist accommodation predominantly in the form of caravan and camping sites, cabins and transportable dwellings surrounded by open landscaped areas.
- 3 Development that is designed to enhance the natural features of the local environment, including visual amenity, landforms, fauna and flora.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone primarily accommodates a range of tourist accommodation uses, including camping sites, caravans and cabins.

Dwellings and long-term accommodation will not lead to the displacement of existing tourist accommodation in high demand locations.

Circulation and movement within the park will be pedestrian friendly and promote low speed vehicle movement.

Landscaping of grounds will be extensive and include perimeter plantings of endemic trees and shrubs to separate the use from adjoining residential areas or areas of natural vegetation and to enhance the character of the area in which the facilities are located.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - amenity block, including shower, toilet and laundry facilities
 - cabin
 - caravan park
 - caravan permanently fixed to land
 - camping ground
 - recreation area including tennis court, basketball court, playground
 - swimming pool/spa
 - tourist park and other forms of tourist accommodation.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 3 Permanent buildings should be limited to a dwelling (manager's house), shop (in association with and ancillary to a caravan and tourist park), community or recreational facility and toilets/amenities.

- 4 Recreation facilities should be provided of a scale that is suitable to maintain the open natural character of the area and ancillary to the primary role and function of the park.
- 5 The total number of tourist accommodation sites in the park should be at least 60 per cent of the total number of sites available.
- 6 Every caravan, cabin and dwelling site should be greater than 81 square metres in area.
- 7 Landscaping should form an integral part of the design and be used to define spaces, reinforce internal networks, screen utility areas and enhance the visual amenity of the area.

Car Parking and Access

- 8 Every caravan, cabin or dwelling site should have parking for at least 1 vehicle, either located on the site or grouped within the park.
- 9 Internal road surfaces should be surfaced to prevent dust becoming a nuisance.

Street and Boundary Setbacks

- 10 Every dwelling, annex, caravan fixed to land, recreational facility or amenities building should be set back a minimum of:
 - (a) 1 metre from an internal road
 - (b) 6 metres from a public road
 - (c) 2 metres from the boundary of the caravan park or camping ground

Natural Hazards

- 11 In areas prone to flooding, bushfire or other natural hazards, buildings and structures (including annexes attached to caravans or caravans fixed to land) should be designed and constructed so that they can be removed in the event of a hazard.

Land Division

- 12 No additional allotment(s) should be created wholly or partly within the zone except where a lease or license agreement is made, granted or accepted under the *Residential Parks Act 2007*.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Bus depot	
Cemetery	
Commercial forestry	

Form of Development	Exceptions
Community centre	Except where in association with and ancillary to tourist accommodation.
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except for a manager' residence in association with and ancillary to tourist accommodation.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	Except where in association with and ancillary to tourist accommodation.
Industry	
Intensive animal keeping	
Land division which results in the creation of additional allotment(s) either wholly or partly within the zone.	Except where a lease or licence agreement is made, granted or accepted under the <i>Residential Parks Act 2007</i> .
Marina	
Motor repair station	
Nursing home	
Office	Except where in association with and ancillary to tourist accommodation.
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	

Form of Development	Exceptions
Restaurant	Except where it is both (a) and (b): (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where it is both (a) and (b): (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Amenity block, including shower, toilet, laundry and kitchen facilities	
Cabin	
Camping ground	
Caravan park	
Caravan permanently fixed to land	
Recreation area	
Swimming pool	
Tourist park	

Coastal Conservation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 To enhance and conserve the natural features of the coast including visual amenity, landforms, fauna and flora.
- 2 Low-intensity recreational uses located where environmental impacts on the coast will be minimal.
- 3 The upgrading of existing dwellings to assist environmental improvements.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone is intended to promote a locality where natural coastal features including the Bird Island Conservation Park are conserved, and enhanced, and where commercial, recreational fishing and aquaculture opportunities are provided.

The zone extends along the 40 kilometre coastline of the Copper Coast Council and is characterised by a mix of dune systems and coastal wetland to tidal swamps and low coastal cliffs.

Much of the land adjoining the coast is flat, semi-arable to arable farm land. Agriculture will not encroach upon or be encouraged within this zone given the fragile nature of the environment.

Access to the coast itself is limited to existing roads and access tracks, limited by the expanse of farming activity adjoining the zone. As such, Wallaroo, Port Hughes and Moonta Bay provide an important base for the commercial and recreational fishing industry within the region. In recognising the significance of the local fishing industry, Wallaroo, Moonta and Port Hughes will continue to maintain this function.

As the zone abuts the coast, it is affected by coastal storm tide flooding and erosion and this risk will increase in the event of future sea level rise due to global warming. No development will be undertaken unless it relates specifically to the conservation of land, or to aquaculture or water desalination where the main infrastructure for these uses is located on existing cleared land. The replacement, alteration and extension of existing dwellings will also be considered.

Development will protect threatened flora species specific to this area including *Myoporum parvifolium*, *Orobanche cernau* var. *Australiana*, *Austrodanthonia* (syn. *Rytidosperma*) *tuckeri*, *Podolepis jaceoides* and *Maireana rohrlachii*.

Land within the zone to the immediate south of Wallaroo contains an identified Southern Hairy Nose Wombat colony, which is one of only a small number of identified colonies remaining on the Yorke Peninsula. The protection of this colony is paramount as it is identified as a species which is vulnerable in South Australia.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - conservation work
 - interpretive signage and facility
 - small scale tourism/visitor facility (excluding accommodation).
- 2 Development listed as non-complying is generally inappropriate.
- 3 Buildings and structures should mainly be for essential purposes, such as shelters and toilet facilities associated with public recreation, navigation purposes or necessary minor public works.
- 4 Development involving the removal of shell grit or sand, other than for coastal protection works purposes, or the disposal of domestic and industrial waste should not be undertaken.
- 5 Aquaculture inlet and outlet pipes are anticipated in the zone, where the environmental impacts will be minimal.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 8 Development should:
 - (a) not adversely impact on the ability to maintain the coastal frontage in a stable and natural condition
 - (b) minimise vehicle access points to the area that is the subject of the development
 - (c) be landscaped with locally indigenous plant species to enhance the amenity of the area and to screen buildings from public view
 - (d) utilise external low reflective materials and finishes that will minimise glare and blend in with the features of the landscape.
- 9 Where public access is necessary in sensitive locations, walkways and fencing should be provided to effectively control access.
- 10 Development should:
 - (a) be self-sufficient in terms of infrastructure and services, such as water, sewerage, electricity and waste disposal, unless existing infrastructure is available that can accommodate the projected demand from the development
 - (b) minimise impacts on the natural surrounding environment by containing construction within a tightly defined site boundary
 - (c) not obscure existing views to coastal features or be visibly prominent from key public vantage points, including public roads or car parking areas
 - (d) avoid areas that may endanger or threaten important nesting or breeding areas or the movement/migration patterns of fauna.

- 11 Car parking and access points to development should, wherever practicable, be:
- (a) constructed of a permeable surface
 - (b) located on cleared land or along property boundaries to avoid the unnecessary removal of native vegetation.
- 12 The alteration, addition or replacement of an existing dwelling should:
- (a) not result in more than one dwelling per allotment
 - (b) limit ancillary buildings to one garage or one shed other than rainwater tanks and stands
 - (c) not exceed one storey in height (excluding the elevation to minimise the potential for personal or property damage as a result of inundation)
 - (d) be sited and designed to minimise obstruction to, or loss of views from, other dwellings
 - (e) not occur closer to the waterfront than any part of the existing dwelling
 - (f) not impair the amenity of the area
 - (g) result in floor levels that are at least 0.55 metres above the standard sea-flood risk level unless the development is or can be protected by approved coast protection works
 - (h) result in dwellings being sited to minimise potential damage or hazard from sea level rise or coastal erosion.
- 13 Garages and sheds (except for agricultural purposes) should:
- (a) be of a size and scale appropriate to an accessory use to a dwelling
 - (b) not increase the number of ancillary buildings used for storage purposes on the allotment
 - (c) be of a design and size not to impair the amenity of the area.
- 14 Tourist Accommodation at Allotment 1, File Plan 137888, Certificate of Title: Volume 5253 Folio 931 should be limited to:
- (a) high quality eco/nature based tourist accommodation that complements the natural landscape and has minimal impact on the natural environment
 - (b) elevated structures (including walkways) with no removal of native vegetation (other than for the installation of such elevated structures).

Land Division

- 15 Land division should only occur where:
- (a) no additional allotments are created wholly or partly within the zone
 - (b) there is no increase in the number of allotments with direct access to the coast or a reserve including by creation of land under rights of way or community titles.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

No other forms of development are complying in the zone.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Aquaculture	Except where it is located on existing cleared farmland.
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except where it achieves one of the following: <ul style="list-style-type: none"> (a) it is used for the purposes of administering either or both of the: <ul style="list-style-type: none"> (i) <i>National Parks and Wildlife Act 1972</i> (ii) <i>Wilderness Protection Act 1992</i> (b) it will replace an existing dwelling located on a freehold Certificate of Title and not exceed 4.5 metres in height above natural ground level (excluding any elevation necessary for hazard minimisation from sea level rise).
Educational establishment	
Farming	Except where it is located on existing cleared farmland.
Farm building	Except where it is located on existing cleared farmland.
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Indoor recreation centre	
Industry	
Intensive animal keeping	

Form of Development	Exceptions
Land division	Land division where all of the following apply: (a) no additional allotments are created partly or wholly within the zone (b) there is no increase in the number of allotments with frontage or direct access to the coast.
Marina	
Motel	
Motor repair station	
Nursing home	
Office	Except where used for the purposes of administering either or both of the: (a) <i>National Parks and Wildlife Act 1972</i> (b) <i>Wilderness Protection Act 1992</i> .
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	Except where associated with and for the purposes of conservation, coastal protection or providing public amenities.
Tourist accommodation	Except where each of the following criteria are achieved: (a) it is located on Allotment 1, File Plan 137888, Certificate of Title: Volume 5253 Folio 931 (b) the building(s) are one storey and no more than 6.5 metres in height from natural ground level (c) the total number of accommodation units (existing and proposed) does not exceed 15.
Warehouse	
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Coastal protection works	Alterations and additions to an existing tourist accommodation facility
Conservation works	
Small scale tourism / visitor facility	

Coastal Marina Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone that provides for a marina and maritime development.
- 2 A zone accommodating waterfront orientated commercial, tourist, recreation, and marina-based retail activities and serving as the activity focus for the marina development.
- 3 A zone accommodating a range of marina based business and service activities to meet the needs of the marina and the visiting public.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Development in the zone will comprise a mixture of tourist accommodation and waterfront commercial uses, with residential/tourist accommodation sited over ground floor commercial uses in appropriate locations and undercroft parking encouraged.

Parts of the zone are at risk of coastal flooding and erosion and this risk will increase in the event of future sea level rise due to climate change

Minimum two storey contemporary styled development is envisaged. Buildings facing the marina will abut each other or have minimal side set-backs so as to achieve a cohesive frontage to the marina. Road access to waterfront development will be from the landward side with pedestrian access and activity located on the marina frontage. The rear of buildings fronting the marina will be highly visible and will be designed to address both frontages. To this end service areas will be incorporated into the building.

Buildings will be highly articulated to all elevations, with the use of verandas, sun hood, sun shades and similar architectural treatments to reduce the impact of vertical walls and to create a pleasant pedestrian environment along the marina frontage.

Commercial development will incorporate glass or openable walls at ground level to create an active interface between the building and adjoining public spaces.

Retail uses will be limited to cafes, restaurants and activities serving the boating community such as fuel sales, fishing tackle and like products but will not compete with Wallaroo Town Centre for day to day shopping needs.

Outdoor eating areas are encouraged up to and over water frontages, without unreasonably limiting public access to the waterfront and given the exposed location; particular care is required for the screening of service areas.

Landscaping will be low, native grasses suitable to the coastal environment together with clear stem shade trees to car parks and landscape beds away from the building. Where appropriate, landscaping will be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

Roof stormwater will be captured for re-use in the building(s) and stormwater from paved areas will be disposed of via grassed swales and through a stormwater treatment system capable of removing litter, sediment and oil products before its off-site discharge. Steps will be taken to prevent beach erosion from any stormwater discharge.

Precinct 23 Marina Tourist Accommodation

Development will comprise tourist accommodation, caravan park and associated commercial uses which support the operation of the marina and/or the visiting public. Development including any caravan or cabin park should not restrict the future development of the site for larger scaled tourist/commercial uses as envisaged at the zone level. To this end, the division of land in order to create individual allotments over caravan / cabin sites should not occur unless for temporary leasehold purposes.

Any caravan park or cabin park will ensure that permanent structures exhibit quality architecture which befits the highly visual exposure of the precinct to passing traffic and to visitors to the marina, the beach, the ferry terminal and other publicly accessible spaces surrounding the precinct.

Tourist facilities will be of a contemporary design with substantial landscaping to the Heritage Drive frontage. It is envisaged that linkages will be made with the adjoining heritage walking trail connecting the precinct to the town centre.

Vehicle and pedestrian access points to the precinct should be selected for optimum safety. In particular, pedestrian movement between the precinct and other parts of the **Coastal Marina Zone** on the opposite side of Heritage Drive should be encouraged at points of optimum visibility for pedestrians and motorists.

Development within the precinct will need to respond to and address site contamination from its previous use for industrial purposes. Development is therefore expected to occur on a precautionary basis and will be established in accordance with the recommendations and limitations of an accredited site contamination Auditor.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - boat berth, jetty, pier and pontoons
 - boat charter service
 - boat construction, maintenance, repair or sale
 - boat servicing facility (including fuel supply, power, water, effluent pump, toilets and showers)
 - chandlery
 - coastal protection work
 - clubroom in association with a marina
 - ferry landing
 - fishing wharf (for use by commercial fishing activities)
 - hotel
 - loading and unloading facility
 - marina
 - maritime structures
 - motel
 - office associated with the administration of a marina
 - parking for vehicles and boats
 - public boat ramp
 - restaurant/cafe
 - small scale tourist development
 - storage
 - tourist accommodation
 - wastewater collection, storage and transfer facility
 - waterfront open space.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should comprise a mixture of residential/tourist accommodation and waterfront commercial uses, with residential uses located above commercial uses.

- 4 Retail activities should relate to the operation of the marina, and should be limited to a hotel, restaurants and cafes, boating and fishing supplies.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development including associated roads and parking areas should be designed within the following parameters:

Parameter	Value
Landscaping	Minimum 10 per cent of total site area
Maximum setback from the outer edge of the retaining wall of the marina basin	1 metre
Minimum setback from Heritage Drive	8 metres
Minimum building height from natural ground level	Two storeys or 10 metres Australian Height Datum

- 7 Landscaping should complement and enhance the character and amenity of the area, define open space and provide screening, shade and shelter.
- 8 Development including associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
- (a) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres
- (b) there is an allowance to accommodate land subsidence until the year 2100 at the site.
- (c) site levels are in accordance with those outlined in the following table:

Location of development	Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)
On land	2.75	3

- 9 Overwater development should be limited to boat berthing, boat servicing facilities, walkways and channel markers.
- 10 Development should maintain and make provision for public access to the waterfront.
- 11 The rock revetment adjacent to the foreshore should be maintained so as to provide adequate protection from coastal erosion.
- 12 The design of buildings should support a unified design theme that achieves a suitable relationship with the backdrop to the marina by adopting the following measures:
- (a) the profile of buildings having proportions and architectural design features (such as gables and minimum roof pitches of 30 degrees) which create a vertical rather than horizontal profile for the development
- (b) buildings facing the marina achieving a cohesive frontage to the marina by abutting each other or by adopting minimal side set-backs
- (c) road access to waterfront development being obtained from the landward side.

Land Division

- 13 Land division or the rearrangement of existing allotment boundaries should take place as part of a co-ordinated development scheme, or as a rationalisation of land holdings that is designed to allow more efficient and economic use of land consistent with the objectives for the zone.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 23 Marina Tourist Accommodation

- 14 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 15 Development including associated roads and parking areas should be designed within the following parameters:

Parameter	Value
Minimum setback from Heritage Drive	6 metres

- 16 Land division or the rearrangement of existing boundaries should take place as part of a co-ordinated development scheme or as a rationalisation of land holdings that is designed to allow more efficient and economic use of the land consistent with the objectives for the **Coastal Marina Zone**.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Boarding house	
Buildings having a site level below 2.75 metres Australian Height Datum or a building floor level below 3 metres Australian Height Datum.	Except for a jetty, boat ramp or minor structure.
Bulky goods outlet	
Consulting room	
Detached dwelling	
Fuel depot	
Industry	Except for a light or service industry where it is directly associated with boat servicing, boat construction, boat maintenance, boat repair or boat sales.

Form of Development	Exceptions
Land division	Except where either (a) or (b) is achieved: (a) both of the following are achieved: (i) it creates an allotment that contains a suitable building site having a finished ground level above 2.75 metres Australian Height Datum (ii) it involves the division of land or the rearrangement of existing allotment boundaries as part of a co-ordinated development scheme, or a rationalisation of land holdings (b) it is for the purpose of subdividing a wharf or marina berth as part of a co-ordinated development scheme.
Lodging house	
Office	Except where associated with the administration of a marina.
Petrol filling station	Except for water-borne craft where it is directly associated with a marina.
Service trade premises	Except where it is directly associated with boating or the fishing industry.
Shop or group of shops (excluding a restaurant/cafe)	Except where the gross leasable area of an individual shop is 150 square metres or less.
Special industry	
Store	Except where directly associated with boat servicing, boat construction, boat maintenance, boat repair, boat sales or the commercial fishing industry.
Warehouse	Except where directly associated with boat servicing, boat construction, boat maintenance, boat repair, boat sales or the commercial fishing industry.

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Advertisement for identification or directional purposes	
Cafe	
Caravan / cabin park within Precinct 23 Marina Tourist Accommodation	
Club room in association with marina	
Indoor recreation centre	
Light industry where it is directly associated with boat servicing, boat construction, boat maintenance, or boat repair	
Marina	

Category 1

Category 2

Motor repair station where it is directly associated with the repair and maintenance of water-borne craft

Office associated with the administration of a marina

Petrol filling station for water-borne craft where it is directly associated with the marina

Public parking

Recreation area

Restaurant

Shop with a gross leasable area less than 150 square metres

Store where directly associated with boat servicing, boat construction, boat maintenance, boat repair, boat sales or the commercial fishing industry

Tourist accommodation

Coastal Open Space Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Coastal land protected from development other than that necessary for conservation, recreational activity and public facilities.
- 2 Preservation and upgrading of the scenic character of the coastal landscape and foreshore areas fronting urban areas, townships or settlements.
- 3 Development of foreshore areas for a range of passive and active outdoor recreation activities and open space development, conservation and revegetation, in a parkland setting.
- 4 Land subject to inundation or susceptible to erosion kept free of development.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone is intended primarily to maintain the coastal areas in front of existing settlements as open space, to preserve public access to these areas and to encourage uses that will enhance the communities' enjoyment of the coast.

Parts of the zone are at risk of coastal flooding and erosion and this risk will increase in the event of future sea level rise due to climate change.

That part of the zone fronting Wallaroo contains a number of sites of historic interest which will be preserved and redeveloped as public open space. Development adjoining or near these sites must have regard to its impact on sites of State heritage significance.

The ferry terminal at Wallaroo will attract high volumes of traffic and parking. Provision needs to be made to ensure that adequate parking is available for both the ferry terminal and for public parking associated with the foreshore.

The ferry terminal development will be highly visible and have a significant impact on the visual amenity of the Wallaroo foreshore if it is not designed and sited appropriately. The ferry terminal building will be designed to complement the low-scale of adjoining development and open foreshore that adjoins the site.

Given its prominent location it is critical that the building and any associated signage be in muted, natural colours suited to the foreshore, including shades of blue, grey, pale yellow, pale green and sand colours, and constructed of robust material suitable for the coastal environment. The building must be highly articulated to all elevations, with the use of verandas, sun hood, sun shades and similar architectural treatments to reduce the impact of vertical walls. Glass walls will be used extensively at ground level to create an active interface between the building and surrounding spaces.

Outdoor eating areas are encouraged to water frontages, without unreasonably limiting public access to the waterfront and given the exposed location; particular care is required for the screening of service areas.

Landscaping will be low, native grasses suitable to the coastal environment together with clear stem shade trees to the car park and landscape beds away from the building. Where appropriate, landscaping will be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

Roof stormwater will be captured for re-use in the building(s) and stormwater from paved areas will be disposed of via grassed swales and through a stormwater treatment system capable of removing litter, sediment and oil products before its off site discharge. Steps will be taken to prevent beach erosion from any stormwater discharge.

Buildings and structures otherwise will not be developed unless they are small-scale public or community recreation facilities, related to infrastructure for boats and watercraft or required for the Wallaroo ferry terminal.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection works
 - community recreation facility directly related to water activities (such as sailing clubs, boat ramps) and infrastructure required to support and service these activities
 - conservation works
 - facilities required for the operations of the *Wallaroo ferry terminal*
 - jetty and boat ramp
 - recreation area
 - toilet blocks and barbeque facilities
 - public car parking.
- 2 Development listed as non-complying is generally inappropriate.
- 3 The provision of facilities should be related to the demand for such facilities so as to prevent oversupply and inappropriate siting.
- 4 Development should be for public purposes and use.
- 5 Development that does not require a coastal location should not be located in the zone.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development should not diminish the ability of the public to use and enjoy the coast or to gain access to the foreshore.
- 8 Development should be of a high standard of coordinated design with an emphasis on the creation of pedestrian areas.
- 9 Community facilities including shelters, boat ramps, public conveniences and kiosks, should be sited in convenient and accessible locations linked to the surrounding vehicular and pedestrian movement networks.
- 10 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 11 Development should be set back a minimum of 5 metres from the seaward allotment boundary to allow for future coast protection works if required.
- 12 Buildings and structures associated with the Wallaroo ferry terminal site (namely Crown Allotments 14 and 16 in Crown Record Volume 5981 Folio 51, Allotment 15 in Certificate of Title Volume 5981 Folio 50 and Crown Allotment 51 in Crown Record Volume 5753 Folio 671) should:
 - (a) be designed within the following parameters:

- (i) a maximum wall height of 9 metres
- (ii) a maximum overall building height of 12 metres with the mass of the building being reduced as its height increases
- (b) be highly articulated to all elevations with the use of awnings, verandas, sun hood, sun shades and similar architectural treatments designed and detailed to appear as thin, lightweight elements in order to reduce the impact of vertical walls
- (c) promote variety in the use of external walling materials and comprise a mixture of:
 - (i) rendered brickwork with a light, flat, bagged texture finish
 - (ii) glass, particularly glass walling at ground level
 - (iii) timber boarding that provides a clear finish or weathered timber appearance
 - (iv) fibre cement sheeting that provides a clear finish or weathered timber appearance
 - (v) painted timber or fibre cement weather boarding
 - (vi) painted flat fibre cement sheeting
 - (vii) custom orb sheeting for walls
 - (viii) limestone or stone blocks (natural or reconstituted)
 - (ix) tilt or pre-cast concrete with textured and painted finishes similar to rendered brickwork
- (d) be finished with a pitched roof or similar treatment to cap the building and hide rooftop services
- (e) utilise external colour schemes with maritime themes which complement the coastal environment and which have muted, low light reflective finishes.

Land Division

13 Land division should not be undertaken except where:

- (a) it will facilitate an appropriate use within the zone
- (b) no additional allotments are created
- (c) there is no increase in the number of allotments with frontage or direct access to the coast.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Land division	Except where both of the following apply: (a) no additional allotments are created wholly or partly within the zone (b) there is no increase in the number of allotments with frontage or direct access to the coast.
Motel	Except where located on the Wallaroo ferry terminal site.
Motor repair station	
Nursing home	
Office	Except where located on the Wallaroo ferry terminal site.
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	

Form of Development	Exceptions
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except for a restaurant or café where located on the Wallaroo ferry terminal site.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	Except where located on the Wallaroo ferry terminal site.
Warehouse	
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Barbeque facilities	
Boat ramp	
Coastal protection works	
Community recreation facility directly related to water activities (such as sailing clubs and boat ramps) and infrastructure required to support and service these activities	
Conservation works	
Development associated with the Wallaroo ferry terminal	
Jetty	
Public car parking	
Recreational facilities	
Toilet blocks	

Coastal Settlement Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The protection of the natural coastal environment from inappropriate development.
- 2 Existing dwellings upgraded to enhance amenity and incorporating environmental improvements.
- 3 Land subject to inundation or susceptible to erosion kept free of development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will continue to function as a holiday home settlement. Small allotment dimensions will limit the size of dwellings and their associated garages. Buildings will be limited to single storey in height and garages and outbuildings associated with these dwellings will be integrated with the design of the building rather than be accommodated in freestanding structures.

Land in the zone is low lying and is subject to coastal flooding. Development will be constructed to minimise this risk. This will include building the land up to set minimum levels and preferably, the construction of buildings that can be removed in the event that the land becomes at risk.

There are no plans for protection measures for this area. When they are required, if they are to be constructed, they will be at the cost of the affected land owners and will be undertaken for the whole of the zone rather than for individual properties.

Where appropriate, landscaping should be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection work
 - single storey detached dwelling
 - tourist/visitor facility (other than accommodation).
- 2 Development listed as non-complying is generally inappropriate
- 3 Dwellings should be upgraded to assist environmental improvements, including by the provision of approved waste control systems and effluent disposal, building setbacks and site coverage requirements, and reduction of the level of hazard risk.
- 4 Not more than one dwelling should be erected on an allotment.
- 5 Water tanks and associated stands should only be erected in association with an existing dwelling.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development should:
 - (a) minimise vehicle access points to the area that is the subject of the development
 - (b) maintain public access to the foreshore
 - (c) ensure access to the coast is sited to avoid adverse impact on the environment
 - (d) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view
 - (e) be sited so that views to the coast are maintained where possible
 - (f) be limited to a maximum height of 4.5 metres (measured from natural ground level).
- 8 Additions or alterations to or replacement of an existing dwelling should:
 - (a) not exceed 1-storey in height other than where required to increase the elevation to minimise the potential for personal or property damage as a result of inundation
 - (b) not be sited closer to the waterfront than any part of the existing dwelling
 - (c) be connected to an approved wastewater and effluent disposal system
 - (d) not impair the amenity of the locality through appropriate siting, design and use of building materials.
- 9 Buildings and structures within the zone should be:
 - (a) generally of single storey design, with low-pitched roof treatments and of simple form and appearance
 - (b) of lightweight construction to maintain a coastal, seaside character
 - (c) constructed of materials which have low light-reflective qualities, in muted natural colours, which blend with the natural setting of the site
 - (d) constructed utilising veranda and pergola treatments which reduce the impact of vertical external walls and provide protection and shade to the building.
- 10 There should be no land-based disposal of sewage and sullage in the zone with all sewage and sullage being disposed through a sewerage scheme or into a septic tank connected to a septic tank effluent disposal scheme.
- 11 Development including associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
 - (a) site levels are at least 3.45 metres Australian Height Datum
 - (b) building floor levels are at least 3.70 metres Australian Height Datum
 - (c) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres, plus an allowance to accommodate land subsidence until the year 2100 at the site.

- 12 Development should be set back a minimum of 5 metres from the seaward allotment boundary to allow for future coast protection works if required.
- 13 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres; or the average setback of any existing dwellings on either of the two adjoining sites having frontage to the same primary street.
Minimum setback from secondary road frontage	1.5 metres
Minimum setback from a Coastal Open Space Zone boundary	5 metres
Minimum setback from side boundaries	900 millimetres
Maximum wall height	2.7 metres measured from finished floor level.
Maximum building height (from natural ground level)	4.5 metres
Minimum area of private open space	20 square metres per bedroom.

- 14 Dwellings (exclusive of verandas, garages and carports) should not cover more than 50 per cent of the site upon which they are located, and domestic outbuildings, including verandas, garages and carports should not cover more than 15 per cent of the site

Land Division

- 15 Land should not be divided unless:
- the resultant allotments are not less than 450 square metres with an average width of at least 15 metres
 - for creating an allotment to accommodate an existing dwelling
 - for creating a public road or a public reserve
 - for a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	<p>Except where (a) or (b) applies, the dwelling:</p> <ul style="list-style-type: none"> (a) does not exceed one storey and 4.5 metres in height measured from natural ground level (b) is located on one of the following allotments: <ul style="list-style-type: none"> (i) Allotment 1, Deposit Plan 46888, Certificate of Title: Volume 5622 Folio 158 (ii) Allotment 2, Deposit Plan 46888, Certificate of Title: Volume 5572 Folio 152.
Educational establishment	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	<p>Except where the land division:</p> <ul style="list-style-type: none"> (a) results in allotments of not less than 450 square metres; or (b) is for one or more of the following purposes: <ul style="list-style-type: none"> (i) to accommodate an existing dwelling (ii) to create a road reserve or public reserve (iii) adjustment of allotment boundaries where no new allotments are created partly or wholly in the zone.
Motor repair station	
Nursing home	

Form of Development	Exceptions
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Dwelling	

Commercial Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of commercial and business land uses.
- 2 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone accommodates a range of commercial activities which provide a service function to the townships of Kadina and Wallaroo and the surrounding region.

Where appropriate, landscaping will be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

Kadina

The zone at Kadina consists of a strip zone along Port Road in addition to a component of the Kadina Showground site along Mines Road and Agery Road.

The Port Road component accommodates a broad range of land uses, primarily service trade premises (car and boat yards) along with offices and consulting rooms, all of which provide a district wide function. Port Road is an arterial road and major tourist route to Wallaroo.

The showground site (**Motor Vehicle Showroom Policy Area 13**) seeks to provide for a commercial hub of motor vehicle showrooms in close proximity to the Kadina Town centre.

It is important that development is constructed to a high standard, with well defined entry points, site landscaping and limited but clearly visible signage. New development will have regard to the design, scale and siting of adjoining development to achieve a cohesive streetscape with progressive improvement to the character of the locality as sites are developed to reflect the gateway significance of the location.

Buildings will generally be of single storey construction, well articulated with variety in building materials and with identifiable public entries and street numbers. The use of verandas and like treatments is encouraged and landscaping will form an integral component of site development.

Display yards will provide site landscaping to the road frontages as an integrated component of any goods display and advertising will be limited. The use of flags and bunting to attract attention will not occur.

Advertisements will be limited to the identification of uses on the sites.

Landscaped car parking areas will be established on all sites with limited access points to the arterial road.

Development must have regard to adjoining residential development to minimise the impact of visual intrusion, noise and light overspill.

Wallaroo

The zone at Wallaroo includes the car park and restaurant at the base of the jetty. It forms part of the working port and will be kept free of further development. The restaurant is a feature of the area and will continue to operate and be expanded if demand warrants.

It is desirable in the longer term that the car park area be improved, which would include sealed and linemarked car parking spaces, landscaping, defined pedestrian areas and generally improved access to and upgrading of the waterfront. Some of these features will be integrated with the restaurant to enable the provision of outdoor dining areas.

Moonta

The zone at Moonta (**Bulky Goods Policy Area 12**) seeks to provide a hub for larger scale bulky goods outlets and service trade premises.

The site has direct frontage to Muddy Lane and is visible from the Kadina-Wallaroo Road. Kadina-Wallaroo Road is a secondary arterial road and major tourist route to Moonta. Adequate landscaping should be applied to these frontages so as to reduce the visual impact of built form and conserve the historic character of the locality. The envisaged use of the site will complement the adjoining **Industry Zone** and provide for an adequate transition to the surrounding **Historic Mining Zone**.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulky goods outlet
 - consulting room
 - motor vehicle related business other than a wrecking yard
 - office
 - petrol filling station
 - service industry
 - service trade premises
 - store
 - tourist/visitor facilities.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Retail development in the zone should not hinder the development or function of any centre zone.
- 4 Shops, other than a bulky goods outlet, should have a gross leasable area less than 250 square metres.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development generating high levels of traffic and/or are required to be serviced by heavy vehicles should not be established.

Land Division

- 7 Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
 - (a) an area of not less than 1000 square metres
 - (b) an average width of at least 20 metres.

Bulky Goods Policy Area 12

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating a range of buildings used for bulky goods outlets and service trade premises.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This area will accommodate a range of bulky good tenancies developed in a co-ordinated, integrated and holistic manner. Development will be on amalgamated sites or with significant integrated features, in order to achieve an efficient layout, provide shared parking, minimise access points and the length of driveways and to maximise pedestrian accessibility.

Development within the policy area will not compromise the future ability of the site to be developed as a large floor plate bulky goods outlet precinct serving the wider region.

Retail development in the policy area will not hinder the development and function of the nearby **Town Centre Zone**. Convenience retail activity will be at a local centre level limited to serving the needs of staff and visitors to the policy area and adjoining industrial zones.

The provision of interesting, articulated and varied facades through texture, pattern, graphics and colour will assist to minimise the scale of bulky goods development. Buildings visible from Muddy Lane will present an attractive and prominent built form to these frontages. Buildings will incorporate glazing to all public frontages to increase the void to solid ratio of external surfaces. Buildings should have minimal prominence when viewed from the Moonta to Kadina road.

High quality, structured landscaping will be required to mitigate large scale building facades, provide amenity and shade. Landscaping will be provided along each boundary of the policy area and within vehicle parking areas.

Activities within the zone will have minimal impact on the amenity of the adjoining residential properties through noise, air, water and waste emissions, traffic generation and movement.

Vehicle parking, access and service areas will be shared. Designated pedestrian routes will be developed between car parks and buildings to provide safe, convenient and pleasant pedestrian movement and will be clearly defined by landscaping, pavement treatment and lighting. Service bays and loading docks will be located away from public areas.

Muddy Lane is an identified freight route. Access and egress points into the policy area will therefore be located to maximise road safety and efficiency. Road intersection upgrades, including but not limited to the junctions of Muddy Lane – Kadina Road and Moonta – Wallaroo Road may be necessary to support development within the zone to ensure safe, efficient and reliable movement for all vehicles including heavy freight.

Bear Road between Hills Road and Muddy Lane will be adequately sealed to support and complement the development of the policy area as a commercial precinct.

Potential historical uses of the site and adjoining sites may have caused contamination in the policy area. Land should not be developed until it is demonstrated that the land is suitable for its intended use.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - bulky goods outlet
 - service trade premises that comprise only indoor displays or are primarily for the sale, rental or display of building materials, landscaping materials, sheds, domestic garages or outbuildings.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Bulky goods outlets and service trade premises should have a gross leasable area of 500 square metres or more for each individual tenancy.
- 4 Warehouses and stores should only be developed if they are ancillary to and in association with a bulky goods outlet or service trade premises.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 6 Pick-up areas should be provided to avoid the necessity for customers to carry large items to vehicles and to accommodate vehicles with trailers.
- 7 Buildings (except for entry statements and architectural/sculptural elements) should not exceed 9 metres in height from finished floor level.
- 8 Buildings should be set back from public roads for a distance equal to or greater than the height of the building measured from the finished floor level of that building.
- 9 Buildings should present an attractive façade through the use of architectural elements that will enhance the appearance of the locality, such as surface treatments, form or decoration.
- 10 At least 10 per cent of the site should be landscaped.
- 11 Landscaping should be at least:
 - (a) 5 metres wide along the Muddy Lane frontage
 - (b) 10 metres wide along that frontage of the zone visible from Kadina – Moonta Road.
- 12 A total of one tree per 8 car parking bays should be provided within the off street vehicle parking areas.

Land Division

- 13 Land division is appropriate provided new allotments are of a size and configuration to ensure the objectives and desired character of the policy area can be achieved.

Motor Vehicle Showroom Policy Area 13

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating service trade premises in the form of motor showrooms.
- 2 A policy area where development enhances visual qualities, is of low traffic generating type, minimises interference to the adjoining **Residential Zone** and provides an appropriate transition to uses in the adjoining zones.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This policy area should be limited to motor showrooms with provision for associated motor repair stations. Bulky goods outlets that support the primary motor vehicle showroom function of the policy area such as automotive part and accessory retailers are also envisaged.

It is expected that commercial development will provide an attractive presentation to the road frontage by locating display/showroom areas and offices to the front of sites and storage, waste, loading and service areas to the rear. Landscaping will enhance the appearance of areas which are visible to external view. Integrated or amalgamated sites which take advantage of shared access and parking arrangements and coordinated signage strategies are particularly desirable. Traffic generated by commercial developments will not detract from road safety or traffic flow on arterial roads.

It is envisaged that commercial development will be compatible with adjacent residential character and amenity by avoiding excessive scale, noise, operating hours or traffic generation.

The provision of interesting, articulated, attractive and varied facades is important in order to minimise the impact on the residential streetscape. Buildings will incorporate glazing to all public frontages to increase the void to solid ratio of external surfaces. The existing Exhibition Hall contributes to the historic character of the site and is to be incorporated into the design of future uses. The gateway should also be preserved but may be relocated to a more appropriate locality.

Sufficient off-street car parking will minimize potential hazards and nuisance associated with car parking on main roads or in residential side streets. Provision is to be made within the zone (along Athena Drive) for the off street parking and forward movement of a car carrier including an area for the unloading of this carrier. This parking area will be screened from the street frontage. Provision is also be made within the policy area for adequate vehicle access to the adjoining **Community Zone** from Athena Drive.

Mines Road and Agery Road are identified freight routes. Access and egress points into the policy area will therefore be located to maximise road safety and efficiency. Road intersection upgrades, including but not limited to the junctions of Mines Road and Mitchell Street and Mines Road, Agery Road and Railway Terrace may be necessary to support development within the policy area to ensure safe, efficient and reliable movement for all vehicles, including heavy freight.

Freestanding advertising is to be limited to one free standing sign per allotment which will not distract passing motorists. Bunting flags and portable advertisements should not be displayed.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - service trade premises in the form of a motor showroom
 - motor repair station in association with a motor showroom.
- 2 Development in the policy area should not hinder the development or function of any centre zone.
- 3 Development listed as non-complying is generally inappropriate.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Development should be carried out in accordance with [Concept Plan Map CoCo/11 - Motor Vehicle Showrooms \(Kadina\)](#)
- 6 Buildings should not exceed two storeys in height.
- 7 Development should be set-back from the road frontage to allow for landscaping.
- 8 Development should be of a nature, size or scale that will not detract from the character or amenity of the streetscape and adjacent residential zones.
- 9 Development adjacent to, or immediately opposite a residential zone should not detract from the amenity of residents living in the **Residential Zone** and should:
 - (a) be designed and located to minimise the impacts of bulky, unattractive or noise generating elements of the development upon the **Residential Zone**
 - (b) provide a visual buffer in the form of landscape plantings, attractive fencing, siting of buildings or other similar means between any car parking, service area, outdoor storage area or any other unattractive part of the development and the **Residential Zone**
 - (c) provide acoustic treatment between any excessive noise generating part of the development and the adjoining zones.
- 10 Service or delivery vehicle access points to and from development sites should be provided to minimise the impact of commercial vehicles on the amenity of residential zones and streets.
- 11 Provision should be made on site for entering and leaving of vehicles to and from the site in a forward direction.
- 12 Portable, easel, bunting flags or A-frame advertisements should not be displayed within the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Agistment or holding of stock	
Builder's yard	
Caravan park	
Crash repair workshop	
Dairy	
Dwelling	Except for alterations to an existing dwelling.
Educational establishment	
Farm building	
Farming	
Fuel depot	
General industry	
Horticulture	
Hospital	
Intensive animal keeping	
Light industry	Except for a service industry.
Nursing home	
Place of worship	
Pre-school	
Residential flat building	
Road transport terminal	
Shop or group of shops not within Motor Vehicle Showroom Policy Area 13	Except where it achieves one of the following: <ul style="list-style-type: none"> (a) the gross leasable area is 250 square metres or less (b) the shop is a bulky goods outlet (c) it is a café or restaurant located at Wallaroo.
Shop or group of shops within Motor Vehicle Showroom Policy Area 13	Except where the shop is a bulky goods outlet.
Special industry	

Form of development	Exceptions
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment, or disposal	Except where it is in the form of a recycling collection depot located outside of the Bulky Goods Policy Area 12 or the Motor Vehicle Showroom Policy Area 13 .
Winery	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Within the Bulky Goods Policy Area 12: (a) bulky goods outlet (b) service trade premises.	Petrol filling station
Within the Motor Vehicle Showroom Policy Area 13: (a) advertisement and advertising hoarding (b) bulky goods outlet (c) motor repair station in association with a motor showroom (d) service trade premises in the form of a motor showroom.	
Outside of the Bulky Goods Policy Area 12 and Motor Vehicle Showroom Policy Area 13: (a) advertisement and advertising hoarding (b) bulky goods outlet (c) consulting room (d) motel (e) motor vehicle related business other than a wrecking yard (f) office (g) service industry (h) service trade premises (i) store.	

Community Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating community, educational, recreational and health care facilities for the general public's benefit.
- 2 Development that is integrated in function and provides a coordinated base to promote efficient service delivery.
- 3 Development providing clubroom and associated administrative facilities and a range of sporting and spectator amenities.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone includes the Kadina, Wallaroo and Moonta golf clubs along with other public open spaces such as ovals and playing fields.

Development in the zone will continue to provide recreational and public open spaces which compliment the open character of the overall landscape.

The development of clubrooms and licensed facilities associated with sporting bodies should have regard to the nature and proximity of adjoining development, particularly nearby houses and where possible, shared driveway access, parking and service provision should be achieved to minimise the extent of development on the land.

Provision should be made for passive recreational use of the land as well for active pursuits.

Buildings will be landscaped but not so heavily screened that they become a security risk and should be treated to minimise the potential for vandalism.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - cemetery
 - child care centre
 - clubroom associated with a sports facility
 - community centre
 - educational establishment
 - emergency services facility
 - entertainment, cultural and exhibition facility
 - golf course
 - hall
 - health facility
 - hospital
 - indoor and outdoor recreation facility

- library
 - lighting for night use of facilities
 - nursing home
 - office associated with community service or recreation facility
 - place of worship
 - playground
 - public administration office
 - recreation centre
 - retirement housing
 - shop or groups of shops ancillary to community or recreation development
 - showground
 - spectator and administrative facilities ancillary to recreation development
 - sports ground and associated facility
 - swimming pool
 - theatre
 - tourist facilities
 - welfare institution.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken if it would inhibit or prejudice the integrated development of land within the zone for further community and institutional uses.
- 4 A shop or group of shops should only be developed where:
- (a) it is ancillary to recreation and sport development
 - (b) the total gross leasable area is less than 50 square metres.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 The number of vehicle access points and pedestrian paths should be minimised.
- 7 Access roads, car-parking and related facilities should be shared where safe and convenient to do so.
- 8 Buildings and other structures should be low profile, using compatible building materials and finishes which are of a natural colour and texture.
- 9 Active recreational facilities and buildings should be screened from adjoining roads, the coast, farmland and residential areas by landscaping or site topography.

Land Division

- 10 No additional allotments should be created wholly or partly within the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Crematorium	
Fuel depot	
Hospital	
Horticulture	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Major public service depot	
Motor repair station	
Office	Except where associated with community or recreation facilities.
Petrol filling station	
Prescribed mining operations	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is less than 50 square metres.
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Clubroom where located greater than 60 metres from the boundary of the Residential Zone	Clubroom where located within 60 metres of the boundary of the Residential Zone
Community centre where located greater than 60 metres from the boundary of the Residential Zone	Community centre where located within 60 metres of the boundary of the Residential Zone
Education establishment where located greater than 60 metres from the boundary of the Residential Zone	Education establishment where located within 60 metres of the boundary of the Residential Zone
Nursing home	Pre-school where located within 60 metres of the boundary of the Residential Zone
Pre-school where located greater than 60 metres from the boundary of the Residential Zone	
Supported accommodation	

Conservation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The conservation and enhancement of the natural environment and natural ecological processes for their historic, scientific, landscape, faunal habitat, biodiversity and cultural values.
- 2 Provision of opportunities for the public to experience and appreciate the significance of the native vegetation and original remnant natural habitat of the area through low impact recreational activities and interpretive facilities.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone applies to land to the north of Wallaroo which includes well vegetated, remnant coastal dunes and low lying land east of the marina that is subject to seasonal inundation; the wet lands which this creates are a habitat for a wide range of flora and fauna. The land east of the marina is privately owned and contains a small house, which has most recently been used as an office by the marina developers.

The land around the margins of the wetland is of limited agricultural value.

It is envisaged that the land remains largely undeveloped and that replanting of vegetation around the edge of the wetland is undertaken to enhance the natural environment.

Opportunities exist for trails and observation facilities around the wetland to enhance its value to the community.

Where appropriate, landscaping will be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - directional, identification and/or interpretative advertisements and/or advertising hoardings for conservation management and tourist information purpose
 - scientific monitoring structures or facility
 - small-scale facility associated with the interpretation and appreciation of natural and cultural heritage such as public amenities, camping grounds, remote shelters or huts
 - structures for conservation management purpose.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.

- 4 Development should be undertaken in a manner which minimises the effect on natural landscape features, flora and fauna and their habitat corridors, land adjoining water, scenic routes or scenically attractive areas.
- 5 Development should use the following measures to avoid impacting detrimentally on the natural environment, processes and/or conservation qualities of land in the zone:
 - (a) minimising the extent of earthworks
 - (b) minimising the extent of vehicle access servicing that development
 - (c) minimising the extent of locally indigenous vegetation removal
 - (d) being sited in an unobtrusive manner preferably below hilltops or prominent ridgelines
 - (e) screening the visual impact by planting locally indigenous species having due regard to bushfire risk
 - (f) utilising external low reflective materials and finishes that will minimise glare and blend in with the features of the landscape.
- 6 Where public access is necessary in the zone, the construction of recreational trails and appropriate fencing such as post and wire should be provided to control the movement of the public whilst minimising the impact on biodiversity.
- 7 Signage should only be installed where it is relevant to the conservation values and promotion of the objectives of the zone, and should be:
 - (a) restricted to those needed for direction, identification and interpretation
 - (b) discrete in design, colour and of a size of no more than 2 square metres.

Land Division

- 8 Land division should not result in an additional number of allotments partly or wholly within the zone.
- 9 Boundary realignments should not occur unless to assist in the management of native vegetation

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

No other forms of development are complying in the zone.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	Except where in association with conservation works or tourist information purposes.
Amusement machine centre	

Form of development	Exceptions
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except where used for the purposes of administering one or more of the following: (a) <i>National Parks and Wildlife Act 1972</i> (b) <i>Wilderness Protection Act 1992</i> .
Educational establishment	
Farm building	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Marina	
Motel	
Motor repair station	
Nursing home	
Office	An office used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i> .
Petrol filling station	
Place of worship	

Form of development	Exceptions
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Deferred Urban Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a restricted range of rural uses that are not prejudicial to development of the land for urban purposes and maintain the rural appearance of the zone.
- 2 A zone comprising land to be used primarily for broad-acre cropping and grazing purposes until required for future urban expansion.
- 3 Prevention of development likely to be incompatible with long-term urban development, or likely to be detrimental to the orderly and efficient servicing and conversion of the land for urban use.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone has been established to enable future infrastructure requirements to be planned for in the advance of need to ensure a compact, orderly and economic urban expansion in the future.

In the interim it is desirable that the land continue to be used for broadacre agricultural and pastoral purposes and that development incompatible with the future residential development of the land concerned not be undertaken.

Residential development will not occur until infrastructure and utility services and in particular common effluent disposal facilities are available, and existing residential land within the locality has been substantially developed. Ground survey and stability analysis shall also be undertaken at the site of the historical Wandilta Mine to ensure that future dwellings and infrastructure in proximity to the Mine will be safe from ground collapse.

Where appropriate, landscaping will be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - broad-acre cropping
 - grazing.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken if it will be prejudicial to the orderly and economic development of future urban land uses within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

Land Division

- 5 Land division should not occur unless it is in the form of an alteration to the boundaries of an allotment and no additional allotments are created in the zone.
- 6 The alteration of allotment boundaries should only occur in order to achieve one or more of the following:
 - (a) correct an anomaly in the placement of allotment boundaries with respect to the location of existing buildings or structures
 - (b) improve the management of the land for the purpose of primary production
 - (c) enable the provision of public infrastructure.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	Except a detached dwelling that does not result in more than one dwelling on an allotment
Educational establishment	
Fuel depot	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	

Form of development	Exceptions
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Motel	
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Prescribed mining operations	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Recreation area	

Historic Mining Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Development that promotes, conserves, enhances and maintains the historic character and cultural significance of the land, buildings and structures in the zone.
- 2 The identification, retention and conservation of land, buildings, structures and landscape elements that establish and reinforce the historic character, heritage value and desired character of the zone.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Characteristics of early miners' cottages include low scale structure of limestone and brick walls, with simple gable and hipped roofs and simple casement windows.

It is expected that development will retain the historic character and cultural significance of the policy areas through retention of historic buildings and sensitively located and designed new development. All buildings identified to be of heritage significance or contributing to the character of the zone will be carefully retained and conserved. Work to these buildings will be undertaken in a manner so as to preserve historic fabric and be undertaken in a manner appropriate to the style and period the building.

Building forms for new development will relate to surrounding existing historic forms, particularly those associated with the mining culture and history of the area. The continued use of historic buildings is important and appropriately scaled tourism development including the restoration and re-use of historic buildings is encouraged. The sensitive redevelopment of a site that is presently incompatible with the historic character of the zone is encouraged. The original patterns of land division will be retained as far as possible.

The creation of new sites through land division and amalgamation will be limited to where it facilitates appropriate infill development that is complementary to and compatible with adjoining development of historic character and significance.

Development will protect and be complementary to the character identified in the precincts below.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - conservation of heritage resources
 - facilities that promote heritage awareness and appreciation
 - interpretive signage and facilities
 - rehabilitation and restoration of heritage features
 - small-scale tourism/visitor facilities.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.

- 4 Development should restore and rehabilitate existing buildings of historic value and should incorporate additions to buildings of a scale, bulk and external appearance that is sympathetic and compatible to the historic character of the building and the zone.
- 5 Development, including additions and alterations should conserve, maintain, enhance and reinforce the existing streetscape character of the zone and the historic character of individual buildings, exhibiting architectural and roof forms, designs, street frontage widths, boundary set-backs, materials, bulk colours, fences, external finishes and landscape settings which complement without attempting to reproduce historic buildings or their detailing.
- 6 New buildings should be designed to maintain the prominence of existing historic buildings and where applicable:
 - (a) new buildings should not occur between the front street boundary and the facade of existing buildings of heritage value
 - (b) extensions to existing buildings of heritage value should be masonry to match the original part of the building, or alternatively be framed walls clad in corrugated galvanised iron or other appropriate traditional method of constructions for the zone. Additions should be of simple rectangular form with skillion roofed additions
 - (c) new roofing for existing buildings of heritage value should preferably be corrugated galvanised iron where this is the original roof material, or grey corrugated Colorbond (or similar product) as an acceptable alternative
 - (d) the roof pitch of new building should complement the predominant roof pitches of existing buildings of heritage value within the locality, and should generally be between 25 and 40 degrees. Roof forms should generally be simple gable end or hipped roof construction
 - (e) new building should be consistent with the predominant eaves and ridge heights of existing buildings of heritage value within the locality and in particular match the eaves height of adjacent buildings
 - (f) the roof form of new buildings should be generally gabled or hipped to match existing buildings of heritage value within the locality
 - (g) new dwellings should be designed with simple veranda treatments to the front elevation
 - (h) roof conversions to existing buildings of heritage value where alterations are required should be fully incorporated under the existing roof and dormer style windows where they are not visible from the street
 - (i) roof mounted mechanical plant and equipment and its support structures should be located such that it is not visible from the street and public places
 - (j) original unpainted plaster, brickwork, stonework or other masonry of existing heritage buildings of heritage value should be preserved, unpainted
 - (k) external colour schemes should be contemporary, but should not dramatically contrast with the original colour scheme of the existing building.
- 7 Front and side boundary setbacks of development should be similar to the predominant pattern established by historic buildings in the immediate locality, with particular regard to adjacent historic buildings, whilst at the same time maintaining the prominence of existing historic buildings.
- 8 Outbuildings and garages should be sited behind the front façade of the residential buildings on the same site and adjacent allotments.

- 9 Existing buildings of architectural or historic significance should:
- (a) not be demolished
 - (b) be restored and rehabilitated in accord with their original style, design and features
 - (c) be altered and added to so that the integrity and prominence of the front original street presentation of the building is maintained and reinstated
 - (d) integrate improvements without compromise to the character of the original building, or be screened by, or located to the rear of the original building
 - (e) not be detrimentally affected in terms of character or function by development, including land division.
- 10 Existing traditional fencing, such as post and rail, post and wire, together with low stone walling and rendered walls should be retained and conserved.
- 11 On site water storage should meet the one of the following minimum water tank size requirements:
- (a) 60 000 litres where there is no reticulated water supply available
 - (b) in areas where there is a reticulated water supply available:
 - (i) 5000 litres on allotments less than 450 square metres in area
 - (i) 10 000 litres on allotments with an area less than 1000 square metres
 - (ii) 22 000 litres on allotments with an area of 1000 square metres or more.
- 12 Except where otherwise specified within a specific policy area or precinct, sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Maximum floor area	75 square metres or 10 per cent of the allotment or site area (whichever is the lesser).
Maximum building height (from natural ground level)	4.5 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and maximum height of that wall is 3 metres).
Minimum setback from a public road or public open space area	6 metres or at least 0.5 metres behind the main façade of the dwelling with which it is associated (whichever is the greater).

Moonta Mines Policy Area 1

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Conservation of the distinctive character of the Moonta Mines State Heritage Area, including retention of views across the State Heritage Area, mullock heaps, ore floors, remnant structure and other items contributing to the character of the area.
- 2 Provision of accommodation, visitor attractions and other facilities that promote the area's heritage features.
- 3 Continued dominance of the mines areas, including former mining and associated sites, and the various residential settlements supporting the mines.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Precinct 1 Hamley

The precinct contains a number of dwellings but, more importantly, the core of the defined and protected mines ruins that incorporates the Karkarilla and Hamley mine sites.

Development in the precinct will maintain the predominant rural and open character, be of low-scale and unobtrusive in appearance.

Precinct 2 Hancocks

The precinct contains some residences but is dominated by the Hancocks Tailings Heap and also incorporates the industrial sites around Hancocks Tailings Heap. The heritage resources include:

- Hancocks, Bowers and Beddomes Engine House ruins
- Attle Heaps
- Greens, Fergusons, Simpsons, Beddomes, Lloyds, Munogrades and Prince Alfred Shafts tanks
- brick kiln ruins
- ore floors.

Development must conserve the historic residential enclave to the north west of the Hancocks Tailings Heap as well as safeguard the rural and recreational open space character of the balance of the precinct's area.

Precinct 3 Hughes

The precinct incorporates Hughes Engine House and Chimney and a range of heritage places, including Elders and Taylors Engine House ruins, Workshop site, Stables site, Warmington, Duncan and Bennett Shafts sites and others.

Public access to this precinct will be maintained and controlled.

Future development will preserve the open character of the area as dominated by the Hughes Engine House and Chimney and will be restricted to development that supports tourism and interpretation of the heritage places.

Precinct 4 Mine Management

The precinct comprises the major focus for tourist activities of the Moonta Mines. The precinct is within the heart of the mines' area, and abuts the Ryans slime dam to the north east and Taylors area to the south east.

The precinct incorporates the following elements:

- mine office ruins
- mine store ruins
- manager's house ruins
- police station site
- mines recreation grounds.

Development will conserve the open space areas to the north of Verran Terrace.

The existing character of the precinct and all industrial ruins and remnants will be preserved and conserved.

Development will be restricted to that which supports tourism and interpretation of the heritage places.

Public access will be controlled.

Precinct 5 Moonta Mines Buffer

This precinct is rural in nature and provides a contrast with the core heritage areas. It also comprises a number of dwellings set generally within larger holdings. To help ensure a clear transition between non-historic mine related uses and activities and the core heritage areas, a buffer is to be maintained as an open area used for general farming purposes.

Precinct 6 Moonta Station

The precinct comprises the Moonta Railway Station and associated facilities, including the goods shed, railway yard, waiting room, toilets and crane. The precinct is a gateway to the Moonta Mines facilities and will provide a range of tourist-related services at Moonta Mines.

It is envisaged that the original railway station and associated buildings and surrounds will be renovated and re-used for tourist-related functions.

Precinct 7 Precipitation Works

The precinct incorporates the tanks, wash and dry house, pump house and reservoir of the precipitation process. Existing heritage resources will be conserved and the precinct remain an open and relatively undeveloped area in which public access will be controlled by rail and pedestrian trail.

Precinct 8 Residential - Moonta Mines and North Yelta

The buildings at the North Yelta part of the precinct are sited in linear fashion along the Kadina Road and thus form a strong entrance to the township of Moonta. Buildings in this area are primarily miners' cottages of simple design, constructed of rendered stone with skillion-roofed lean-to additions at the rear and verandas to the front.

The buildings at the Moonta Mines part of the precinct display a wider range of styles than the simple cottages located within North Yelta. The dwellings include villa styles and timber framed dwellings of the early 20th century. A number of substantial institutional buildings are also located within this area of the precinct.

In order that the character of the precinct is preserved, it is important that any new buildings or renovations to existing buildings are styled in the architectural vernacular of the locality, as expressed by existing buildings of the late 19th and early 20th century. Residential development throughout the precinct must be sympathetic with the character of the miners' cottages and houses.

Precinct 9 Richmans

The precinct incorporates a range of heritage resources, including:

- Richmans Engine House and Plant ruins
- Warmington Shaft
- Stuckeys Shaft
- Stirlings Engine House site
- Richmans Tailings Heaps No. 1 and No. 2 and Slimes Area.

The precinct is dominated by the tailings heaps and Richmans Engine House and Plant ruins. The precinct also incorporates slimes dams and ore floors.

The existing character of the precinct and all industrial ruins and remnants will be preserved and conserved.

Public access will be controlled.

Precinct 10 Ryans

The precinct incorporates the Ryans Tailings Heap and the extensive industrial remains including:

- Ryans and Youngs Engine House sites
- Ryans Tunnel
- line kiln site
- Assay Office ruins
- Ryans McDonnells, Harveys, Youngs and Dominicks Shafts
- clarifying Pits
- Attle Heaps Drains
- slimes area
- stone retaining walls
- reservoir
- explosive magazine.

The precinct has an open undeveloped character in which the industrial ruins and remnants are preserved and conserved. Development will maintain controlled public access.

Precinct 11 Taylors

The precinct incorporates:

- Taylors Engine House and ruins
- Taylors Shaft
- other features comprising Taylors Plant.

Future development will preserve the open character of the northern portion of the precinct and all industrial ruins and remnants will be preserved and conserved.

Public access will be controlled.

Precinct 12 Yelta Slimes

The precinct incorporates all of the slimes dams existing on Sections 2050 and 2775, Hundred of Wallaroo in which physical access by the public is restricted and limited to viewing only. Development must preserve the open character of the precinct.

PRINCIPLES OF DEVELOPMENT CONTROL

Form and Character

- 1 Development should incorporate selective and carefully considered landscaping which is effective in screening all of the following:
 - (a) future excavation and earthworks, including cutting and filling of natural surfaces, quarrying and stockpiling of excavated materials
 - (b) new buildings and structures
 - (c) views of other development which is or is likely to become unsightly.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Table](#) for a list of the maps that relate to the following precinct(s).

Precinct 1 Hamley

- 2 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 3 Development should comprise only essential facilities associated with agricultural activities.
- 4 Development should not detract from the open character of the precinct.
- 5 Development associated with agricultural activities area should be:
 - (a) sited and designed so that it will be unobtrusive
 - (b) constructed of materials which not only blend with the landscape but also complement the building materials of the period 1861 to 1923
 - (c) consistent in form, scale, fenestration and fencing to the original built character.

Precinct 2 Hancocks

- 6 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 7 Development should not prejudice the:
 - (a) dominance of Hancocks Tailings Heap and views to and from the Heap
 - (b) historic character of the residential enclave to the north west of Hancocks Tailings Heap
 - (c) the open space character of the rural or recreation areas of the precinct.

Precinct 3 Hughes

- 8 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 9 Development should not prejudice the:
 - (a) the dominance of the Hughes Engine House and Chimney
 - (b) the open space character of the precinct.

Precinct 4 Mine Management

- 10 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 11 Development should not prejudice the open space character of the precinct to the north of Verran Terrace.
- 12 Development should comprise tourist accommodation and interpretative facilities in Section 2670, Hundred of Wallaroo based on the form, scale and features of the former mine's office and store.
- 13 Development should be compatible with the existing historic character, streetscape and built form.
- 14 Redevelopment of buildings should reconstitute their former character to enhance the historic integrity of the precinct.
- 15 External finishes, materials and colours of structures should be similar to those originally used for the buildings in the precinct.

Precinct 5 Moonta Mines Buffer

- 16 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 17 Land division should only occur where such division results in either the rationalisation of existing anomalies in boundary alignments or where the division results in the amalgamation and consolidation of land.
- 18 Development should comprise only essential facilities associated with agricultural activities.
- 19 Development should be:
 - (a) sited and designed so that it will be unobtrusive
 - (b) constructed of materials which blend with the landscape.

Precinct 6 Moonta Station

- 20 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 21 The following forms of development are envisaged in the precinct:
 - cafe/restaurant
 - office for the administration of tourist facilities and activities
 - shop to service primarily tourists and visitors and involving the sale of art, craft, souvenirs and food stuffs and related material.
- 22 Development should be confined to the conservation of the railway station and goods shed so that they can function as a tourist gateway to the Moonta Mines and Moonta township.

Precinct 7 Precipitation Works

- 23 Development should not be undertaken unless it is consistent with the desired character for the precinct.

Precinct 8 Residential - Moonta Mines and North Yelta

- 24 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 25 Development should be primarily for residential purposes.

- 26 Development should have regard to the nature of the residences of the late 19th and early 20th century in terms of their:
- (a) design
 - (b) siting
 - (c) intensity
 - (d) building materials and finishes
 - (e) scale, form and character.

Precinct 9 Richmans

- 27 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 28 No development should prejudice the dominant character of the Richmans Tailings Heaps and Richmans Engine House.

Precinct 10 Ryans

- 29 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 30 Development should not prejudice the open and undeveloped nature of the precinct.
- 31 No expansion of the depot activities or a commercial or business use should occur.
- 32 Controlled public access by road, rail and pedestrian trails should be provided into and through the precinct.

Precinct 11 Taylors

- 33 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 34 Development should preserve the open character of the northern portion of the precinct.

Precinct 12 Yelta Slimes

- 35 Development should not be undertaken unless it is consistent with the desired character for the precinct.

Wallaroo Mines Policy Area 2

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Precinct 13 Cornish Village

The precinct will maintain its village atmosphere comprising dwellings and associated community buildings for residents, tourist accommodation and related services. Development must be sympathetic with the character of development established in the area in the late 19th and early 20th century.

The precinct comprises two groups of buildings established during the developing period of the mine. The smaller group located on the south side of Newland Terrace were mine managers' residences of substantial proportion. The larger group to the east of Stirling Terrace were used for a range of residential, commercial and community purposes. These buildings are generally more modest than the mine managers' properties and, in many cases, are in the form of semi-detached dwellings. In the north western sector of the Newland part of the precinct is Newland Reserve, a recreation area upon which a rotunda was erected for weekend entertainment. The former institute building is also located adjacent this reserve.

Precinct 14 Matta Museum

This precinct provides a range of educational and tourist related facilities associated with the presentation of the rural lifestyle of the district during the mines' development era.

The precinct includes the remains of the Matta Mine and the extensive museum at Matta House and extends to enclose the open rural land located to the west.

Precinct 15 Mines Buffer

This precinct has an open rural area which contrasts with the core heritage precinct areas.

The precinct comprises open farmland used for agricultural pursuits largely surrounding the core area of the mines contained in **Precinct 16 Mines Industry**. It embraces an extensive area to the south and to the west and incorporates the division of Jericho, the skimps to the south and the open area north of Musgrave Terrace to Port Road. A smaller area of open land lies to the east separating **Precinct 16 Mines Industry** from the modern industrial area of Kadina.

Precinct 16 Mines Industry

The precinct is dominated by the remains of mines' industrial development and is an area in which public access is maintained and controlled.

The precinct encompasses a core of the industrial artefacts of the Wallaroo Mines, including engine houses, power plants, mines, settling pools and powder magazines.

Precinct 17 Residential Kadina

Residential development must be sympathetic to the existing character of development established in the area in the late 19th and early 20th century.

The area contains two groups of residential buildings which have retained a strong colonial character and which should be preserved and maintained. Buildings range from simple miners' cottages of the very early period of the mines' development through to later more substantial villa-style dwellings which are generally in better condition.

Precinct 18 Residential Matta

The precinct contains an old subdivided area lying immediately to the south of the Matta Museum and adjoining industrial activity to the east which accommodates a number of dwellings and vacant land parcels containing remnants of miners' dwellings.

Residential development must be sympathetic with the character of the miners' cottages and houses.

PRINCIPLES OF DEVELOPMENT CONTROL

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 13 Cornish Village

- 1 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 2 Development should enhance the existing village atmosphere.
- 3 The scale and form of development should be consistent with the scale and form of the early development of the precinct.
- 4 Non-residential development should comprise interpretative, community and tourist-related activities.

Precinct 14 Matta Museum

- 5 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 6 Development should only be undertaken which reinforces and promotes the establishment of a museum, tourist or interpretive facility to present the rural lifestyle of the district during the mines' development era.
- 7 Development should have regard to the nature of Matta House and typical rural outbuildings in terms of their:
 - (a) design
 - (b) siting
 - (c) intensity
 - (d) building materials and finishes
 - (e) scale, form and character.

Precinct 15 Mines Buffer

- 8 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 9 Development should retain the open rural character of the precinct.
- 10 Land division should only occur where such division results in either the rationalisation of existing anomalies in boundary alignments or where the division results in the amalgamation and consolidation of land.

- 11 Development should comprise only essential facilities associated with agricultural pursuits.
- 12 Development should be:
 - (a) sited and designed to be unobtrusive
 - (b) constructed of materials which blend with the landscape.
- 13 No development should compromise the conservation of heritage resources or their setting.

Precinct 16 Mines Industry

- 14 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 15 No development should prejudice the preservation and conservation of the mines' industry remains and their setting.

Precinct 17 Residential Kadina

- 16 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 17 Development should be for residential purposes comprising detached dwellings on a range of allotment sizes.
- 18 Development should have regard to the nature of development established in the area in the late 19th and early 20th century in terms of its:
 - (a) design
 - (b) siting
 - (c) intensity
 - (d) building materials and finishes
 - (e) scale, form and character.

Precinct 18 Residential Matta

- 19 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 20 Development should be primarily for residential purposes.
- 21 Development should have regard to the nature of the residences of the late 19th and early 20th century in terms of their:
 - (a) design
 - (b) siting
 - (c) intensity
 - (d) building materials and finishes
 - (e) scale, form and character.

Wallaroo Town Policy Area 3

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Conservation of the distinctive character of the Wallaroo Smelter Site.
- 2 An area in which public access is maintained and controlled.
- 3 Preservation of the open character of the area, dominated by the Hughes Chimney Stack.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Development has to protect, maintain and enhance the distinctive historic character of the policy area.

The policy area contains the State Heritage-listed Wallaroo Smelter Site, which includes the Hughes Chimney Stack, Wallaroo Seafarers' Centre (former Smelters' offices), ruins of various structures and slag heaps.

The Wallaroo smelter ruin is a large area on the shore of Wallaroo Bay covered with brick, stone and concrete remains of buildings, furnaces, flues, retaining walls and other structures and extensive granulated slag heaps.

The Wallaroo smelter ruin is significant as it represents the remains of South Australia's largest industrial complex for much of the period 1861 to 1926 and, for a time, was one of the great smelters of the world. It is a rare site and is of great technological and archaeological significance.

The site is dominated by the large square Hughes Chimney Stack, the only surviving stack of about 25 stacks which once stood on the site. The Hughes Chimney Stack is a historical landmark and feature of northern side of town.

Development will respect not only the State heritage-listed Wallaroo Smelter Site and its associated structures in the policy area, but also the views of the coast and open character of the land.

PRINCIPLES OF DEVELOPMENT CONTROL

Form and Character

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Development should complement the historic value and significance of the policy area.
- 3 No development should prejudice the dominance of the Hughes chimney stack and/or open space character of the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement or advertising display	Except where it does not comprise any of the following: <ul style="list-style-type: none"> (a) flashing or animated signs (b) a roof mounted advertisements projected above the roof line (c) a parapet mounted advertisements projecting above the top of the parapet (d) an advertisement not in accordance with Table CoCo/2 - Historic Conservation Guidelines.
All forms of development within the following precincts located in Moonta Mines Policy Area 1 : <ul style="list-style-type: none"> (a) Precinct 2 Hancocks (b) Precinct 3 Hughes (c) Precinct 4 Mine Management (d) Precinct 7 Precipitation Works (e) Precinct 9 Richmans (f) Precinct 10 Ryans (g) Precinct 11 Taylors (h) Precinct 12 Yelta Slimes. 	Except where associated with the conservation of and controlled public access to heritage resources.
All forms of development within Precinct 16 - Mines Industry located in Wallaroo Mines Policy Area 2	Except where associated with the conservation of and controlled public access to heritage resources, including the redevelopment of buildings.
Amusement machine centre	
Camping area	
Caravan park	
Consulting room	
Dwelling	Except for a detached dwelling located on an allotment within Moonta Mines Policy Area 1 or Wallaroo Mines Policy Area 2 .
Fuel depot	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	

Form of development	Exceptions
Land division within Wallaroo Town Policy Area 3	Except for a land division that does not create an additional allotment.
Motel	
Motor repair station	
Office	Except where it is to be operated exclusively in association with the use of land for visitor facilities or for educational, interpretive, or cultural-related purposes.
Petrol filling station	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	Except where the gross leasable floor area is <ul style="list-style-type: none"> (a) 250 square metres or less within Moonta Mines Policy Area 1 (b) 150 square metres or less within Wallaroo Mines Policy Area 2.
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Industry Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating a wide range of industrial, warehouse, storage and transport land uses.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Industrial growth in the Council area has been strong with demand particularly from service industries such as builders, cabinet makers as well as from small-scale manufactures. A lack of available and suitable sited industrial land has resulted in some industrial land uses locating away from the towns and in the rural area.

This zone will accommodate a full range of industrial, warehousing, storage, transport and related activities with minimal restrictions on hours of operation other than where the zone has an interface with an adjoining residential zone.

Where land within the zone is in close proximity to sensitive land uses located within adjacent zones, such as residential areas and schools, particular attention will be required to minimise any adverse impacts on the amenity and function of those areas. Issues requiring attention will include, but not necessarily limited to, the visual bulk and external design and appearance of buildings, vehicular access arrangements, setbacks and the provision of landscaped buffers, hours of operation, and the amelioration of noise and other emissions.

Provision shall be made on-site for staff and visitor parking, vehicle maneuvering and landscaping. Landscaping will be implemented along road frontages (forward of fencing) and site boundaries to enhance the character of the area in which the facilities are located. Fencing and landscaping are an important part of providing screening to industrial land uses and landscaping is to incorporate significant tree planting, both as a means of screening industrial activity and providing shade to buildings and car parking areas. Where practicable, landscaping areas are to be irrigated using captured stormwater.

Stormwater management is a significant issue in the region as a result of the flat terrain. Development will ensure stormwater can be managed to avoid overloading the downstream stormwater systems, this will include disposal, retention or detention and re-use of stormwater on site.

Development will provide for the maximum on site storage and reuse of stormwater.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - industry
 - office in association with and ancillary to industry
 - public service depot
 - transport distribution
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

3 Development should not be undertaken unless it is consistent with the desired character for the zone.

4 Development should be carried out in accordance with [Concept Plan Map CoCo/2 - Industrial Area \(Moonta\)](#) and [Concept Plan Map CoCo/3 - Industrial Area \(Kadina\)](#).

5 Industrial development should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	8 metres for buildings having a height of up to 6 metres.
	10 metres for buildings having a height between 6 metres and 10 metres.
	12 metres for buildings having a height exceeding 10 metres.
Minimum setback from secondary road frontage	4 metres.
Minimum setback from rear boundary	Nil or not less than 1 metre.

6 Industrial development should provide for the on-site storage and reuse of rainwater. The following minimum water tank sizes requirements should be met, (a) or (b):

(a) 60 000 litres where there is no reticulated water supply available

(b) in areas where there is a reticulated water supply available:

(i) 10 000 litres on allotments with an area less than 1000 square metres

(ii) 22 000 litres on allotments with an area of 1000 square metres or more.

7 Building facades facing land zoned for residential purposes should not contain openings or entrance ways that would result in the transmission of noise that would adversely affect the residential amenity.

8 Any plant or equipment with potential to cause an environmental nuisance (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.

9 Advertisements and advertising hoardings should not include any of the following:

(a) flashing or animated signs

(b) bunting, streamers, flags, or wind vanes

(c) roof-mounted advertisements projected above the roofline

(d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

10 Land division should create allotments that comply with all of the following:

(a) are of a size and shape suitable for the intended use

(b) have an area of not less than 3000 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated

- (c) have a frontage to a public road of at least 15 metres
- (d) have an average width of at least 30 metres.

Infrastructure Policy Area 4

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Primarily, a policy area for the provision of infrastructure.
- 2 Infrastructure facilities and land required for infrastructure facilities preserved from the encroachment of incompatible land uses.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This policy area will accommodate wastewater treatment and storage lagoons and associated infrastructure which form part of the Community Wastewater Management Scheme servicing the townships.

Expansion of the existing wastewater treatment and storage lagoons will maintain appropriate separation distances to existing residential development in adjoining zones.

Development will be sited to minimise clearance of existing vegetation and will be screened by landscaping, utilising native species endemic to the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - drainage system, including stormwater retention basin
 - electricity substation
 - industry
 - landfill
 - methane extraction plant
 - public service depot
 - sewerage infrastructure
 - waste transfer depot.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding where it is located in Infrastructure Policy Area 4	
Amusement machine centre	
Community centre	
Consulting room	
Dairy where it is located in Infrastructure Policy Area 4	
Dwelling	Except a caretakers dwelling where it complies with all of the following: <ul style="list-style-type: none"> (a) located outside of Infrastructure Policy Area 4 (b) ancillary to and in association with industrial development (c) located on the same allotment as the associated industrial development (d) it does not have more than one bedroom (e) it does not exceed 60 square metres in total floor area.
Educational establishment	Except where it complies with all of the following: <ul style="list-style-type: none"> (a) it is ancillary to and in association with industrial development (b) it is located on the same allotment as the associated industrial development.
Fuel depot within Infrastructure Policy Area 4	
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Motor repair station where it is located in Infrastructure Policy Area 4	
Nursing home	

Form of development	Exceptions
Office	Except where it complies with all of the following: (a) it is ancillary to (less than 10 per cent of the gross floor area of the total development) and in association with industrial development (b) it is located on the same allotment as the associated industrial development.
Pre-school	
Place of worship	
Residential flat building	
Road transport terminal within Infrastructure Policy Area 4	
Service trade premises where it is located in Infrastructure Policy Area 4	
Shop or group of shops	Except where the gross leasable area is less than 150 square metres.
Tourist accommodation	
Warehouse where it is located in Infrastructure Policy Area 4	
Wrecking yard where it is located in Infrastructure Policy Area 4	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Industry (all types excluding special industry)	Fuel depot where not located in Infrastructure Policy Area 4
Land division	Road transport terminal where not located in Infrastructure Policy Area 4
Motor repair station	Sewerage infrastructure where it is located in Infrastructure Policy Area 4
Public service depot	Wastewater treatment and storage lagoons where it is located in Infrastructure Policy Area 4
Store	
Warehouse	

Light Industry Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of light industrial, storage and warehouse land uses.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone has extensive common boundaries with the adjoining residential zones or abuts existing housing and, as such, it is imperative that industries locating in this area are small-scale in nature, produce minimal noise and traffic and have hours of operation limited to normal day working hours for adjoining residents.

Development will be designed to locate any activity that might give rise to noise or emissions that may affect residential amenity as far away as possible from sensitive land uses and, to this end, offices will be located at the front of the development.

Provision shall be made on-site for staff and visitor parking, vehicle maneuvering and landscaping. Landscaping will be established along road frontages (forward of fencing) and site boundaries to enhance the character of the area in which the facilities are located. Where practicable, landscaped areas are to be irrigated using rainwater.

Fencing and landscaping are an important part of providing screening to industrial land uses and landscaping will incorporate significant tree planting, both as a means of screening industrial activity and providing shade to buildings and car parking areas.

Stormwater management is a significant issue in the region as a result of the flat terrain. Development will ensure stormwater can be managed to avoid overloading the downstream stormwater systems; this will include disposal, retention or detention of stormwater on site.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - light industry
 - office in association with and ancillary to industry
 - service industry
 - service trade premises
 - store
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/2 - Industrial Area \(Moonta\)](#).

- 5 Except where different parameters are specified in a specific policy area, buildings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	8 metres for buildings having a height of up to 6 metres 10 metres for buildings having a height between 6 metres and 10 metres 12 metres for buildings having a height exceeding 10 metres
Minimum setback from secondary road frontage	4 metres
Minimum setback from rear boundary	Nil or not less than 1 metre

- 6 Development should provide for the on-site storage and reuse of rainwater. The following minimum water tank sizes requirements should be met, (a) or (b):

- (a) 60 000 litres where there is no reticulated water supply available
- (b) in areas where there is a reticulated water supply available:
 - (i) 10 000 litres on allotments with an area less than 1000 square metres
 - (ii) 22 000 litres on allotments with an area of 1000 square metres or more.

- 7 Advertisements and advertising hoardings should not include any of the following:

- (a) flashing or animated signs
- (b) bunting, streamers, flags, wind vanes and similar
- (c) roof-mounted advertisements projected above the roofline
- (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 8 Land division should create allotments that:

- (a) are of a size and shape suitable for the intended use
- (b) have an area of not less than 2500 square metres unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated
- (c) have a frontage to a public road of at least 15 metres
- (d) have an average width of at least 20 metres.

Home Industry Policy Area 5

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating small-scale service and light industries where people live and work on the same site.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area will be developed as a home industry area comprising housing and offices fronting roads with low impact industrial uses such as warehousing or similar industries located to the rear. Existing industrial uses as well as home industries, should minimise impacts on more sensitive zones. Hours of operation shall reflect the required sensitivity to residential uses within the locality. Residential development should however recognise the industrial location and implement sound attenuation, screening and other measures to protect their own residential amenity. Large scale manufacturing and high impact industries are not appropriate.

The area will be enhanced through development with a high quality of appearance and design and extensive landscaping. It is desirable to improve amenity and provide pedestrian shelter through the planting of street trees of appropriate scale.

A residential appearance and function to the street frontage will be maintained whether by a dwelling or office. Dwellings shall not be an obligatory requirement for the policy area, however this residential option is provided to residents looking to live and work on the same site. Should a dwelling not be desired, an office shall be provided forward of the industrial component of the development. This office shall be of a size and scale to allow for future conversion to a dwelling and a veranda treatment provided to address the street frontage. Signs will be of a small-scale nature and located and designed to reflect the residential character and amenity of the zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling in association with industry
 - light industry
 - service industry
 - shop ancillary to industry
 - store.
- 2 A home industry should operate on an allotment on which there is an occupied detached dwelling **or office**.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 **Not more than one dwelling shall be established on an allotment.**

5 Dwellings and offices should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres
Minimum setback from secondary road frontage	3 metres
Maximum height	Two storeys or 9 metres (whichever is the lesser)

6 Domestic sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Maximum floor area:	75 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3.5 metres
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and the maximum height of that wall is 3.5 metres)
Minimum setback from a public road or public open space area	0.5 metres behind the main façade of the dwelling with which it is associated.

7 Development (excluding an office or dwelling) should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	Behind the detached dwelling or office
Minimum setback from secondary road frontage	4 metres
Minimum setback from rear boundary	Nil or not less than 1 metre

8 Home industries should comply with the following:

- (a) an additional on-site car parking space should be provided for every non-resident person involved in the production and/or supply of the industry or business.
- (b) no building or activity associated with the home industry should be sited closer to any street alignment than the existing or approved dwelling or office.

9 Built form should cover no more than 40 per cent of the allotment.

10 Industrial buildings or activities should not be the visually dominant form when viewed from a public road.

11 No more than two commercial vehicles should be used in association with any industry or business and no vehicle should exceed 5 tonnes tare weight.

12 Industrial land use should only operate between the hours of 8:00am and 5:30pm, Monday to Saturday.

Land Division

- 13 Land division should create allotments with an area of at least 2500 square metres.
- 14 Land division should not separate an existing dwelling from an industrial or commercial development on the same allotment.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Community centre	
Consulting room	
Dwelling	<p>Except where (a) or (b) applies:</p> <ul style="list-style-type: none"> (a) a detached dwelling in association with industry where it is located within the Home Industry Policy Area 5 (b) a caretakers dwelling where it complies with all of the following: <ul style="list-style-type: none"> (i) no other dwelling exists on the allotment (ii) it is ancillary to and in association with industrial development (iii) it is located on the same allotment as the associated industrial development (iv) it does not have more than one bedroom (v) it does not exceed 60 square metres in total floor area.
Educational establishment	
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Nursing home	
Office	<p>Except where it is both:</p> <ul style="list-style-type: none"> (a) ancillary to and in association with industrial development (b) located on the same allotment as the associated industrial development.
Place of worship	
Pre-school	
Residential flat building	
Restaurant	
Shop or group of shops	<p>Except where both (a) and (b) apply:</p> <ul style="list-style-type: none"> (a) the gross leasable area is less than 250 square metres (b) it is ancillary to an industry located on the same allotment.

Form of Development	Exceptions
Special industry	
Stock sales yard	
Stock slaughter works	
Tourist accommodation	
Waste reception, storage, treatment or disposal other than in the form of a recycling collection depot	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Light industry	Fuel depot
Land division	Road transport terminal
Motor repair station	
Public service depot	
Service trade premises	
Store	
Warehouse	

Local Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating small-scale convenience shopping, office, medical and community facilities to serve the local community.
- 2 A centre characterised by traditional corner stores or small groups of shops located within easy walking distance of the population they serve.
- 3 A centre accommodating residential development in conjunction with non-residential development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will cater for small-scale and convenient mixed use facilities located to meet the day-to-day needs of the local community.

These centres will consist of a limited range of shops servicing the day to day needs of the local community and visitors. At Moonta Bay and Port Hughes proximity to the coast will provide an opportunity for cafes and take away food outlets. These centres are fully developed but will benefit from an improved relationship with the adjoining public car parks to improve pedestrian access and traffic movement. Outdoor dining is encouraged where site circumstances permit.

Development within the zone will not be higher than one storey, and where the zone abuts residential land, consideration will be given to minimising the impact of service functions such as deliveries, waste storage bins, rubbish removal and the like.

There will be suitable screening and landscaping of parking areas and service areas/access ways should be shielded to minimise noise impacts on adjoining development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - advertisement
 - community facility
 - consulting room
 - office
 - office and dwelling
 - shop
 - shop and dwelling
 - tourist facilities including accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development comprising a variety of residential and non-residential uses should only be undertaken if such development does not prejudice the operation of existing or future non-residential activity within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Dwellings should be located only behind or above non-residential uses on the same allotment.

Land Division

- 6 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Dwelling	Except where in conjunction with a non-residential development.
Fuel depot	
Horticulture	
Industry	
Motor repair station	
Public service depot	
Residential flat building	Except where in conjunction with a non-residential development.
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where one of the following is satisfied: (a) the gross leasable floor area is less than 450 square metres (b) it is a restaurant or take away food outlet.
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

The following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
All forms of development (except hotel and motel)	Hotel Motel

Mixed Use Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A functional and diverse zone accommodating a mix of commercial, community, light industrial, medium density residential, office, and small-scale shop land uses.
- 2 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will provide a transition between the high traffic environments along the arterial roads and adjoining residentially zoned land.

The continued use of existing residential stock within the zone and the redevelopment of land for residential use will continue as the zone transitions to a more commercial use.

Small-scale offices, consulting rooms and commercial development will be the primary use of the land, primarily through the conversion of existing dwellings.

Higher impact uses such as crash repairers, shops and manufacturing are not envisaged. High traffic generating uses such as petrol filling stations are also inappropriate.

A high standard of design, site layout and landscaping is required to provide an attractive entrance and, for this purpose, existing dwellings will be preserved and converted to commercial use accommodating offices and consulting rooms.

Development will be sympathetic and consistent in street setback, building height and bulk, character and appearance with existing development in the zone and to complement development in adjoining zones. To this end, new development will have a residential built form and character.

Car parking at the rear of premises is encouraged, buffered by appropriate fencing and landscaping from adjoining housing.

Shared access and off-street parking between adjoining sites is also encouraged to maximize development opportunities and minimise the need for individual driveways. All vehicles associated with a site will be able to enter and exit the site in a forward direction.

Landscaping will retain the front garden character of the area and existing front fences where appropriate.

Advertising will be in the form of small-scale signage that does not impair the amenity, or dominate the character of the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facility
 - consulting room
 - group dwelling
 - institutional facility
 - motor repair station
 - multiple dwelling
 - office
 - recycling collection depot
 - residential flat building
 - row dwelling
 - service trade premises
 - shop or group of shops where the gross leasable area is less than 150 square metres
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 The bulk and scale of development should be compatible with adjoining land uses.
- 5 Car parking areas should be:
 - (a) located to the side or rear of premises
 - (b) shared across developments
 - (c) designed with sufficient manoeuvring space to facilitate forward entry and exit from sites
- 6 The number and frequency of access points to arterial roads within the zone should be rationalised by:
 - (a) locating access points on side streets or rear lanes where possible
 - (b) sharing car parking across developments
- 7 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 8 Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
 - (a) an area of not less than 1200 square metres
 - (b) an average width of at least 15 metres.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Prescribed mining operations	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area is less than 150 square metres.
Special industry	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	Except where in the form of a recycling collection depot.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Consulting room	Motor repair station
Motel	Service industry
Office	
Service trade premises	
Store	

Primary Production Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The long term continuation of primary production.
- 2 Economically productive, efficient and environmentally sustainable primary production.
- 3 Allotments of a size and configuration that promote the efficient use of land for primary production.
- 4 Protection of primary production from encroachment by incompatible land uses and protection of scenic qualities of rural landscapes.
- 5 Accommodation of wind farms and ancillary development.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone comprises the bulk of the Council area and is used principally for agricultural production and the grazing of stock on relatively large holdings.

The climate, soil and landform characteristics of this zone favour the continuance of agricultural production and livestock grazing and it is desirable not only that these activities continue, but also that good land management techniques be encouraged to control proclaimed pest plants, vermin, and soil erosion.

Little intensification of the present extent of settlement is warranted. In many ways, a proliferation of intensive development and occupation of the zone would threaten its proper function and render the rural landscape susceptible to competing demands and undesirable change.

To maintain the agricultural importance and stability of the zone, it is vital that the size of land holdings is not significantly reduced, unless specifically required for the more intensive agricultural use of the land, and that future pressures for development in the zone will not result in the conversion of agricultural land to less productive uses.

It may be expected that some development such as host farms or mining will occur from time to time in rural areas. Development of this nature is acceptable within the zone where located and developed appropriately.

Productive agricultural land will not be converted for use for carbon credit forestry.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines;
- visible from scenic routes and valuable scenic and environmental areas; and
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - commercial forestry
 - farming
 - horticulture (other than the growing of olives)
 - intensive animal keeping
 - tourist accommodation (including through the diversification of existing farming activities and conversion of farm buildings)
 - wind farm and ancillary development
 - wind monitoring mast and ancillary development.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.
- 4 Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
 - (a) it has a direct relationship with primary production
 - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
 - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
 - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
 - (e) the use would be inappropriate within a township
 - (f) the capacity of the infrastructure, including roads, is capable of supporting the use without detriment to existing users.
- 5 A dwelling should only be developed if:
 - (a) there is a demonstrated connection with farming or other primary production
 - (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the zone
 - (c) it is located more than 500 metres from an existing intensive animal keeping operation, or other noise or odour generating activity, unless used in association with that activity

- (d) the allotment is at least 40 hectares in area
 - (e) it does not result in more than one dwelling per allotment.
- 6 Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and/or shared parking.
- 7 A shop should be:
- (a) ancillary to primary production or processing uses, or tourist accommodation or other tourist development
 - (b) located on the same site as the primary use.
- 8 On site water storage should meet one of the following minimum water tank size requirements:
- (a) 60 000 litres in areas where no reticulated water supply is available
 - (b) 22 000 litres in areas where there is a reticulated supply available.

Form and Character

- 9 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 10 Development should not occur within 500 metres of a National Park, Conservation Park, Wilderness Protection Area or significant stands of native vegetation if it will increase the potential for, or result in, the spread of pest plants.
- 11 Development should provide an access way of at least 3 metres wide that provides access for emergency vehicles to the rear of the allotment.
- 12 Buildings should primarily be limited to farm buildings, a detached dwelling associated with primary production on the allotment and residential outbuildings that are:
- (a) grouped together on the allotment and set back from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads
 - (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.

Land Division

- 13 Land division, including boundary realignments, should only occur where it achieves one of the following:
- (a) it will promote economically productive, efficient and sustainable primary production and not create any allotment less than 100 hectares in area
 - (b) the land division is for the creation of an allotment for an existing industrial use.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Caravan park	
Community centre	
Consulting room	
Dwelling	Except for a detached dwelling where each of the following are achieved: <ul style="list-style-type: none"> (a) it is located on an allotment measuring at least 40 hectares in area (b) it will not result in more than one dwelling on an allotment (c) is not within 500 metres of an existing or approved intensive animal keeping development in the form of a poultry shed, piggery or cattle feedlot unless it is directly related to the on-site management of an approved or existing intensive animal keeping use on the allotment.
Educational establishment	
Fuel depot	
Horticulture involving the growing of olives	Except where the location for the growing of olives achieves (a) and (b): <ul style="list-style-type: none"> (a) at least 500 metres from all of the following: <ul style="list-style-type: none"> (i) a National Park (ii) a Conservation Park (iii) a Wilderness Protection Area (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area (b) 50 metres from the edge of a substantially intact stratum of native vegetation 5 hectares or less in area.
Hospital	
Hotel	

Form of Development	Exceptions
Indoor recreation centre	
Land division	Except where either (a) or (b) is satisfied: (a) the land division: (i) it is for the purpose of rationalising a farm holding and is to be used for rural purposes resulting in the more efficient and productive use of the land (ii) is undertaken for the express intention of promoting the development of land for primary production (iii) creates allotments all of which are at least 100 hectares in area (b) the land division is for the creation of the allotment for an existing industrial use.
Motel	
Motor repair station	
Nursing home	
Office	Except where ancillary to and in association with primary production, aquaculture or tourism development.
Petrol filling station	
Place of worship	
Pre-school	
Primary school	
Residential flat building	
Service trade premises	
Shop or group of shops	Except where it achieves both of the following: (a) it is ancillary to and in association with primary production or tourism development (b) the gross leasable area is less than 40 square metres.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Aquaculture	Tourist accommodation
Commercial forestry	Water desalination plant
Horticulture (other than the growing of olives)	<p>Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:</p> <ul style="list-style-type: none"> (a) an existing dwelling or tourist accommodation that is not associated with the wind farm (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan). <p style="text-align: right;">Wind monitoring mast and ancillary development.</p>

Residential Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A residential zone comprising a range of dwelling types, including a minimum of 15 per cent affordable housing.
- 2 Increased dwelling densities in close proximity to centres and public open spaces.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will provide pleasant, safe and convenient living environments for residents together with an appropriate range of recreation, education, community and aged care facilities.

Residential development has traditionally been developed at low densities on generally large allotments, comprising in the main single storey detached dwellings. This trend is expected to continue but there will be pressure to increase the density of development recognizing a need for more compact allotments to meet the demands of the ageing population.

The character of development in the zone varies greatly from streetscapes dominated by turn of the 19th century villas and miners' cottages in the towns of Kadina, Wallaroo and Moonta to more recent contemporary development in North Beach, Moonta Bay and Port Hughes.

New development in established residential areas will complement the scale, bulk and siting of existing dwellings where a distinctive and attractive streetscape character exists. This will require that new development has regard to elements such as siting, mass and proportion, building materials, ground floor height above natural ground level, roof form and pitch, facade articulation and detailing, verandas, eaves and parapets, fence styles and alignment, and landscaping.

Infill development at higher density will occur throughout the zone but will conform to existing character by maintaining street and side setbacks, and building form and scale evident within the locality. Buildings fronting a public road will address the street by providing a legible entry to the street, use of windows, verandas and other features, rather than presenting side walls or blank walls to the street frontage.

Properties that have dual frontages to a road and the coast or open space will address both of these frontages. This will require consideration being given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not appear as a 'back yard') and incorporation of garaging into the dwelling design rather than as freestanding structures.

However, dwellings up to four storeys in height, including undercroft vehicle parking, may be appropriate in locations along esplanades and coastal foreshore areas where their height does not unduly impact upon the amenity of neighbours.

Access and egress points into land shown on [Concept Plan Map CoCo/12 - Residential Schilling Street \(Kadina\)](#) will be located to maximise road safety and efficiency. Road intersection upgrades including but not limited to Frances Terrace, Copper Coast Highway, Bute Road / Graves Street and Cornwall Street may be necessary to support development within this area of the zone.

Provision will be made for stormwater disposal through the Incitec Pivot land to the Council systems in Heritage Drive.

Garages throughout the zone will be sited and be of a scale to ensure that they do not dominate the dwelling or the streetscape to which they relate.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development.

Land division within the zone will provide public road links to adjoining undeveloped land where necessary, and for this purpose community title division of land will not be appropriate where public road links are preferred. Access roads (existing and proposed) servicing residential development will be capable of accommodating the type and volume of traffic likely to be generated by the development.

Where land division for larger estates is planned, the proposed scheme must be accompanied by an overall plan showing existing and proposed land use distribution and how the new development will be integrated with the surrounding existing and future development. Allotments will be limited to one street frontage where cul-de sac configurations are involved.

Landscaping will be implemented along road frontages and site boundaries to minimise the impact from adjoining uses on the proposed area to be divided and vice versa.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - affordable housing
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - land division
 - small scale non-residential use that serves the local community, for example:
 - child care facility
 - open space
 - primary and secondary school
 - recreation area
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.
- 4 Non-residential development should be of a nature and scale that:
 - (a) serves the local community
 - (b) is consistent with the character of the locality
 - (c) does not detrimentally impact on the amenity of nearby residents.
- 5 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.

- 7 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/12 - Residential Schilling Street \(Kadina\)](#).
- 8 Development of land shown on [Concept Plan Map CoCo/5 - Residential Athena Drive \(Wallaroo\)](#) should be:
- carried out in accordance with the concepts outlined
 - limited to a total of 120 residential allotments until work on the intersection of Athena Drive and Kadina Road, has been completed or an alternative road access point to Kadina Road has been constructed.
- 9 Development of land shown on [Concept Plan Map CoCo/6 - Residential Agery Road \(Kadina\)](#) and [Concept Plan Map CoCo/7 - Residential North Beach \(Wallaroo\)](#) should be carried out in accordance with the concepts outlined.
- 10 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 33 per cent of the allotment or building site frontage width, whichever is the lesser distance.
- 11 The area of the upper floor levels of a two or more storey building should not be greater than 75 per cent of the ground floor area, nor have a width more than 80 per cent of the ground floor width.
- 12 Except where otherwise specified in a specific policy area or precinct, dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres –for single storey; or the average setback of any existing dwellings on either of the two adjoining sites having frontage to the same primary street. 8 metres for two storeys. Dwellings exceeding two storeys in height shall be set-back a distance equivalent to the finished building height of the building.
Minimum setback from secondary road frontage	3 metres
Minimum setback from side boundaries	1 metre for single storey 1.2 metres for two storeys
Minimum setback from rear boundary	4 metres
Maximum site coverage	60 per cent (including all freestanding outbuildings)
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser)

- 13 On site water storage should meet the following minimum water tank size requirements, (a) or (b):
- 60 000 litres where there is no reticulated water supply available
 - in areas where there is a reticulated water supply available:
 - 5000 litres on allotments less than 450 square metres in area
 - 10 000 litres on allotments with an area of 450 square metres to 649 square metres
 - 22 000 litres on allotments with an area of 650 square metres or greater.

- 14 Except where different parameters are specified in a specific policy area or precinct, sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Maximum floor area:	
(a) within Wallaroo Marina Policy Area 8 or Wallaroo Shores Policy Area 14	40 square metres.
(b) elsewhere within the zone	75 square metres or 10 per cent of the site area (whichever is the lesser).
Maximum building height (from natural ground level)	4 metres.
Maximum wall height (from natural ground level)	3.5 metres.
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and the maximum height of that wall is 3.5 metres).
Minimum setback from a public road or public open space area	6 metres or 0.5 metres behind the main façade of the dwelling with which it is associated, whichever is the greater.
Maximum width of garages and carports facing the street (other than an access lane way)	6 metres or 33 per cent of the allotment (or building site) frontage width, whichever is the lesser distance.

- 15 Except where different parameters are specified in a specific policy area or precinct, a dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

All Dwelling types	Minimum site area (square metres)	Minimum frontage (metres)
Where not connected to a community waste water management system	1200	15
Where connected to a community waste water management system	450	15

Affordable Housing

- 16 Development should include a minimum 15 per cent of residential dwellings for affordable housing.
- 17 Affordable housing should be distributed throughout the zone to avoid over-concentration of similar types of housing in a particular area.

Land Division

- 18 Unless for the purpose of dividing an existing or approved dwelling development, land division should not create an allotment with an area less than 450 square metres, or less than 1200 square metres where not connected to a community wastewater management system.
- 19 Not more than 15 per cent of the total number of new residential allotments created would obtain access from a cul-de-sac in order to promote connectivity.
- 20 Residential allotments should be limited to one street frontage other than a corner allotment which may have both a primary and secondary street frontage.

Golf Course Policy Area 6

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area primarily accommodating a range of residential development, tourist related accommodation and associated facilities and recreational facilities in association with a golf course.
- 2 Medium density housing adjacent to open space areas and tourist accommodation facilities.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area seeks to provide a residential living environment as an extension to the Port Hughes township, yet characterised by a links golf course within a coastal and broadacre farm setting.

The links golf course will complement its natural surroundings by establishing a landscaped environment consistent with the coastal dune area throughout the course and the revegetation of key areas of the site having a backdrop to vegetated dunes to the west.

The land sits between extensive coastal foredunes and land given over to broadacre farming. Appropriate buffers and design of subdivision and development generally needs to have regard to the impacts of and on these adjoining uses.

Protection of the coastal dunes from uncontrolled public access will be a paramount consideration.

The policy area will accommodate a range of housing styles and densities that meet the diverse needs of the community and, accordingly, site areas for dwellings will vary. Higher density residential development and tourist accommodation is appropriate in those locations identified in [Concept Plan Map CoCo/8 - Residential Golf Course \(Port Hughes\)](#) and adjoining the golf course, especially the former where it has frontage to the golf course and public open spaces.

Properties that have dual frontages to a road and the golf course or open space will address both of these frontages. This will require that garaging be incorporated into the dwelling design, consideration be given to service areas for clothes drying, and ensuring that the building addresses the street, for example through having a legible entry from the street and through the use of windows, verandas and other features so that the street frontage does not look like the back of the building. Garages should be sited and be of a scale to ensure that they do not dominate the dwelling or the streetscape to which they relate.

Development will take cues from the surrounding natural environment through the choice of materials and colours, and principally utilise natural muted colours. Buildings will be designed harmoniously with the topography to minimise the need for excavation and fill.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development.

The policy area will be developed in an orderly and economic manner in three main stages. The first stage of development will include the golf course and associated ancillary buildings, together with the residential area directly adjacent the township of Port Hughes. The subsequent stages will provide for a logical extension of the residential development, inclusive of the provision of all associated service infrastructure.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - dwelling
 - golf course and clubhouse
 - hotel
 - motel
 - serviced apartments
 - supported accommodation
 - tourist accommodation.
- 2 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/8 - Residential Golf Course \(Port Hughes\)](#).

- 3 Development should be undertaken in three stages as outlined in the following table:

Stage	Extent of Staged Development
Stage 1	Including the golf course, associated buildings and 250 residential allotments in the area closest to Port Hughes Township
Stage 2	Approximately 520 residential allotments around the golf course in the area immediately south of Archer Road;
Stage 3	Approximately 780 residential allotments in the southern section of the site adjacent to the Council boundary.

- 4 Prior to development of Stage 2, Retallick Road should be formed with approved sub-base and levelled to Council's specification to allow its use as an alternative traffic access to the development.
- 5 Prior to the development of Stage 3, Retallick Road should be sealed and line-marked to the Council's specification.
- 6 Hotels, motels, serviced apartments, golf clubhouse, small-scale consulting and retail facilities, tourist accommodation, restaurant and conference/convention facilities should be developed in association with and integral to the golf course resort shown on [Concept Plan Map CoCo/8 - Residential Golf Course \(Port Hughes\)](#).
- 7 Medium and high density residential development should only be undertaken in areas adjacent to tourist accommodation facilities, public open spaces and where fronting the golf course.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 9 Development should have the following characteristics:
 - (a) make use of materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural setting of the site
 - (b) incorporate veranda and pergola treatments so as to reduce the impact of vertical external walls
 - (c) incorporate interesting roof forms including skillion, mono pitched and curved metal deck roofs
 - (d) landscaping that provides for effective separation and screening of development within the zone from adjoining residential and natural areas or farmland.

(e) promote a design and siting that preserves public access to the coast and coastal reserve.

10 Development adjacent to the **Coastal Conservation Zone** should:

- (a) excluding public roads and infrastructure, be setback a minimum of 8 metres from the boundary of the **Coastal Conservation Zone**
- (b) have surfaces which are of a low light-reflective nature
- (c) be of neutral colours so as to be unobtrusive and blend with the natural background of the building
- (d) maintain the ability to access the public beach areas through well placed pedestrian links and appropriate public parking facilities
- (e) utilise building materials suitable for use in the coastal environment.

11 Residential development (excluding outbuildings) should be designed within the following parameters:

Parameter	Value / Requirements
Minimum setback from primary road frontage	5 metres, except minor protrusions such as open-sided porches, porticos and verandas where: <ul style="list-style-type: none"> (a) they are located at ground level (b) the width of the protrusion does not exceed 40 per cent of the overall width of the frontage of the dwelling (c) the protrusion extends no more than 2 metres forward of the principal facade of the dwelling (d) the protrusion is open on three sides, where the combined area of solid walling, pillars, balustrades and the like (but not including transparent balustrades) is not more than 40 per cent of the combined area of those three open sides, which can be 3 metres from the street, or not more than 2 metres in front of main building facade, whichever is the greater distance from the road frontage.
Minimum setback from side boundaries	0.9 metres
Minimum setback from rear boundary	0.9 metres - single storey where rear boundary fronts onto open space 4 metres - single storey where rear boundary fronts onto any other use 4 metres - two storey
Maximum site coverage	35 per cent
Minimum area of private open space	20 square metres per bedroom or room capable of being used as such space

12 Fences should:

- (a) not be permitted forward of the front face of the dwelling
- (b) other than fences along frontages to the golf course and to reserves, side and rear boundary fencing, have a minimum height of 1.8 metres and a maximum height of 2 metres
- (c) be constructed from stone, timber, masonry or Colorbond (or similar product) 'good neighbour' fencing in the colour 'Harvest' or equivalent
- (d) along frontages to the golf course and to reserves, be 1.5 metre high matt black vertical metal bars.

- 13 The area of an allotment between the dwelling and the street frontage (primary and secondary frontages) should be landscaped in accordance with an overall landscaping plan and be implemented within 6 months after the certificate of compliance has been issued.
- 14 The maximum building height for tourist, resort, clubhouse or commercial development should not exceed 15 metres above natural ground level.
- 15 The minimum site and floor levels for all development located on land including associated roads and parking areas shall be in accordance with those outlined in the following table:

Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)
2.6	2.85

Land Division

- 16 Access roads and driveways should adopt a curvilinear rather than a straight alignment and follow the contours of the land.
- 17 Where residential allotments directly adjoin the golf course, the layout of roads and allotments should encourage dwellings to front onto the golf course.

Low Density Policy Area 7

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A low density residential policy area primarily for detached dwellings on large allotments.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area seeks to provide a low density residential living environment. The policy area will primarily accommodate detached dwellings on large allotments. Dwellings will have generous setbacks from roads.

Environmentally sustainable development practices (including the installation of rainwater tanks, solar systems, and building orientation and design) should reflect in the presentation of development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling
 - domestic outbuilding
 - domestic structure.
- 2 Non-domestic animals should not be kept within the policy area, except as outlined in the following table:

Type of non-domestic animal	Numbers per allotment
Sheep	2
Goats	2
Poultry	20

- 3 Non-residential land uses should not be undertaken if the predominant living conditions and residential amenity of the area are prejudiced.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Buildings, including the alteration or replacement of existing buildings, should have the following characteristics:
 - (a) make use of natural materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural setting of the site
 - (b) incorporate veranda and pergola treatments so as to reduce the impact of vertical external walls.

6 Residential development should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	10 metres
Minimum setback from secondary road frontage	10 metres
Minimum setback from side boundaries	1.5 metres
Minimum setback from rear boundary	6 metres
Maximum site coverage	35 per cent
Maximum building height (from natural ground level) (excluding outbuildings)	Two storeys or 9 metres (whichever is the lesser).
Minimum area of private open space	30 square metres per bedroom or room capable of being used as such.

7 All dwelling types should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Minimum site area (square metres)	Minimum frontage (metres)
1800	30

Land Division

8 Land division should create allotments with an area of at least 1800 square metres with a frontage to a public road of at least 30 metres

Wallaroo Marina Policy Area 8

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area primarily accommodating detached dwellings on individual allotments.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The Wallaroo Marina is a key development within the township of Wallaroo. It provides a high quality waterfront residential environment developed around the marina facilities.

The policy area will primarily accommodate a mix of detached and semi-detached dwellings on large allotments, with a limited number of semi detached dwellings. Dwellings will have generous set backs from the road, be well landscaped and minimise the amount of land required to accommodate driveways. Many of the allotments within the zone are subject to a Land Management Agreement, and development will comply with the additional design requirements in this document. Care must be taken to ensure that the development of garages and outbuildings do not dominate the streetscape. The practice of locating garages forward of the building line, or multiple garages for other than detached dwellings is discouraged and will not be undertaken, notwithstanding random existing examples in the zone.

The character of buildings will reflect a contemporary design with a strong emphasis on ensuring visual interest in the building form. Buildings, particularly two storey development, will be highly articulated and will generally be setback further from the street than single storey buildings.

Properties that have dual frontages to a road and the marina or open space will address both of these frontages. This will require that consideration be given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not look like the back of the building) and incorporation of garaging into the dwelling design.

Landscaping and fencing is a particular feature of development in the marina. Fencing will not project forward of the dwelling (to the street) and landscaping will be established for all development with lawn being carried through to the road pavement.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development.

Within Precinct 19 Marina

The precinct adjoins the marina basin and it is envisaged that high quality dwellings presenting an attractive built form as the back drop to the marina and associated public pathways and open space will be provided.

The precinct comprises four areas as shown on [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#), namely;

- **Area 1 Marina Basin Medium Density**
- **Area 2 Marina Basin Living West**
- **Area 3 Marina Basin Living South**
- **Area 4 Marina Basin Living East.**

The allotments within these areas have been established generally at higher densities than the balance of allotments within the policy area. Development envisaged on these allotments are generally detached dwellings designed and sited to complement the sloping sites.

The land within **Area 2 Marina Basin Living West**, **Area 3 Marina Basin Living South** and **Area 4 Marina Basin Living East** has been contoured to minimise impact on the residential amenity of the existing houses located on Lady MacDonald Drive and Barbican Close to the rear. It is envisaged that dwellings constructed on this land will address the front public road, presenting an interesting building façade with verandas and/or balconies, and low scale and attractive landscaping to the street. Garaging for dwellings may incorporate an undercroft design. In addition, it is envisaged that the dwellings will be designed with a high degree of articulation utilising the slope of the land with varied side boundary setbacks and separation between buildings to allow vistas of the marina and ocean from the public reserve and dwellings located on Lady MacDonald Drive and Barbican Close, it is envisaged that the dwellings will be designed with a high degree of articulation utilising the slope of the land with varied side boundary setbacks and separation between buildings.

Development within **Area 1 Marina Basin Medium Density** is envisaged to incorporate two storey dwellings, with an integrated medium density development of a minimum four levels of accommodation considered appropriate on the three allotments that form the 'corner landmark site' as depicted on [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#). It is envisaged that new dwellings will address both the marina basin and the primary road (Inverness Way) frontage.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling
 - medium density housing within **Area 1 Marina Basin Medium Density** shown on [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#)
 - semi-detached dwelling in limited circumstances.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#).
- 4 Dwellings that abut or overlook the water or public open space should be designed so that living areas face onto those waterways or open spaces, with the rear of such dwellings that abut a public road being designed to preserve and enhance the character and amenity of the streetscape.
- 5 Buildings should incorporate and exhibit the following characteristics:
 - (a) a low profile design with roof lines and floor plans that complement the form of the land
 - (b) a building form that is highly articulated with modulation in roof form, stepped facades, entry porches, verandas and balconies and a variation in building materials so as to provide vertical subdivision and visual interest in the marina and streetscape presentation
 - (c) a design that contains the roof space and mezzanine floors within the building envelope in order to reduce the vertical profile of buildings
 - (d) variations in wall and roof lines and the use of large eaves, verandas and pergolas to create shadowed areas (particularly for the east and west facing walls) and to minimise the mass of buildings
 - (e) building materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural setting of the site

- (f) external walls of masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated iron, cement or clay tiles, slate or shingles.
- 6 Other than medium-density development sites, ten per cent of the allotments within the policy area may be developed with semi-detached dwellings. On the remaining 90 per cent of allotments, one dwelling only should be erected on each allotment.
- 7 Other than within **Precinct 19 Marina**, no dwelling, outbuilding, structure or septic tank should be erected or sited within 8 metres from the outer edge of the retaining wall forming the edge of the marina basin, other than in the case of a medium-density development where the setback may be 6 metres.
- 8 Except where otherwise specified in a specific area, dwellings should be designed within the following parameters:

Parameter	Value/Requirement
Minimum setback from primary road frontage	6 metres for single storey 8 metres for any two storey component of a building
Minimum setback from side boundaries	1 metre for single storey 1.5 metres for any two storey component of a building
Minimum setback from rear boundary	6 metres
Maximum site coverage	35 per cent
Maximum building height from natural ground level (except where located within Precinct 19 Marina)	Two storeys or 9 metres. (whichever is the lesser)
Minimum area of private open space	30 square metres per bedroom
Fencing material on waterway	Should be of a see-through nature of baked tubular or timber paling in cream colour only to a maximum of 1.2 metres in height.
Fencing material on side boundary for allotments fronting waterway	Should be: (a) constructed in timber paling, masonry, brush baked tubular or double-sided Colorbond or similar product (in cream colour only and of 'good neighbour' type) and should not be less than 1.8 metres in height (b) erected to a minimum height of 1.8 metres to be tapered down to a maximum height of 1.2 metres at the edge of the waterway 8 metres from the waterway, or in the case of a medium density development, 4 metres from the waterway.
Fencing material where an allotment has a frontage to a road only	Front fence should be of a see-through nature of baked tubular or timber paling in cream colour only. Side fencing should taper from 1.8 metres in height at 5 metres from the road to a maximum of 1.2 metres in height at the road alignment and shall be cream Colorbond or similar product and of the 'good neighbour' type.

- 9 A dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling type	Minimum site area (square metres)	Minimum frontage (metres)
All dwelling types - (other than for an approved and constructed development)	700 (excluding that area that may extend into the waterway)	15
Within Precinct 19 Marina –		
Area 1	300	12
Areas 2 & 4	400	12.5
Area 3	550	10.5

- 10 Only one driveway should be constructed per dwelling site and have a:
- hard paved surface comprising either concrete, concrete block or clay brick
 - minimum width of 3 metres
 - width not greater than 5.5 metres at the point of the road boundary.
- 11 Carports, garages and other outbuildings should:
- be limited to one such building per allotment
 - be no greater than 40 square metres in area
 - be architecturally compatible and integrated with the associated dwelling
 - be sited unobtrusively and, where the dwelling does not front the waterway, be located at the rear of that dwelling
 - have external walls composed of either rendered concrete, clay bricks, brick veneer or a composite construction of such materials
 - in the case of a carport or veranda, have supports of timber, steel, rendered concrete or brick construction that complement the materials and colour schemes used for the dwelling
 - not exceed a maximum wall height of 3.5 metres.
- 12 Where an allotment does not have a frontage to the marina, an outbuilding should only be constructed with pre-coated steel material provided it is cream coloured.
- 13 Pontoons or jetties associated with an allotment should be designed to accommodate the safe and secure mooring of a single boat and should not project beyond the boundary of that allotment.
- 14 Stormwater should not be discharged directly into the marina basin.
- 15 The minimum site and floor levels for all development located on land including associated roads and parking areas shall be in accordance with those outlined in the following table:

Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)
2.75	3

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 19 Marina

- 16 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 17 Dwellings should be designed to utilise the slope of the land and be developed by the cutting of the allotment in preference to filling.
- 18 There should be no fences along the road frontage.
- 19 External walls that are exposed to the marina, the street or an adjoining property should primarily comprise of glazing on those facades facing the marina, with other walls consisting primarily of masonry which is either bagged or rendered. Secondary materials may be used for accent purposes.
- 20 Development should occur in accordance with [Concept Plan Map CoCo/9 – Marina \(Wallaroo\)](#) and in particular:
- (a) within **Area 1 Marina Basin Medium Density**:
- (i) dwellings and other buildings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage -	4 metres 5.5 metres - in the case of a garage or where main façade of building is set back more than 5 metres from primary road frontage, garage should be set back at least 0.5 metres behind main façade of building
Maximum setback from the marina basin frontage	1 metre
Preferred building height (from natural ground level excluding the corner landmark site as shown on Concept Plan Map CoCo/9 - Marina (Wallaroo))	Two storeys or 9 metres (whichever is the lesser)
Minimum building height (from natural ground level within the corner landmark site as shown on Concept Plan Map CoCo/9 - Marina (Wallaroo)).	Four storeys or 12 metres (whichever is the lesser)

- (ii) any development should not have a floor level below 3 metres AHD, except for the landmark site depicted on [Concept Plan Map CoCo/9 - Marina \(Wallaroo\)](#), where any undercroft parking level should not be less than 2.75 metres AHD
- (iii) no freestanding outbuilding should be erected on any allotment.

(b) within **Area 2 Marina Basin Living West**, dwellings and other buildings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage -	5 metres. 5.5 metres - in the case of a garage or where main façade of building is set back more than 5 metres from primary road frontage, garage should be set back at least 0.5 metres behind main façade of building.
Minimum setback from secondary road frontage	2 metres.
Minimum setback from side boundaries	0 metres in circumstances of (a) or (b): <ul style="list-style-type: none"> (a) a garage side wall (b) the common wall of joined semi-detached dwellings. 1 metre in all other cases.
Minimum setback from rear boundary	4 metres.
Building height (from natural ground level)	Not greater than 15.1 metres Australian Height Datum.

(c) within **Area 3 Marina Basin Living South**, dwellings and other buildings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage -	5 metres. 5.5 metres - in the case of a garage or where main façade of building is set back more than 5 metres from primary road frontage, garage should be set back at least 0.5 metres behind main façade of building.
Minimum setback from secondary road frontage	2 metres.
Minimum setback from side boundaries	0 metres in circumstances of (a) or (b): <ul style="list-style-type: none"> (a) a garage side wall (b) the common wall of joined semi-detached dwellings 1 metre in all other cases
Minimum setback from rear boundary (except corner sites)	6 metres.
Preferred building height (from natural ground level)	Not greater than 15.1 metres Australian Height Datum.

(c) within **Area 4 Marina Basin Living East**, dwellings and other buildings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage -	5 metres. 5.5 metres - in the case of a garage or where main façade of building is set back more than 5 metres from primary road frontage, garage should be set back at least 0.5 metres behind main façade of building.
Minimum setback from secondary road frontage	2 metres.
Minimum setback from side boundaries	0 metres in circumstances of (a) or (b): <ul style="list-style-type: none"> (a) a garage side wall (b) the common wall of joined semi-detached dwellings. 1 metre in all other cases.
Minimum setback from rear boundary	4 metres.
Preferred building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser).

Wallaroo Shores Policy Area 14

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating a range of dwelling types of low and medium density.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area is an infill site, formerly occupied by the Incitec Pivot fertilizer works as well as historically by a smelting facility. The land provides an opportunity for a master planned residential development that provides variety in allotment size and dwelling type in close proximity to the Marina and the Wallaroo Town centre. Development in this area will have to have regard to its location adjacent to the State Heritage-listed Wallaroo Smelter Site and will provide a transition in allotments from a very low-scale of development to the south and east to the higher density development in the marina. This will be achieved by establishing larger allotments with street frontages in the order of 20 metres along the frontages of Emu Street, Charles Terrace, Jones Street and Heritage Drive. Development will front these streets and will not exceed two storeys in height.

Development within the policy area will need to respond to and address site contamination from its previous use for industrial purposes. Development will therefore occur in accordance with the recommendations and limitations of an accredited site contamination Auditor.

Site contamination audits undertaken for the site have identified a need for medium density development (and some commercial) over a large portion of the policy area comprising **Precinct 24 Wallaroo Shores Medium Density**. Development within **Precinct 24 Wallaroo Shores Medium Density** that is proposed to have 'direct soil access' will require further measures to be considered suitable and safe for this purpose and will occur on a precautionary basis only when verified by an authorised site contamination Auditor.

The subdivision layout and subsequent development will:

- (a) create attractive, well landscaped, legible and liveable environments
- (b) convey a sense of place to residents and visitors
- (c) establish movement networks for vehicular, pedestrian and bicycle traffic
- (d) adopt passive energy and water conservation principles
- (e) be based on a modified grid pattern to ensure good interconnectivity.

The subdivision layout also needs to underpin the movement networks for vehicular, pedestrian and bicycle traffic by:

- (a) connecting key areas
- (b) establishing links with open space, the Wallaroo Town Centre, the Marina and Foreshore precincts, pedestrian and bicycle paths, and to services and facilities
- (c) ensuring bicycle/pedestrian pathways are designed and landscaped so as to be easily identifiable, accessible and safe
- (d) minimising potential conflict between vehicular traffic and bicycle/pedestrian pathways.

The character of buildings will reflect a contemporary design with a strong emphasis on ensuring visual interest in the building form. This will be established through appropriate design, including interesting roof forms such as high pitches and parapets, high ceilings, building articulation, recessed vehicle garaging, and appropriate landscaping. Third and fourth storey components of development will be set back further from allotment boundaries. The siting and design of buildings also needs to promote cohesive streetscapes whilst allowing for variety in housing form and style. This can be achieved through attention to scale and bulk of buildings relative to one another in addition to allotment size and the way in which the buildings address the street frontage.

While front fencing and landscaping (or a combination of these elements) will provide delineation between public and private spaces, the inclusion of front verandahs and low front fencing will also be encouraged to promote street interaction and activity, to provide for a safe environment through passive surveillance and achieve thermal efficiency.

The use of iconic built form and scale will be considered to emphasize major arrival focus points, accentuate key corners and terminate vistas. Vistas will be maintained through to the coast where possible.

The policy area will be substantially landscaped both within the private and public realm to achieve a leafy garden village feel. Limit to soil access will not prevent the implementation of raised planter boxes or garden beds. High quality street trees are to be implemented throughout the zone with longer hand over period required to ensure good health. The implementation of water sensitive design principles will be an important factor within this landscaping.

Provision will be made for stormwater disposal through the policy area to the Council systems in Heritage Drive incorporating water sensitive urban design principles. Existing overland flows which enter the policy area from adjoining lands will be accommodated within this stormwater management system.

Precinct 24 Wallaroo Shores Medium Density

The precinct will comprise a range of dwelling types at a medium to high density. Development of up to four storeys will only occur where adequate on site and on street parking is provided and adverse impacts on neighbouring development is minimised. Greater site coverage is acceptable however open space in the form of internal courtyards and over sized decking is encouraged.

Integration of non-residential small scale activities such as shops, offices, consulting rooms and tourist accommodation will be encouraged within mixed use, multi-storey buildings within 50 metres of the **Town Centre Zone** boundary. Such activities should be at ground level and integrated with residential development. Such activities will be sympathetic to adjoining residential uses in terms of their size while also ensuring that potential negative impacts such as noise, traffic movements and hours of operation are appropriately addressed.

Visitor parking for group dwellings and residential flats may be reduced where a surplus of on-street car parks can be demonstrated or where shared car parking is provided or where car parking available to the public is located within a short walk of the subject development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

1 The following forms of development are envisaged in the zone:

- affordable housing
- domestic outbuilding in association with a dwelling
- domestic structure
- dwelling
- dwelling addition
- residential flat building
- retirement village
- supported accommodation.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/4 - Residential Jones Street \(Wallaroo\)](#).
- 4 Buildings should incorporate and exhibit the following characteristics:
 - (a) a building form that is highly articulated with modulation in roof form, stepped facades, entry porches, verandas and balconies and a variation in building materials so as to provide vertical subdivision and visual interest in the streetscape presentation and wherever viewed from public vantage points, especially facades facing the former smelter site park
 - (b) variation in wall and roof lines and the use of large eaves, verandas and pergolas to minimise the mass of buildings
 - (c) building materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural setting of the site
 - (d) external walls of masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated iron, cement or clay tiles, slate or shingles.
- 5 Only one driveway should be constructed per dwelling site and have a:
 - (a) hard paved surface comprising either concrete, concrete block or clay brick
 - (b) minimum width of 3 metres
 - (c) width not greater than 5.5 metres at the point of the road boundary.
- 6 Landscaping should:
 - (a) be provided and maintained in good health and order in all areas between the front building alignment and the street property boundary
 - (b) where relevant, be established in accordance with the recommendations and limitations of an accredited site contamination Auditor.
- 7 Except where otherwise specified in a specific precinct, residential development (excluding outbuildings) should be designed within the following parameters:

Parameter	Value / Requirements
Minimum setback from primary road frontage	<p>5 metres, except for minor protrusions such as open-sided porches, porticos and verandas where:</p> <ol style="list-style-type: none"> (a) they are located at ground level (b) the width of the protrusion does not exceed 40 per cent of the overall width of the frontage of the dwelling (c) the protrusion extends no more than 2 metres forward of the principal facade of the dwelling (d) the protrusion is open on three sides, where the combined area of solid walling, pillars, balustrades and the like (but not including transparent balustrades) is not more than 40 per cent of the combined area of those three open sides. <p>3 metres from the street, or not more than 2 metres in front of main building facade, (whichever is the greater distance) for protrusions meeting the above requirements.</p>

Parameter	Value / Requirements
Minimum setback from secondary road frontage	3 metres
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser) where located along Heritage Drive, Jones Street or Charles Terrace. Three storeys elsewhere within the policy area.

- 8 Development abutting secondary streets or reserves will address these frontages and utilise articulation within such facades.
- 9 Development fronting rear laneways should be single storey in height with above ground private open space being acceptable.
- 10 Carports, garages and other outbuildings serving individual dwellings should:
- (a) be limited to one such building per allotment
 - (b) be no greater than 40 square metres in area
 - (c) be architecturally compatible and integrated with the associated dwelling
 - (d) have external walls composed of either rendered concrete, clay bricks, brick veneer or a composite construction of such materials
 - (e) in case of a carport or veranda, have supports of timber, steel, rendered concrete or brick construction that complement the materials and colour schemes used for the dwelling
 - (f) not exceed a maximum wall height of 3.5 metres.
- 11 Access to garages should be provided via rear lanes or side streets where possible.
- 12 Except where otherwise specified in a specific precinct, garages and carports should be integrated with the design of the dwelling and designed within the following parameters:

Parameter	Value / Requirements
Minimum setback from rear laneway	Nil metres (where the laneway is at least 6 metres in width)
Maximum opening height from rear laneway	2.7 metres
Maximum width (other than an access laneway)	7 metres or 50 per cent of the allotment or building site frontage width (whichever is the lesser distance)
Maximum width (from rear laneway)	6 metres or 80 per cent of the width of the site (whichever is the lesser distance)

- 13 Fencing and garages along rear laneways will provide for:
- (a) an unobstructed area of not less than 0.5 metres deep by 1.2 metres wide for the placement of bins on days of rubbish collection
 - (b) an interesting design of various finishes and parapet heights
 - (c) landscaping to the rear wall of protrusions required by (a) above.

- 14 The width of rear lanes should provide for the safe passing of two vehicles (one of which will be considered to be a waste collection vehicle in operation). Adequate turning provision should be available out of and into garaging for large vehicles.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 24 Wallaroo Shores Medium Density

- 15 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 16 Development within 50 metres of the Hughes Chimney Stack should be sited and designed to respond to any identified risk associated with the structural integrity of the Hughes Chimney Stack whilst being sympathetic to the adjoining State Heritage Place.
- 17 Three to four storey components of buildings should be set back from rear and side boundaries a distance that would minimise adverse impacts on neighbouring development, such as overshadowing and overlooking.
- 18 Dwellings sited on side boundaries should be designed to minimise impacts on the amenity of adjoining land. When located on a side boundary (excluding secondary streets or reserves), the dwellings' walls should have no openings and achieve at least one of the following:
- (a) be immediately abutting the wall of an existing or simultaneously constructed building on the adjoining land to the same or lesser length and height
 - (b) where a building envelope plan exists for the adjoining land that proposes a wall on the side boundary, be constructed to the same or lesser length and height as provided for by that plan
 - (c) be located to maintain pedestrian access to the rear of the site along one side of the dwelling, unless one of the following is achieved:
 - (i) access is provided directly via a carport or garage and avoids the need to enter other parts of a dwelling
 - (ii) an acceptable alternative method of gaining access to the rear of a dwelling is provided, including a rear access.
- 19 Residential development should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	3 metres for two storey development except minor protrusions such as open-sided porches, porticos, verandas and balconies where: <ul style="list-style-type: none"> (a) the width of the protrusion does not exceed 40 per cent of the overall width of the frontage of the dwelling (b) the protrusion extends no more than 2 metres forward of the principal facade of the dwelling (c) the protrusion is open on three sides, where the combined area of solid walling, pillars, balustrades and the like (but not including transparent balustrades) is not more than 40 per cent of the combined area of those three open sides.

Parameter	Value
Minimum setback from secondary road frontage	1.5 metres
Minimum setback from side boundaries	Nil metres
Minimum setback from rear boundary (not being a rear laneway)	3 metres 10 metres where abutting the Historic Mining Zone
Maximum site coverage	90 per cent (including all freestanding outbuildings)
Minimum building height (from natural ground level)	Two storeys
Minimum site density (excluding road reserves and open space)	30 dwellings per hectare
Maximum building height (from natural ground level)	Four storeys or 15 metres (whichever is the lesser)

- 20 Elements of development exceeding two storeys in height should be stepped back from street frontages to minimise the bulk and scale of buildings and to provide an interesting and articulated streetscape.
- 21 Unless the development includes an appropriate alternative solution to address site contamination risks, ground level private open space should be paved and may include raised planter boxes.
- 22 Sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Minimum setback from side and rear boundaries	Nil metres
Maximum width of garages and carports facing the street (other than an access lane way)	6 metres or 33 per cent of the allotment (or building site) frontage width, whichever is the lesser distance

- 23 In the case of a site containing more than one dwelling, access to parking and garaging areas from public streets should be via a common driveway.
- 24 Garages should be accessed from rear laneways in preference to the primary street however garaging accessed from rear laneways will not be considered to incorporate visitor parking.
- 25 Parking should be located to the rear of development and be screened from the public realm.
- 26 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)
Detached dwelling	300 (minimum)	9
Semi-detached dwelling (with rear lane access)	250 (minimum)	7
Semi-detached dwelling (without rear lane access)	250 (minimum)	8
Row dwelling	250 (minimum)	8

Dwelling type	Site area (square metres)	Minimum frontage (metres)
Group dwelling	300 (average)	18
Residential flat building	300 (average)	18

- 27 Land division in the precinct is appropriate provided new allotments are of a size and configuration to ensure the objectives and the desired character of the precinct can be achieved.
- 28 Allotments fronting both a primary road and rear lane should not be further divided so as to create two separate frontages.
- 29 Roads layouts should incorporate protrusions within road verges to cater for sufficient on street angled visitor parking within areas of medium to high density development.
- 30 Visitor parking for detached, semi detached and row dwellings may rely upon on-street parking where it can be demonstrated that at least two on-street car parks are available for every three detached, semi-detached or row dwellings within the immediate locality.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and /or advertising hoarding	
All development on Lot 1, Deposited Plan 19887, Certificate of Title: Volume 5398 Folio 301	Except that associated with or part of public open space.
Amusement machine centre	
Bulky goods outlet	
Caravan park located within Low Density Policy Area 7	
Commercial forestry	
Consulting room	Except where both of the following apply: (a) the total floor area is 100 square metres or less (b) the site does not front an arterial road.
Crematorium	
Dairy	
Domestic outbuilding exceeding 20 square metres	Except where a dwelling has been constructed or has received full development approval on the allotment.
Dwelling located within Low Density Policy Area 7	Except for a detached dwelling.
Farming	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Hospital	
Hotel	Except where located within Golf Course Policy Area 6 and associated with the golf course resort as shown on Concept Plan Map CoCo/8 - Port Hughes Residential Golf Course .
Industry	
Intensive animal keeping	

Form of Development	Exceptions
Land division located within Low Density Policy Area 7	Except where each allotment has minimum area of 1500 square metres.
Light industry	
Motel	Except where located within Golf Course Policy Area 6 and associated with the golf course resort as shown on Concept Plan Map CoCo/8 - Port Hughes Residential Golf Course .
Motor repair station	
Office	Except where both of the following apply: (a) the total floor area is less than 100 square metres (b) the site does not front an arterial road.
Petrol filling station	
Prescribed mining operations	
Public service depot	
Restaurant	Except where the restaurant satisfies (a) or (b): (a) it is located within Precinct 24 Wallaroo Shores Medium Density (b) it is located within Golf Course Policy Area 6 and associated with the golf course resort shown on Concept Plan Map CoCo/8 - Port Hughes Residential Golf Course .
Road transport terminal	
Service trade premises	
Shop or group of shops within Golf Course Policy Area 6	Except where either (a) or (b) is satisfied: (a) the shop is a restaurant associated with the golf course resort shown on Concept Plan Map CoCo/8 - Port Hughes Residential Golf Course (b) where both the following apply: (i) the gross leasable area of an individual shop is less than 100 square metres (ii) the total gross leasable area of all shops in the policy area is less than 1000 square metres other than shops comprising a golf pro shop associated with the golf course resort, a restaurant associated with the golf course resort or a personal service establishment.
Shop or group of shops not within Golf Course Policy Area 6 or Wallaroo Marina Policy Area 8 or Precinct 24 Wallaroo Shores Medium Density	Except where both of the following apply: (a) the gross leasable area is less than 80 square metres (b) the site does not front an arterial road.
Shop or group of shops within Precinct 24 Wallaroo Shores Medium Density	Except where either of the following apply: (a) the gross leasable area of an individual shop is 80 square metres or less (b) the shop is a restaurant.
Shop or group of shops within Wallaroo Marina Policy Area 8	
Special industry	

Form of Development	Exceptions
Stock sales yard	
Stock slaughter works	
Store	Except where located within Golf Course Policy Area 6 and associated with the golf course resort.
Theme park	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
<p>Within the Golf Course Policy Area 6:</p> <ul style="list-style-type: none"> (a) consulting room (b) detached dwelling (c) golf course and clubhouse (d) hotel in association with a golf course resort and the golf course (e) indoor recreation centre (f) land division (g) motel in association with a golf course resort and the golf course (h) supported accommodation. <p>Within Wallaroo Marina Policy Area 8:</p> <ul style="list-style-type: none"> (a) detached dwelling (b) pontoons and jetties (c) supported accommodation. <p>Within Wallaroo Shores Policy Area 14:</p> <ul style="list-style-type: none"> (a) dwelling (b) land division (c) nursing home (d) residential flat building within Precinct 24 Wallaroo Shores Medium Density (e) retirement village (f) supported accommodation. <p>Elsewhere within the zone:</p> <ul style="list-style-type: none"> (a) detached dwelling (b) land division (c) recreation area (d) supported accommodation. 	<p>Within the Golf Course Policy Area 6:</p> <ul style="list-style-type: none"> (a) residential flat building (b) row dwelling (c) semi-detached dwelling. <p>Within Wallaroo Marina Policy Area 8:</p> <ul style="list-style-type: none"> (a) residential flat building (b) semi-detached dwelling. <p>Within Wallaroo Shores Policy Area 14:</p> <ul style="list-style-type: none"> (a) community centre (b) education establishment (c) office within 50 metres of Precinct 25 Mixed Use (d) shop or group of shops within 50 metres of Precinct 25 Mixed Use. <p>Elsewhere within the zone:</p> <ul style="list-style-type: none"> (a) community centre (b) education establishment (c) group dwelling (d) nursing home (e) place of worship (f) pre-school (g) residential flat building (h) retirement village (i) row dwelling (j) semi-detached dwelling.

Rural Living Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone consisting of large allotments, detached dwellings and rural activities that do not adversely impact the amenity of the locality.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone provides for low density residential living consisting of detached dwellings on large allotments and associated small-scale, non-intensive rural activities.

It is envisaged that properties will be well landscaped with locally indigenous plant species to help maintain a pleasant rural environment, as well as to promote privacy and the screening of buildings and structures from neighbouring properties and public roads and spaces. To help maintain the rural setting, fencing will be of an open construction nature, such as open mesh or post and wire, that is capable of being seen through.

Allotments will have generous road or property frontages and widths to enable development to have a reasonable degree of separation from development on adjoining land. Dwellings will be located as far as practically possible from the adjoining **Primary Production Zone** boundary in order to minimise potential land use conflict. Ancillary land uses, such as small scale animal keeping, will be of a scale and type that will not interfere with the residential function of the land or adjoining land, or the semi-rural character desired for the zone.

Where existing properties have relatively narrow frontages but ample depth and land division is an option, consideration will be given to shared access by community title to achieve adequate allotment widths. Shared access with neighbouring properties to maximize development opportunity and minimise the number of separate access points onto roads will also be considered.

The planting of vegetation buffers comprising plant species endemic to the locality is strongly encouraged, both to screen the more intensive development of land and to provide a visual and physical barrier to activity which may occur on adjoining properties.

Environmentally sustainable development practices (including the installation of rainwater tanks, solar systems, and building orientation and design) should reflect in the presentation of development.

Precinct 20 Rural Low Density

The precinct seeks to provide a low density rural living environment in which the number of existing allotments does not alter. Development shall provide generous setbacks to Bute Road and Kadina-Cunliffe Road.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition

- farming
 - farm building
 - stable.
- 2 Development listed as non-complying is generally inappropriate.
 - 3 There should be no more than one dwelling per allotment.
 - 4 The keeping of animals should be ancillary to and in association with the residential use of the land.
 - 5 The keeping of horses should only be undertaken if the horses are accommodated within a stable or shelter with supplementary feeding to maintain pasture cover.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	20 metres. 50 metres from Bute Road & Kadina – Cunliffe Road.
Minimum setback from secondary road frontage	20 metres
Minimum setback from side boundaries	10 metres
Minimum setback from rear boundary	10 metres
Minimum setback from the Primary Production Zone boundary	40 metres
Maximum site coverage (including outbuildings)	20 per cent
Maximum building height (from natural ground level)	Two storeys or 9 metres whichever is the lesser.

- 8 Sheds, garages, **carports** or similar outbuildings, **whether freestanding or not**, should be designed within the following parameters:

Parameter	Value
Maximum floor area	100 square metres. 300 square metres – when in association with an existing dwelling or dwelling that has received full development approval.
Maximum building height (from natural ground level)	4.5 metres
Maximum wall height (from natural ground level)	3.6 metres
Minimum setback from side and rear boundaries	10 metres
Minimum setback from a public road or public open space area	No closer than the dwelling with which it is associated.

- 9 On site water storage should meet one of the following minimum water tank size requirements:

(a) 60 000 litres in areas where no reticulated water supply is available

(b) 22 000 litres in areas where there is a reticulated supply available.

10 A dwelling should have an allotment area of at least 1 hectare and a frontage to a public road not less than 40 metres.

Land Division

11 Land division should not create an allotment with:

- (a) an area less than 1 hectare
- (b) an average width of less than 50 metres
- (c) a frontage to a public road of less than 40 metres.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precinct.

Precinct 20 Rural Low Density

- 12 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 13 Additional allotments should not be created within this precinct.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Caravan park	
Crematorium	
Dairy	

Form of development	Exceptions
Dwelling	Except a detached dwelling that results in no more than one dwelling per allotment.
Fuel depot	
Hotel	
Industry	
Intensive animal keeping	
Land division	Except where the land division satisfies (a) and (b): (a) it is located outside of Precinct 20 Rural Low Density (b) each allotment created is at least 1 hectare in area.
Major public service depot	
Motor repair station	
Petrol filling station	
Residential flat building	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Aquaculture	Horse keeping
Detached dwelling	Horticulture
Outbuilding, including a carport, garage, veranda or pergola, that is less than 9 metres in length and 4 metres in height.	
Land division	

Settlement Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The protection of the natural coastal environment from inappropriate development.
- 2 Existing dwellings upgraded to enhance amenity and incorporating environmental improvements.
- 3 Land subject to inundation or susceptible to erosion kept free of development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will continue to function as a holiday home settlement. Small allotment dimensions, particularly along the waterfront will limit the size of dwellings and their associated outbuildings and garages.

Land in the zone is low lying and is likely to be subject to coastal flooding and erosion. Development will be constructed to minimise this risk. This will include building the land up to set minimum levels and preferably, the construction of buildings that can be removed in the event that the land becomes at risk.

There are no plans for protection measures for this area. When they are required, if they are to be constructed, they will be at the cost of the affected landowners and will be undertaken for the whole of the zone rather than for individual properties.

Where appropriate, landscaping should be implemented along road frontages and site boundaries to enhance the character of the area in which the facilities are located.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection work
 - detached dwelling
 - outbuilding associated with a dwelling
 - tourist/visitor facility (other than accommodation).
- 2 Development listed as non-complying is generally inappropriate.
- 3 Dwellings should be upgraded to assist environmental improvements, including by the provision of approved waste control systems and effluent disposal, building setbacks and site coverage requirements, and reduction of the level of hazard risk.
- 4 Not more than one dwelling should be erected on an allotment.
- 5 Where there is an existing dwelling on an allotment, ancillary buildings should be limited to:
 - (a) one garage or one shed

- (b) rainwater tank(s) and tank stand(s)
 - (c) open-sided garden structures, eg pergolas and gazebos.
- 6 Garages and outbuildings should only be constructed in association with an existing dwelling and should not exceed the following parameters:

Parameter	Value
Maximum floor area	54 square metres
Maximum building height (from natural ground level)	4 metres

- 7 Water tanks and associated stands should only be erected in association with an existing dwelling.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Development should:
- (a) minimise vehicle access points to the area that is the subject of the development
 - (b) maintain public access to the foreshore
 - (c) ensure access to the coast is sited to avoid adverse impact on the environment
 - (d) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view
 - (e) be sited so that views to the coast are maintained where possible.
- 10 Additions or alterations to or replacement of an existing dwelling should:
- (a) be connected to an approved wastewater and effluent disposal system which must be suitable for the resultant loads
 - (b) not impair the amenity of the locality through appropriate siting, design and use of building materials.
- 11 Buildings and structures within the zone should be:
- (a) of lightweight construction to maintain a coastal, seaside character
 - (b) constructed of materials which have low light-reflective qualities, in muted natural colours, which blend with the natural setting of the site
 - (c) constructed utilising veranda and pergola treatments which reduce the impact of vertical external walls and provide protection and shade to the building.
- 12 There should be no land-based disposal of sewage and sullage in the zone with all sewage and sullage being disposed through a sewerage scheme or into a septic tank connected to a septic tank effluent disposal scheme.
- 13 Development including associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
- (a) site levels are at least 3.45 metres Australian Height Datum
 - (b) building floor levels are at least 3.70 metres Australian Height Datum

- (c) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres, plus an allowance to accommodate land subsidence until the year 2100 at the site.

14 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metre - for single storey; or the average setback of any existing dwellings on either of the two adjoining sites having frontage to the same primary street. 8 metres for two storeys.
Minimum setback from secondary road frontage	1.5 metres
Minimum setback from side boundaries	900 millimetres
Minimum setback from rear boundary	4 metres
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser).
Minimum area of private open space	20 square metres per bedroom.

15 Dwellings (exclusive of verandas, garages and carports) should not cover more than 50 per cent of the site upon which they are located, and domestic outbuildings, including verandas, garages and carports should not cover more than 15 per cent of the site

Land Division

16 Land should not be divided unless:

- (a) the resultant allotments are not less than 450 square metres with an average width of at least 15 metres
- (b) for creating an allotment to accommodate an existing dwelling
- (c) for creating a public road or a public reserve
- (d) for a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Caravan park	
Community centre	
Consulting room	
Crematorium	
Dairy	
Educational establishment	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Intensive animal keeping	
Land division	<p>Except where the land division satisfies (a) or (b):</p> <ul style="list-style-type: none"> (a) results in allotments of not less than 450 square metres (b) is for one or more of the following purposes: <ul style="list-style-type: none"> (i) to accommodate an existing dwelling (ii) to create a road reserve or public reserve (iii) adjustment of allotment boundaries where no new allotments are created partly or wholly in the zone.
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	

Form of development	Exceptions
Special industry	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Dwelling	
Outbuilding, including a carport, garage, veranda or pergola, that is less than 9 metres in length and 4 metres in height	

Special Use Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Primarily, a zone recognising existing disused landfill sites.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone accommodates the existing former landfill sites at Wallaroo and Kadina.

The sites will be remediated in the future in accordance with the requirements of the Environment Protection Authority.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 No development should occur within the zone.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement	
Advertising hoarding	
Amusement machine depot	
Bus depot	
Caravan park	
Cemetery	

Form of development	Exceptions
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	
Educational establishment	
Farm building	
Farming	
General industry	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Land division	
Motel	
Motor repair station	
Nursing home	
Petrol filling station	
Place of worship	
Pre-school	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	
Special industry	
Stock sales yard	

Form of development	Exceptions
Stock slaughter works	
Tourist accommodation	
Warehouse	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Tourist Accommodation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of tourist related accommodation and recreational facilities.
- 2 Development designed, constructed and sited to compliment the natural features of the adjoining coastal and rural environment.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - motel
 - recreational facility
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Except where envisaged in a Policy Area, buildings and structures should be:
 - (a) not be greater than two storey construction with low pitched roof treatments and of simple form and design
 - (b) constructed of natural materials which have low light reflective qualities and in muted, natural colours which blend with the natural setting of the site
 - (c) constructed utilising veranda and pergola treatments which reduce the impact of vertical external walls
 - (d) separated from adjoining residential, and natural areas by landscape buffers
 - (e) constructed on excavated rather than filled sites in order to reduce the vertical profile of buildings.
- 4 Restaurants should:
 - (a) be associated with and ancillary to tourist accommodation
 - (b) not be in the form of a fast food or drive through restaurant.
- 5 Landscaping should provide for effective separation and screening of development from the adjoining farmland and urban development.
- 6 Advertisements should be small in scale, unobtrusive and discrete in terms of siting, colours, design and illumination.

Land Division

- 7 Except where envisaged in a Policy Area, no additional allotments should be created wholly or partly within the zone.

North Beach Policy Area 15

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating a range of tourist related accommodation and recreational facilities.
- 2 Residential development in suitable areas adjacent to the urban area of North Beach.
- 3 Development within the policy area undertaken in a manner which is sympathetic and subordinate to the natural features of the land and adjoining environment.
- 4 Development undertaken in a logical and co-ordinated manner.
- 5 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Development within the policy area will comprise tourist related accommodation and recreation facilities, with residential development in suitable areas adjacent to the existing urban area of North Beach. Quality design and appearance within this policy area is essential in developing an attractive entrance into the North Beach Township.

Development will primarily be of single storey construction. However, development exceeding one storey in height will be located centrally within the policy area, with built form reducing in height at existing residential and streetscape interfaces. Buildings will be of contemporary coastal design with a high level of visual interest achieved through interesting roof forms such as high pitches and parapets, high ceilings, building articulation, variety in building materials, and substantial landscaping. Development will be finished in muted and natural colours suitable to the coastal environment.

Development is to take place as part of a co-ordinated development scheme. It is envisaged that the tourist resort will continue to expand so as to include caravan and camping facilities in addition to further recreational pursuits.

Sufficient off-street car parking will minimise potential hazards and nuisance associated with car parking throughout the site.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling
 - domestic outbuilding in association with a dwelling
 - motel
 - recreation area
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should generally be in accordance with [Concept Plan Map CoCo/7 – Residential North Beach \(Wallaroo\)](#).

- 4 Development within the policy area should comprise primarily tourist related accommodation and recreation facilities, with residential development in suitable areas adjacent to the existing urban area of North Beach.
- 5 Buildings and structures within the policy area should be:
 - (a) primarily of single storey construction, generally low pitched roof treatments and of simple form and design
 - (b) constructed of natural materials which have low light reflective qualities and in muted, natural colours which blend with the natural setting of the site
 - (c) constructed utilising veranda and pergola treatments which reduce the impact of vertical external walls
 - (d) located in discreet clusters separated by landscape buffers.
- 6 Buildings, structures and other facilities should be sited to:
 - (a) be sympathetic to the natural and topographical features of the land
 - (b) minimise the extent of earthworks necessary to accommodate and provide access to facilities
 - (c) avoid adverse impacts on extensive and prominent views.
- 7 Access roads and driveways should follow the contours of the land and adopt a curvilinear rather than a straight alignment.
- 8 Advertisements should be small in scale, unobtrusive and discrete in terms of siting, colours, design and illumination.

Form and Character

- 9 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 10 Landscaping should provide for effective separation and screening of development within the policy area from adjoining residential and natural areas of farmland.
- 11 Landscaping should enhance and complement the natural features of the policy area.
- 12 Development should retain on site and utilise rainwater as a supplementary supply of drinking and irrigation water.
- 13 Stormwater and other waste water should be harvested and retained on site for irrigation purposes. No stormwater or other waste should be disposed of to the sea.
- 14 Detached dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres – for single storeys 8 metres – for two storeys
Maximum setback from secondary road frontage	3 metres
Minimum setback from side boundaries	1 metre for single storey 1.2 metres for two storeys

Parameter	Value
Minimum setback from rear boundary	4 metres
Maximum site coverage	60 per cent (including all freestanding outbuildings)
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser)
External building material	Masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated iron, cement or clay tiles, slate or shingles

- 15 Sheds, garages, carports and similar outbuildings, whether freestanding or not, should be integrated with the development and designed within the following parameters:

Parameter	Value
Maximum floor area	40 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3.5 metres
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and the maximum height of that wall is 3.5 metres)
Minimum setback from a public road or public open space area	6 metres or 0.5 metres behind the main façade of the dwelling with which it is associated, whichever is the greater
Maximum width of garages and carports facing the street (other than an access lane way)	6 metres or 33 per cent of the allotment (or building site) frontage width, whichever is the lesser distance

- 16 A detached dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

All Dwelling types	Minimum site area (square metres)	Minimum frontage (metres)
Where not connected to a community waste water management system	1200	15
Where connected to a community waste water management system	450	15

Pamir Court Policy Area 16

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area accommodating a range of tourist related accommodation and recreational facilities.
- 2 A policy area where development enhances visual qualities, minimises interference to the adjoining **Residential Zone** and provides an appropriate transition to uses in the adjoining zones.
- 3 A policy area accommodating a range of dwelling types with an emphasis on medium density tourist accommodation.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area seeks to provide a tourist accommodation environment that may include a range of tourist support activities.

Development should take advantage of its unique location between the ocean and the marina by delivering development which is of a scale which takes full advantage of views to the ocean, while managing the interface with surrounding zones.

Two storey residential development is envisaged at the immediate interface with the adjoining **Residential Zone**. Residential allotments will have direct frontage to Pamir Court and that portion of Windjammer Lane that does not run parallel with North Beach.

Tourist accommodation of up to three storeys will occur in the balance of the policy area. Elements of development exceeding two storeys in height should form part of an integrated tourist development and be stepped back from street frontages and adjoining development to minimise overshadowing, overlooking, the bulk and scale of buildings and to provide an interesting and articulated streetscape and presentation to the coastal foreshore.

Non residential and non tourist accommodation land uses such as a shop, restaurant or café, are permissible but should be supporting the primary accommodation function of the policy area.

Development will not be restricted from the Coastal Area indicated on [Concept Plan Map CoCo/13 – Tourist Accommodation Pamir Court \(Wallaroo\)](#) however will be required to address longer term erosion and sea level risk prior to development. Appropriate private coastal protection measures will be incorporated within future development to protect the development from anticipated erosion.

Access and egress points into the policy area will be located to maximise road safety and efficiency. Road intersection upgrades, including but not limited to the Windjammer Lane / Pamir Court junction, the Pamir Court / Pommern Way junction and the North Beach Road / Alford Road junction may be necessary to support development within the policy area to ensure safe, efficient and reliable movement for all vehicles. The width of the Windjammer Lane carriage way should be increased so as to provide for the safe and convenient movement and parking of projected volumes and type of vehicle movements.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - caravan park
 - coastal protection works
 - development supporting tourist activities including
 - restaurant or café
 - shop, where the gross leasable area is 100 square metres or less
 - detached dwelling
 - motel
 - recreational facility
 - serviced accommodation
 - tourist accommodation.
- 2 Development in the policy area should not hinder the development or function of any centre zone.
- 3 Development listed as non-complying is generally inappropriate.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Development should be set-back from the road frontage to allow for landscaping.
- 6 Development should be of a nature, size or scale that will not detract from the character or amenity of the streetscape and adjacent residential zones.
- 7 Service or delivery vehicle access points to and from development sites should be provided to minimise the impact of commercial vehicles on the amenity of residential zones and streets.
- 8 Provision should be made on site for the entering and leaving of vehicles to and from the site in a forward direction.
- 9 Advertisements should be small in scale, unobtrusive and discrete in terms of siting, colours, design and illumination.
- 10 Parking for tourist development should be screened from the public realm and may include basement parking if site conditions permit.
- 11 Buildings should incorporate and exhibit the following characteristics:
 - (a) a building form that is highly articulated with modulation in roof form, stepped facades, entry porches, verandas and balconies and a variation in building materials so as to provide vertical subdivision and visual interest in the streetscape presentation and wherever viewed from public vantage points
 - (b) variation in wall and roof lines and the use of large eaves, verandas and pergolas to minimise the mass of buildings
 - (c) building materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural coastal settings of the site.

12 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres – for single storey 8 metres – for two storeys
Maximum setback from secondary road frontage	3 metres
Minimum setback to one side boundary of detached or semi-detached dwellings	1 metre for single storey 1.2 metres for two storeys
Minimum setback from rear boundary	4 metres
Maximum site coverage	60 per cent (including all freestanding outbuildings)
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser)
External building material	Masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated iron, cement or clay tiles, slate or shingles

13 Dwellings sited on side boundaries should be designed to minimise impacts on the amenity of adjoining land. When located on a side boundary (excluding secondary streets or reserves), the dwellings' walls should have no openings and achieve at least one of the following:

- (a) be immediately abutting the wall of an existing or simultaneously constructed building on the adjoining land to the same or lesser length and height
- (b) where a building envelope plan exists for the adjoining land that proposes a wall on the side boundary, be constructed to the same or lesser length and height as provided for by that plan.

14 Sheds, garages, carports and similar outbuildings, whether freestanding or not, should be integrated with the development and designed within the following parameters:

Parameter	Value
Maximum floor area	40 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3.5 metres
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and the maximum height of that wall is 3.5 metres)
Minimum setback from a public road or public open space area	6 metres or 0.5 metres behind the main façade of the dwelling with which it is associated, whichever is the greater
Maximum width of garages and carports facing the street (other than an access lane way)	6 metres or 50 per cent of the allotment (or building site) frontage width, whichever is the lesser distance

- 15 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

All Dwelling types	Minimum site area (square metres)	Minimum frontage (metres)
Where connected to a community waste water management system and fronting Pamir Court	450	15
Where connected to a community waste water management system and fronting that portion of Windjammer Lane that does not run parallel to North Beach	300	9

- 16 Development should occur in accordance with [Concept Plan Map CoCo/13 – Tourist Accommodation Pamir Court \(Wallaroo\)](#).
- 17 Where development is immediately adjacent to the Pamir Court and Windjammer Lane street frontages, buildings and structures should be:
- (a) not greater than two storey construction with low pitched roof treatments and of simple form and design
 - (b) constructed of natural materials which have low light reflective qualities and in muted, natural colours which blend with the natural setting of the site
 - (c) constructed utilising veranda, pergola or other treatments which reduce the impact of vertical external walls.
- 18 Development including associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
- (a) Site levels are at least 3.45 metres AHD
 - (b) building floor levels are at least 3.70 metres AHD
 - (c) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres, plus an allowance to accommodate land subsidence until the year 2100 at the site.

Land Division

- 19 Land division in the policy area is appropriate provided new allotments are of a size and configuration to ensure the objectives and the desired character of the policy area can be achieved.
- 20 Development should not be undertaken unless it is consistent with the desired character for the precinct.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Consulting room	
Industry	
Motor repair station	
Service trade premises	
Shop or group of shops outside of the North Beach Policy Area 15	Except where either of the following apply: (a) the gross leasable area is 100 square metres or less (b) the shop is a restaurant associated with tourist development.
Shop or group of shops within North Beach Policy Area 15	Except where the gross leasable area is 250 square metres or less.
Warehouse	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Caravan park	Convention facilities
Coastal protection works	
Land division	
Motel	
Recreation area	
Restaurant	
Serviced accommodation	
Tourist accommodation	

Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating a wide range of retail, office, administrative, community, cultural and entertainment facilities to serve residents of the town and the surrounding rural community.
- 2 Conservation and upgrading of buildings of historic character.
- 3 Rationalisation of vehicular access, car parking and major pedestrian movement paths to provide a safer, more efficient and more attractive environment.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The centres at Kadina, Moonta and Wallaroo townships are dominated by turn of the 19th Century buildings and streetscapes.

New development in these areas will maintain the pattern of existing development. This will involve the siting of new buildings square to and on the street alignment with minimal breaks between buildings other than where there has been an existing access to the rear of the site. Verandas will continue to be provided over the footpath and outdoor dining facilities developed on the footpath where conditions such as footpath width, pedestrian safety and accessibility are adequate.

Buildings and structures will be constructed in sympathy with adjoining buildings of heritage value or historic interest so as to complement and enhance the existing character of the streetscape. Attention will be given to building and roof heights, set-backs, facade treatment, profile, verandas, construction materials and colours.

Moonta and Wallaroo retain a high proportion of buildings of heritage value character that contribute to the unique 19th century streetscape. These buildings will be retained and sensitively redeveloped.

Buildings outside of **Precinct 25 Mixed Use** will generally be single storey other than where adjoining existing two storey development.

Service access, service functions and car parking will be located at the rear of each property and will be shared, where achievable, to maximise the common use of car parking, minimise the amount of sealed area and to minimise the number of individual access points.

Provision for pedestrian access will be made via the rear of buildings, or, where possible, pedestrian links via malls and walkways.

Ground level frontages for commercial uses will have large windows to enable connection between the interior and the adjoining public spaces, and large areas of blank wall will be avoided to elevations which are visible from the street or other public space.

Where walls without glazed penetrations are unavoidable, other design features such as colour and texture variation will be incorporated.

Colour, texture, material and detail are important, to provide scale and visual interest. A variety of building materials and finishes will be used in each building or group of buildings.

Buildings will not be massive in scale, will not exceed 6 metres in height (excluding **Precinct 25 Mixed Use**) and be articulated vertically and horizontally to reduce the bulk and form of any one building or group of buildings.

Large vacant sites intended for multiple developments should be developed in a manner that accords with a coordinated masterplan for the site. This masterplan will, amongst other detail ensure connectivity (both visual and vehicular/pedestrian) within the town centre.

Development within the Moonta Town centre should not prejudice a future vehicular connection between Ellen Street and Spencer Highway.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - café
 - consulting room
 - cultural centre
 - dwelling where located within **Precinct 25 Mixed Use** or the 'Residential Area' shown on [Concept Plan Map CoCo/10 – Town Centre \(Moonta\)](#)
 - entertainment facility
 - fitness studio
 - hotel
 - meeting room
 - motor repair station
 - office
 - petrol filling station
 - residential flat building where located within **Precinct 25 Mixed Use** or the 'Residential Area' shown on [Concept Plan Map CoCo/10 – Town Centre \(Moonta\)](#).
 - restaurant
 - service trade premises
 - shop
 - tourist facility.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Except where otherwise supported in a policy area, a dwelling and/or a residential flat building should be established only where it is associated with and ancillary to an existing, or part of a proposed use envisaged for the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Vehicle parking areas should be located at the rear of buildings and designed to provide for shared use of parking areas with adjoining development.
- 6 Except where otherwise supported in a policy area, development should be of a scale and form appropriate to the locality and should not exceed two storeys in height.

Land Division

- 7 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives and the desired character of the zone can be achieved.

Kadina Policy Area 9

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development of the Kadina centre as the main focus of shopping, office and community uses for the surrounding region.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 21 Retail Core

- 1 Development should primarily be for retail, administrative and office purposes, with limited scope for small-scale commercial land uses that meet the day-to-day requirements of residents of and tourists to the region.
- 2 Graves Street should be the principal focus for shopping and administrative activity with new development reflecting a traditional low-scale 'main street' profile and built-form.

Precinct 22 Commercial Area

- 3 Development should primarily be for community and general commercial development not requiring a retail core location.

Moonta Policy Area 10

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development of the Moonta centre to service the urban areas of Moonta, Moonta Bay and Port Hughes as well as the surrounding hinterland.
- 2 Retention and enhancement of the historic character and integrity of the Moonta centre.
- 3 The renovation and development of old shops and other buildings in a sympathetic manner to the architecture, history, siting, scale and character of adjoining properties so as to ensure compact development and to avoid intrusion into adjoining residential areas.
- 4 George Street maintained as the main shopping and administrative focus of the Moonta centre, reinforcing its role since the township was created.

DESIRED CHARACTER

Components of the policy area are subject to **Historic Conservation Area** policies.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/10 - Moonta Town Centre](#).
- 2 Consistent with the respective '**Retail Core Area**' and '**Residential Area**' shown on [Concept Plan Map CoCo/10 - Moonta Town Centre](#), land uses and development should be located and developed as follows:
 - (a) **Retail Core Area** – retail, administrative and office, commercial and community development with George Street being the principle focus for shopping and administrative activity. That area highlighted along Blyth Terrace as 'business' should retain the existing character of housing along Blyth Terrace whilst allowing for the conversion of these detached dwellings to small scale offices / consulting rooms where the residential character of Blyth Terrace can be maintained.
 - (b) **Residential Area** – detached dwellings on individual allotments, open space and small scale community and civic uses where residential character of this area can be maintained.
- 3 Development should retain and enhance the existing character of the zone by reinforcing the character and appearance of buildings of heritage value.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Development should be carried out in accordance with the Historic Conservation Guidelines outlined in [Table CoCo/2 - Historic Conservation Guidelines](#).
- 6 Development should provide for a continuous retail frontage to the core areas of George, Ryan and Ellen Streets.

- 7 Development should maintain and enhance the existing character through the retention of buildings of heritage character and the adoption of the following building and design characteristics:
 - (a) narrow fronted shops and offices
 - (b) concave or convex verandas to or over the footpath
 - (c) siting close to the street alignment
 - (d) rectangular ground plans
 - (e) traditional construction materials
 - (f) single gable hipped roof or parapets.
- 8 Demolition of buildings which contribute to the heritage character of the area should not be undertaken unless the item is proven to be structurally unsound and cannot be economically renovated.

Wallaroo Policy Area 11

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development of the Wallaroo centre as the main focus of shopping, office and community uses for the town and North Beach.
- 2 Retention and enhancement of the historic character and integrity of the Wallaroo centre.
- 3 The renovation and development of old shops and other buildings in a manner which is in sympathy with the architecture, history, character and scale of adjoining properties so as to ensure compact development and to avoid intrusion into adjoining residential areas.
- 4 Owen Terrace and John Terrace maintained as the main shopping and administrative streets, reinforcing their roles since the township was created.

DESIRED CHARACTER

The policy area excluding **Precinct 25 Incitec Pivot** is subject to the **Historic Conservation Area** policies.

Within Precinct 25 Incitec Pivot

This precinct will result in a logical expansion of the existing Wallaroo Town Centre in an integrated form and connected manner. The precinct will provide for mixed use multi storey buildings incorporating ground level commercial/retail uses with residential or tourist accommodation above. Aged care facilities, retirement villages, open space and small scale community and civic uses are also appropriate where the desired mixed use character of this area can be maintained.

Due to historic smelting activities and fertilizer manufacturing uses undertaken on the former Incitec Pivot site, development will need to respond to and address site contamination. Development will therefore occur in accordance with the recommendations and limitations of an accredited site contamination Auditor.

Site contamination audits undertaken for the site have identified a need for commercial or medium density development to occur within **Precinct 25 Mixed Use**. Development that is proposed to have 'direct soil access' will require further measures to be considered suitable and safe for this purpose and will occur on a precautionary basis only when verified by an authorised site contamination Auditor.

Low density residential housing in the form of detached dwellings, semi-detached dwellings, row dwellings and group dwellings are acceptable provided that the above conditions for site contamination are met and that the principle intent of the precinct for mixed use multi storey development is maintained.

Although development will sit outside of a **Historic Conservation Area**, development will respond to the historic nature of adjoining sites through design.

It is vital that pedestrian linkages are provided between retail and residential areas and that appropriate interfaces are provided between commercial and residential land uses. Those interfaces identified on [Concept Plan Map CoCo/14 – Town Centre \(Wallaroo\)](#) should be addressed by way of attractive and prominent built form that incorporates glazing to these frontages. Parking should be to the rear of such developments.

Service and storage areas will be screened from street frontages and located away from residential land uses.

Vistas will be maintained from Owen Terrace through to the coast and appropriate pedestrian transition will be provided for between the varying site levels of the precinct.

Commercial vehicles will enter and exit sites in a forward direction and no access arrangements will occur from residential streets.

Service and storage areas should be screened from street frontages and located away from residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Retail development should primarily be confined to Owen Terrace and John Terrace.
- 2 Development should retain and enhance the existing character of the zone by reinforcing the character and appearance of buildings of heritage value.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 Development should be carried out in accordance with the Historic Conservation Guidelines outlined in [Table CoCo/2 - Historic Conservation Guidelines](#).
- 5 Development should maintain and enhance the existing character through the retention of buildings of heritage character and the adoption of the following building and design characteristics:
 - (a) narrow fronted shops and offices
 - (b) concave or convex verandas to or over the footpath
 - (c) siting close to the street alignment
 - (d) rectangular ground plans
 - (e) traditional construction materials
 - (f) single gable hipped roof or parapets.
- 6 The existing Moreton Bay Fig trees along Owen Terrace should be preserved and protected.
- 7 Development should provide for a continuous retail frontage to Owen Terrace.
- 8 Demolition of buildings which contribute to the heritage character of the area should not be undertaken unless the item is proven to be structurally unsound and cannot be economically renovated.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 25 Mixed Use

- 9 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 10 Development should be carried out in accordance with the concepts shown on [Concept Plan Map CoCo/14 - Town Centre \(Wallaroo\)](#).

- 11 Development within the area identified as 'coastal vista' as shown on [Concept Plan Map CoCo/14 - Town Centre \(Wallaroo\)](#) should be limited to car parking, access roads and landscaping and ensure that views to the coast are maintained when looking from Owen Terrace.
- 12 Development exceeding three storeys in height should provide for commercial/retail uses at street level
- 13 Development adjoining the **Historic Mining Zone** should address the historic character of the adjoining zone and should place private open space closest to this boundary. Commercial/retail development should provide for outlook over this adjoining zone.
- 14 Development within 50 metres of the Hughes Chimney Stack should be sited and designed to respond to any identified risk associated with the structural integrity of the Hughes Chimney Stack whilst being sympathetic to the adjoining State Heritage Place.
- 15 Buildings should incorporate and exhibit the following characteristics:
 - (a) a building form that is highly articulated with modulation in roof form, stepped facades, entry porches, verandas and balconies and a variation in building materials so as to provide vertical subdivision and visual interest in the streetscape presentation and wherever viewed from public vantage points, especially facades facing the former smelter site park
 - (b) variation in wall and roof lines and the use of large eaves, verandas and pergolas to minimise the mass of buildings
 - (c) building materials which have low light reflective qualities with finishes having muted, natural colours
 - (d) external walls of masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated iron, cement or clay tiles, slate or shingles.
- 16 Residential development should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	3 metres for two storey development except minor protrusions such as open-sided porches, porticos, verandas and balconies where: <ol style="list-style-type: none"> (a) the width of the protrusion does not exceed 40 per cent of the overall width of the frontage of the dwelling (b) the protrusion extends no more than 2 metres forward of the principal facade of the dwelling (c) the protrusion is open on three sides, where the combined area of solid walling, pillars, balustrades and the like (but not including transparent balustrades) is not more than 40 per cent of the combined area of those three open sides.
Minimum setback from secondary road frontage	1.5 metres
Minimum setback from side boundaries	Nil metres
Minimum site density (excluding road reserves and open space)	40 units per hectare
Minimum setback from rear boundary (not being a rear laneway)	3 metres 10 metres where abutting the Historic Mining Zone
Maximum site coverage	90 per cent (including all freestanding outbuildings)

Parameter	Value
Minimum building height (from natural ground level)	Two storeys
Maximum building height (from natural ground level)	Four storeys or 15 metres (whichever is the lesser)

- 17 Elements of development exceeding two storeys in height should be stepped back from street frontages to minimise the bulk and scale of buildings and to provide an interesting and articulated streetscape.
- 18 Three to four storey components of buildings should be set back from rear and side boundaries a distance that would minimise adverse impacts on neighbouring development, such as overshadowing and overlooking.
- 19 Dwellings sited on side boundaries should be designed to minimise impacts on the amenity of adjoining land. When located on a side boundary (excluding secondary streets or reserves), the dwellings' walls should have no openings and achieve at least one of the following:
 - (a) be immediately abutting the wall of an existing or simultaneously constructed building on the adjoining land to the same or lesser length and height
 - (b) where a building envelope plan exists for the adjoining land that proposes a wall on the side boundary, be constructed to the same or lesser length and height as provided for by that plan
 - (c) be located to maintain pedestrian access to the rear of the site along one side of the dwelling, unless one of the following is achieved:
 - (i) access is provided directly via a carport or garage and avoids the need to enter other parts of a dwelling
 - (ii) an acceptable alternative method of gaining access to the rear of a dwelling is provided, including a rear access.
- 20 Unless the development includes an appropriate alternative solution to address site contamination, ground level private open space should be paved and may include raised planter boxes.
- 21 Landscaping should:
 - (a) be provided and maintained in good health and order in all areas between the front building alignment and the street property boundary
 - (b) where relevant, be established in accordance with the recommendations and limitations of an accredited site contamination Auditor.
- 22 Development abutting secondary streets or reserves will address these frontages and utilise articulation within such facades.
- 23 Development fronting rear laneways should be single storey in height. Above ground private open space is acceptable.
- 24 Carports, garages and other outbuildings serving individual dwellings should:
 - (a) be limited to one such building per allotment
 - (b) be architecturally compatible and integrated with the associated dwelling
 - (c) have external walls composed of either rendered concrete, clay bricks, brick veneer or a composite construction of such materials

(d) in case of a carport or veranda, have supports of timber, steel, rendered concrete or brick construction that complement the materials and colour schemes used for the dwelling.

25 Garages and carports should be integrated with the design of the dwelling and designed within the following parameters:

Parameter	Value / Requirements
Maximum floor area	40 square metres
Maximum wall height (from natural ground level)	3.5 metres
Minimum setback from a public road (other than a rear laneway)	6 metres or 0.5 metres behind the main façade of the dwelling with which it is associated, whichever is the greater.
Minimum setback from rear laneway	Nil metres (where the laneway is at least 6 metres in width)
Maximum opening height from rear laneway	2.7 metres
Maximum width (other than an access laneway)	6 metres or 33 per cent of the allotment or building site frontage width (whichever is the lesser distance)
Maximum width (from rear laneway)	6 metres or 80 per cent of the width of the site (whichever is the lesser distance)

26 Only one driveway should be constructed per dwelling site and should have a:

- (a) hard paved surface comprising either concrete, concrete block or clay brick
- (b) minimum width of 3 metres
- (c) width not greater than 5.5 metres at the point of the road boundary.

27 In the case of a site containing more than one dwelling, access to parking and garaging areas from public streets should be via a common driveway.

28 Garages should be accessed from rear laneways in preference to the primary street however garaging accessed from rear laneways will not be considered to incorporate visitor parking.

29 Fencing and garages along rear laneways will provide for:

- (a) an unobstructed area of not less than 0.5 metres deep by 1.2 metres wide for the placement of bins on days of rubbish collection
- (b) an interesting design of various finishes and parapet heights
- (c) landscaping to the rear wall of protrusions required by (a) above.

30 The width of rear lanes should provide for the safe passing of two vehicles (one of which will be considered to be a waste collection vehicle in operation). Adequate turning provision should be available out of and into garaging for large vehicles.

31 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)
Detached dwelling	300 (minimum)	9
Semi-detached dwelling (with rear lane access)	250 (minimum)	7
Semi-detached dwelling (without rear lane access)	250 (minimum)	8
Row dwelling	250 (minimum)	8
Group dwelling	300 (average)	18
Residential flat building	300 (average)	18

- 32 Land division in the precinct is appropriate provided new allotments are of a size and configuration to ensure the objectives and the desired character of the policy area can be achieved.
- 33 Allotments fronting both a primary road and rear lane should not be further divided so as to create two separate frontages.
- 34 Roads layouts should incorporate protrusions within road verges to cater for sufficient on street angled visitor parking within areas of medium to high density development.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Dairy	
Dwelling	Except where the dwelling satisfies (a) or (b): (a) it is located within Precinct 25 Mixed Use or a 'Residential Area' shown on Concept Plan Map CoCo/10 - Moonta Town Centre (b) it is associated with and ancillary to an existing, or part of a proposed use envisaged for the zone.
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Major public service depot	
Residential flat building	Except where located within Precinct 25 Mixed Use or a 'Residential Area' shown on Concept Plan Map CoCo/10 - Moonta Town Centre .
Road transport terminal	
Special industry	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

The following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
All forms of development	

Township Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Services and facilities grouped together to serve the local community and the visiting public.
- 2 Increased mix in the range of dwellings available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Conservation and enhancement of the main road streetscape and scenic rural setting of the township.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone consists of the country township of Paskeville, which is a small residential community providing accommodation and services to its immediate hinterland.

Development within the town will complement the current low density, low-scale character and enable a range of services to meet the day-to-day needs of the local community.

The town is not expected to expand beyond the current boundary of the built-up area and new development will have regard to the building form, scale and siting of adjoining development.

Development will need to also have regard to the impact arising from the existing bulk handling facilities on Railway Terrace.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facility
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - educational establishment
 - open space
 - recreation area
 - shop or group of shops where the gross leasable area is less than 250 square metres
 - small-scale commercial development
 - small scale light and service industry development
 - small-scale tourist development
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Residential development should be mainly in the form of low-density detached dwellings, with a limited range of increased density development.

- 4 Business and commercial development should be confined to Railway Terrace South between Sixth Street and East Terrace and to the Railway Reserve (Section 514) and be of a scale and function consistent with the role of the township as a local service centre supplying a range of goods and services to the local community, the surrounding district and visitors to the area.
- 5 Industry uses should be restricted primarily to Section 506, Railway Terrace South and to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.
- 6 Advertising adjoining the Kadina Road should be small scale in size and form and should not visually dominate the principal traffic route through the town.

Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 8 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres –for single storey. 8 metres - for two storey.
Minimum setback from secondary road frontage	3 metres –for single storey. 4 metres - for two storey.
Minimum setback from side boundaries	1.2 metres
Minimum setback from rear boundary	4 metres
Maximum site coverage	50 per cent
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser).
Minimum area of private open space	40 square metres plus 20 square metres per bedroom for a dwelling of more than one bedroom.

- 9 On site water storage should meet the following minimum water tank size requirements, (a) or (b):
 - (a) 60 000 litres where there is no reticulated water supply available
 - (b) in areas where there is a reticulated water supply available:
 - (i) 5000 litres on allotments less than 450 square metres in area
 - (ii) 10 000 litres on allotments with an area of 450 square metres to 649 square metres
 - (iii) 22 000 litres on allotments with an area of 650 square metres or greater.
- 10 Development of a business, commercial or industrial nature should be consolidated with existing facilities to establish identifiable service centres.

- 11 Except where different parameters are specified in a specific policy area or precinct, sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Maximum floor area	90 square metres or 10 per cent of the allotment or site area (whichever is the lesser).
Maximum building height (from natural ground level)	3.6 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	1 metre
Minimum setback from a public road or public open space area	0.5 metres behind the main façade of the dwelling with which it is associated.

- 12 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Dwelling type	Minimum site area (square metres)	Minimum frontage (metres)
All dwelling types	1200	15

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Crematorium	
Dairy	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area is less than 250 square metres.
Special industry	

Form of development	Exceptions
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	Except where it is in the form of a recycling collection depot.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Outbuilding, including a carport, garage, veranda or pergola, that is less than 9 metres in length and 4 metres in height	Community centre
Shop	Education establishment
	Land division in which each allotment created does not meet minimum size requirements
	Place of worship
	Pre-school
	Supported accommodation and housing for seniors

Transition (Infrastructure) Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Protection of the existing use rights of industrial land uses in the area
- 2 Increased mix in the range of dwellings available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Conservation and enhancement of the main road streetscape and scenic rural setting of the township.
- 4 Development that contributes to the desired character of the zone.
- 5 The transition of the area from non residential to residential land use.

DESIRED CHARACTER

The zone has been established to provide specific development guidelines for the SA Water site.

In order to protect the existing use rights of industries in this area, provision is made for minor expansion of existing premises. Industry in the zone should not expand beyond the site they occupied on 26 September 2002 and no new industries should establish in the zone.

The long term goal of this zone is the relocation of industry to more appropriate zones away from residential areas.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facility
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - educational establishment
 - open space
 - recreation area
 - retirement village
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should promote the transition of the area from non-residential to residential land uses.
- 4 Residential development should be staged, designed and sited so that conflict with existing non-residential uses is minimised and an adequate level of amenity is provided.
- 5 The expansion, alteration or replacement of existing non residential land uses should seek to minimise the affects of the industry on adjoining residential development.

- 6 Expansion of existing non residential premises is discouraged however minor floor area extensions of up to 20 per cent of the existing ground floor area of the buildings on the site at 26 September 2002 may be appropriate where:
- (a) adequate separation is maintained between non residential and residential land uses
 - (b) additional screening in the form of fencing or landscaping is provided as a physical separation between non residential and residential sites
 - (c) the purpose to which the building extension is to be put will not contribute to additional noise or other forms of pollution impacting upon adjoining residential development.
- 7 Development involving a change of use to residential development must not be undertaken unless a site assessment and audit confirms that:
- (a) the land is suitable for its intended use and does not represent, or potentially represent, unacceptable risks to human health and the environment
 - (b) the development will be undertaken in a manner that will not pose a threat to the health and safety of the environment or occupiers of the land or land in the locality.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Residential development should be designed and sited having regard to the nature of adjoining activities and in particular, noise and other forms of pollution there from.
- 10 Solid fencing, landscaping or site attributes should be used to provide physical and spatial separation between non residential and residential land uses.
- 11 Development generating high levels of traffic and/or are required to be serviced by heavy vehicles should not be established.
- 12 Vehicle access to any site shall not be gained from Moonta Road.
- 13 Except where otherwise specified in a specific policy area or precinct, dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres –for single storey; or the average setback of any existing dwellings on either of the two adjoining sites having frontage to the same primary street 8 metres for two storeys dwellings exceeding two storeys in height shall be set-back a distance equivalent to the finished building height of the building
Minimum setback from secondary road frontage	3 metres
Minimum setback from side boundaries	1 metre for single storey 1.2 metres for two storeys
Minimum setback from rear boundary	4 metres
Maximum site coverage	60 per cent (including all freestanding outbuildings)
Maximum building height (from natural ground level)	Two storeys or 9 metres (whichever is the lesser)

- 14 On site water storage should meet the following minimum water tank size requirements, (a) or (b):
- (a) 60 000 litres where there is no reticulated water supply available
 - (b) in areas where there is a reticulated water supply available:
 - (i) 5000 litres on allotments less than 450 square metres in area
 - (ii) 10 000 litres on allotments with an area of 450 square metres to 649 square metres
 - (iii) 22 000 litres on allotments with an area of 650 square metres or greater.
- 15 Except where different parameters are specified in a specific policy area or precinct, sheds, garages, carports and similar outbuildings, whether freestanding or not, should be designed within the following parameters:

Parameter	Value
Maximum floor area:	75 square metres or 10 per cent of the site area (whichever is the lesser)
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3.5 metres
Minimum setback from side and rear boundaries	0.6 metres or nil metres (where nil setback is defined, the maximum length of wall along the boundary is 12 metres and the maximum height of that wall is 3.5 metres)
Minimum setback from a public road or public open space area	6 metres or 0.5 metres behind the main façade of the dwelling with which it is associated, whichever is the greater
Maximum width of garages and carports facing the street (other than an access lane way)	6 metres or 33 per cent of the allotment (or building site) frontage width, whichever is the lesser distance

Land Division

- 16 Unless for the purpose of dividing an existing or approved dwelling development, land division must not create an allotment with an area less than 450 square metres, or less than 1200 square metres where not connected to a community wastewater management system.
- 17 Not more than 15 per cent of the total number of new residential allotments created would obtain access from a cul-de-sac in order to promote connectivity.
- 18 No residential allotment shall have more than one street frontage other than a corner allotment which may have a primary and secondary street frontage.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Abattoir	
Amusement machine centre	
Builder's yard	
Electricity sub-station	
Fuel depot	
Hotel	
Industry	
Motor repair station	
Motel	
Office	
Petrol filling station	
Retail showroom	
Road transport terminal	
Shop	
Service trade premises	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Detached dwelling	Community centre
Land division	Education establishment
Outbuilding, including a carport, garage, veranda or pergola, that is less than 9 metres in length and 4 metres in height	Land division in which each allotment created does not meet minimum size requirements
Recreation area	Place of worship
	Pre-school
	Supported accommodation and housing for seniors

Table Section

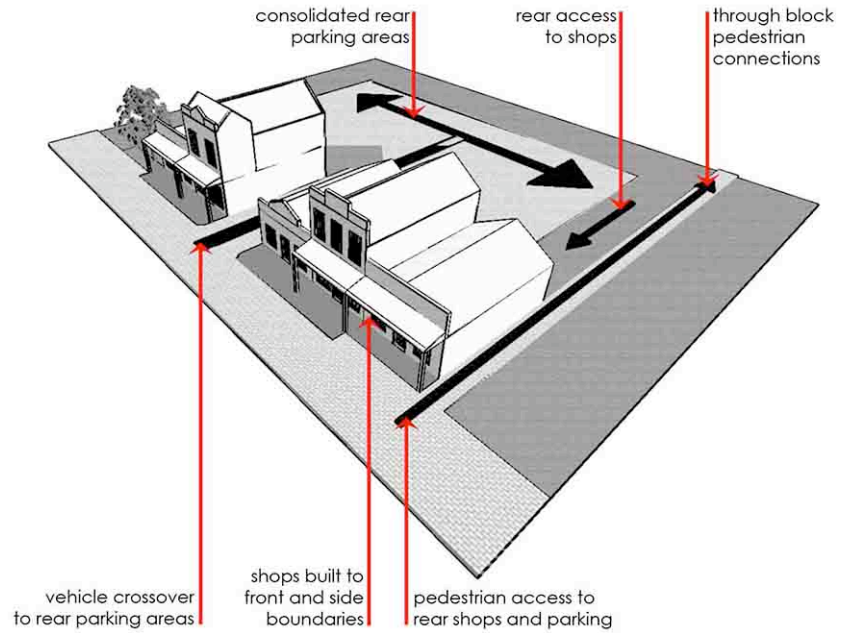
Table CoCo/1 - Building Setbacks from Road Boundaries

Road Boundary	Setback distance from road boundary (metres)
Within the Coastal Conservation Zone, Conservation Zone or Deferred Urban Zone	30 metres
Commercial Zone	6 metres
Primary Production Zone	30 metres except for wind farms and ancillary development.
Town Centre Zone	Nil
Within all other zones not listed above	See zone provisions

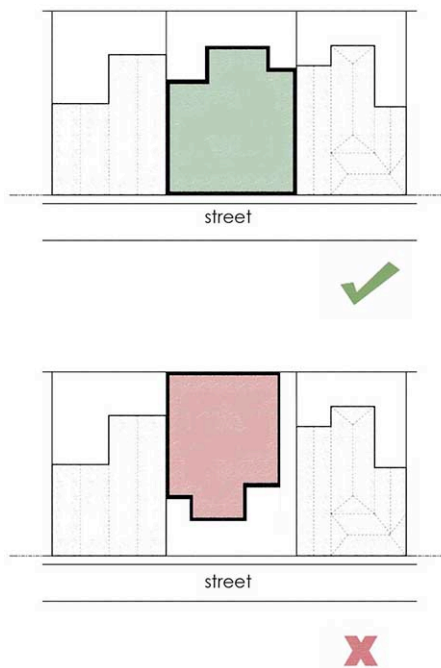
Table CoCo/2 - Historic Conservation Guidelines

Component / Aspect / Issue	Guidelines for Development
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Form of development Commercial development should be sited to the front and side boundaries, other than where there has been existing access to the rear of the site.



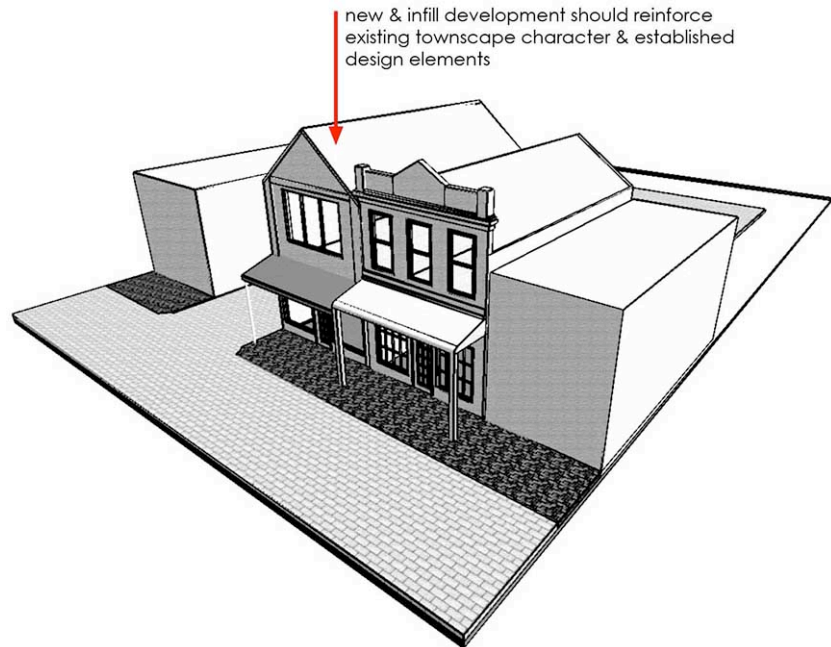
Streetscape Buildings should maintain the pattern of existing development. Within the Town Centre Zone this will involve the siting of new buildings square to and on the street alignment.



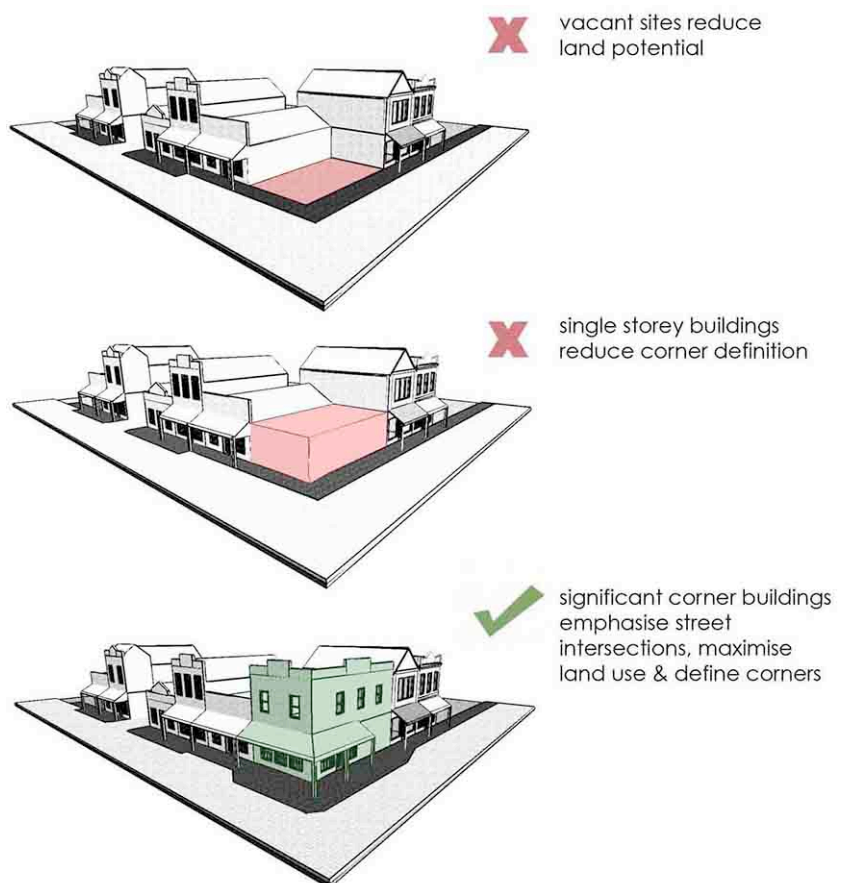
Component / Aspect / Issue	Guidelines for Development
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New development

New development should reflect the character design and siting of neighbouring buildings.



Corner sites



Component / Aspect / Issue	Guidelines for Development
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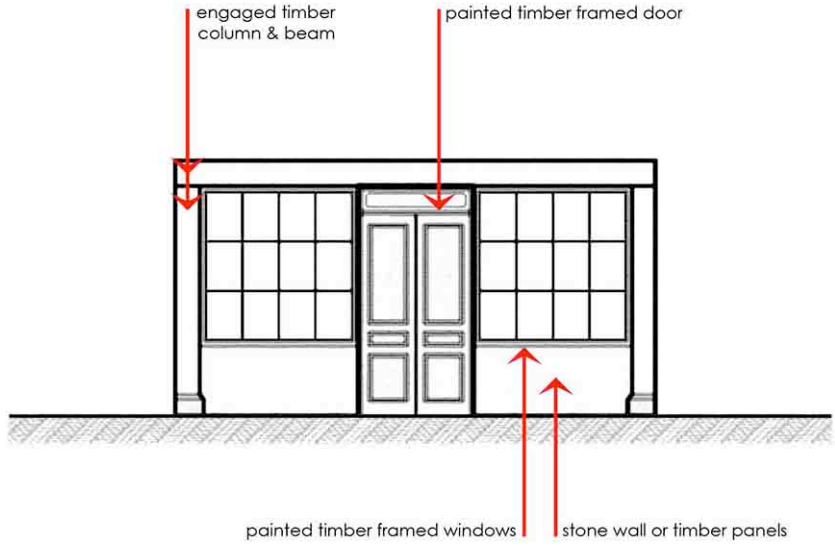
Building proportions

The scale and composition of new buildings should complement that of existing buildings. In particular, features such as verandas, veranda wall heights, pattern of window and door openings to wall space and horizontal and vertical divisions should be maintained.



Windows, doors and shopfronts

Timber frame windows, doors and shopfronts should be retained and repaired where possible.



Replacement windows and doors should be of timber to match the original frames and sashes in detailing to the relevant period.

Timber windows, doors and shopfronts should be painted, not stripped back to the original timber.

Metal frame windows should not be used.

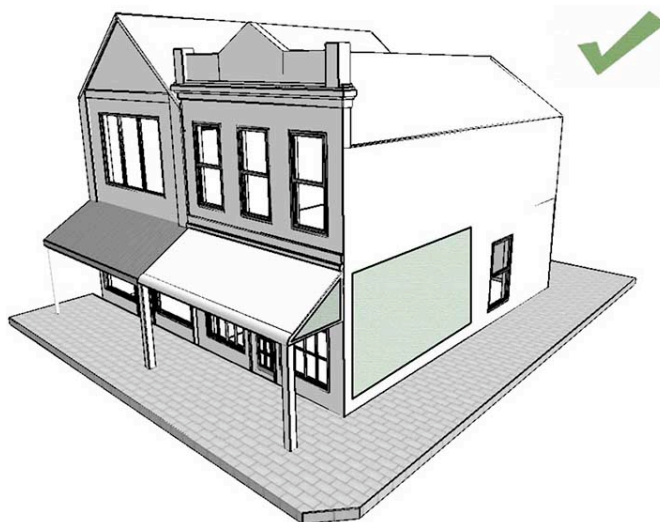
Component / Aspect / Issue	Guidelines for Development
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Outdoor advertising

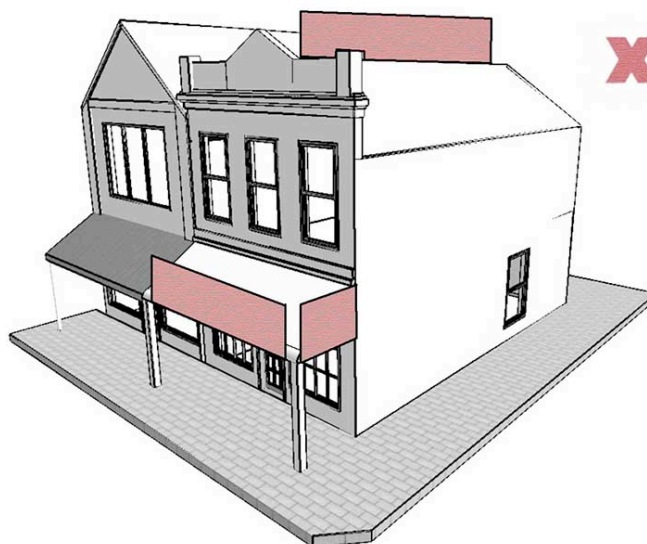
Signs should be designed to complement the building. Preferred sign locations, lettering styles and colours are those that were traditionally used in the 19th century.

Signs may be painted or fixed flat to existing parapets, veranda fascias, veranda ends or veranda posts, providing they do not obscure the structure.

Signs should be below the roof level or hung from below the veranda fascias or directly onto the parapet walls.



Signs should not detract from the structure itself and should not obscure detailing on the building. They should not hide the slope of the veranda or dominate the building.



Signs should not project out from walls or block views beneath the veranda.

Painted signs are preferred; however illuminated box signs may be used if their location and size is carefully considered.

Neon signs are not considered appropriate.

Component / Aspect / Issue	Guidelines for Development
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Signage

Lettering should be traditional, well proportioned Serif or Sans-Serif styles.

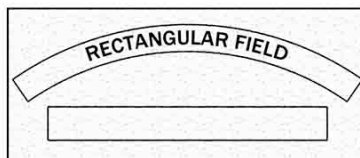
Serif Font examples:

Book Antiqua (Bold)
Times New Roman (Bold)
Century Schoolbook

San-Serif Font examples:

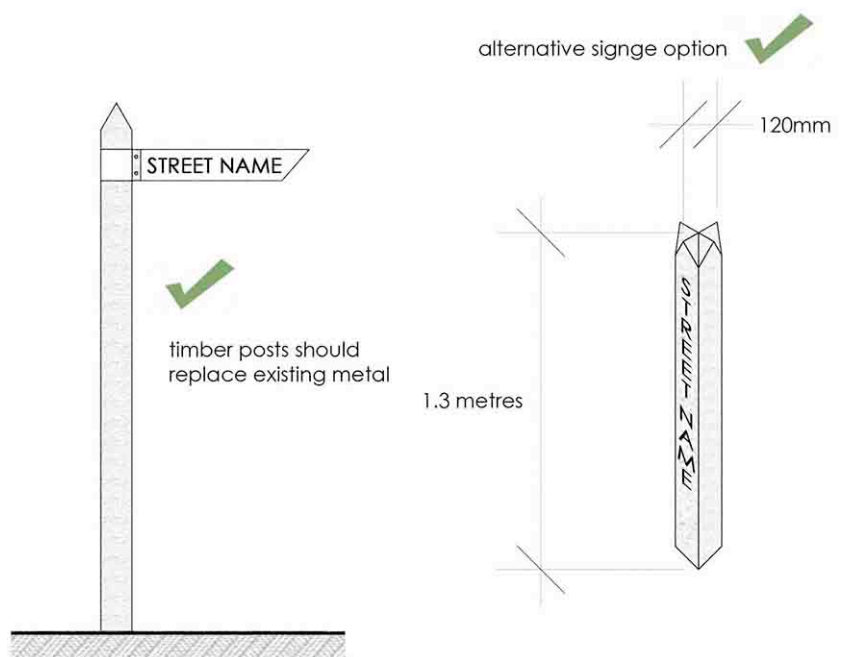
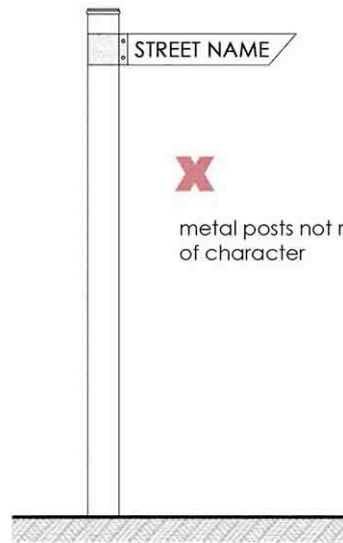
Helvetica
Tahoma (Bold)
Franklin Gothic (Medium)

Colours should be based on the heritage range of external colours.



Component / Aspect / Issue Guidelines for Development

Street signs



Component / Aspect / Issue	Guidelines for Development
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Masonry walls

Mortars for repointing and repairs should match the colour, texture and mixture of the original.

Mortars should have a high lime content, and cement mortar should not be used.

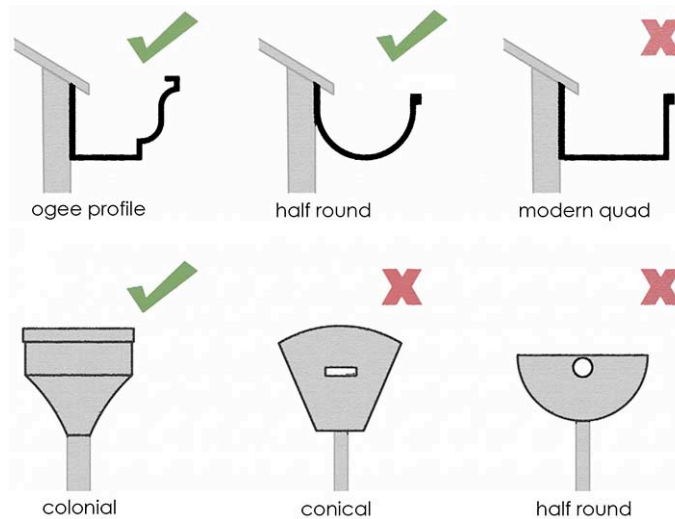
Matching stone should be used for replacement.

Paint removal should not damage the masonry walls. Sand blasting should not be used.

The treatment of rising damp and investigation of the cause should be based upon professional advice.

Stone walls should be rendered where there is evidence that the stonework was not originally exposed.

Gutters and downpipes



Replacement gutters should be of metal, either half round or ogee profile. Square sections should not be used. Where evidence of an original gutter profile exists this should be reinstated.

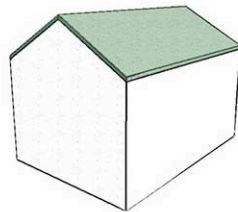
Rainheads should be of colonial design unless other original designs remain.

Component / Aspect / Issue	Guidelines for Development
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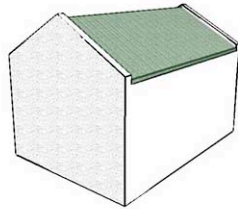
Roof forms

Corrugated iron roofs should be replaced with identical material, usually corrugated iron. Corrugated Colorbond or similar product is an acceptable alternative.

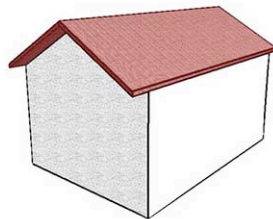
Traditional roof forms and eaves profiles should be retained.



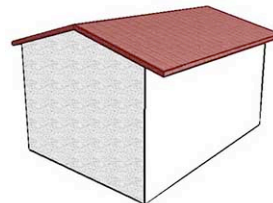
traditional gable roof at 35° to 40°



traditional hipped roof at 35° to 40°



inappropriate extended eaves



inappropriate pitch & eaves overhang

Roof pitches on new buildings should be between 35 degrees to 40 degrees.

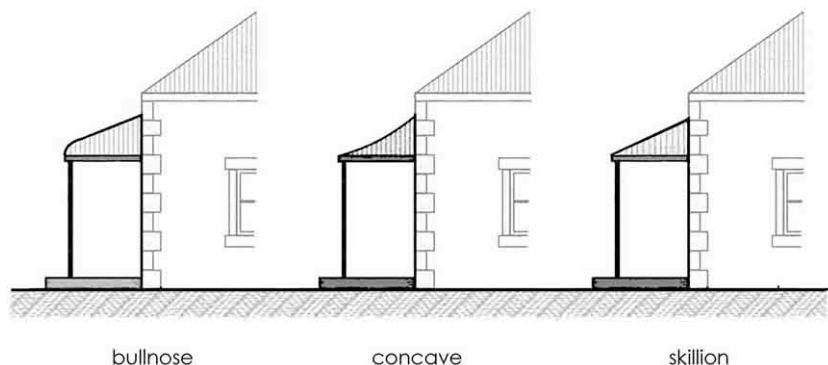
Colorbond roofs should be in a colour that resembles the appearance of galvanized iron. Shades of Colorbond 'Shale Grey' and 'Windspray' are acceptable colours.

Zincalume should not be used.

Roofing profiles other than corrugated are not appropriate and should not be used.

Component / Aspect / Issue	Guidelines for Development
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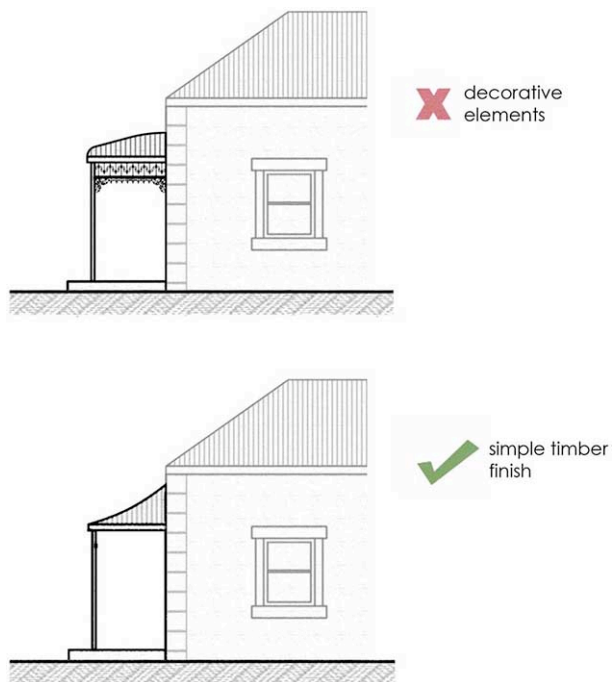
Veranda form



Verandas, including posts and any decorative elements, should be reinstated to original or appropriate form and detailing.

Veranda detail

Decorative elements such as cast iron lacework should not be installed on buildings where this never existed or is inappropriate.



Component / Aspect / Issue	Guidelines for Development
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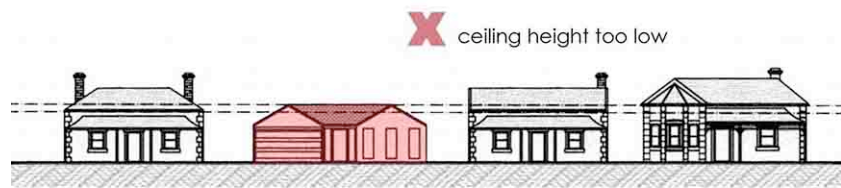
New development form New residential development should be sympathetic to neighbouring buildings and should not dominate or overpower the character of the street. Building styles should not replicate original building styles, but should complement original building styles.



There should be a clear visual distinction between new development and existing buildings.

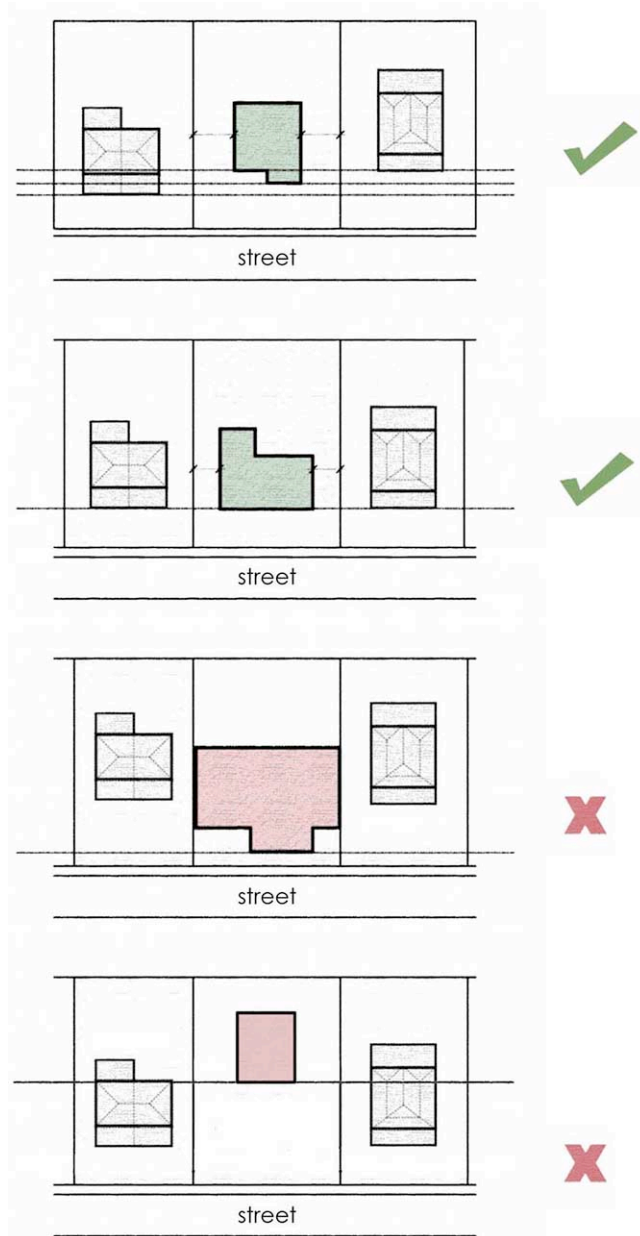
Component / Aspect / Issue **Guidelines for Development**

New development building heights



Component / Aspect / Issue	Guidelines for Development
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New development siting Infill development should maintain a setback similar to surrounding buildings.

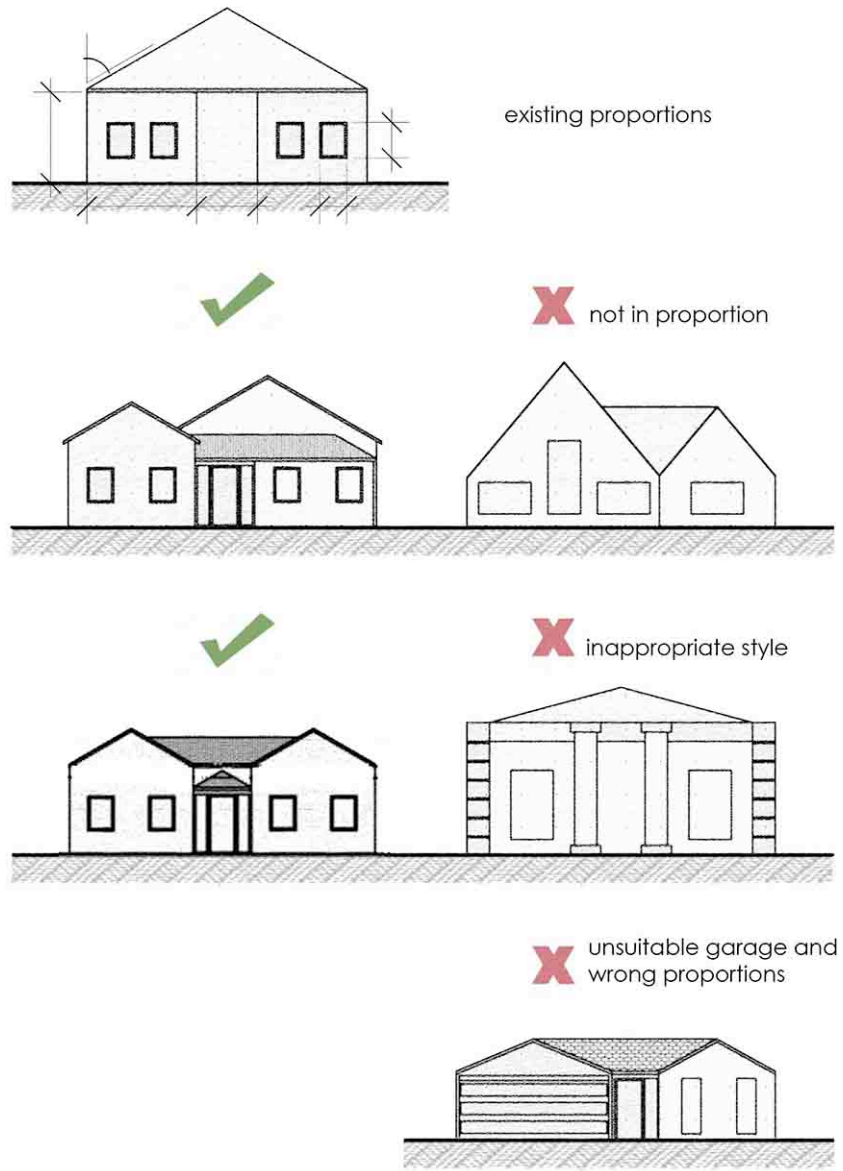


Inconsistent setbacks are not appropriate.

Component / Aspect / Issue	Guidelines for Development
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Proportions

Infill development should maintain the proportions of adjacent and surrounding buildings. The most important elements are the roof, veranda and veranda posts, and doors and windows.



Component / Aspect / Issue	Guidelines for Development
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Extension form

The external design and appearance of the original building should not be compromised by any extension or outbuilding. The extension should retain and strengthen the character of the place.

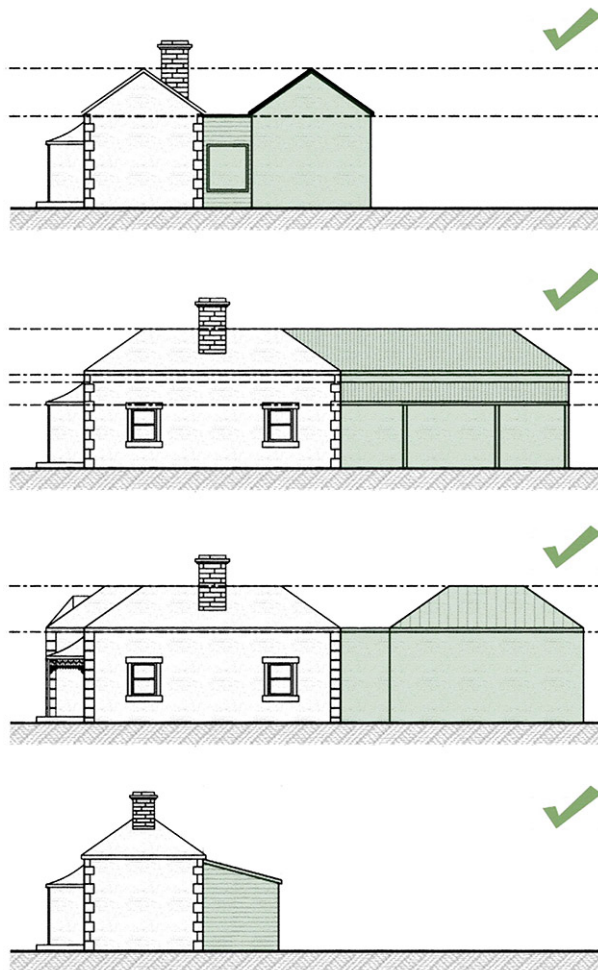
The extension should be simple in style and compliment the original house.

Roof and veranda form, pitch and height and ceiling levels (gutter lines) should be consistent with the existing building.

Additions should maintain a distinction between new work and the original building fabric. New work should be designed to permit the return of the building to its original condition at a later date.

Materials used for repair or infill of original walls should match or be closely compatible with the original materials of construction, including rendered masonry, stone, brick or lightweight construction with timber or corrugated iron cladding.

Materials used for roofs should match or closely compatible with the original materials for construction. Generally, painted or galvanized corrugated iron is the most appropriate roofing material.



Component / Aspect / Issue	Guidelines for Development
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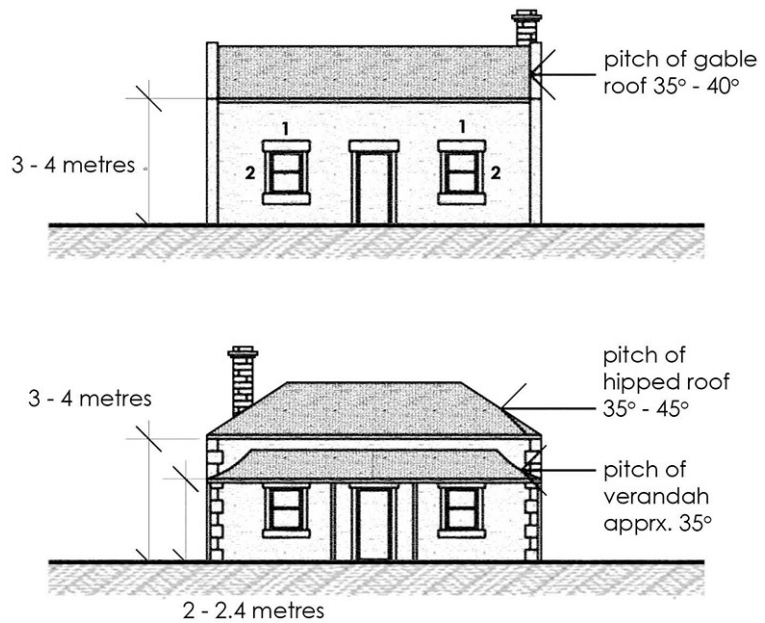
Siting of extensions Extensions should generally be located at the rear of the existing building and there should be a clear distinction between new and old.



Extensions to the side of an existing building may be acceptable if set back from the line of the front façade.

Extensions should respect the existing building form - the most important elements are the roof, type, pitch, the veranda and spacing of support posts and proportions of windows and other openings.

Component / Aspect / Issue **Guidelines for Development**



Roof form and pitch and overhang should closely resemble or match the existing building.

Size and proportion of existing openings should be reflected in the new work.

Garages, carports and sheds

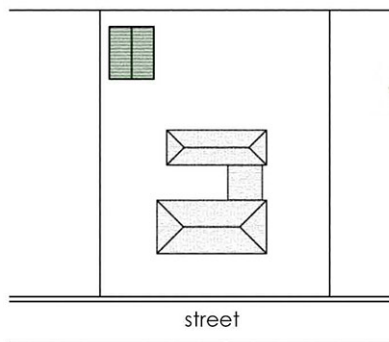
The introduction of a carport or garage must be considered on an individual basis for each dwelling in order to minimize the impact on that dwelling. No standard carport or garage design can thus be provided, however the following broad guidelines will apply:

Carports, garages and other outbuildings should be designed to compliment the original house and located so that they do not conflict with the appearance of adjacent buildings.

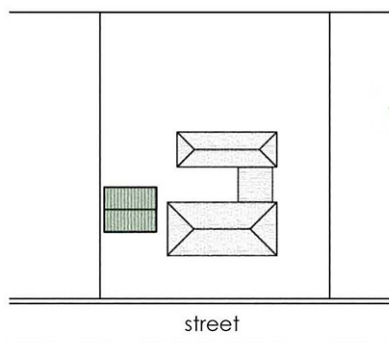
Roof form and pitch should match that of the existing dwelling, and materials should be sympathetic to existing materials.

Where possible, sheds, carports and garages should be detached and set back from the line of the front façade of the house.

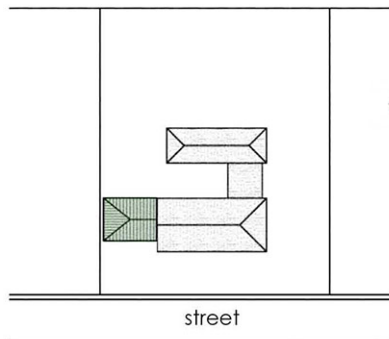
Component / Aspect / Issue **Guidelines for Development**



✓ completely detached & located behind dwelling

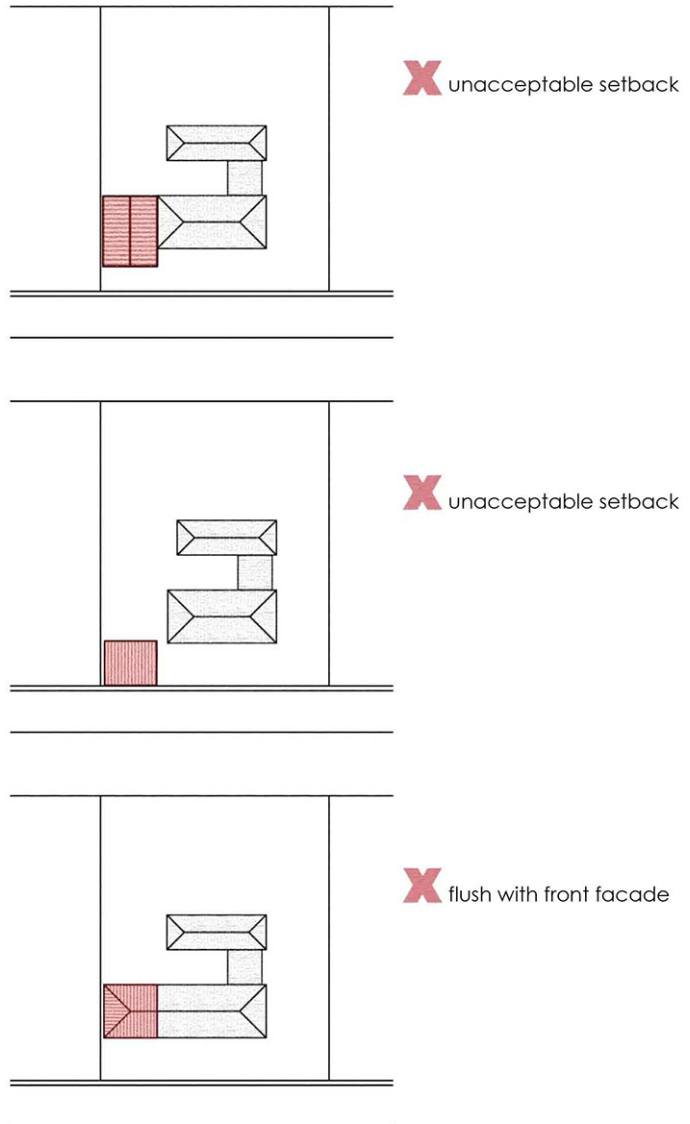


✓ completely detached with suitable setback



✓ attached to main building with suitable setback

Component / Aspect / Issue **Guidelines for Development**



Component / Aspect / Issue **Guidelines for Development**



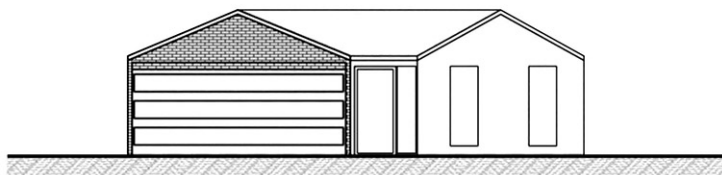
visually detached garage/carport setback behind dwelling style matches dwelling



not visually separated



on street front and not visually separated
roller or tilt up door not appropriate for street frontage



New houses with garages should have the garage doors set back from the line of the front façade to reduce the visual dominance of the garage door.

Component / Aspect / Issue	Guidelines for Development
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Sheds

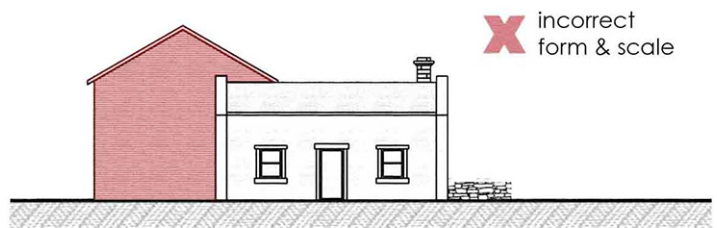
Sheds should be of simple design and should not visually impact the existing building. They should be located behind the existing building or towards the rear of the allotment.



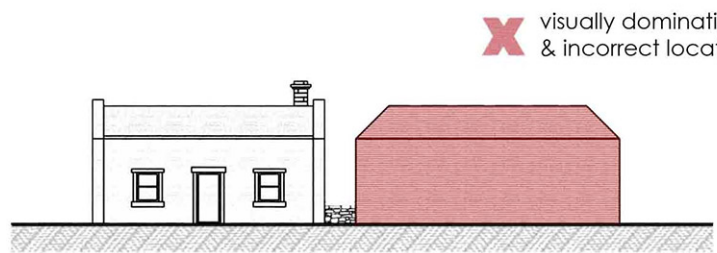
correct scale & concealed by existing building



visual setback & suitable setback



incorrect form & scale



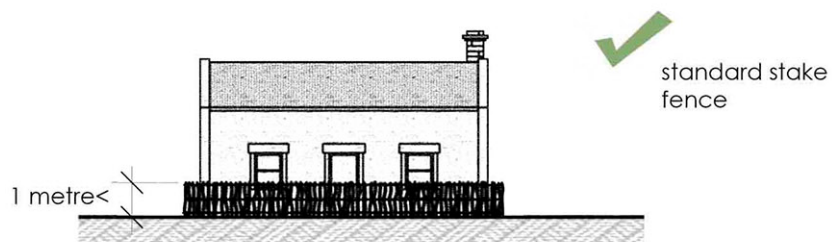
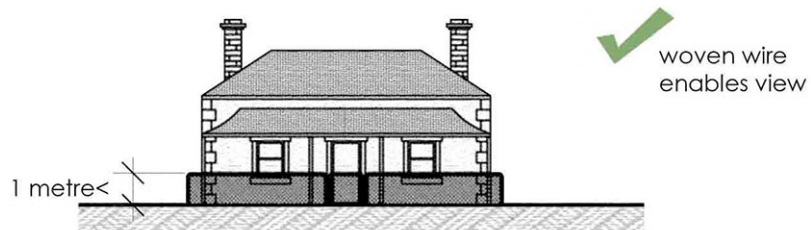
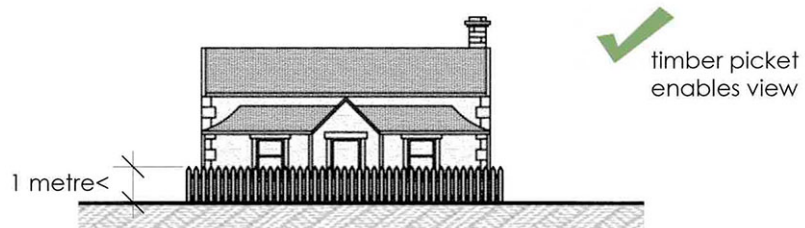
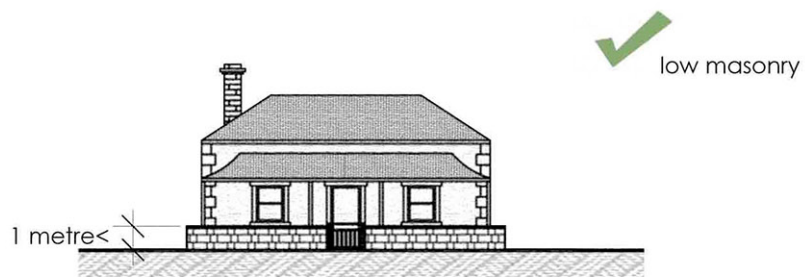
visually dominating & incorrect location

Roof pitch and form should match the existing dwelling and materials should complement the original.

The use of roof materials, gables, gutter tri, and ridge capping, and colour scheme should not conflict with the appearance of adjacent buildings.

Component / Aspect / Issue **Guidelines for Development**

Fences and gates



Component / Aspect / Issue	Guidelines for Development
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New fencing should be of local stone or rendered stone construction, timber pickets or other styles suitable to the area and age of the house.

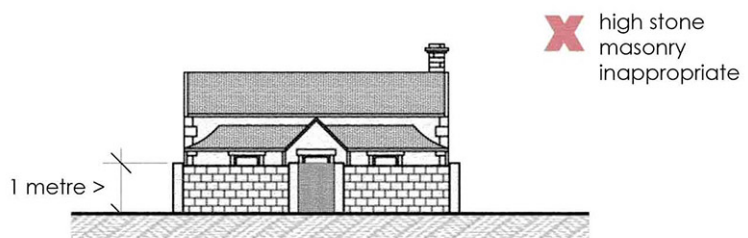
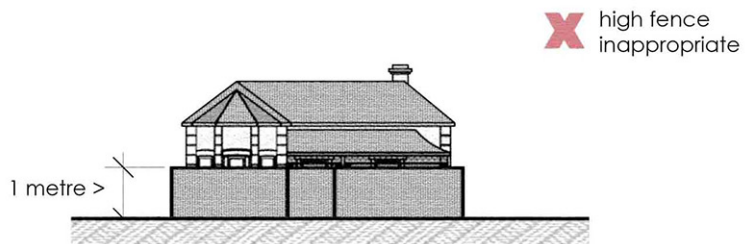
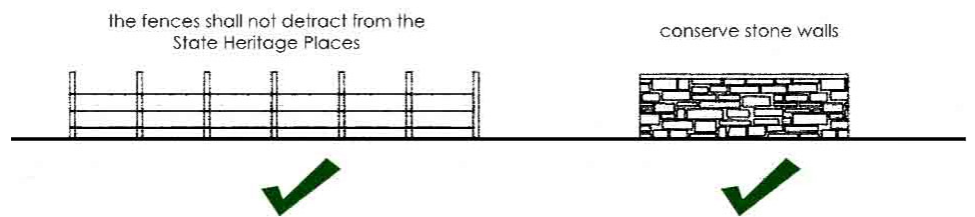
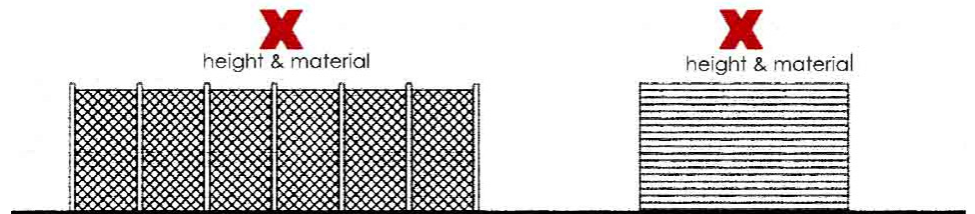


Table CoCo/3 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Accommodation	
Aged care retirement home	1 per unit
Display home	Assess on needs basis
Caravan Park	1 visitor space per 10 sites to be used for accommodation for parks with less than 100 sites 1 visitor space per 15 sites to be used for accommodation for parks with more than 100 sites
Dwelling	
Detached Semi-detached Row	2 per dwelling containing up to 3 bedrooms one of which is to be covered. 3 per dwelling containing 4 or more bedrooms one of which is to be covered.
Group Residential flat building	1.5 per dwelling one of which is to be covered plus 1 visitor space per 3 dwellings.
Guesthouse or hostel	1 per 3 beds
Nursing home	1 per 4 beds
Serviced apartment	1 per room plus 1 per employee
Tourist accommodation in the form of a bed and breakfast establishment	1 per guest room plus 1 per employee
Commercial	
Auction depot	1 per 100 square metres plus 2 spaces
Bank	5 per 100 square metres
Bulky Goods Outlet	4 per 100 square metres
Call centre	Assess on needs basis
Motor repair station	2 per 100 square metres or 4 per service bay (whichever provides the greater number of spaces).
Motor showroom	2 per 100 square metres
Office	4 per 100 square metres
Petrol filling station	6 per service bay plus 5 per 100 square metres retail floor area
Post office	7 per 100 square metres
Service trade premise	4 per 100 square metres
Shop	5 per 100 square metres (where located within a centre). 7 per 100 square metres (where not located within a centre).

Form of Development	Number of Required Car Parking Spaces
Used car lot or vehicle sales yard	2 per 100 square metres of total site area
Video store	6 per 100 square metres
Community and Civic	
Child care centre	1 per 4 children
Civic administration office	4 per 100 square metres
Community centre	10 per 100 square metres
Educational institution –	
pre-school, primary school and secondary school	1 per full time employee plus 1 space for wheelchair users plus an additional 10 per cent of the total for visitors.
tertiary institution	0.6 per full time student plus 0.2 per part time student.
Library	4 per 100 square metres
Meeting hall	1 per 5 seats
Place of worship	1 per 3 seats
Industry	
Industry (exclusive of office component) –	
up to 200 square metres total floor area	2 per 100 square metres
plus between 200 and 2000 square metres total floor area	additional 1.33 per 100 square metres
plus greater than 2000 square metres total floor area	additional 0.67 per 100 square metres
Labour intensive industry (inclusive of office component)	0.75 per employee
Office component	3.3 per 100 square metres
Medical	
Consulting room	10 per 100 square metres
Hospital	2.5 per bed
Medical centre or day surgery	10 per 100 square metres
Recreation	
Amusement machine centre	7 per 100 square metres
Bowling club	10 per bowling green
Cinema complex	1 per 3 seats
Concert hall or theatre	1 per 3 seats
Conference facility	Assess on needs basis
Entertainment multiplex	Assess on needs basis

Copper Coast Council
Table Section
Table CoCo/3 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Exhibition hall	Assess on needs basis
Indoor recreation centre or gymnasium	Assess on needs basis
Marina berth	0.75 per berth
Public boat ramp	30 car and trailer spaces per lane
Squash or tennis court	4 per court (Additional spaces may be required if spectator seating is proposed.)
TAB facility	8 per 100 square metres
Hotel or tavern	
Public bar	1 per 2 square metres
lounge or beer garden	1 per 6 square metres
Dining room	1 per 3 seats
Gaming room	1 per 2 machines
Accommodation	Assess on needs basis
Night club or late night venue	Assess on needs basis
Restaurant	1 per 3 seats or 1 per 15 square metres (whichever provides the greater number of spaces).
Restaurant in the form of a fast food/ family restaurant	
Without dine-in and drive through facilities only	12 per 100 square metres
With dine-in facilities only but no drive through	1 per 5 square metres (internal and external seating) or 1 per 2 seats (internal seating)— (whichever provides the greater number of spaces).
With dine-in and drive through facilities	1 per 3 square metres (internal and external seating) or 1 per 2 seats (internal seating) – (whichever provides the greater number of spaces). (A car queuing area for a maximum of 12 cars is also required, to be assessed on a needs basis; there should also be at least 4 car spaces back from the ordering point.)
Other	
Funeral parlour	4 per 100 square metres plus 1 per 4 seats where a chapel is also involved
Interchange/transport station	Assess on needs basis
Radio and TV studio	5 per 100 square metres

Table CoCo/4 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Drain Road KADINA	Kadina Cemetery, including the Mortuary and Wall	S2179 S2180	H211100 H211100	CT 106/6 CR 5756/452		11165
Matta Road KADINA	Matta Matta House Museum (former Mine Manager's Dwelling)	A101	D29469	CR 5750/510		10123
Newland Road KADINA	Former Harvey's Pumping Station	A60	D27952	CR 5750/494		10125
36-38 Taylor Street KADINA	Former Humphries Barber Shop (former Hancock's Barber Shop and Billiard Saloon)	A531	F197902	CT 5544/360		13618
51 Taylor Street KADINA	Kadina Town Hall (incorporating 1880 Mechanics Institute)	A565	F197936	CT 5855/806		10130
Blanche Terrace MOONTA	Masonic Hall (Duke of Edinburgh Lodge No. 16)	A374	F198555	CT 5833/550	a b d g	13865
Blanche Terrace MOONTA	All Saints Anglican Church	A336	T211104	CT 5838/402	a e	14672
21 Ellen Street MOONTA	Dwelling (former Bank of South Australia Moonta Branch, later Union Bank)	A331	F198512	CT 5832/60		10140
29 Ellen Street MOONTA	Former Moonta School of Mines (previously Baptist Church) and Fence	A344	F198525	CT 5894/531		10142
Moonta-Kadina Road MOONTA	Bald Hill (Site of 1864 Miners' Strike Meetings)	S1732	H211100	CT 5655/19	a b f g	16671
Retallick Road MOONTA	Moonta Cemetery, including Wall, Gates and Waiting Room	S2232 S2250	H211100 H211100	CT 149/41 CT 617/107		11166
Off Rossiters Road MOONTA BAY	Saltwater Intake and Pumping Station, Rossiters Point	S1993 A4	H211100 H211100 D18339	CR 5745/853 N/A CT 5677/834	a b e g	16672
Kadina Road MOONTA MINES VIA MOONTA	Shop (former Moonta Railway Station)	A2	D32691	CT 5388/822		10187
557 Milne Street MOONTA MINES VIA MOONTA	Moonta Mines Uniting (former Wesleyan Methodist) Church, including Fence and Sunday School Building	S1721	H211100	CT 5727/994		10114

Copper Coast Council
Table Section
Table CoCo/4 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Moonta Mines MOONTA MINES VIA MOONTA	Moonta Mines Model Sunday School Site	S1720	H211100	CR 5749/77		13110
Vercos Street MOONTA MINES VIA MOONTA	Miner's Cottage & Fence	S2091	H211100	CR 5749/86		10135
487 Verran Terrace MOONTA MINES VIA MOONTA	National Trust Museum (former Moonta Mines Model School)	A130	D27663	CR 5753/235		11732
MOONTA MINES VIA MOONTA	Former Hughes Pump House & Chimney	S1844	H211100	CR 5762/317		10113
NORTH YELTA VIA MOONTA	Yelta Smelter (Ruin)	A2	D35920	CR 5750/581		11167
1 Jetty Road WALLAROO	Dwelling (former Wallaroo Customs House)	A10	F3239	CT 6112/778		10144
John Terrace WALLAROO	Former Wallaroo Railway Station	A3	F137672	CT 5247/778		12375
1 Johns Terrace WALLAROO	Wallaroo Police Station & Dwelling	A326	T211103	CT 5457/245		10138
32 Lydia Terrace WALLAROO	Former Wallaroo Courthouse	A311	T211103	CR 5756/475		10146
8 Stirling Road WALLAROO	Former Wallaroo Wesleyan Methodist Church	A791	F189733	CT 5413/299		10139
WALLAROO	Wallaroo Smelters Site, including Hughes chimney stack, Wallaroo Seafarers' Centre (former Smelters' offices), ruins of various structures and slag heaps	Q106 Q91 A51 A2001 A2002	F213734 F216556 F29064 D82762 D82762	CT 5613/142 CT 5642/553 CR 5753/671 CT 6059/233 CT 6059/234		10137

This table is an extract from the South Australian Heritage Register established under Section 13 (1) of the *Heritage Places Act 1993*. In the event of a discrepancy between this extract and the South Australian Heritage Register, the South Australian Heritage Register shall prevail.

Mapping Section

Map Reference Tables

Spatial Extent Maps

Concept Plan Maps

Map Reference Tables

Index Maps

Index Map Type

[Council Index Map](#)

Zone Maps

Zone Name	Zone Map Numbers
Airfield Zone	CoCo/5
Bulk Handling Zone	CoCo/4, CoCo/11, CoCo/26
Caravan and Tourist Park Zone	CoCo/19, CoCo/21
Coastal Conservation Zone	CoCo/2, CoCo/3, CoCo/4, CoCo/6, CoCo/7, CoCo/9, CoCo/11, CoCo/19, CoCo/21
Coastal Marina Zone	CoCo/10, CoCo/11
Coastal Open Space Zone	CoCo/9, CoCo/10, CoCo/11, CoCo/19, CoCo/21
Coastal Settlement Zone	CoCo/10
Commercial Zone	CoCo/11, CoCo/13, CoCo/17, CoCo/20, CoCo/24
Community Zone	CoCo/11, CoCo/12, CoCo/14, CoCo/15, CoCo/17, CoCo/19, CoCo/20, CoCo/22, CoCo/23
Conservation Zone	CoCo/4, CoCo/9, CoCo/10
Deferred Urban Zone	CoCo/13, CoCo/15, CoCo/18
Historic Mining Zone	CoCo/8, CoCo/10, CoCo/11, CoCo/13, CoCo/16, CoCo/17, CoCo/20, CoCo/23, CoCo/24, CoCo/25
Industry Zone	CoCo/4, CoCo/11, CoCo/12, CoCo/14, CoCo/17, CoCo/18, CoCo/20, CoCo/22, CoCo/24
Light Industry Zone	CoCo/12, CoCo/17, CoCo/20
Local Centre Zone	CoCo/19, CoCo/21
Mixed Use Zone	CoCo/13, CoCo/14
Primary Production Zone	CoCo/1, CoCo/2, CoCo/3, CoCo/4, CoCo/5, CoCo/6, CoCo/7, CoCo/8, CoCo/9, CoCo/11, CoCo/12, CoCo/13, CoCo/14, CoCo/15, CoCo/16, CoCo/17, CoCo/18, CoCo/19, CoCo/20, CoCo/22, CoCo/23, CoCo/24, CoCo/25, CoCo/26
Residential Zone	CoCo/4, CoCo/7, CoCo/9, CoCo/10, CoCo/11, CoCo/12, CoCo/13, CoCo/14, CoCo/15, CoCo/16, CoCo/17, CoCo/18, CoCo/19, CoCo/20, CoCo/21, CoCo/22, CoCo/23
Rural Living Zone	CoCo/4, CoCo/8, CoCo/10, CoCo/12, CoCo/13, CoCo/15, CoCo/17, CoCo/18, CoCo/19, CoCo/20, CoCo/21, CoCo/22, CoCo/25
Settlement Zone	CoCo/10

Zone Name	Zone Map Numbers
Special Uses Zone	CoCo/4, CoCo/10, CoCo/15
Tourist Accommodation Zone	CoCo/4, CoCo/9, CoCo/10, CoCo/11, CoCo/18, CoCo/21, CoCo/22
Town Centre Zone	CoCo/10, CoCo/11, CoCo/12, CoCo/14, CoCo/17, CoCo/20, CoCo/23
Township Zone	CoCo/26
Transition (Infrastructure) Zone	CoCo/17

Historic Conservation Area Maps

Area Name	shown within Overlay Maps - Heritage
Historic Conservation Policy Area	CoCo/1, CoCo/8, CoCo/10, CoCo/11, CoCo/12, CoCo/13, CoCo/16, CoCo/17, CoCo/20, CoCo/23, CoCo/24, CoCo/25
State Heritage Area	CoCo/1, CoCo/20, CoCo/23, CoCo/24, CoCo/25

Policy Area Maps

Policy Area Name	Policy Area Map Numbers
Moonta Mines Policy Area 1	CoCo/20, CoCo/23, CoCo/24, CoCo/25
Wallaroo Mines Policy Area 2	CoCo/8, CoCo/13, CoCo/16, CoCo/17
Wallaroo Town Policy Area 3	CoCo/10, CoCo/11
Infrastructure Policy Area 4	CoCo/4, CoCo/11, CoCo/12, CoCo/14, CoCo/22
Home Industry Policy Area 5	CoCo/12,
Golf Course Policy Area 6	CoCo/7, CoCo/21, CoCo/22
Low Density Policy Area 7	CoCo, 17, CoCo/25
Wallaroo Marina Policy Area 8	CoCo/10
Kadina Policy Area 9	CoCo/14, CoCo/17
Moonta Policy Area 10	CoCo/20, CoCo/23
Wallaroo Policy Area 11	CoCo/10, CoCo/11, CoCo/12
Bulky Goods Policy Area 12	CoCo/20, CoCo/24
Motor Vehicle Showroom Policy Area 13	CoCo/17
Wallaroo Shores Policy Area 14	CoCo/10
North Beach Policy Area 15	CoCo/4, CoCo/9
Pamir Court Policy Area 16	CoCo/10

Precinct Maps

Precinct Name	Precinct Map Numbers
Precinct 1 Hamley	CoCo/23
Precinct 2 Hancocks	CoCo/23, CoCo/25
Precinct 3 Hughes	CoCo/25
Precinct 4 Mine Management	CoCo/25
Precinct 5 Moonta Mines Buffer	CoCo/20, CoCo/23, CoCo/24, CoCo/25
Precinct 6 Moonta Station	CoCo/20, CoCo/23
Precinct 7 Precipitation Works	CoCo/20, CoCo/23
Precinct 8 Residential - Moonta Mines and North Yelta	CoCo/20, CoCo/23, CoCo/24, CoCo/25
Precinct 9 Richmans	CoCo/24, CoCo/25
Precinct 10 Ryans	CoCo/23, CoCo/24, CoCo/25
Precinct 11 Taylors	CoCo/25
Precinct 12 Yelta Slimes	CoCo/20, CoCo/23, CoCo/24
Precinct 13 Cornish Village	CoCo/16
Precinct 14 Matta Museum	CoCo/17
Precinct 15 Mines Buffer	CoCo/8, CoCo/13, CoCo/16, CoCo/17
Precinct 16 Mines Industry	CoCo/16, CoCo/17
Precinct 17 Residential Kadina	CoCo/13, CoCo/16, CoCo/17
Precinct 18 Residential Matta	CoCo/17
Precinct 19 Marina	CoCo/10
Precinct 20 Rural Low Density	CoCo/8, CoCo/15, CoCo/22, CoCo/25
Precinct 21 Retail Core	CoCo/14, CoCo/17
Precinct 22 Commercial Area	CoCo/14
Precinct 23 Marina Tourist Accommodation	CoCo/10
Precinct 24 Wallaroo Shores Medium Density	CoCo/10
Precinct 25 Mixed Use	CoCo/10, CoCo/11

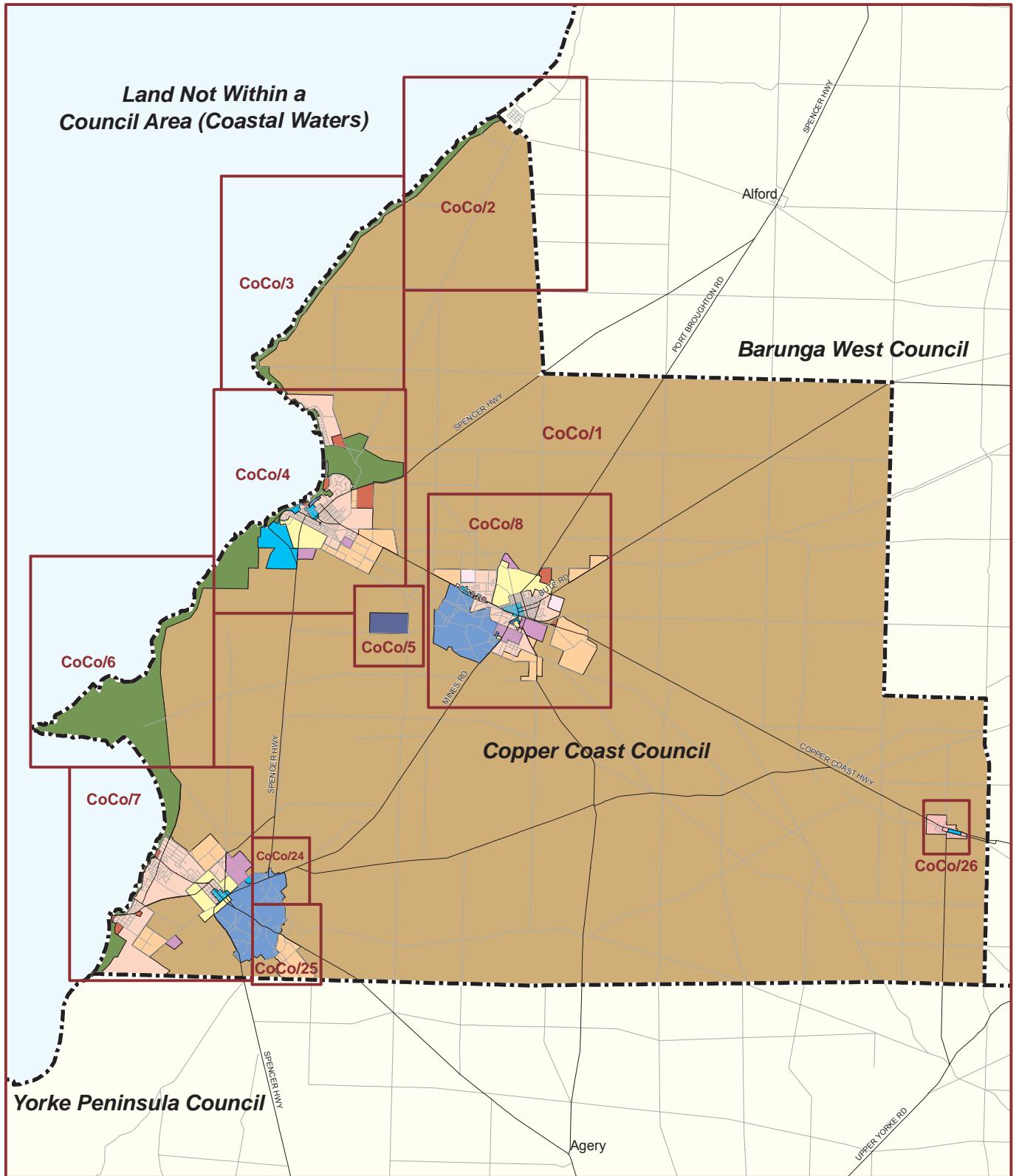
Overlay Maps

Overlay Map - Type	Overlay Map Numbers
Location	CoCo/1, CoCo/2, CoCo/3, CoCo/4, CoCo/5, CoCo/6, CoCo/7, CoCo/8, CoCo/9, CoCo/10, CoCo/11, CoCo/12, CoCo/13, CoCo/14, CoCo/15, CoCo/16, CoCo/17, CoCo/18, CoCo/19, CoCo/20, CoCo/21, CoCo/22, CoCo/23, CoCo/24, CoCo/25, CoCo/26
Transport	CoCo/1, CoCo/4, CoCo/7, CoCo/8, CoCo/10, CoCo/11, CoCo/12, CoCo/13, CoCo/14, CoCo/15, CoCo/17, CoCo/18, CoCo/20, CoCo/23, CoCo/24, CoCo/26
Heritage	CoCo/1, CoCo/8, CoCo/10, CoCo/11, CoCo/12, CoCo/13, CoCo/14, CoCo/16, CoCo/17, CoCo/19, CoCo/20, CoCo/23, CoCo/24, CoCo/25
Development Constraints	CoCo/1, CoCo/6
Affordable Housing	CoCo/4, CoCo/9, CoCo/18, CoCo/19, CoCo/21, CoCo/22

Concept Plan Maps

Concept Plan Title	Concept Plan Map Numbers
Bulk Handling (Wallaroo)	Concept Plan Map CoCo/1
Industrial Area (Moonta)	Concept Plan Map CoCo/2
Industrial Area (Kadina)	Concept Plan Map CoCo/3
Residential Jones Street (Wallaroo)	Concept Plan Map CoCo/4
Residential Athena Drive (Wallaroo)	Concept Plan Map CoCo/5
Residential Agery Road (Kadina)	Concept Plan Map CoCo/6
Residential North Beach (Wallaroo)	Concept Plan Map CoCo/7
Residential Golf Course (Port Hughes)	Concept Plan Map CoCo/8
Marina (Wallaroo)	Concept Plan Map CoCo/9
Town Centre (Moonta)	Concept Plan Map CoCo/10
Motor Vehicle Showrooms (Kadina)	Concept Plan Map CoCo/11
Residential Schilling Street (Kadina)	Concept Plan Map CoCo/12
Tourist Accommodation Pamir Court (Wallaroo)	Concept Plan Map CoCo/13
Town Centre (Wallaroo)	Concept Plan Map CoCo/14

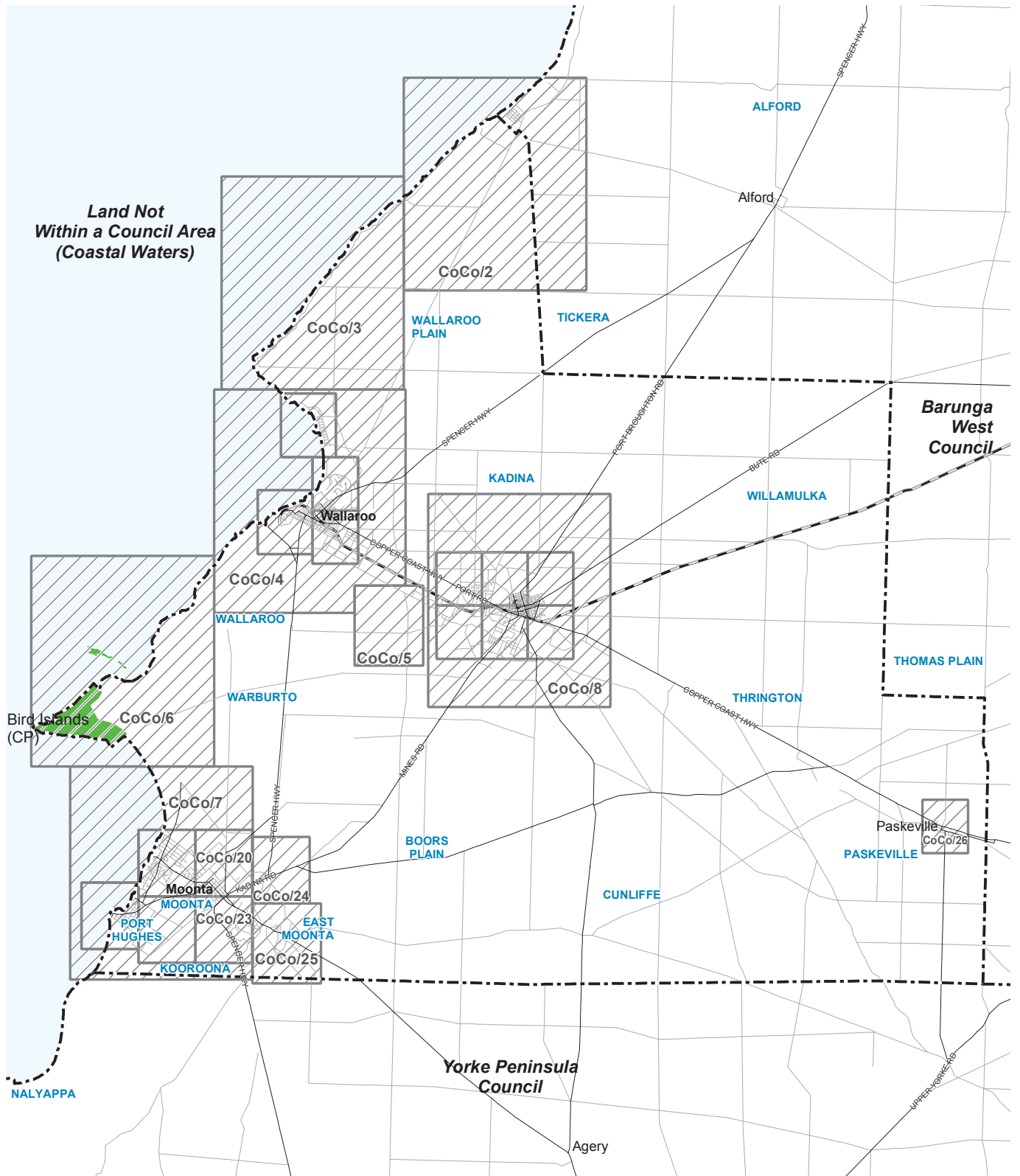
Spatial Extent Maps







For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps CoCo/1 to Map CoCo/26 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.

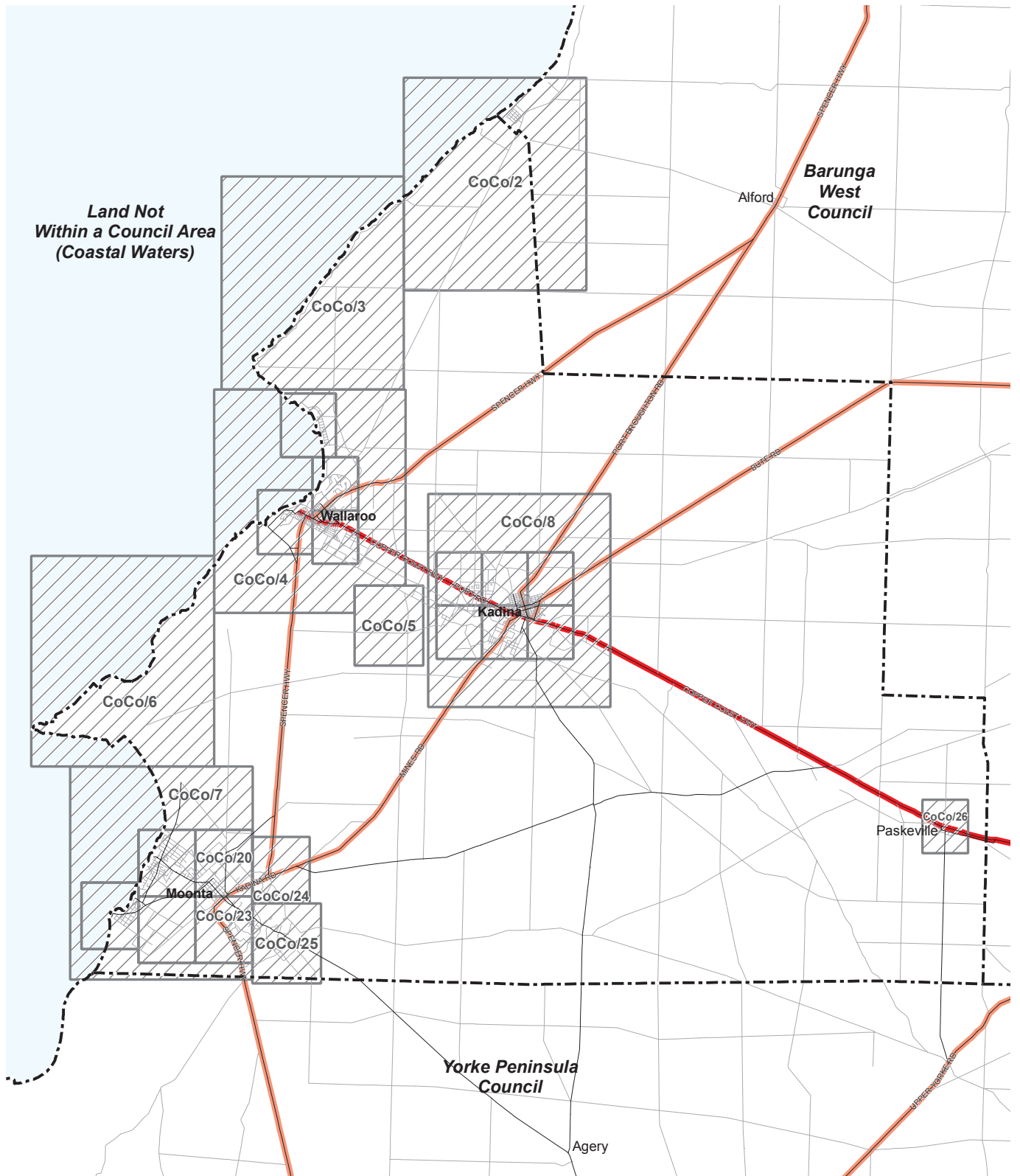


Council Index Map



-  Council Office
-  Railways
-  Conservation Park
-  Development Plan Boundary

Location Map CoCo/1

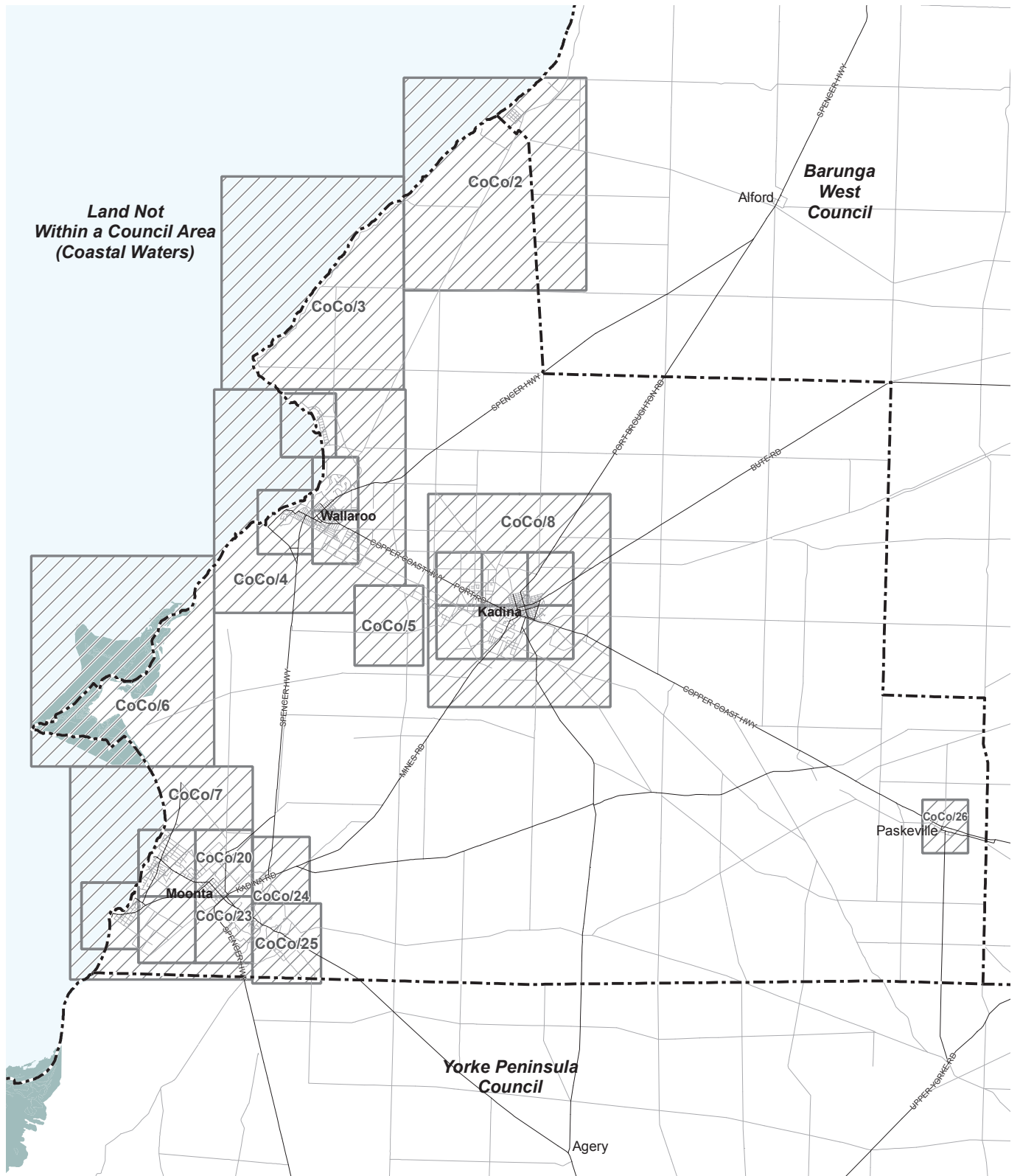


- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

Overlay Map CoCo/1

TRANSPORT





Land Not
Within a Council Area
(Coastal Waters)

Barunga
West
Council

Alford

CoCo/2

CoCo/3

CoCo/4

CoCo/5

CoCo/8

Kadina

CoCo/6

CoCo/7

CoCo/20

CoCo/23

CoCo/24

CoCo/25

Moonta

CoCo/26

Paskeville

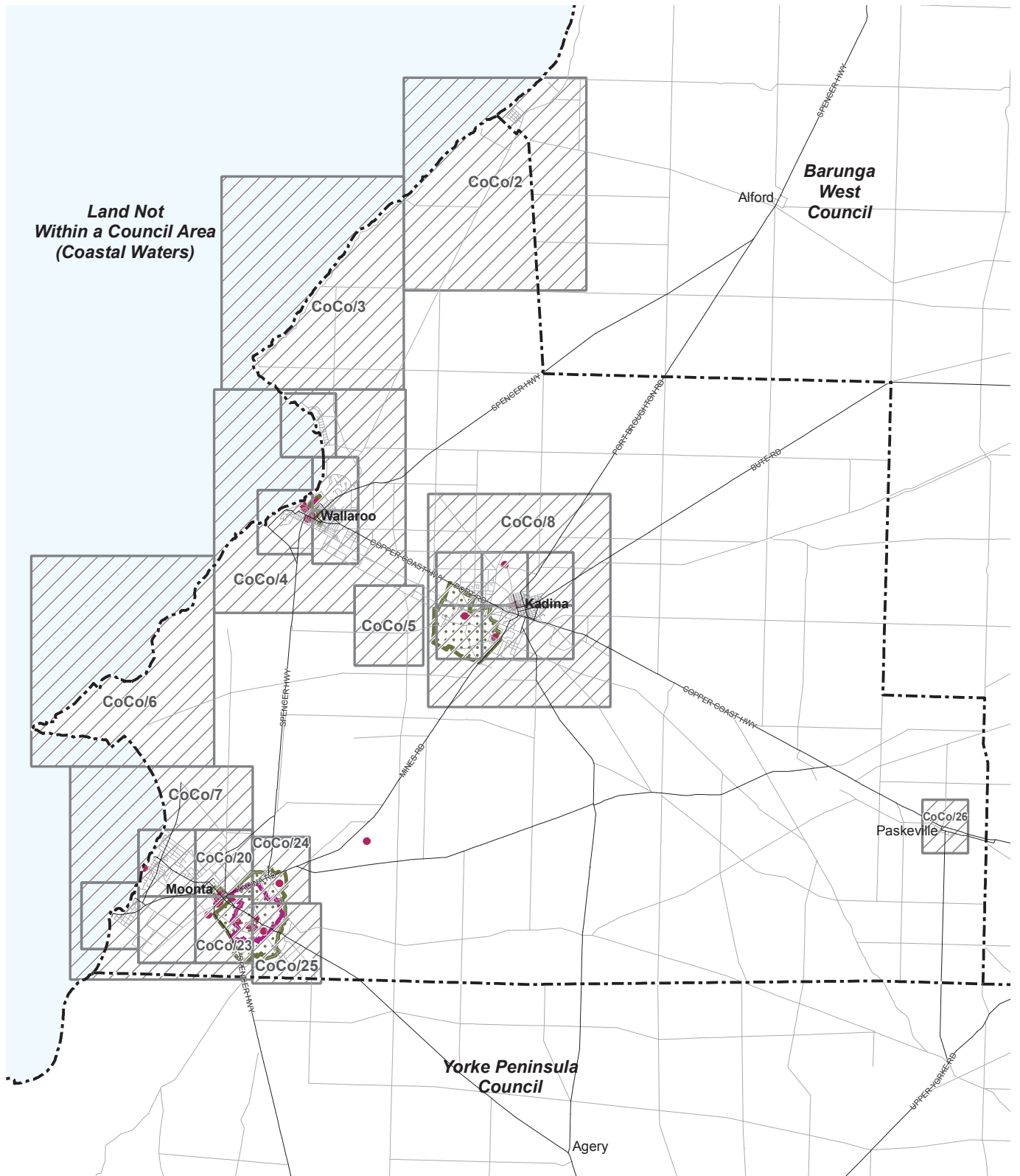
Yorke Peninsula
Council

Agery



Overlay Map CoCo/1 DEVELOPMENT CONSTRAINTS

- Coastal Acid Sulfate Soils
- Development Plan Boundary



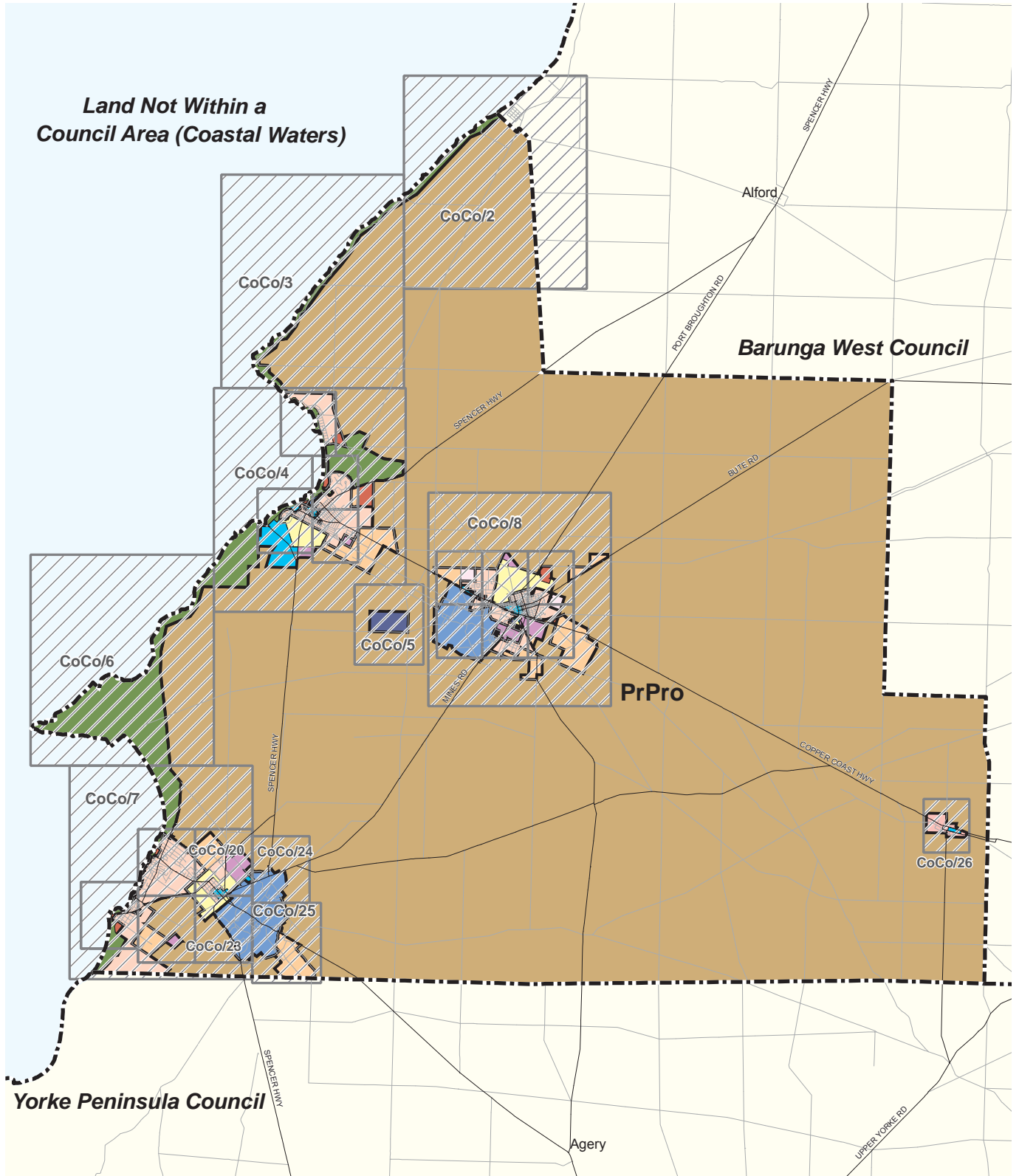
Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- State Heritage Area
- Historic Conservation Area
- Development Plan Boundary

Overlay Map CoCo/1

HERITAGE



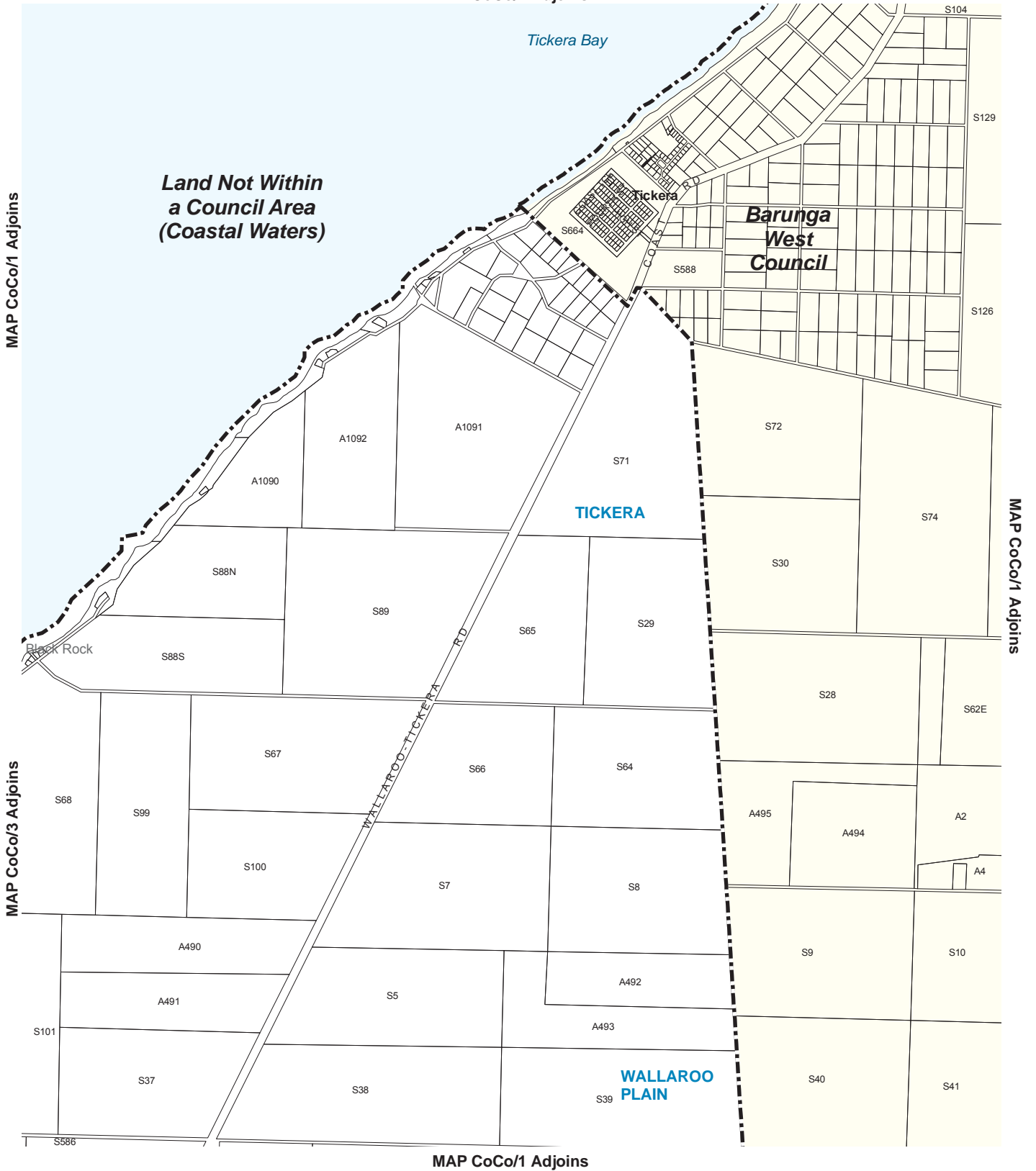
See enlargement map for accurate representation.



- Zones**
- PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map CoCo/1

MAP CoCo/1 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

MAP CoCo/1 Adjoins

MAP CoCo/3 Adjoins

MAP CoCo/1 Adjoins

MAP CoCo/1 Adjoins



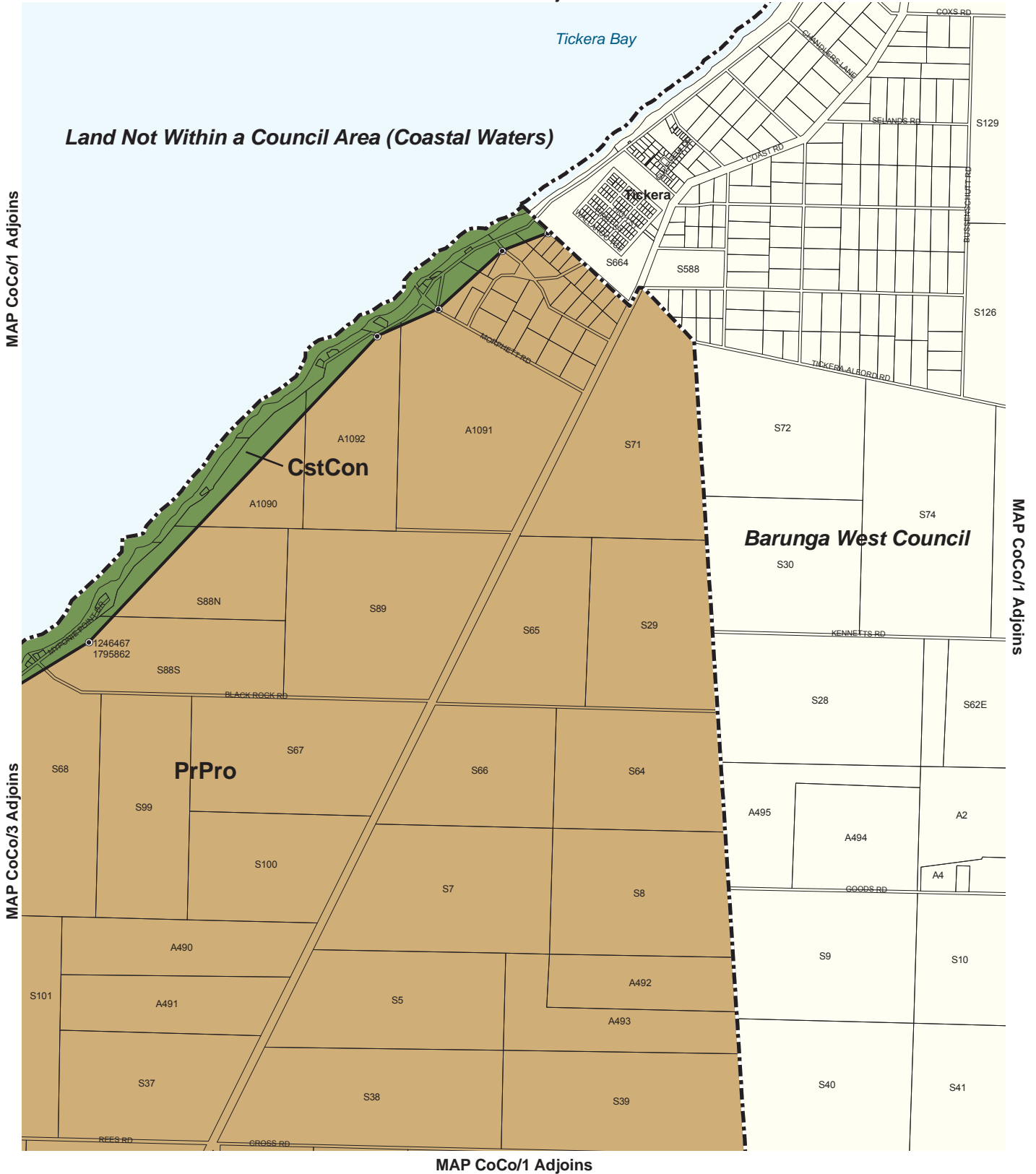
0 2,000m

Location Map CoCo/2

----- Development Plan Boundary

COPPER COAST COUNCIL
Consolidated - 23 May 2019

MAP CoCo/1 Adjoins



Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map CoCo/2

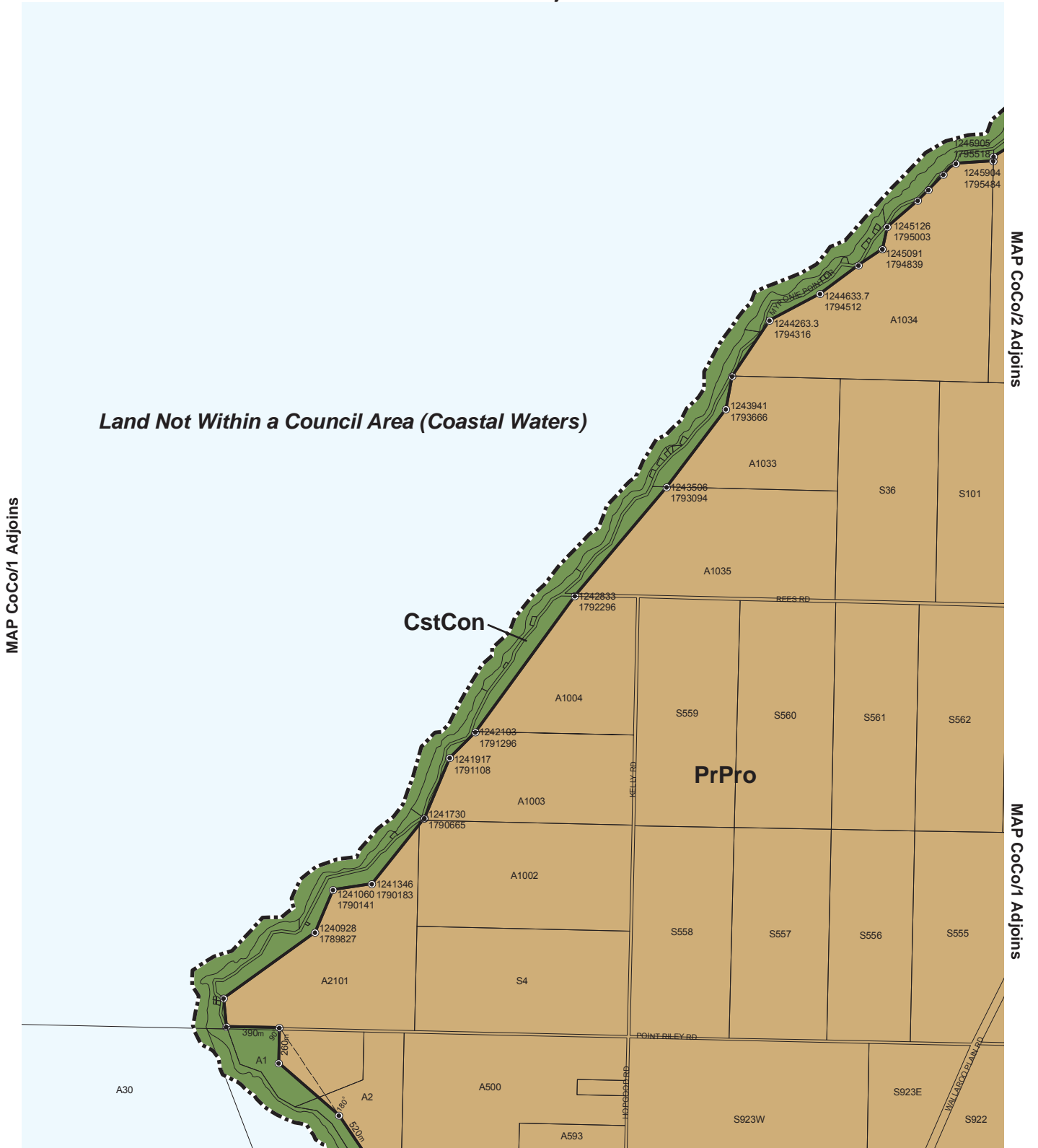
MAP CoCo/1 Adjoins



Location Map CoCo/3

----- Development Plan Boundary

MAP CoCo/1 Adjoins



Land Not Within a Council Area (Coastal Waters)

CstCon

PrPro

MAP CoCo/4 Adjoins

Lamberts Conformal Conic Projection, GDA94

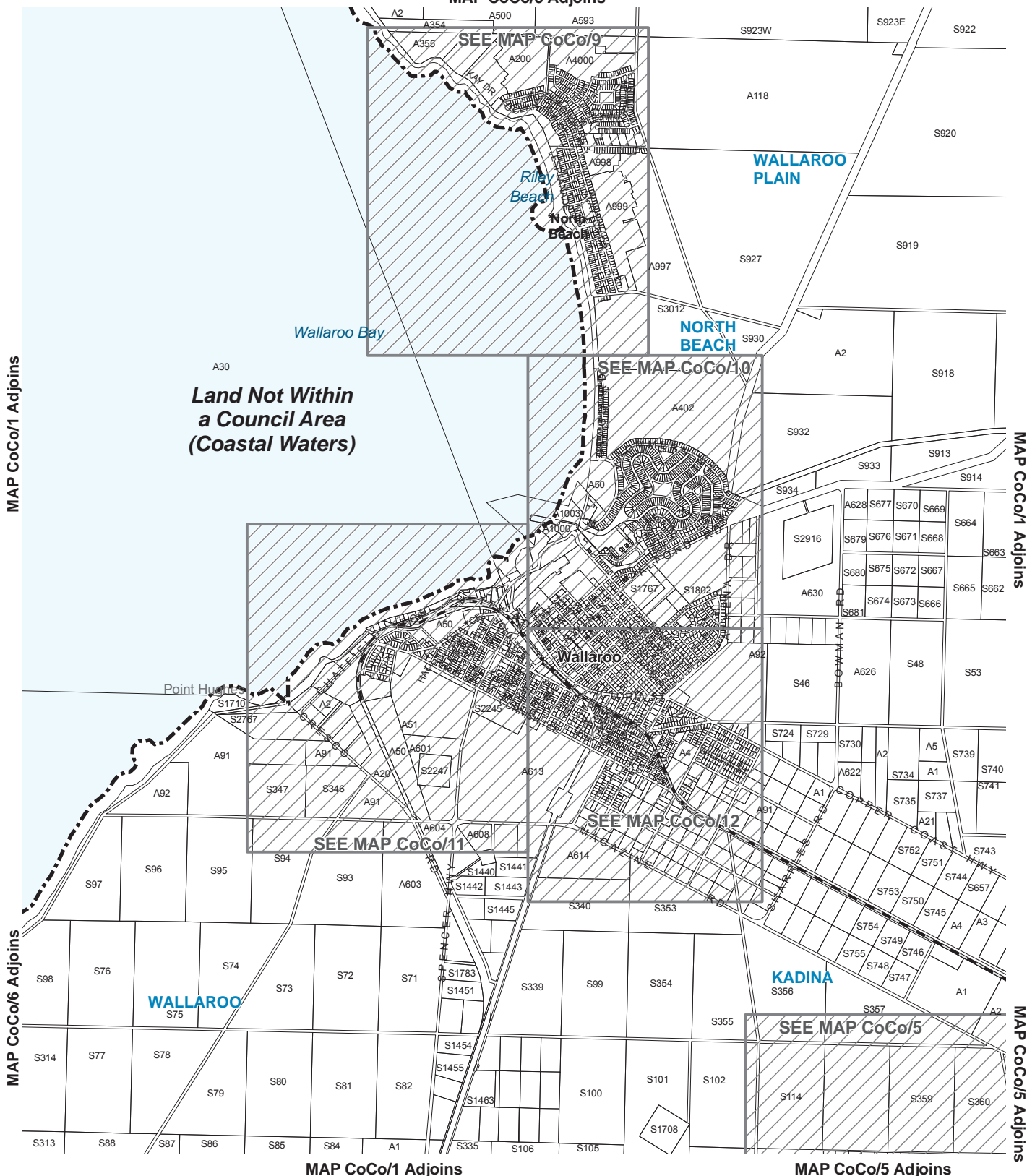


Zones

- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

Zone Map CoCo/3

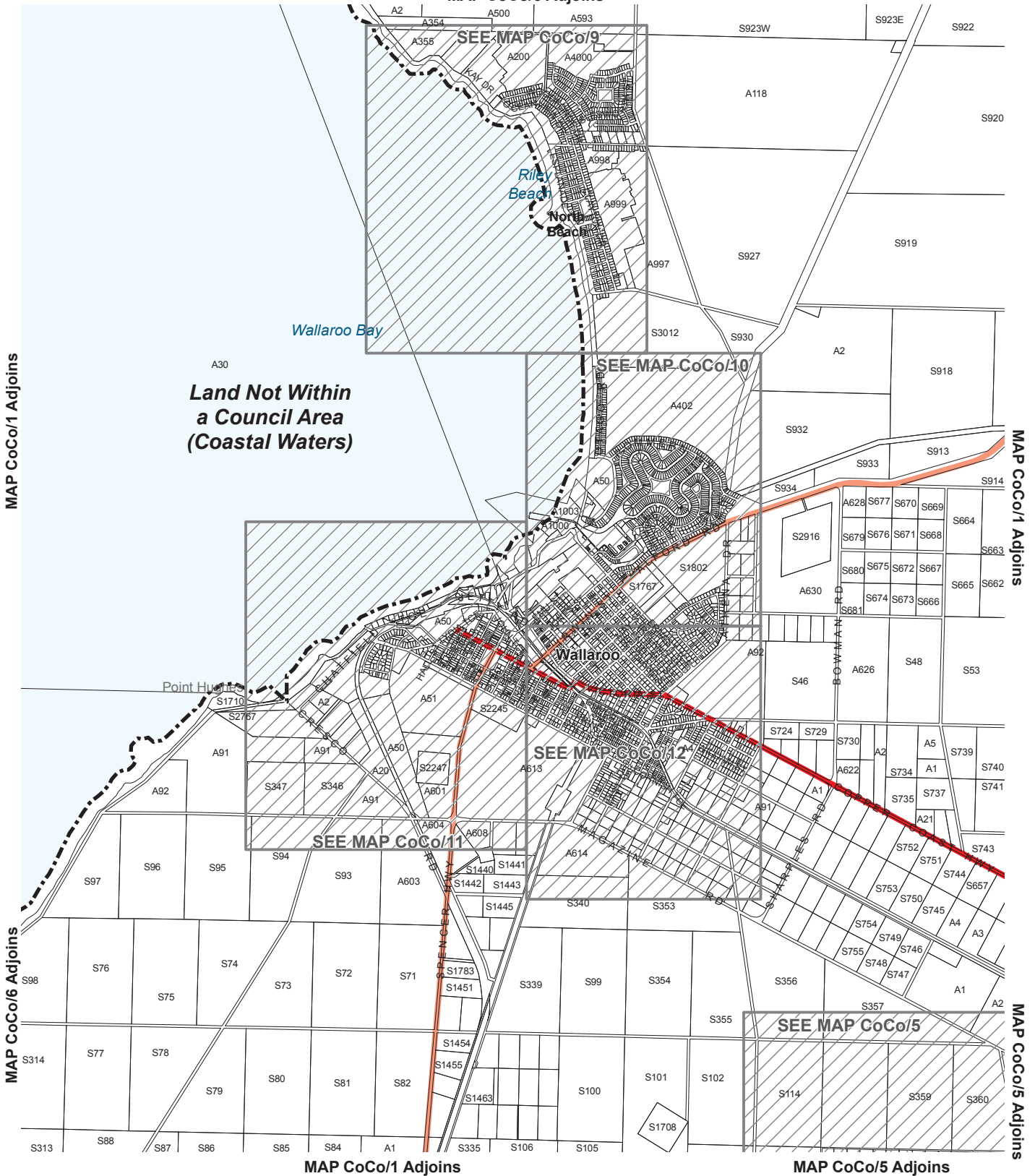
MAP CoCo/3 Adjoins



Location Map CoCo/4

- Railways
- Development Plan Boundary

MAP CoCo/3 Adjoins



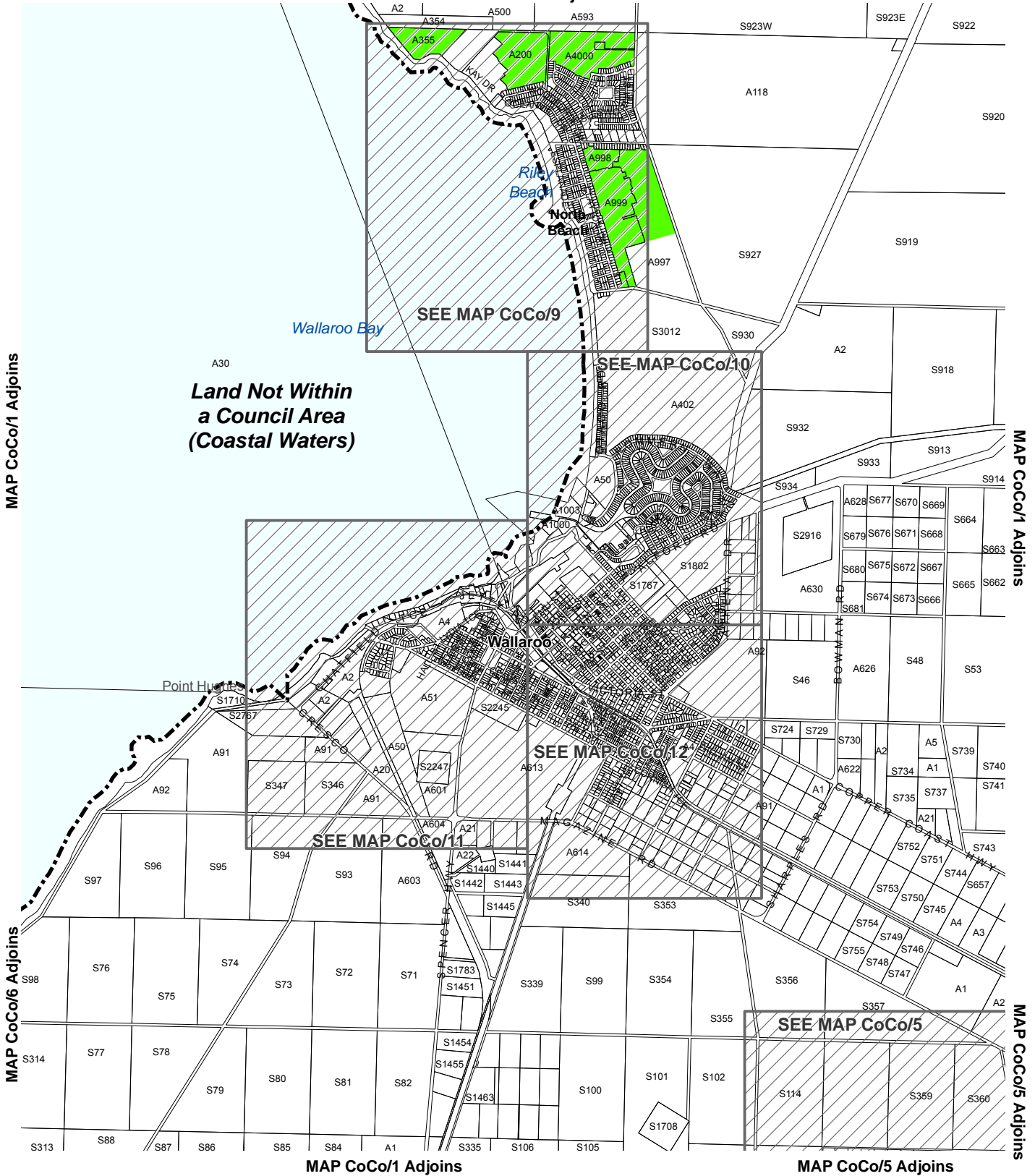
Land Not Within
a Council Area
(Coastal Waters)

Overlay Map CoCo/4 TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary



MAP CoCo/3 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

MAP CoCo/1 Adjoins

MAP CoCo/5 Adjoins

MAP CoCo/1 Adjoins

MAP CoCo/1 Adjoins

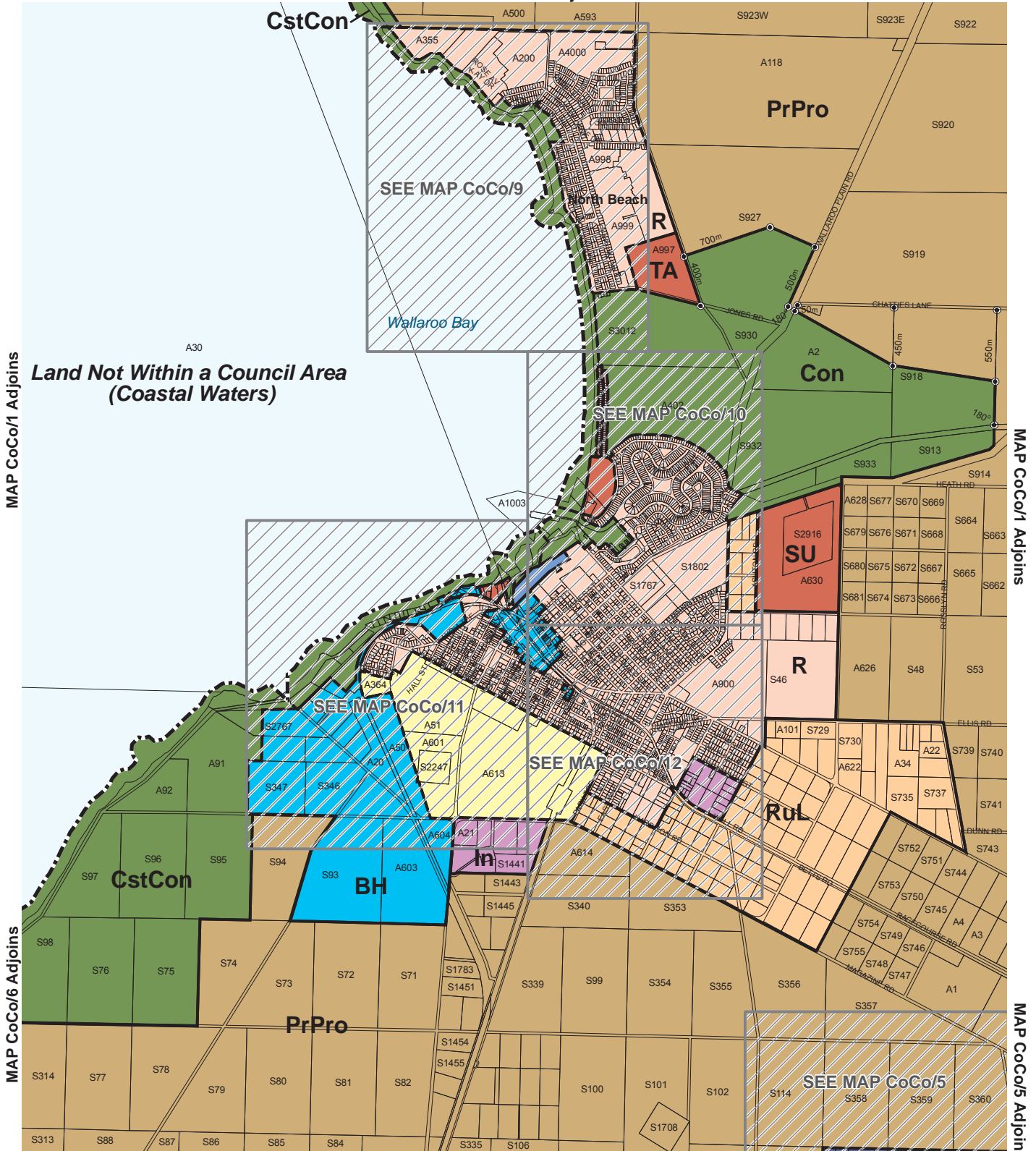
MAP CoCo/5 Adjoins



**Overlay Map CoCo/4
AFFORDABLE HOUSING**

- Affordable Housing Designated Area
- Development Plan Boundary

MAP CoCo/3 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

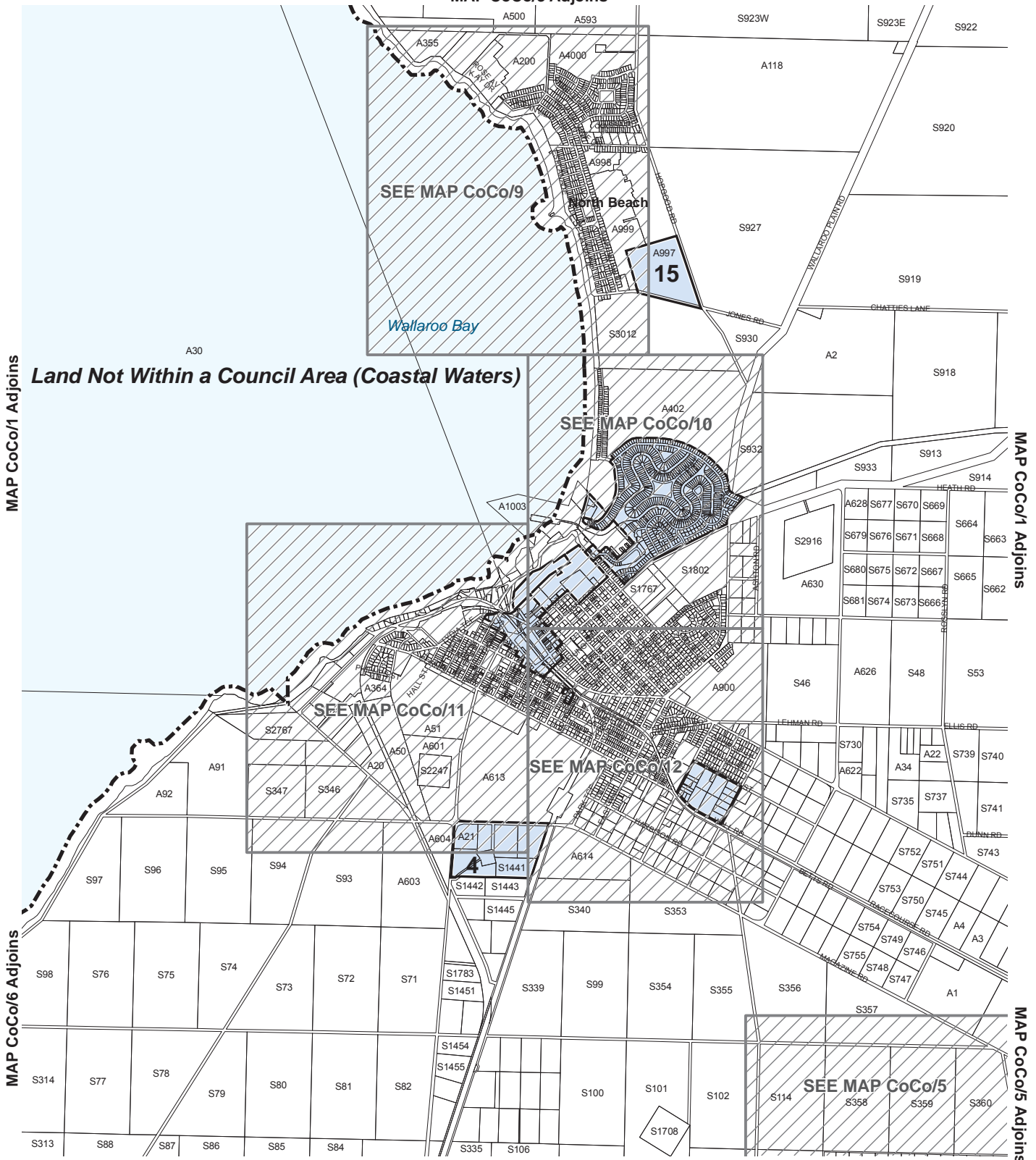
Zones

- BH** Bulk Handling
- CstCon** Coastal Conservation
- Con** Conservation
- In** Industry
- PrPro** Primary Production
- R** Residential
- RuL** Rural Living
- SU** Special Use
- TA** Tourist Accommodation
- Zone Boundary
- Development Plan Boundary



Zone Map CoCo/4

MAP CoCo/3 Adjoins



MAP CoCo/1 Adjoins

MAP CoCo/6 Adjoins

MAP CoCo/1 Adjoins

MAP CoCo/5 Adjoins

Land Not Within a Council Area (Coastal Waters)

MAP CoCo/1 Adjoins

MAP CoCo/5 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Policy Area
- 15 North Beach
- 4 Infrastructure



Policy Area Map CoCo/4

- Policy Area Boundary
- Development Plan Boundary



Location Map CoCo/5

— Railways

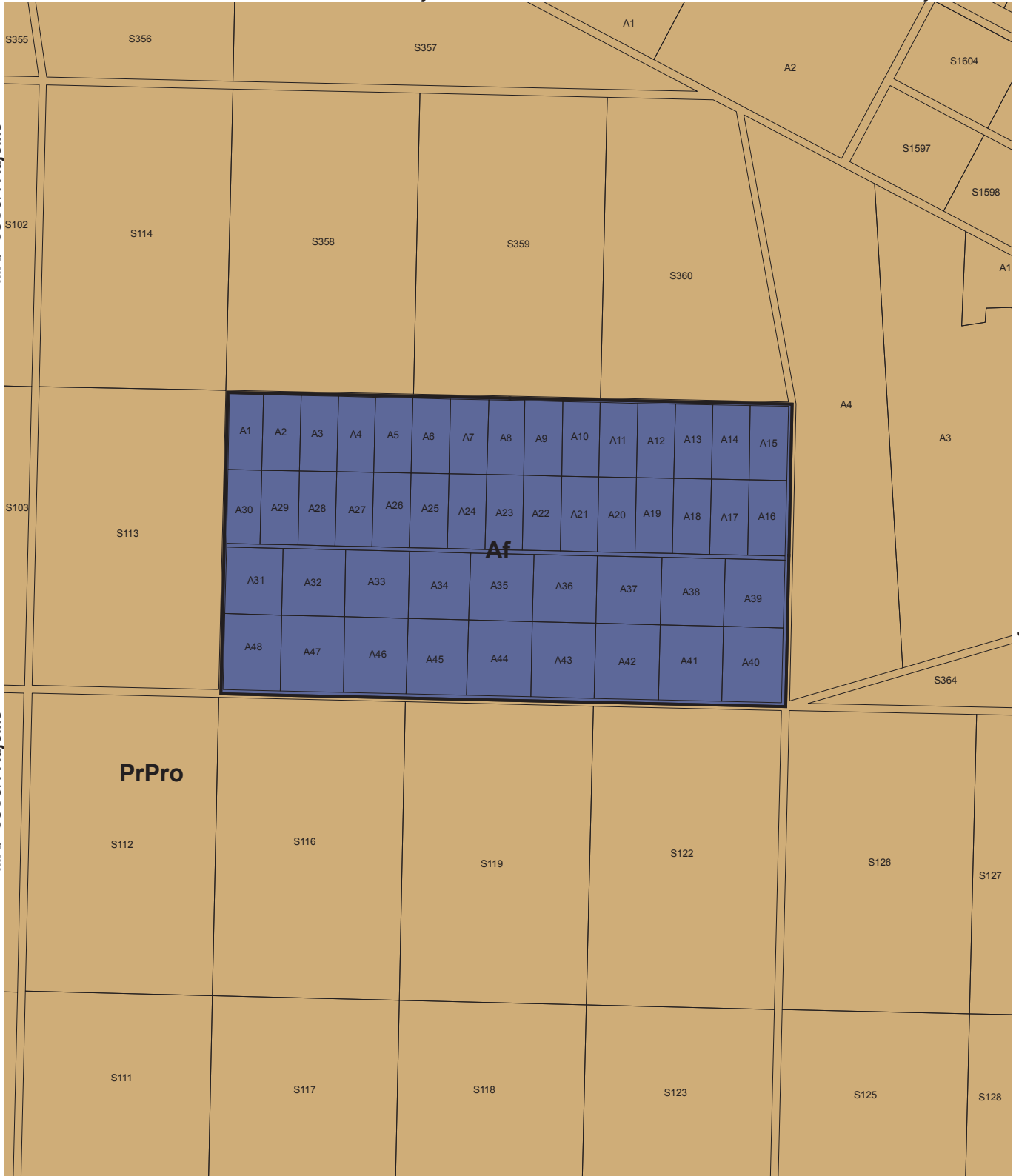
MAP CoCo/4 Adjoins

MAP CoCo/1 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/1 Adjoins

MAP CoCo/1 Adjoins



MAP CoCo/1 Adjoins

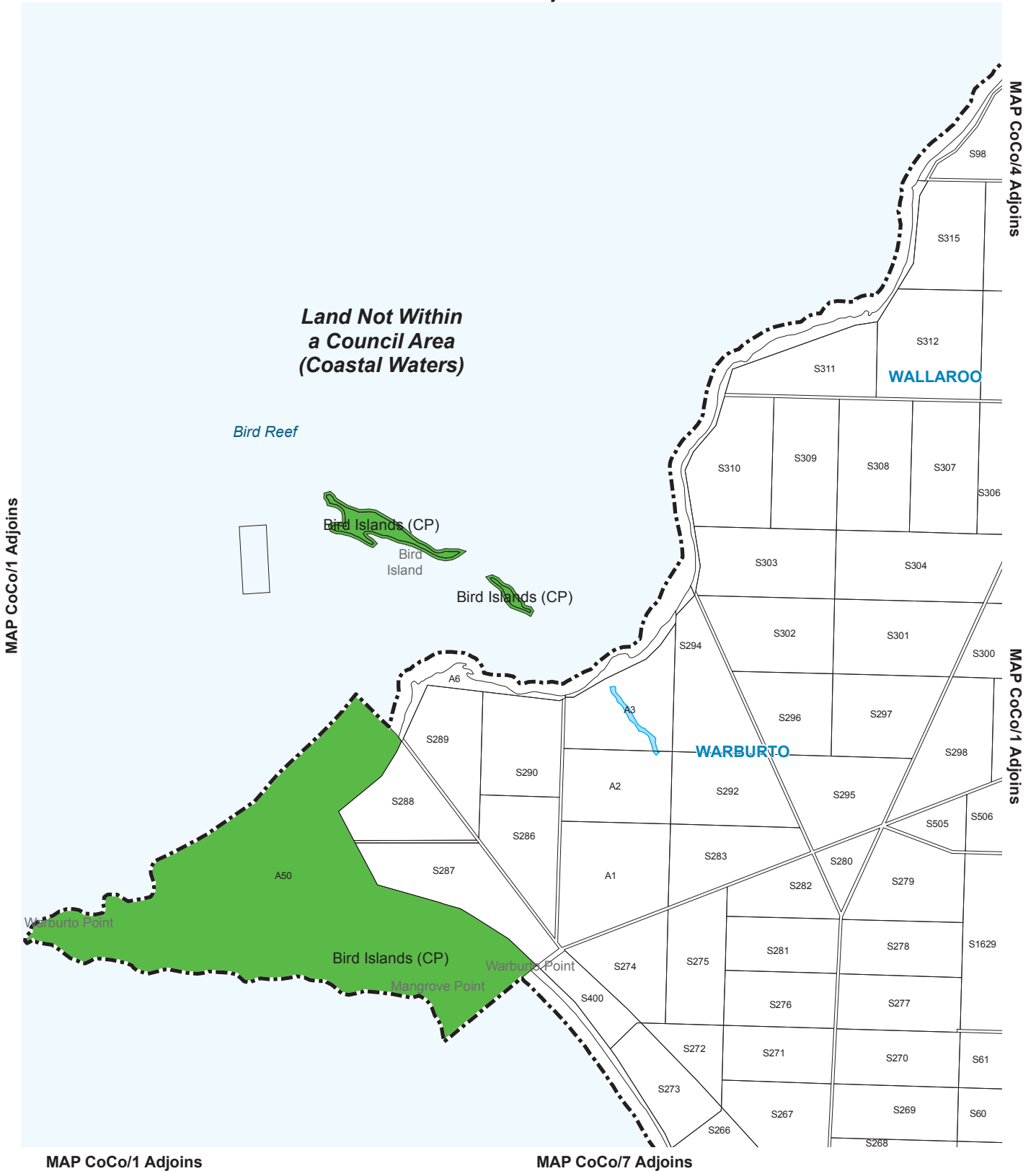
Lamberts Conformal Conic Projection, GDA94



Zone Map CoCo/5

- Zones**
- Airfield
 - Primary Production
 - Zone Boundary

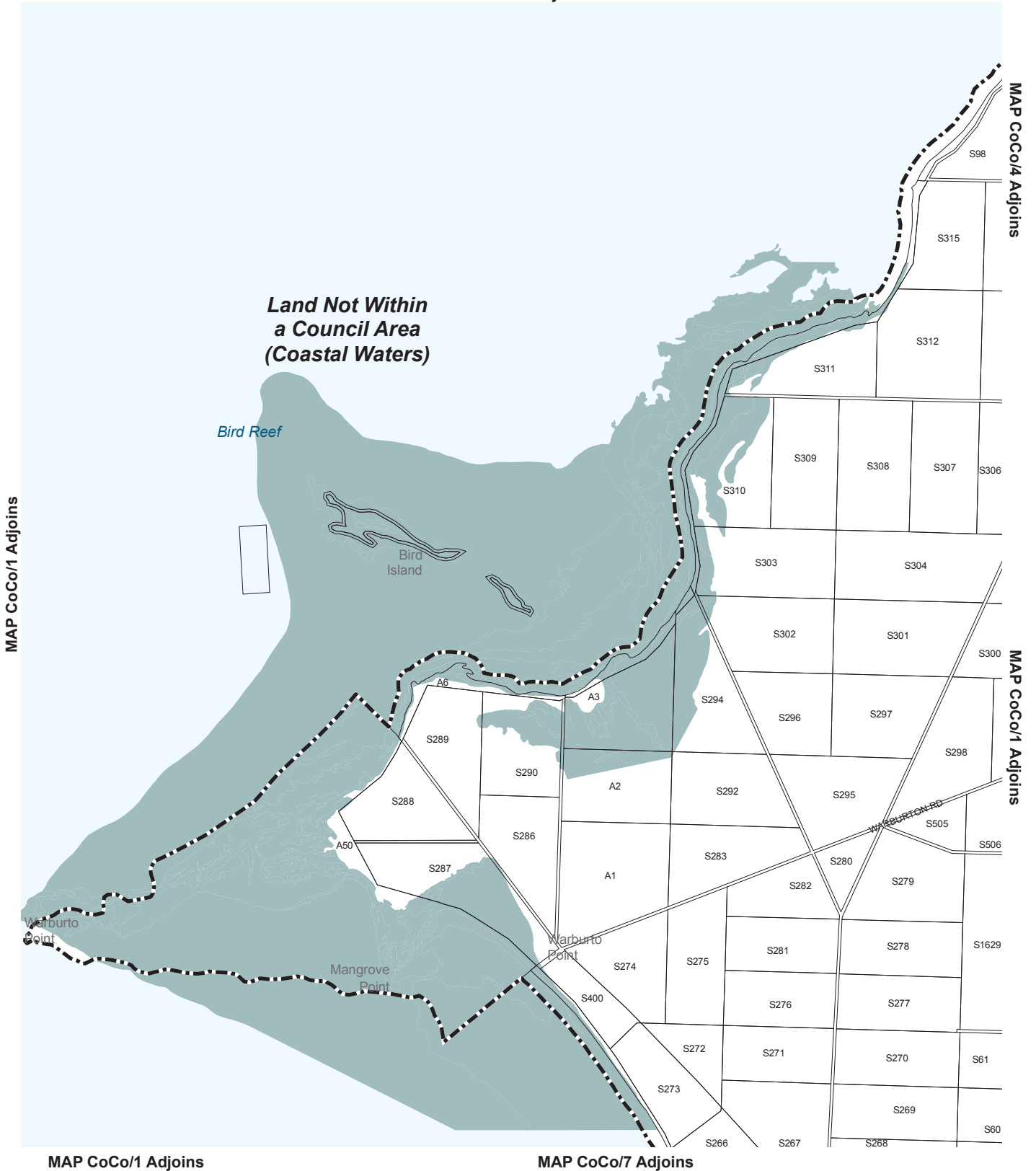
MAP CoCo/1 Adjoins



Location Map CoCo/6

- Conservation Park
- Development Plan Boundary

MAP CoCo/1 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

Bird Reef

Bird Island

Warburto Point

Mangrove Point

Warburto Point

WARRBURTON RD

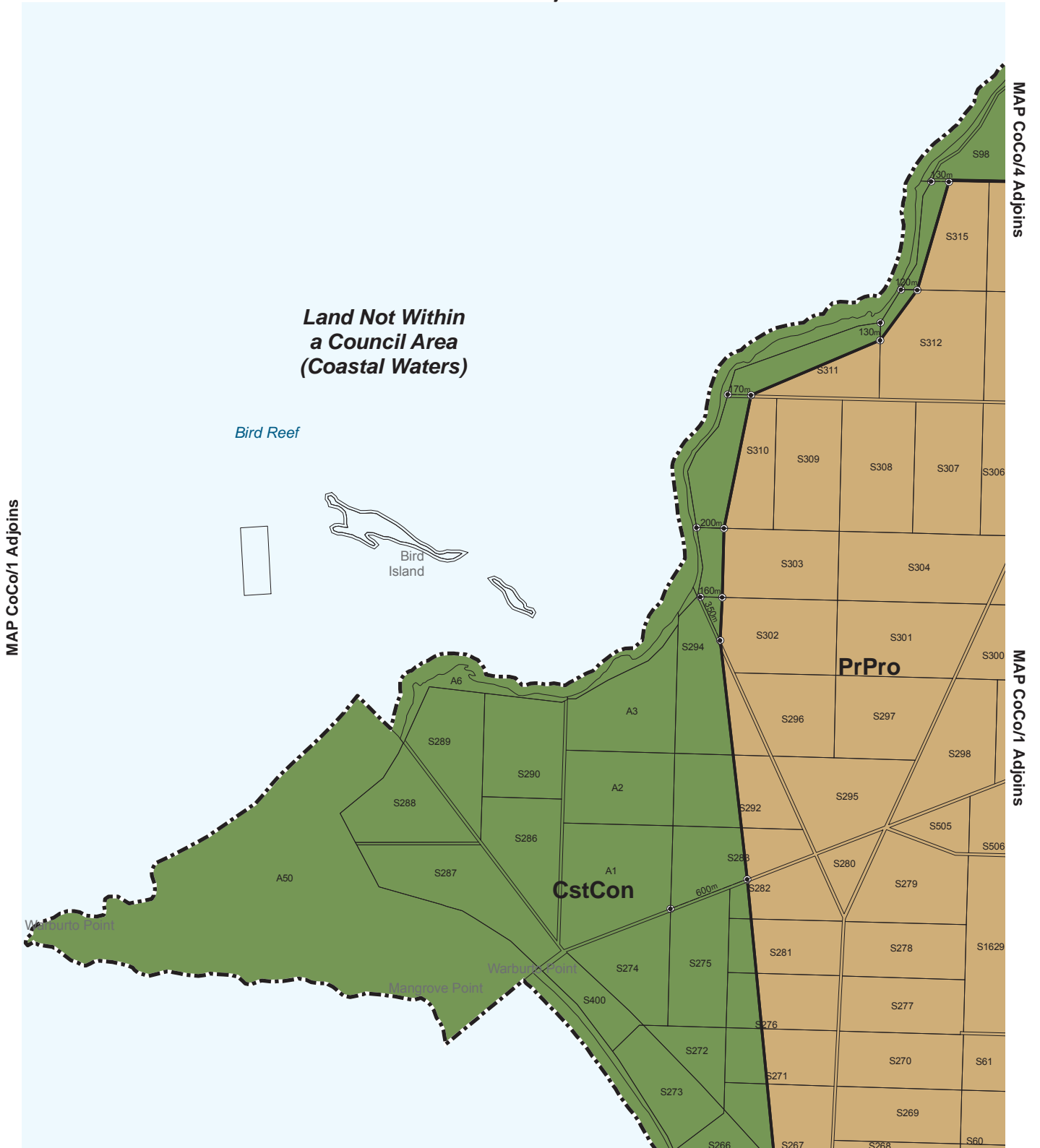
MAP CoCo/1 Adjoins

MAP CoCo/7 Adjoins



Overlay Map CoCo/6 DEVELOPMENT CONSTRAINTS

- Coastal Acid Sulfate Soils
- Development Plan Boundary



MAP CoCo/1 Adjoins

MAP CoCo/7 Adjoins

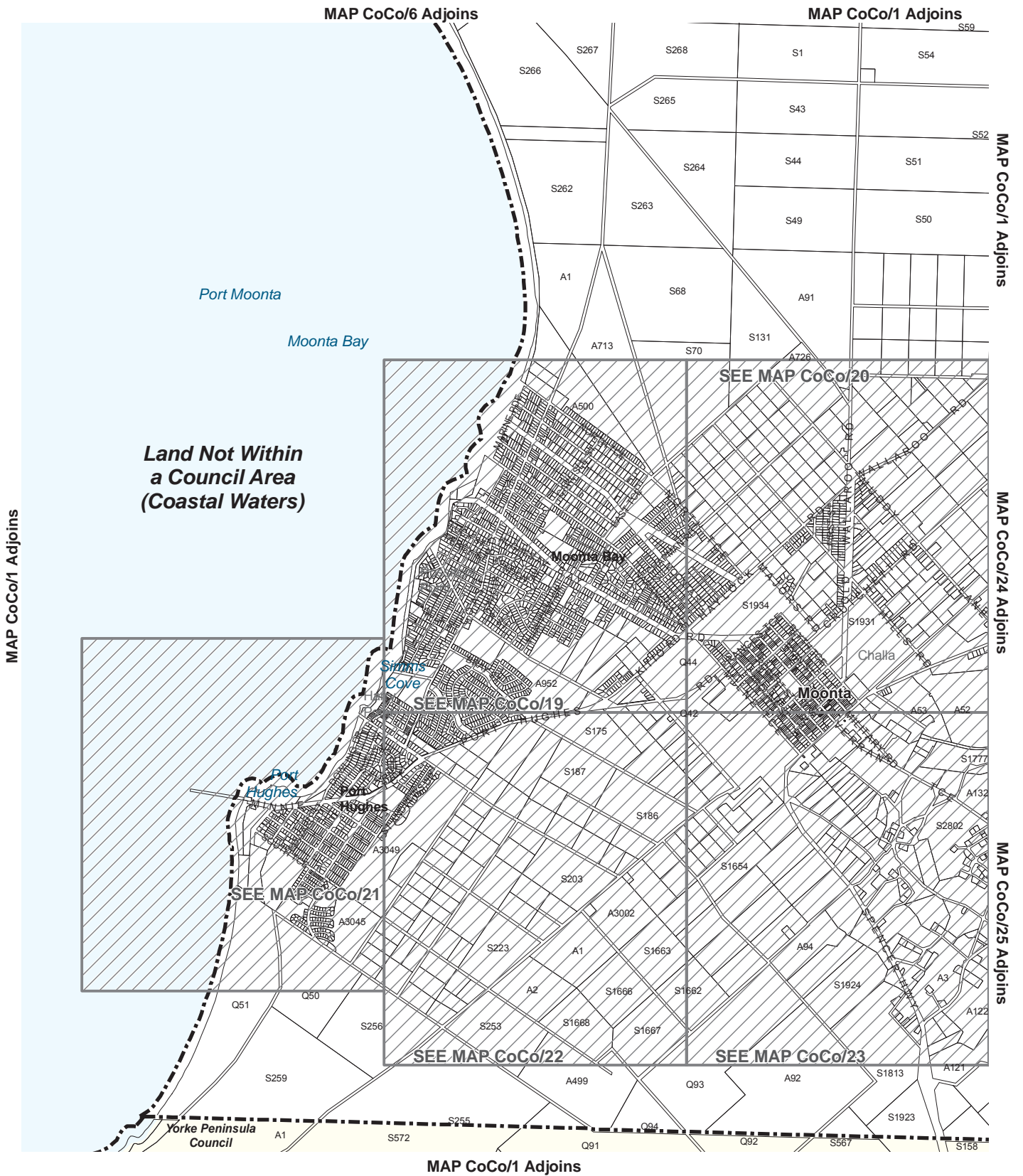
Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

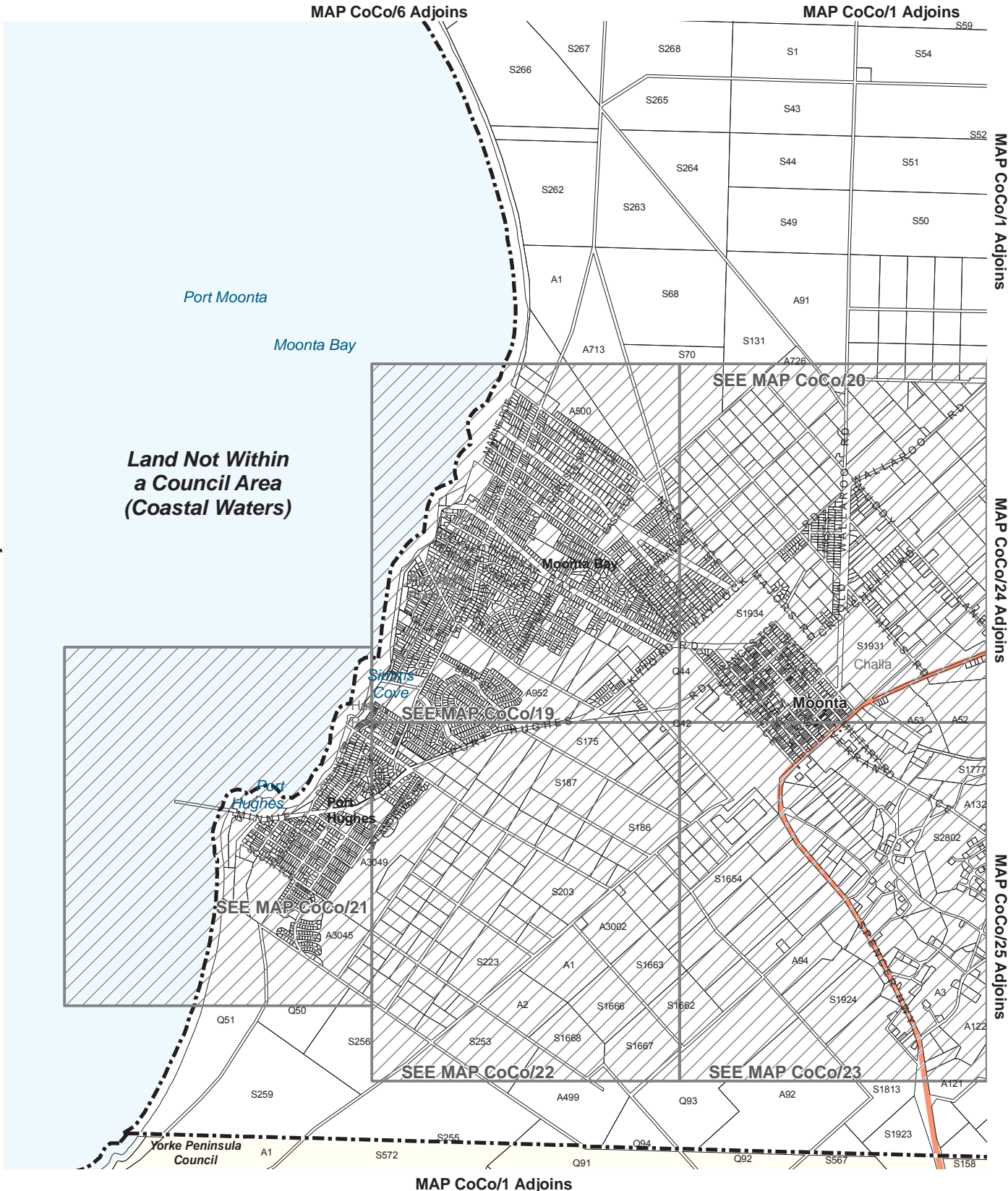
Zone Map CoCo/6



Location Map CoCo/7



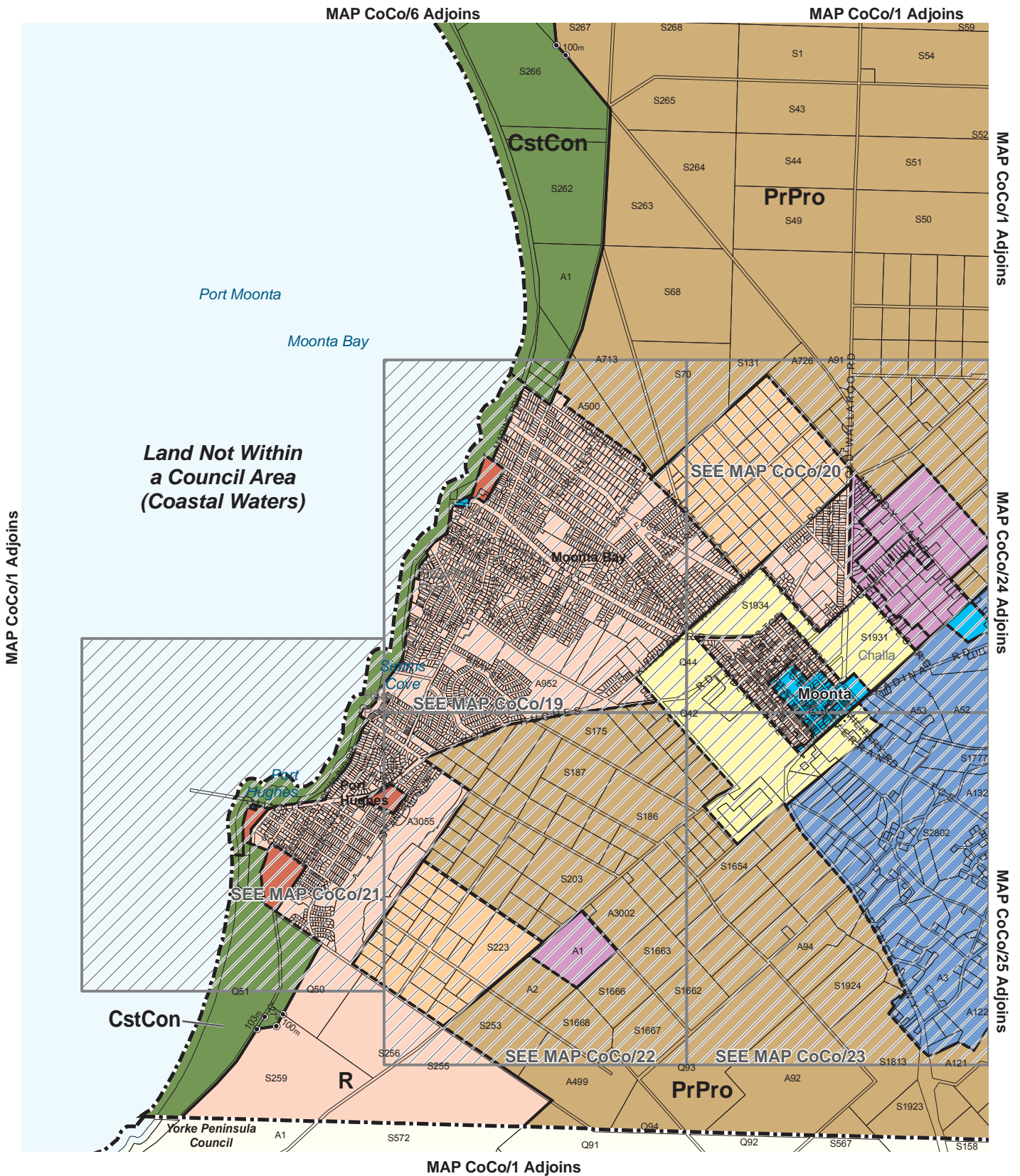
----- Development Plan Boundary



*Land Not Within
a Council Area
(Coastal Waters)*

Overlay Map CoCo/7 TRANSPORT

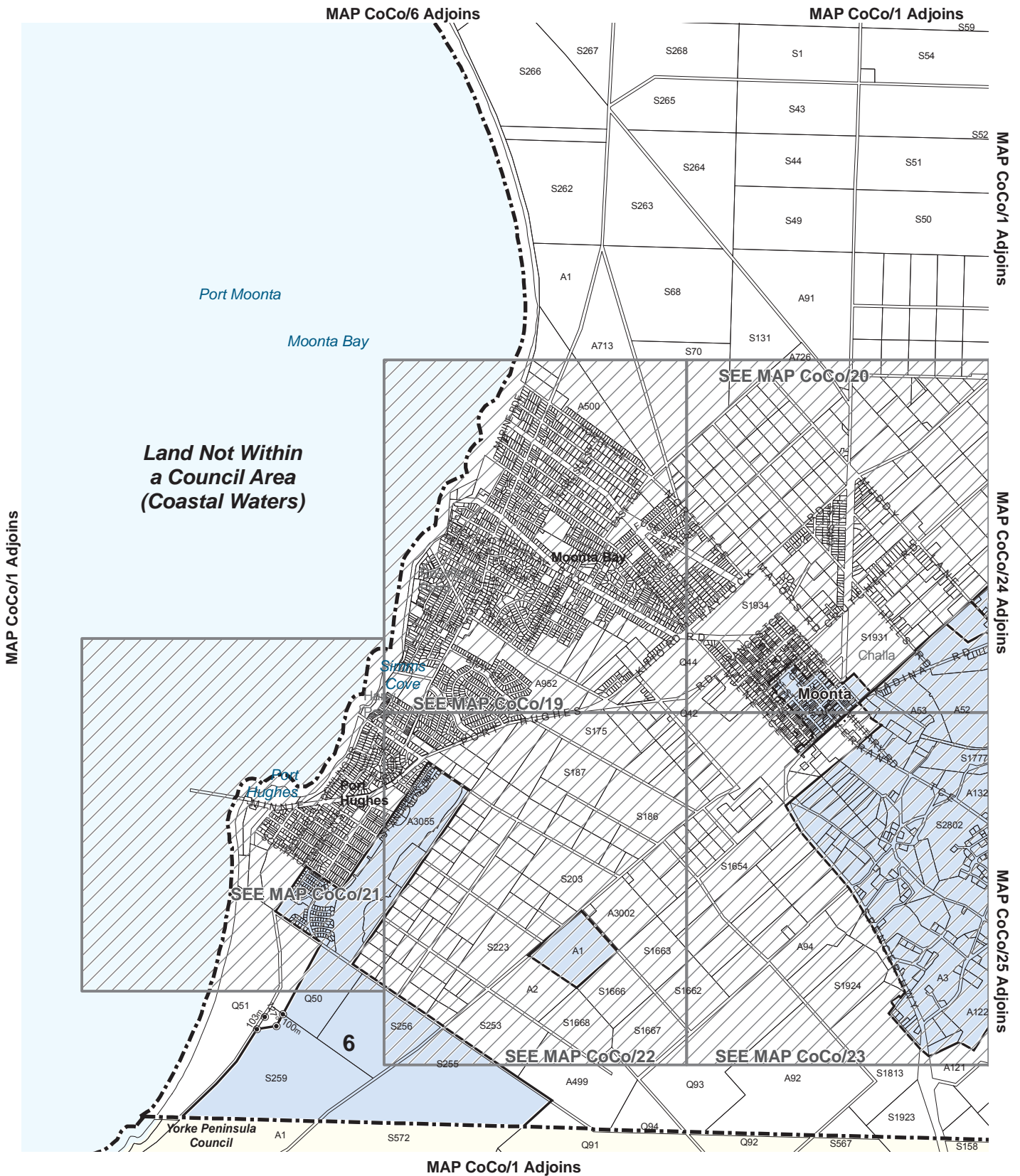
- Secondary Arterial Roads
- Development Plan Boundary



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - R Residential
 - Zone Boundary
 - Development Plan Boundary

Zone Map CoCo/7

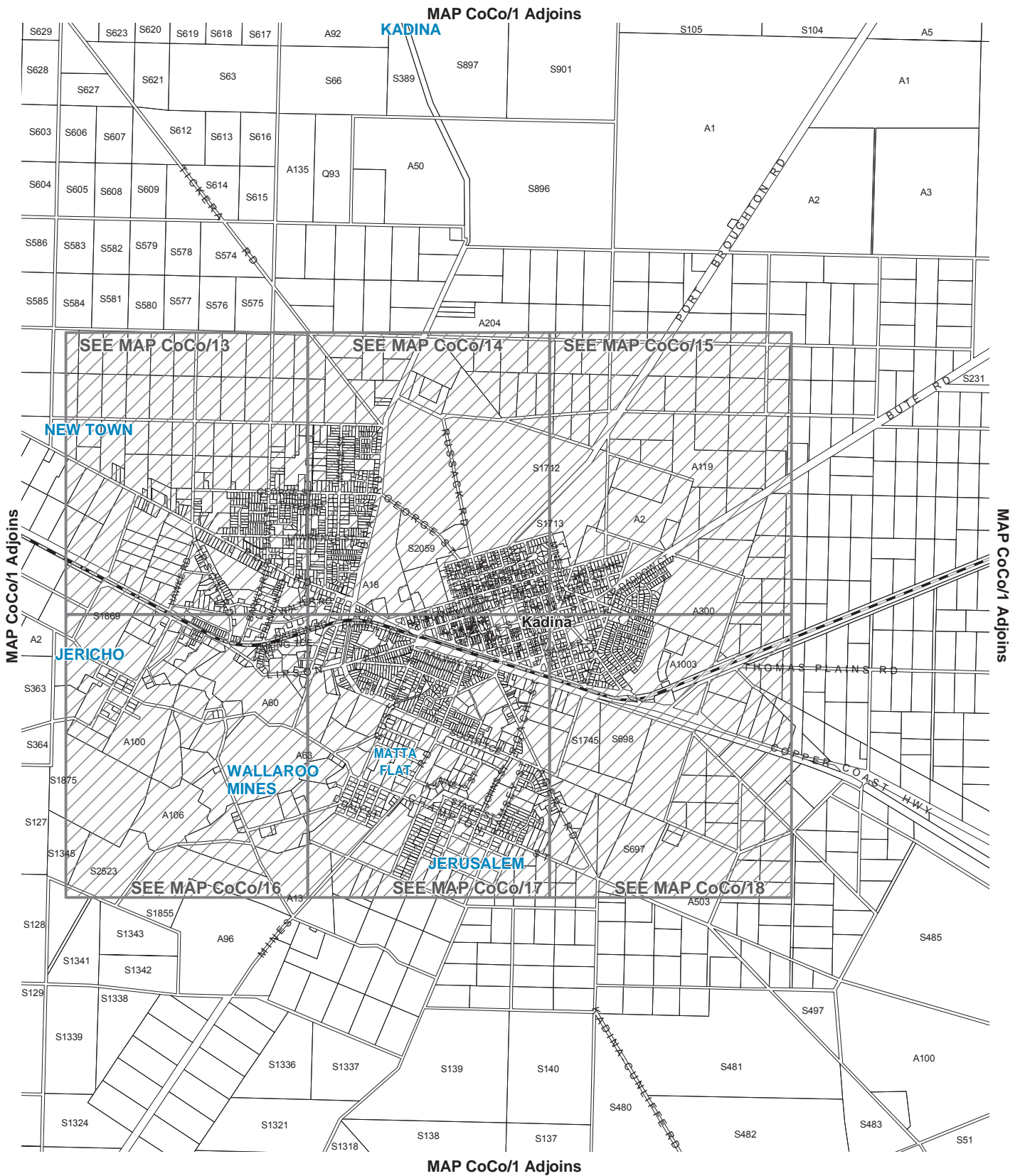


See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Policy Area
 6 Golf Course

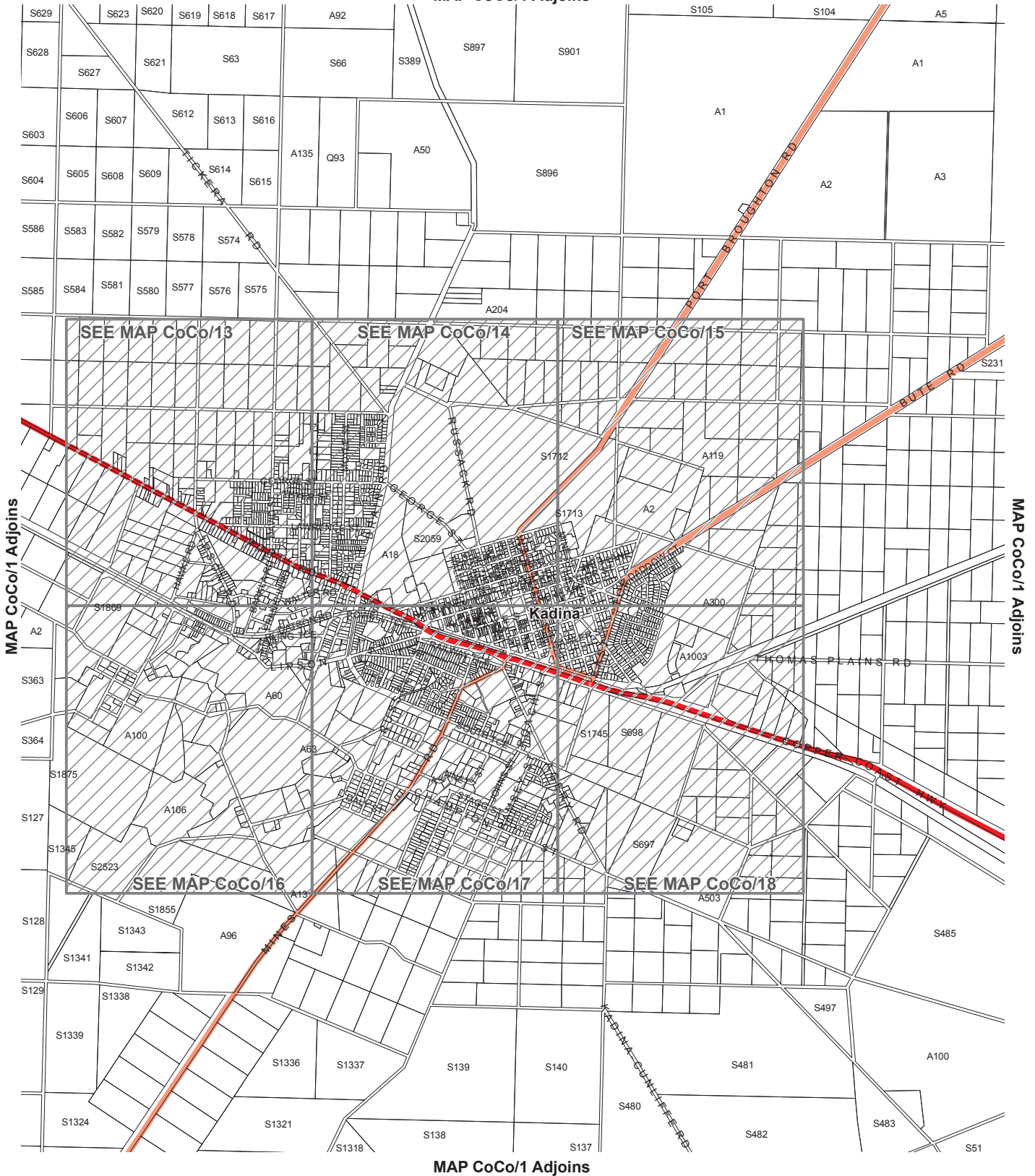
- Policy Area Boundary
- Development Plan Boundary

Policy Area Map CoCo/7





Location Map CoCo/8

MAP CoCo/1 Adjoins



Overlay Map CoCo/8 TRANSPORT

-  Primary Arterial Roads
-  Secondary Arterial Roads

MAP CoCo/1 Adjoins




Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.

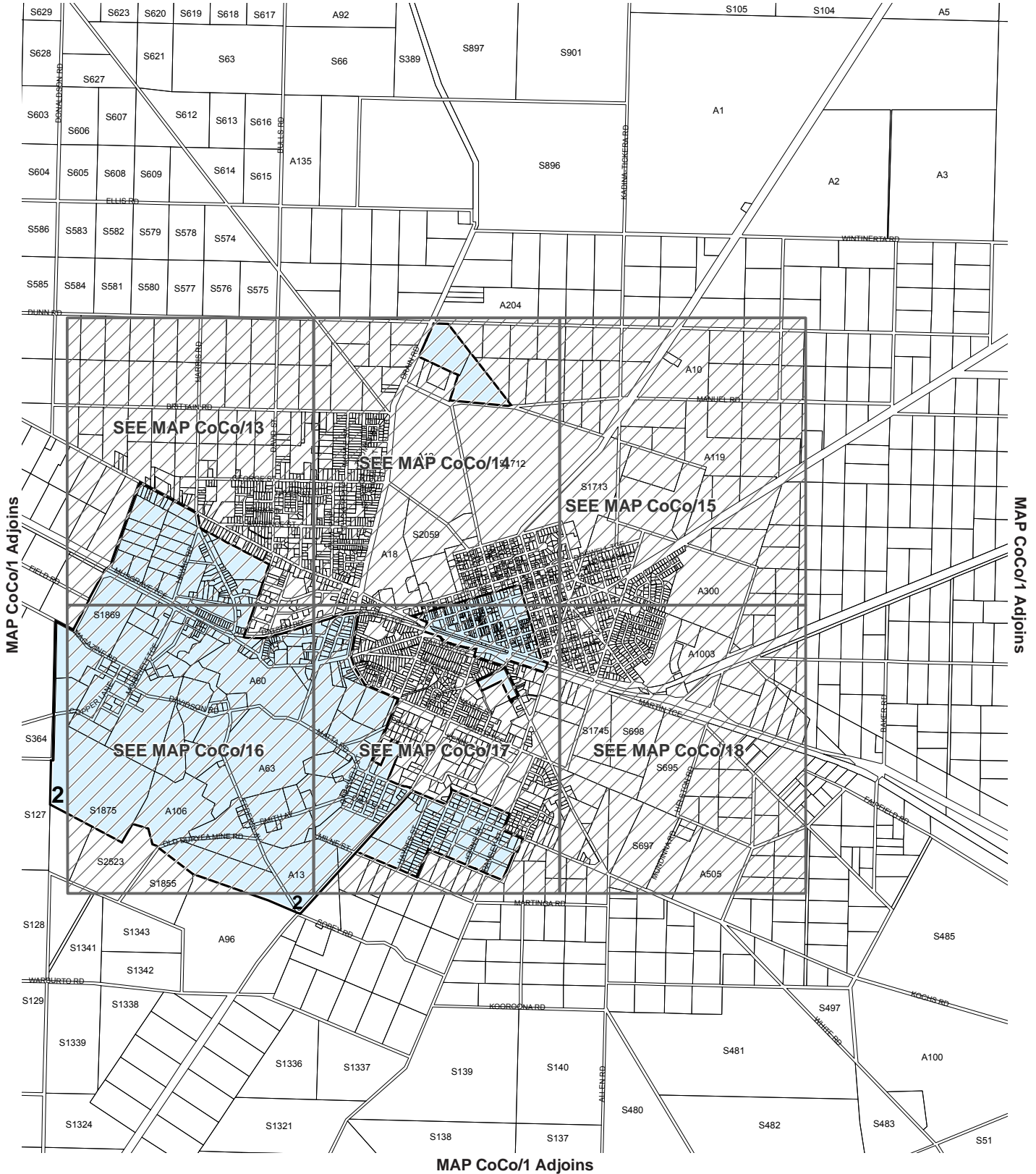


Overlay Map CoCo/8

HERITAGE

 Historic Conservation Area

MAP CoCo/1 Adjoins



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

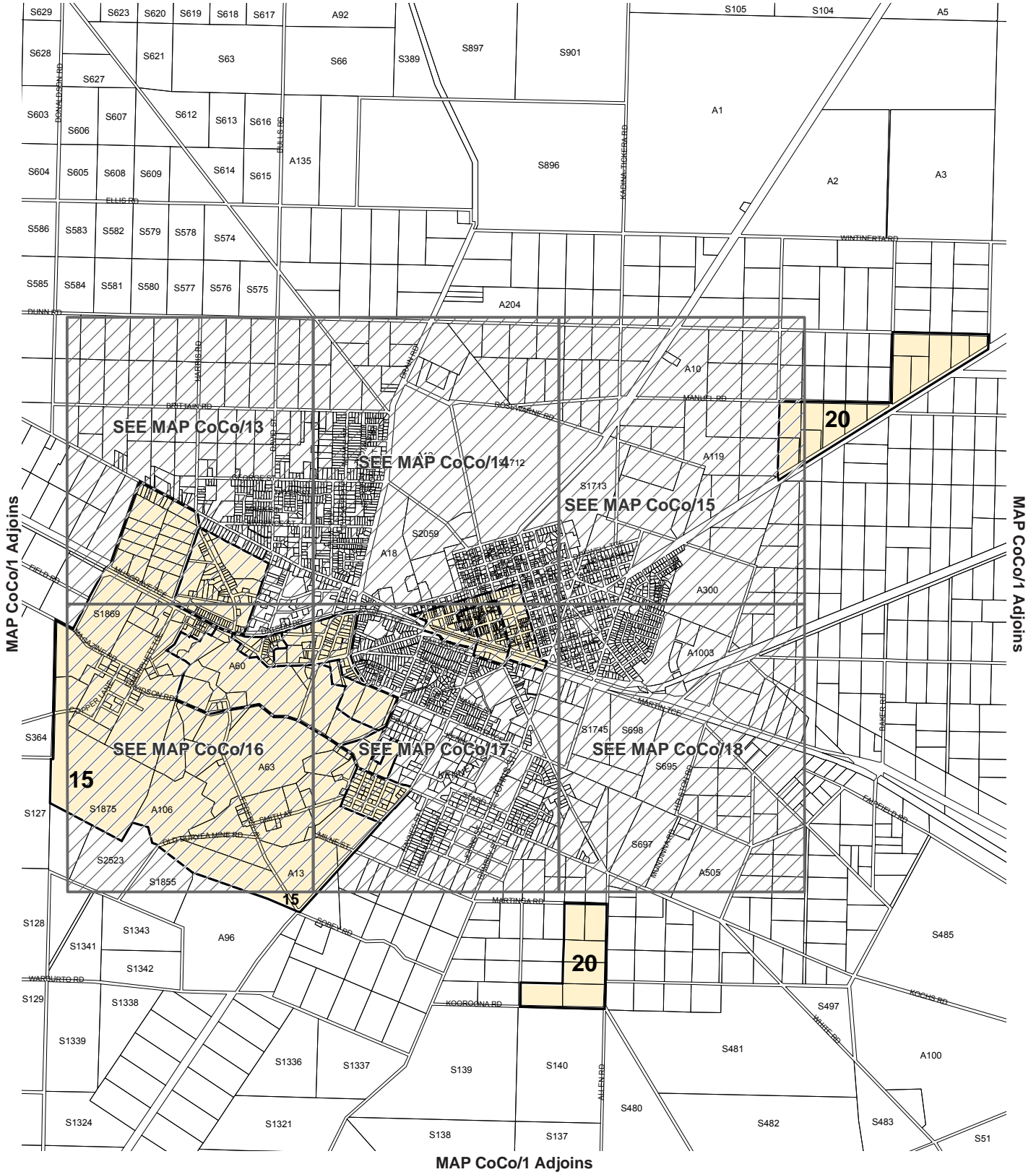
Policy Area
 2 Wallaroo Mines



Policy Area Map CoCo/8

 Policy Area Boundary

MAP CoCo/1 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Precinct**
 15 Mines Buffer
 20 Rural Low Density



Precinct Map CoCo/8

 Precinct Boundary

MAP CoCo/4 Adjoins

WALLAROO PLAIN

S923W

A354

A500

A593

A355

A200

A4000

STEVENS DR
ROSE AV
KAY DR

A118

MAP CoCo/4 Adjoins

MAP CoCo/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

Riley
Beach

North
Beach

NORTH
BEACH

A30

Wallaroo Bay

MAP CoCo/4 Adjoins

MAP CoCo/10 Adjoins

S3012



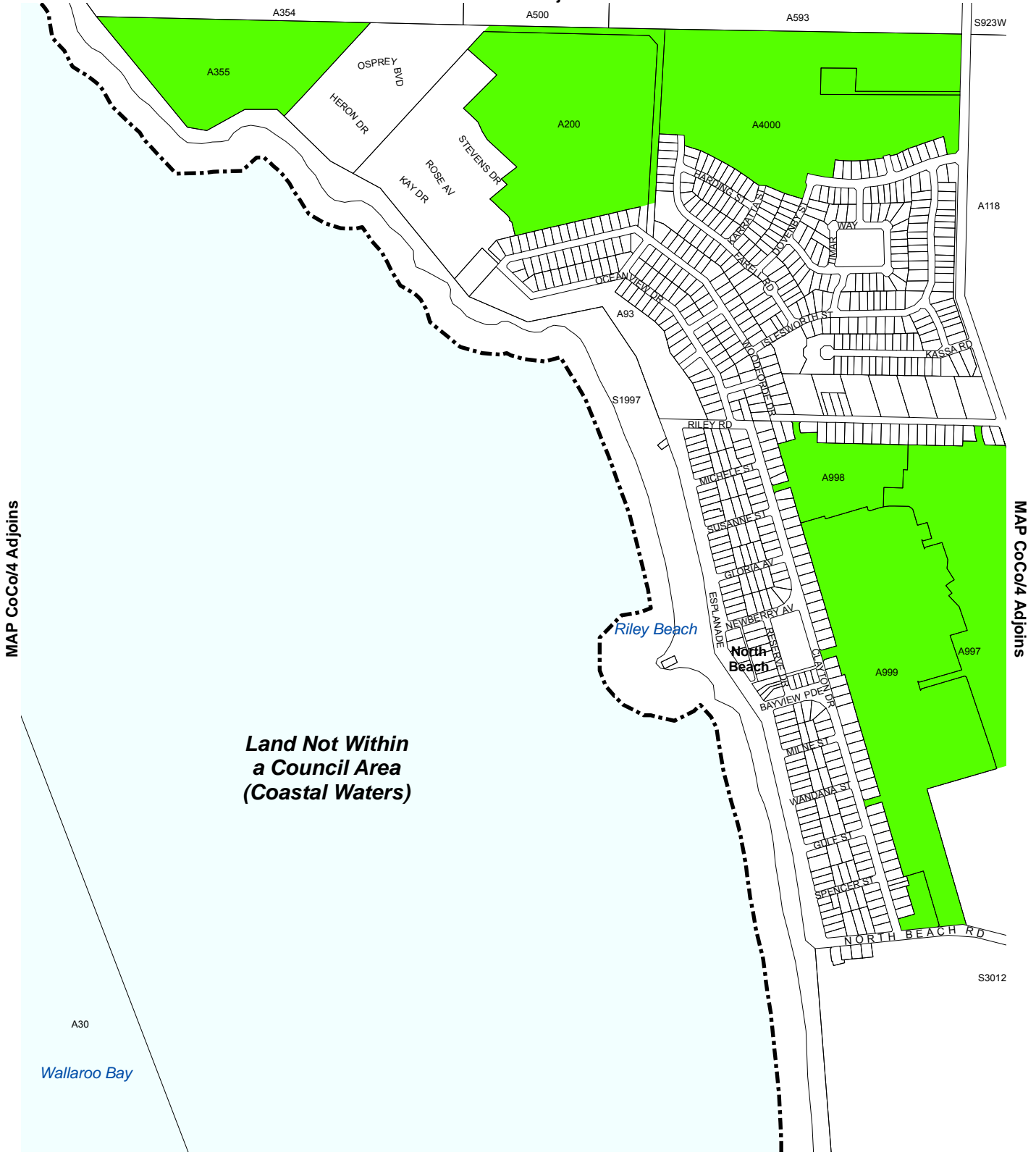
0 500m

WALLAROO

Location Map CoCo/9

--- Development Plan Boundary

MAP CoCo/4 Adjoins



Land Not Within a Council Area (Coastal Waters)



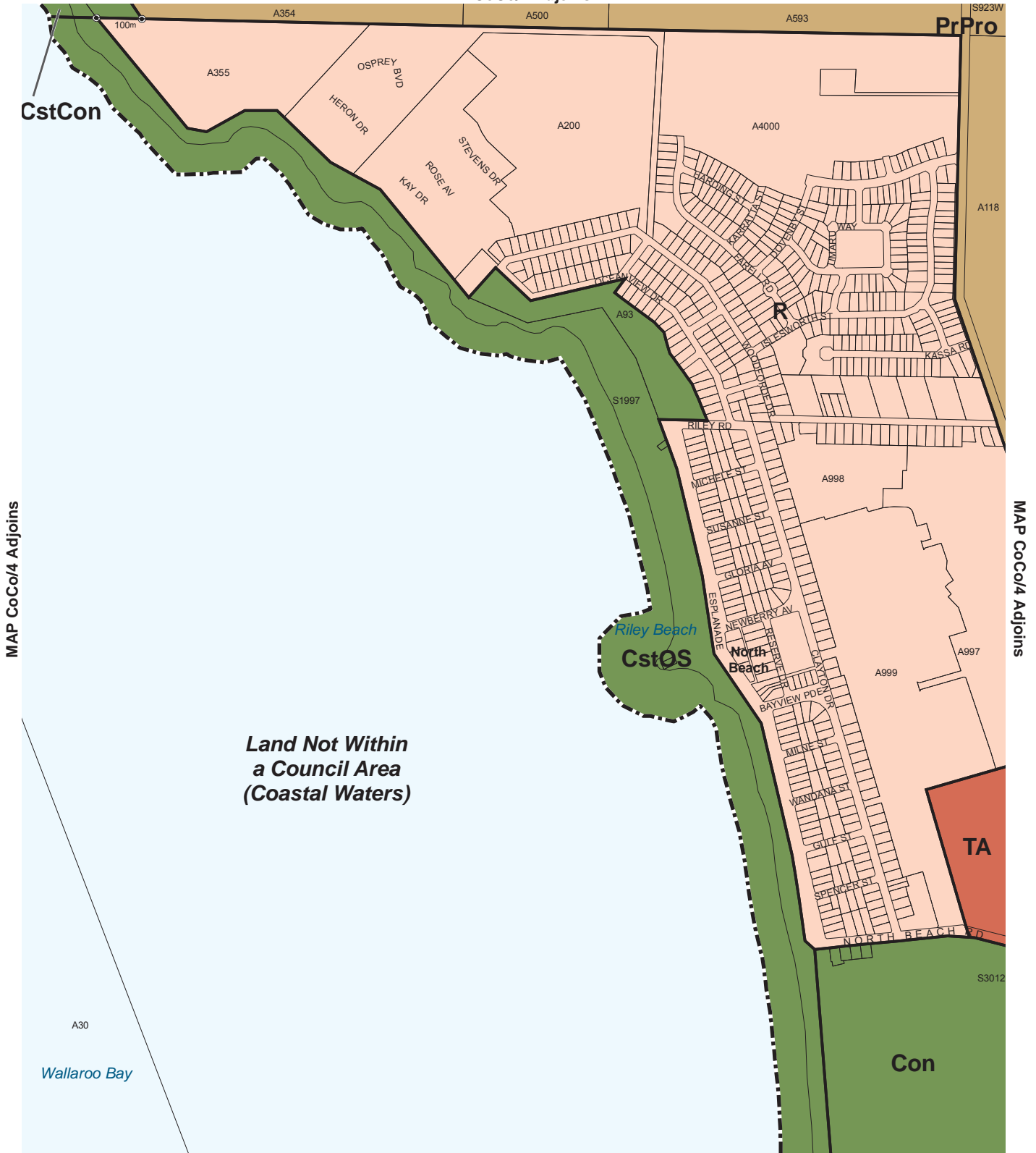
WALLAROO

Overlay Map CoCo/9

AFFORDABLE HOUSING

- Affordable Housing Designated Area
- Development Plan Boundary

MAP CoCo/4 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

MAP CoCo/4 Adjoins

MAP CoCo/10 Adjoins

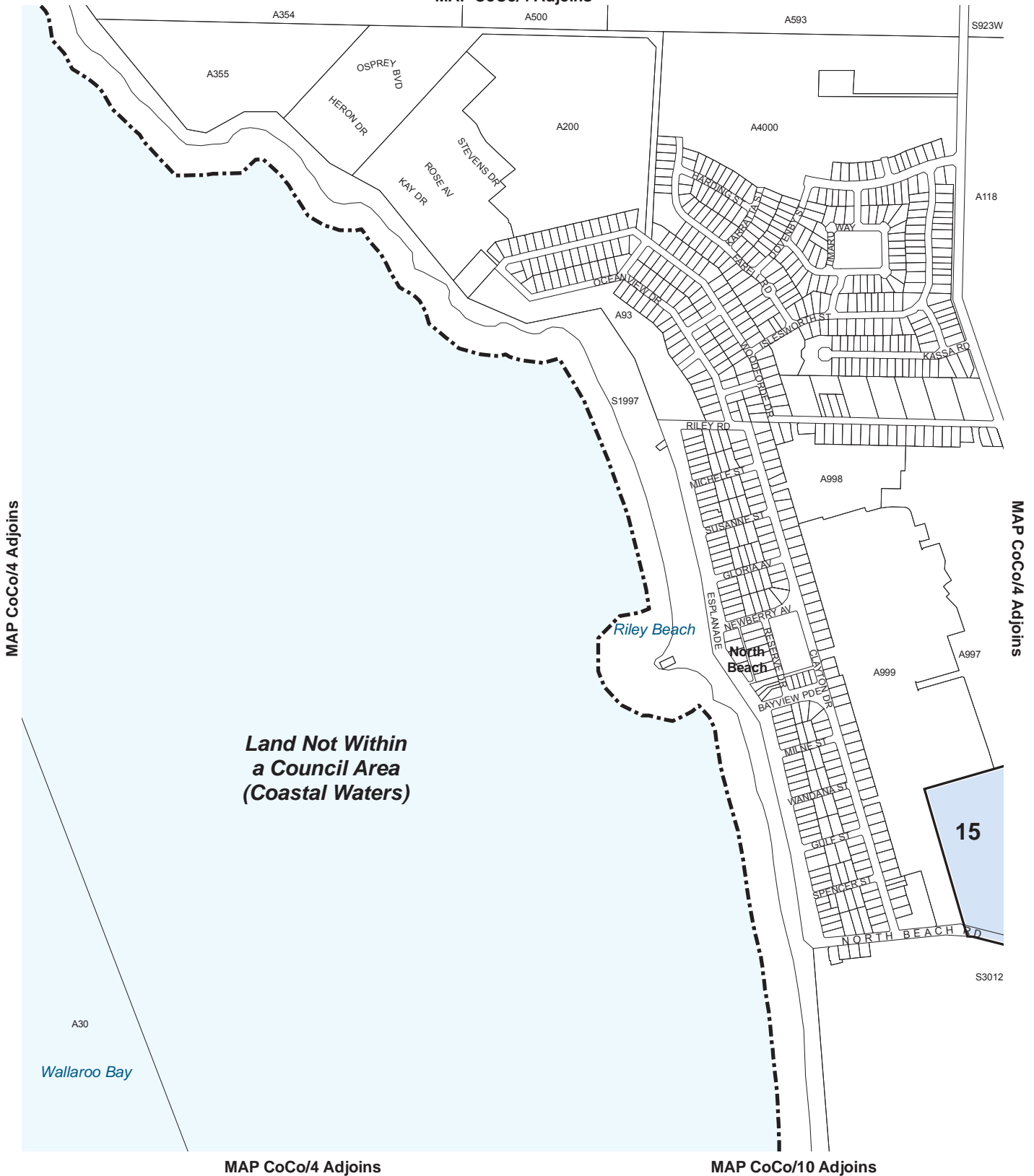
Lamberts Conformal Conic Projection, GDA94

Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- Con Conservation
- PrPro Primary Production
- R Residential
- TA Tourist Accommodation
- Zone Boundary
- Development Plan Boundary

Zone Map CoCo/9

MAP CoCo/4 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

Lamberts Conformal Conic Projection, GDA94

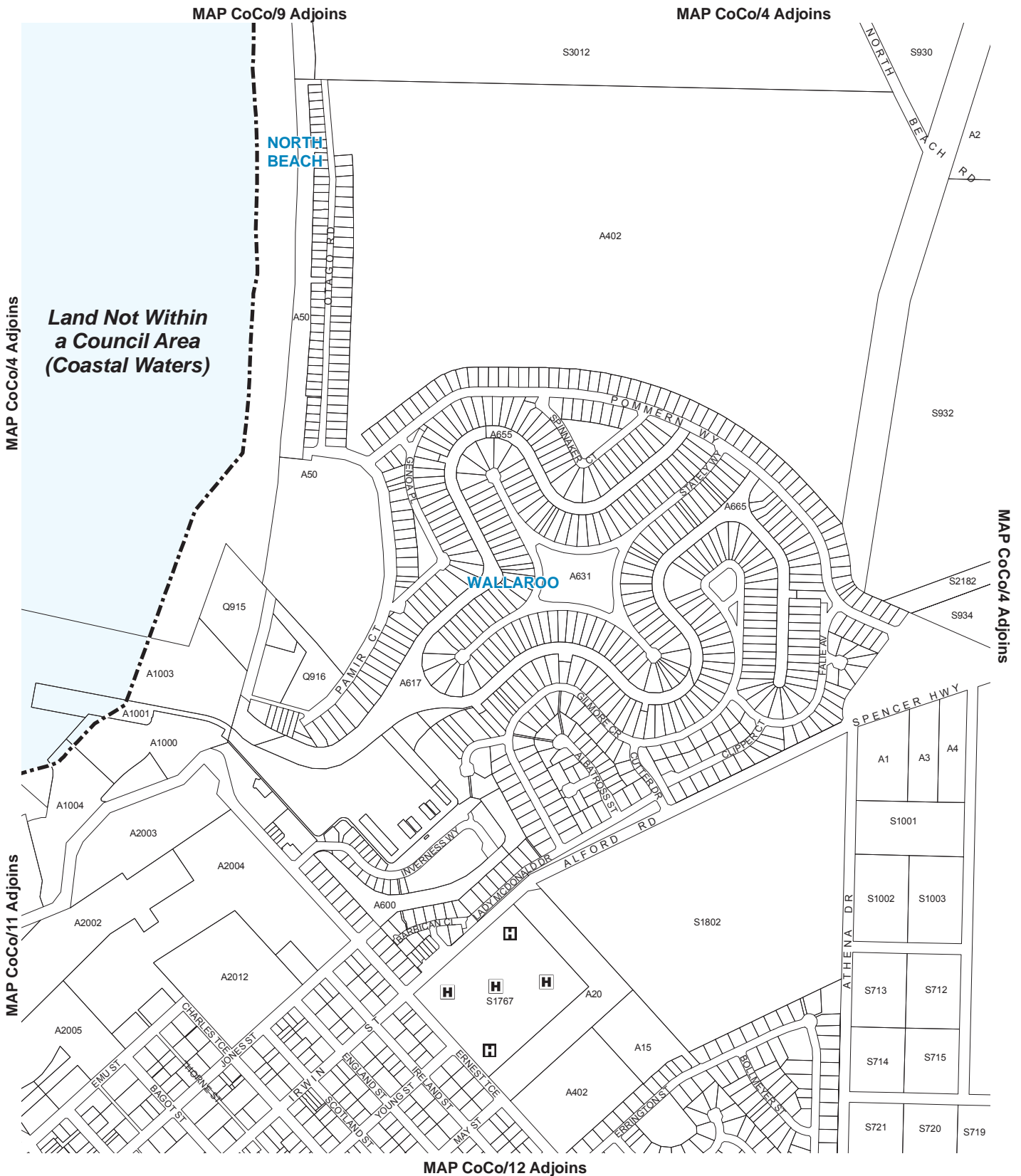
Policy Area
15 North Beach



WALLAROO

Policy Area Map CoCo/9

- Policy Area Boundary
- Development Plan Boundary



MAP CoCo/9 Adjoins

MAP CoCo/4 Adjoins

NORTH BEACH

WALLAROO

MAP CoCo/12 Adjoins

MAP CoCo/4 Adjoins

Land Not Within a Council Area (Coastal Waters)

MAP CoCo/11 Adjoins




MAP CoCo/4 Adjoins



0 500m

WALLAROO

Location Map CoCo/10

-  Other Health Services
-  Hospital
-  Development Plan Boundary

MAP CoCo/9 Adjoins

MAP CoCo/4 Adjoins

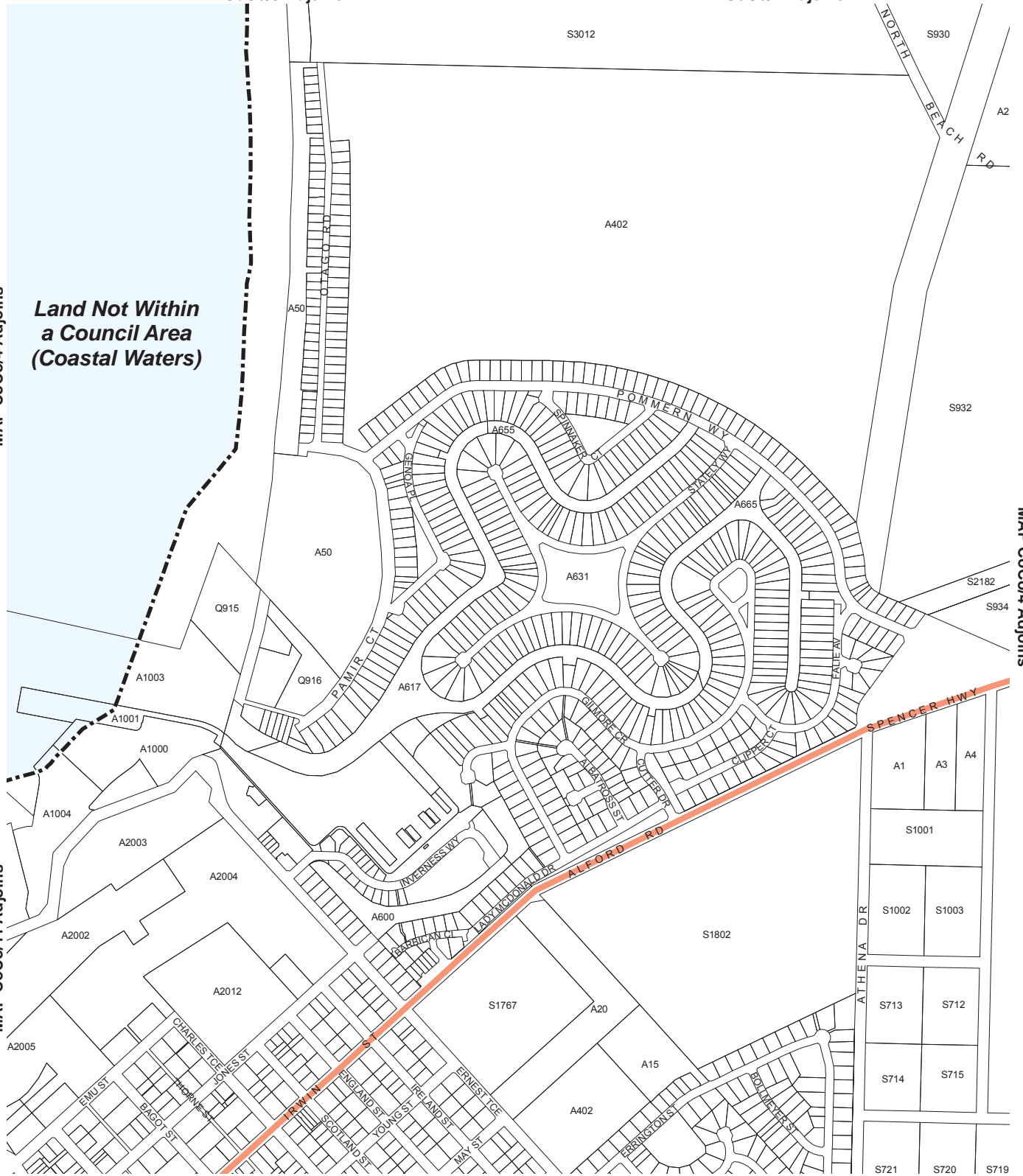
MAP CoCo/4 Adjoins

Land Not Within a Council Area (Coastal Waters)

MAP CoCo/11 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/12 Adjoins

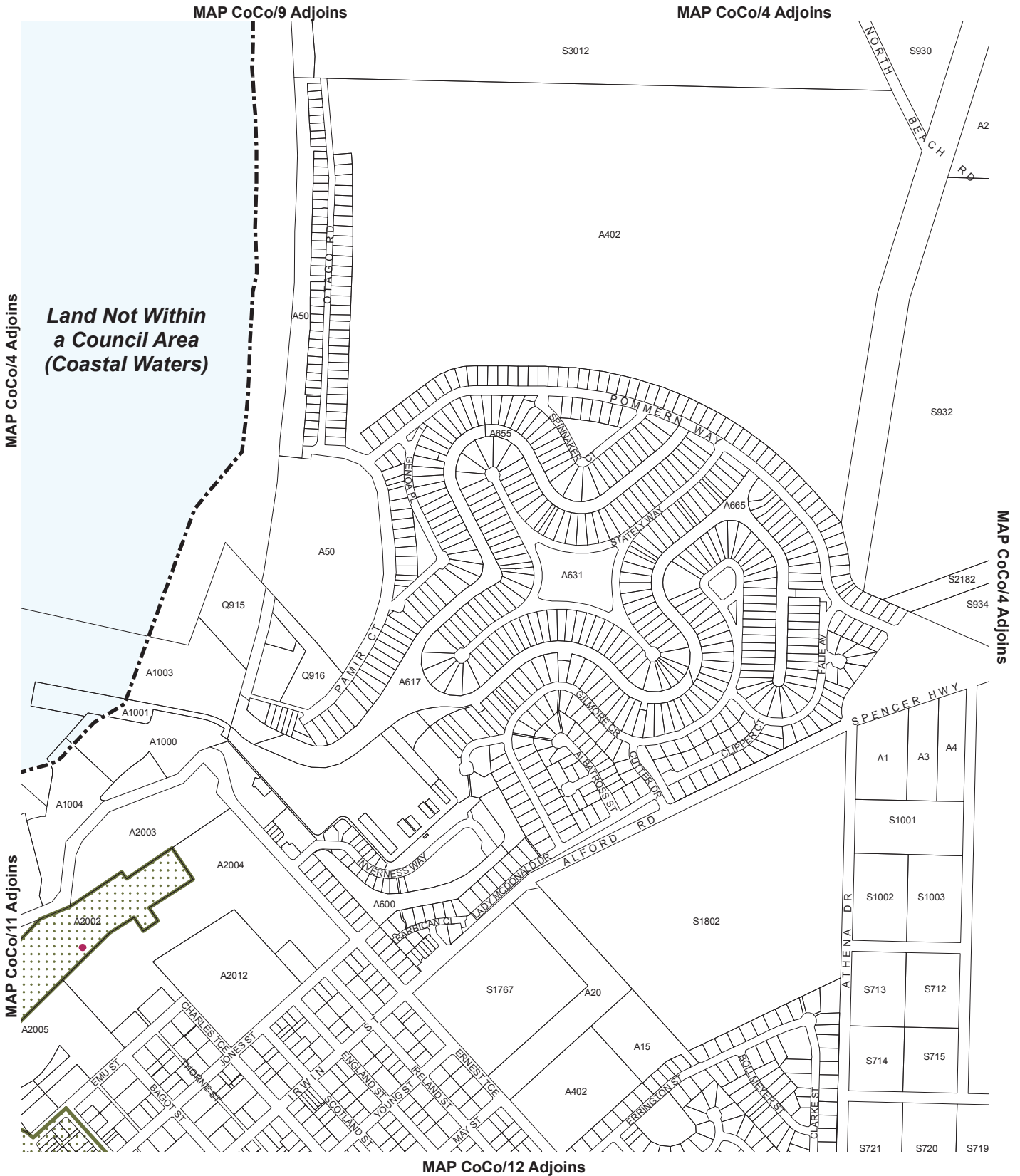


WALLAROO

Overlay Map CoCo/10 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

COPPER COAST COUNCIL
Consolidated - 23 May 2019



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



WALLAROO

Overlay Map CoCo/10 HERITAGE

- State heritage place
- Local heritage place
- Historic Conservation Area
- Development Plan Boundary

MAP CoCo/9 Adjoins

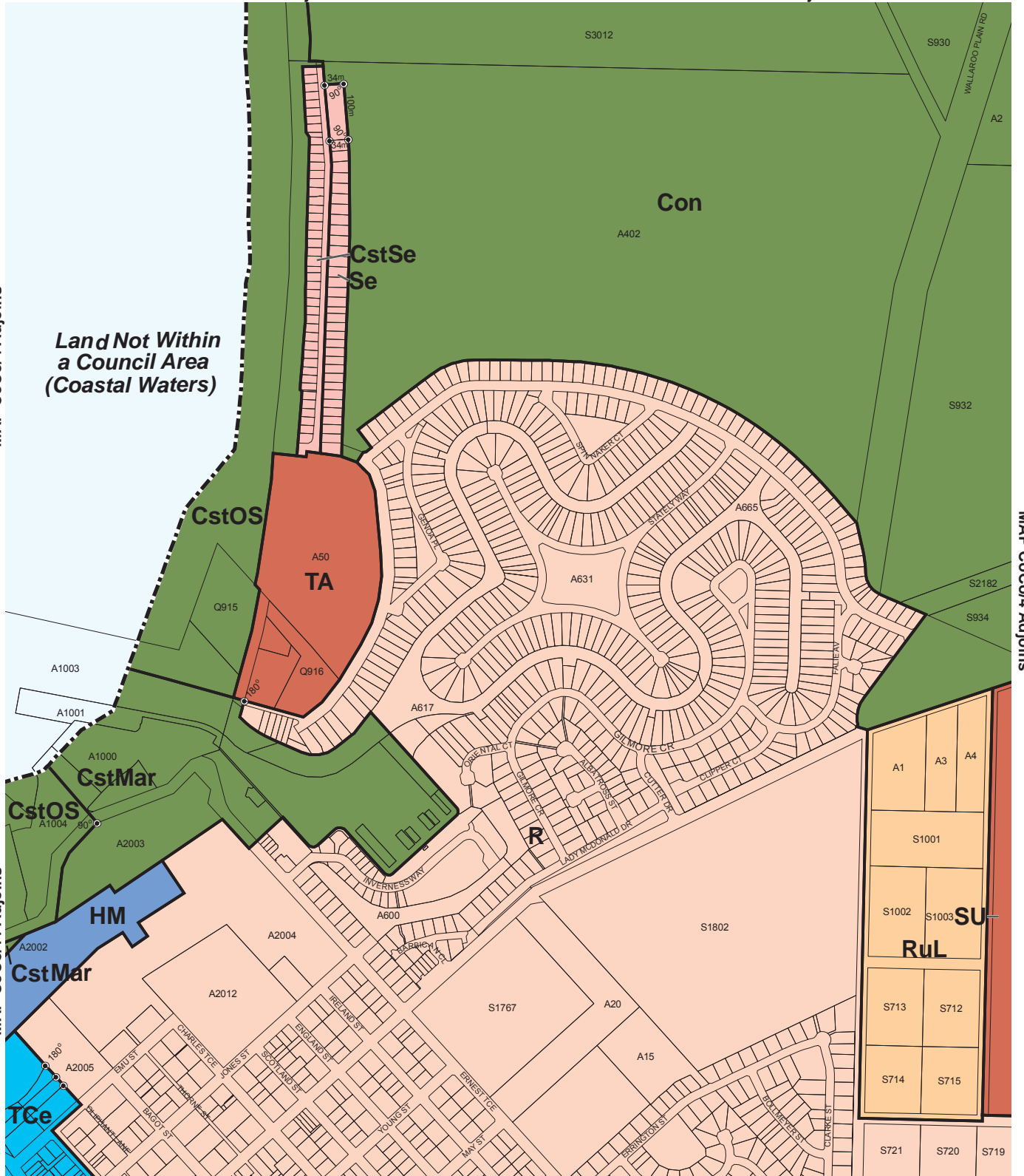
MAP CoCo/4 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/11 Adjoins

MAP CoCo/12 Adjoins



Lamberts Conformal Conic Projection, GDA94



Zones	
 CstMar	Coastal Marina
 CstOS	Coastal Open Space
 CstSe	Coastal Settlement
 Con	Conservation
 HM	Historic Mining
 R	Residential
 RuL	Rural Living
 Se	Settlement
 SU	Special Use
 TA	Tourist Accommodation
 TCe	Town Centre
	Zone Boundary
	Development Plan Boundary

WALLAROO

Zone Map CoCo/10

MAP CoCo/9 Adjoins

MAP CoCo/4 Adjoins

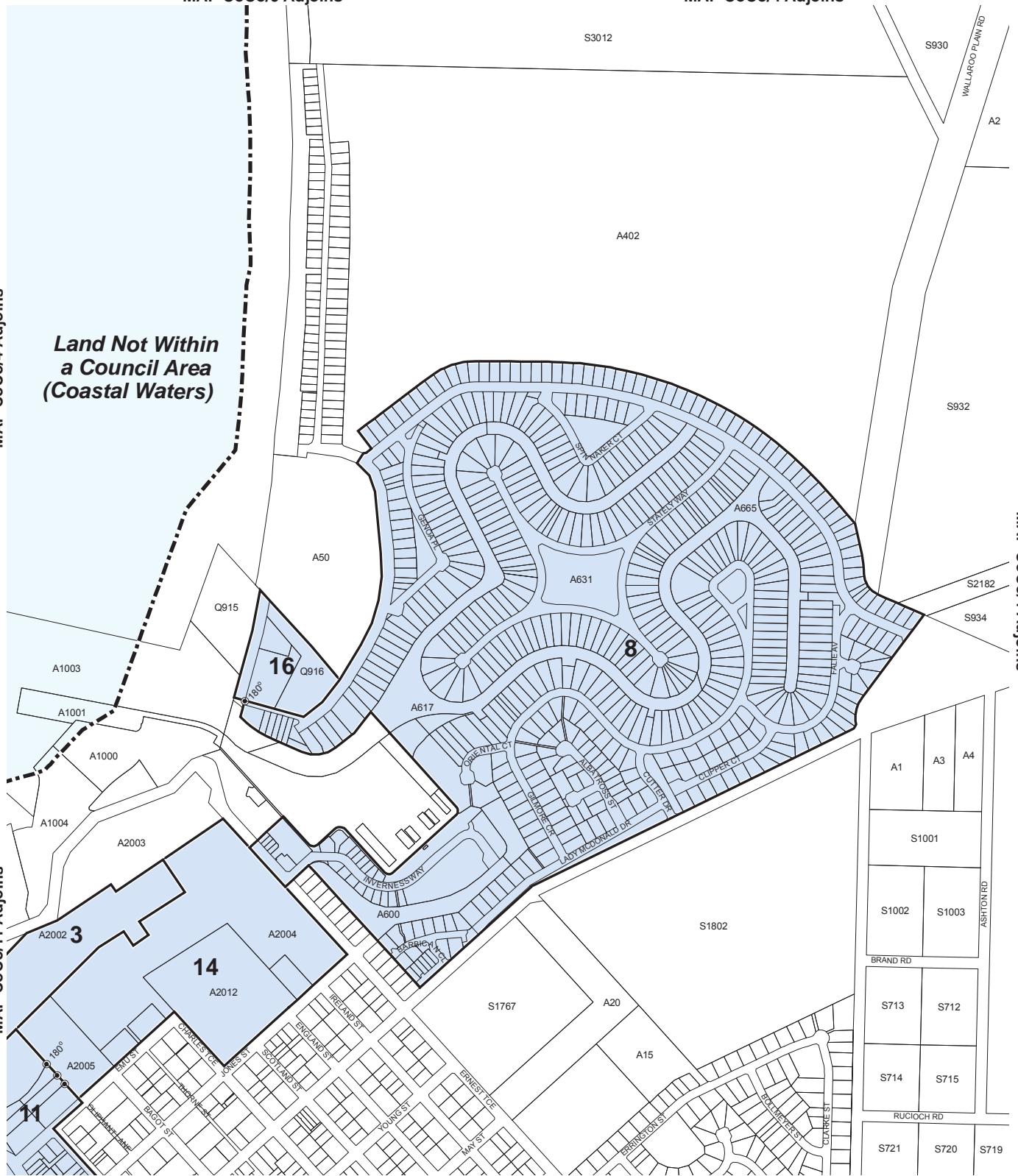
MAP CoCo/4 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/11 Adjoins

MAP CoCo/12 Adjoins

Land Not Within a Council Area (Coastal Waters)



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
- 11 Wallaroo
 - 14 Wallaroo Shores
 - 16 Pamir Court
 - 3 Wallaroo Town
 - 8 Wallaroo Marina

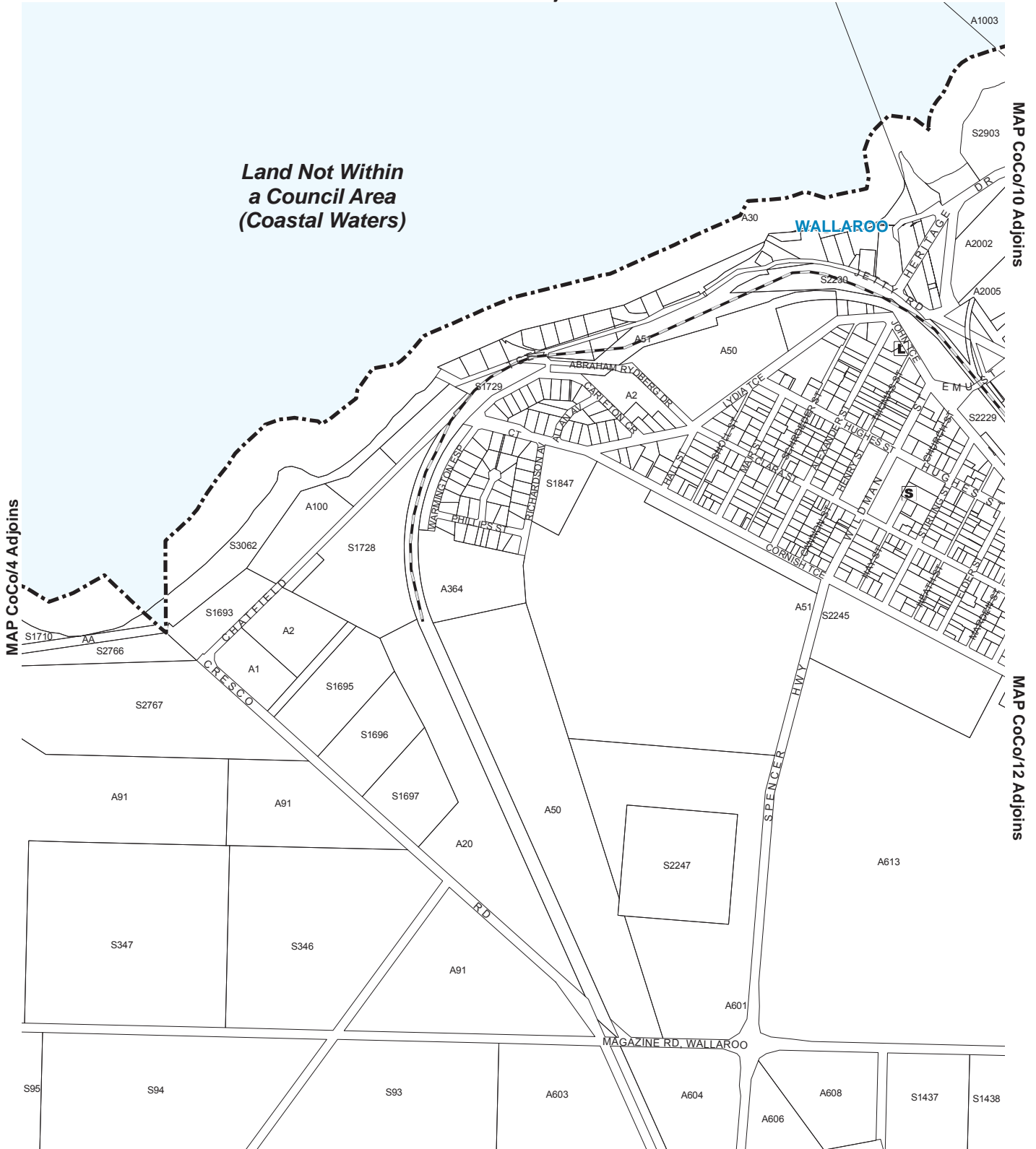


WALLAROO

Policy Area Map CoCo/10

-  Policy Area Boundary
-  Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



MAP CoCo/4 Adjoins

MAP CoCo/10 Adjoins

MAP CoCo/12 Adjoins



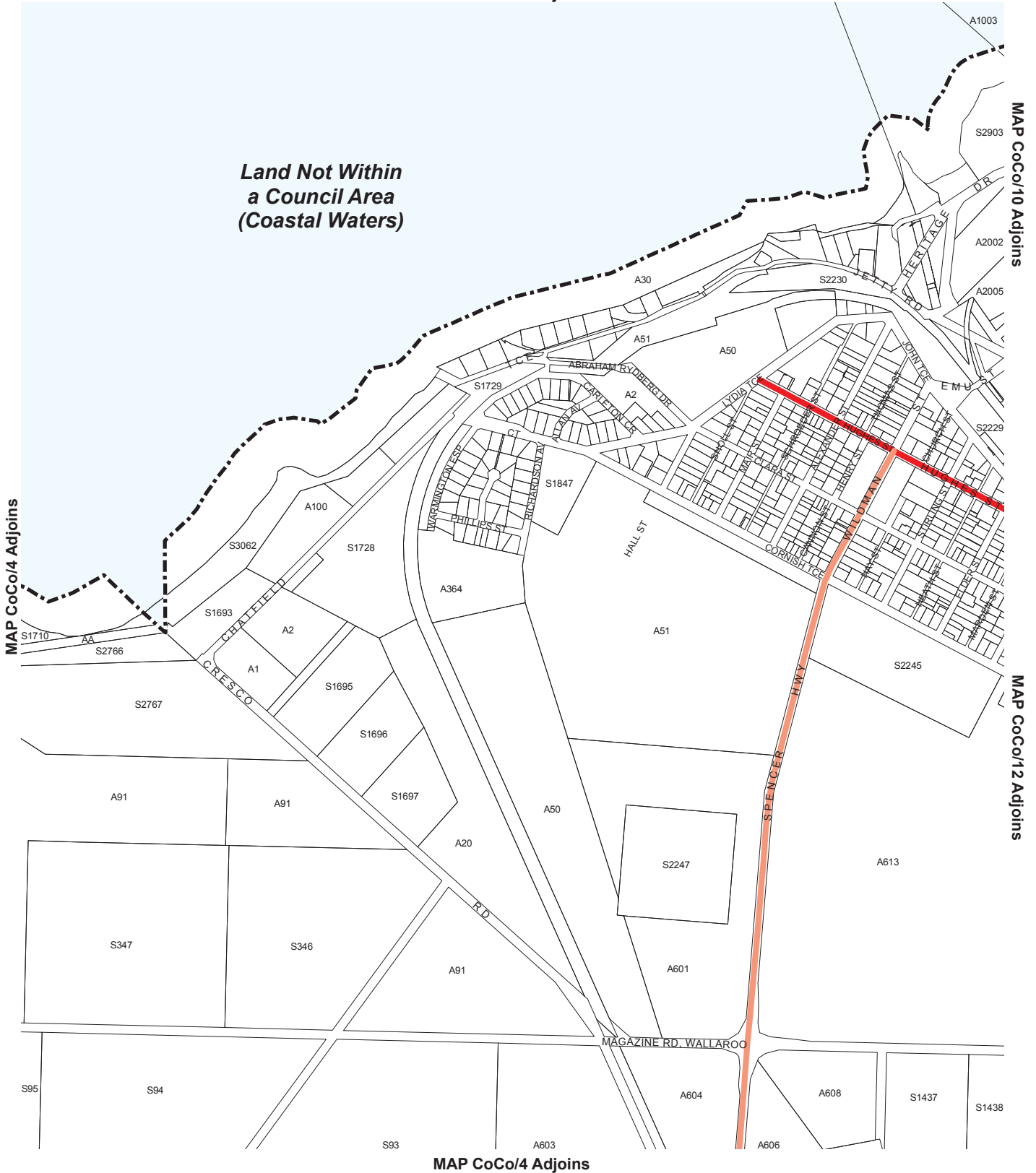
WALLAROO

Location Map CoCo/11

- S** School
- L** Public Library
- Railways
- - - - - Development Plan Boundary

MAP CoCo/4 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

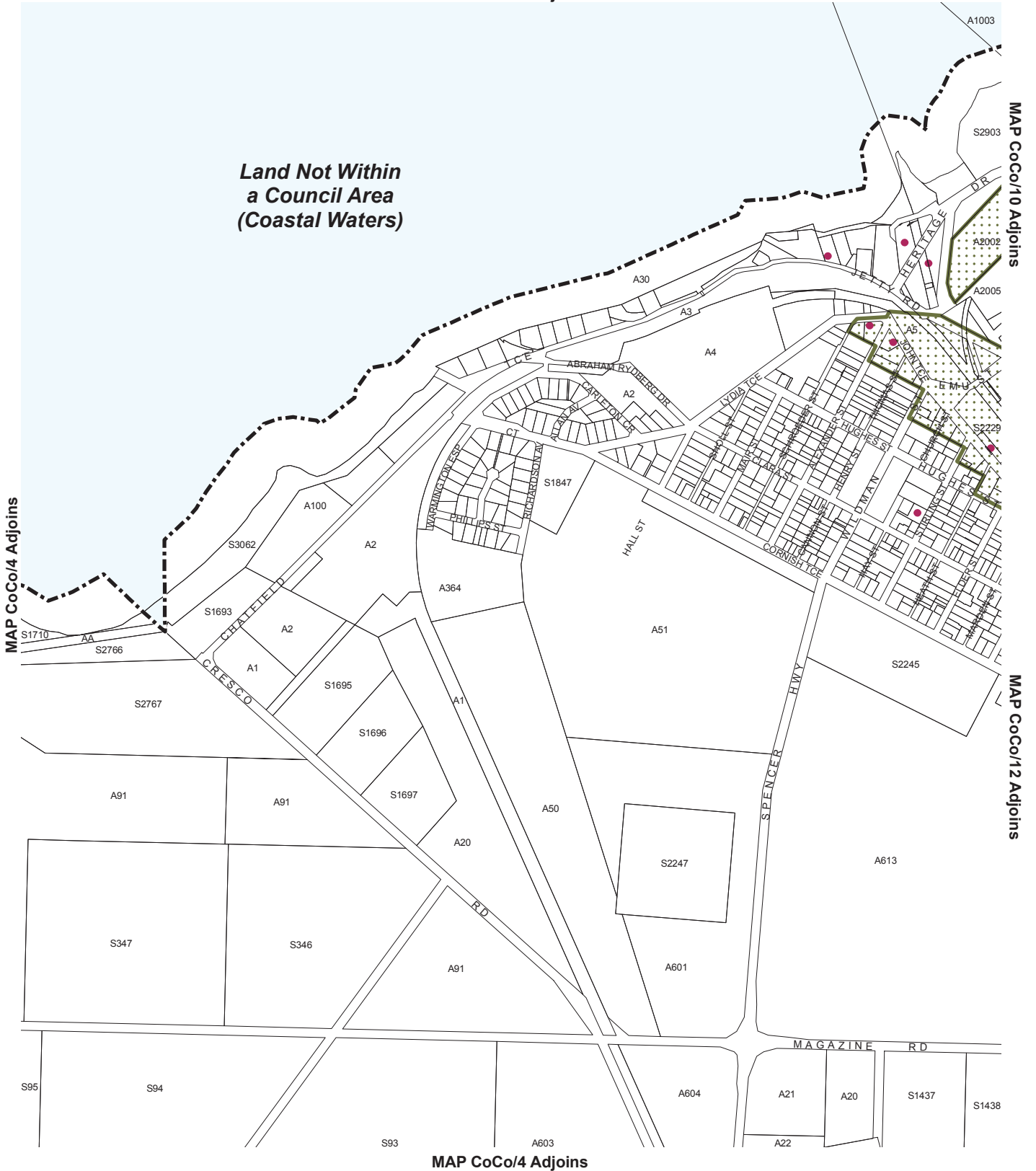


WALLAROO

Overlay Map CoCo/11 TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP CoCo/4 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

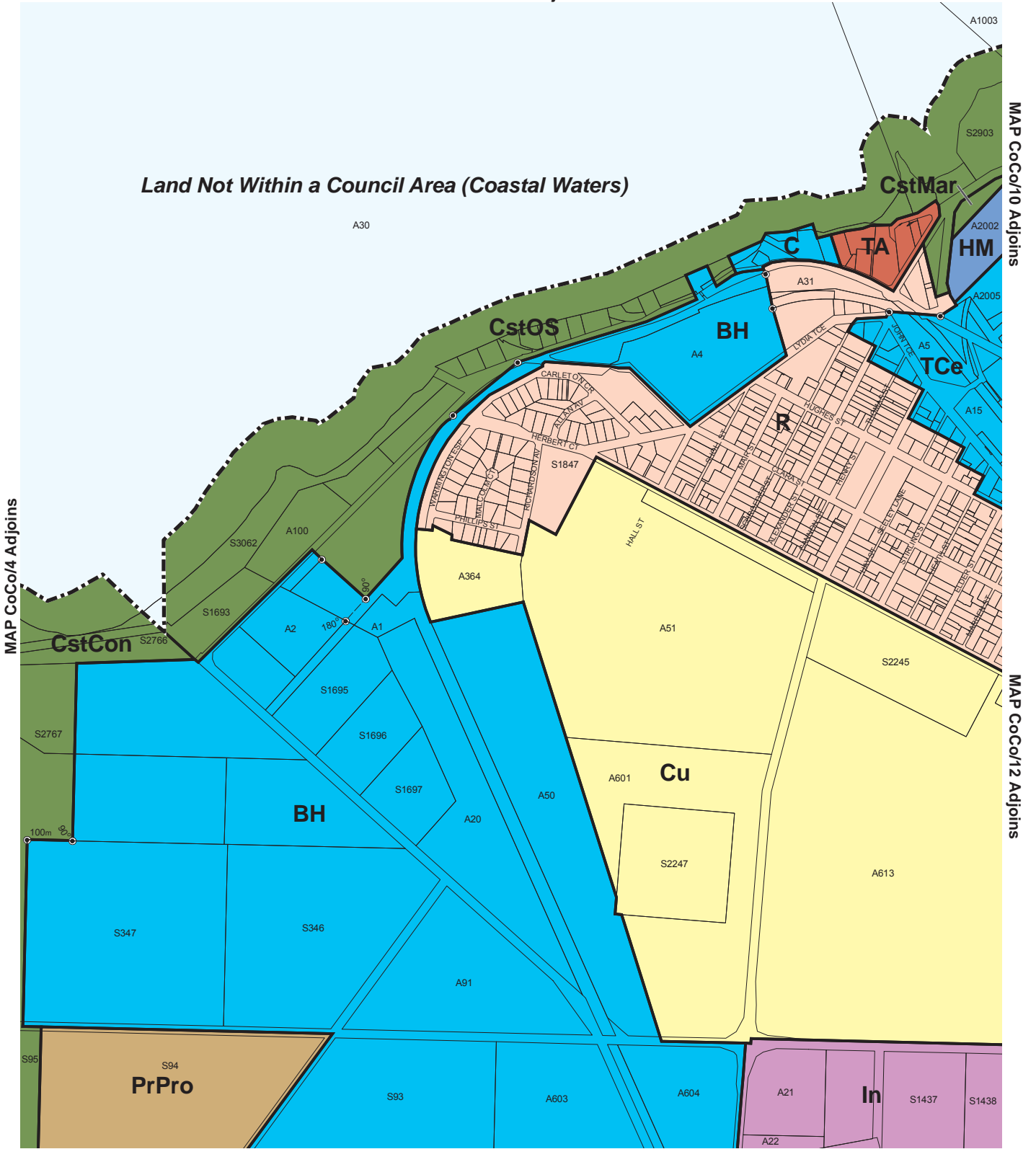
Heritage points are indicative only.
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Items please refer to the relevant tables within this document.



WALLAROO

Overlay Map CoCo/11 HERITAGE

- State heritage place
- Local heritage place
- Historic Conservation Area
- Development Plan Boundary



Land Not Within a Council Area (Coastal Waters)

Lamberts Conformal Conic Projection, GDA94

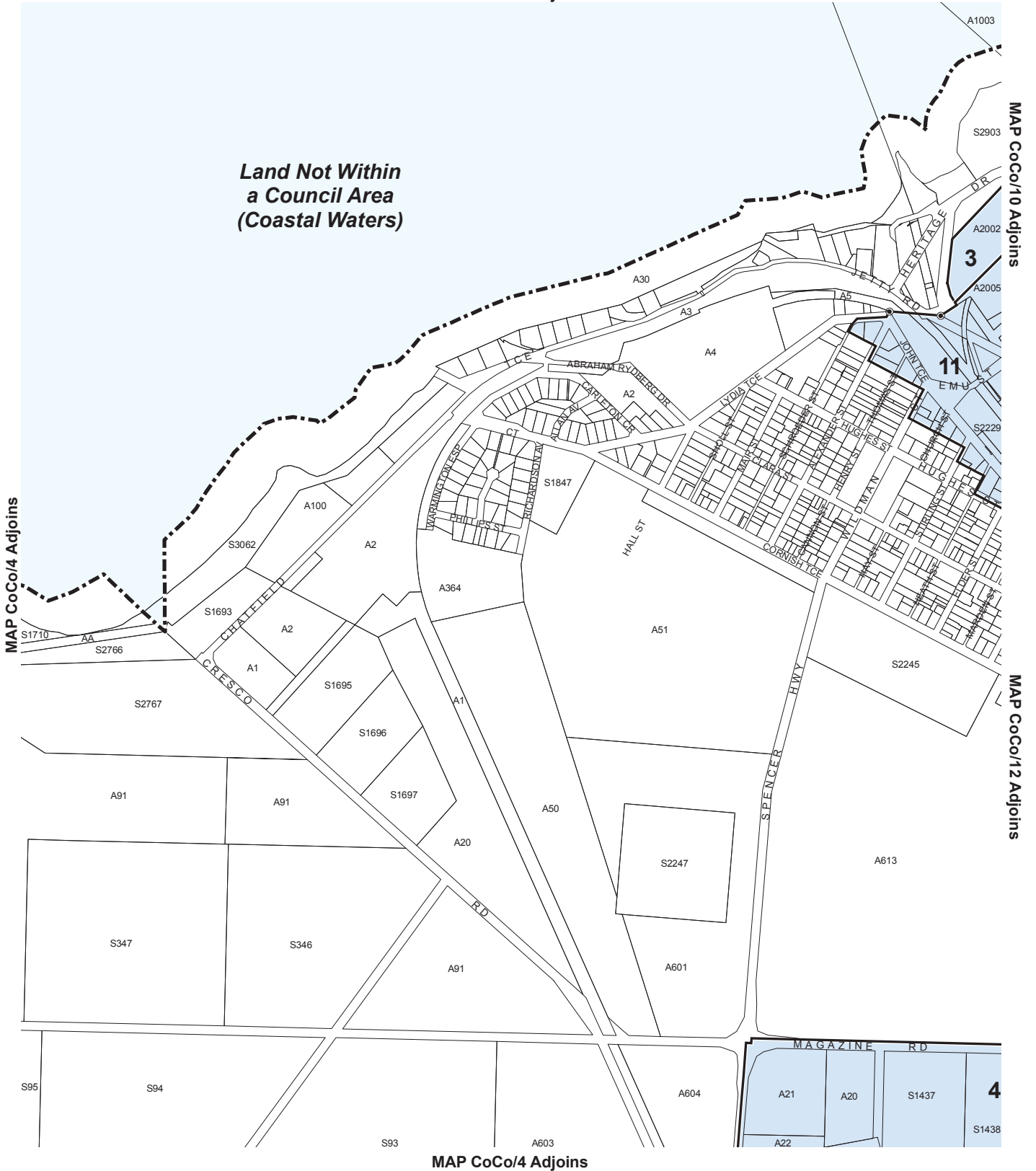


Zones	
 BH	Bulk Handling
 CstCon	Coastal Conservation
 CstMar	Coastal Marina
 CstOS	Coastal Open Space
 C	Commercial
 Cu	Community
 HM	Historic Mining
 In	Industry
 PrPro	Primary Production
 R	Residential
 TA	Tourist Accommodation
 TCe	Town Centre
	Zone Boundary
	Development Plan Boundary

WALLAROO

Zone Map CoCo/11

MAP CoCo/4 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

Lamberts Conformal Conic Projection, GDA94

- Policy Area**
 11 Wallaroo
 3 Wallaroo Town
 4 Infrastructure

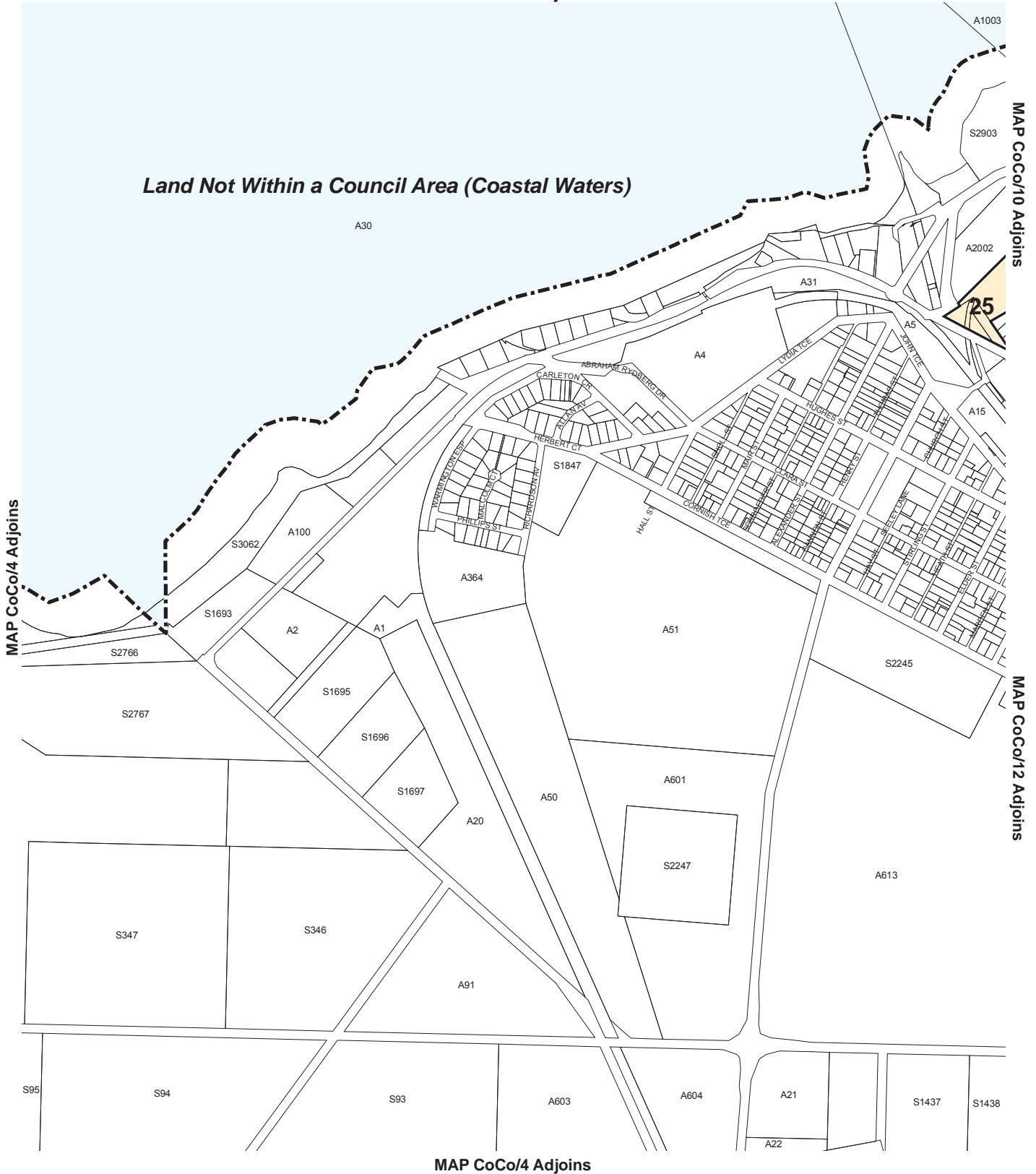


WALLAROO

Policy Area Map CoCo/11

- Policy Area Boundary
- Development Plan Boundary

MAP CoCo/4 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
25 Mixed Use



WALLAROO

Precinct Map CoCo/11

- Precinct Boundary
- Development Plan Boundary

MAP CoCo/10 Adjoins



MAP CoCo/4 Adjoins

MAP CoCo/4 Adjoins

MAP CoCo/11 Adjoins



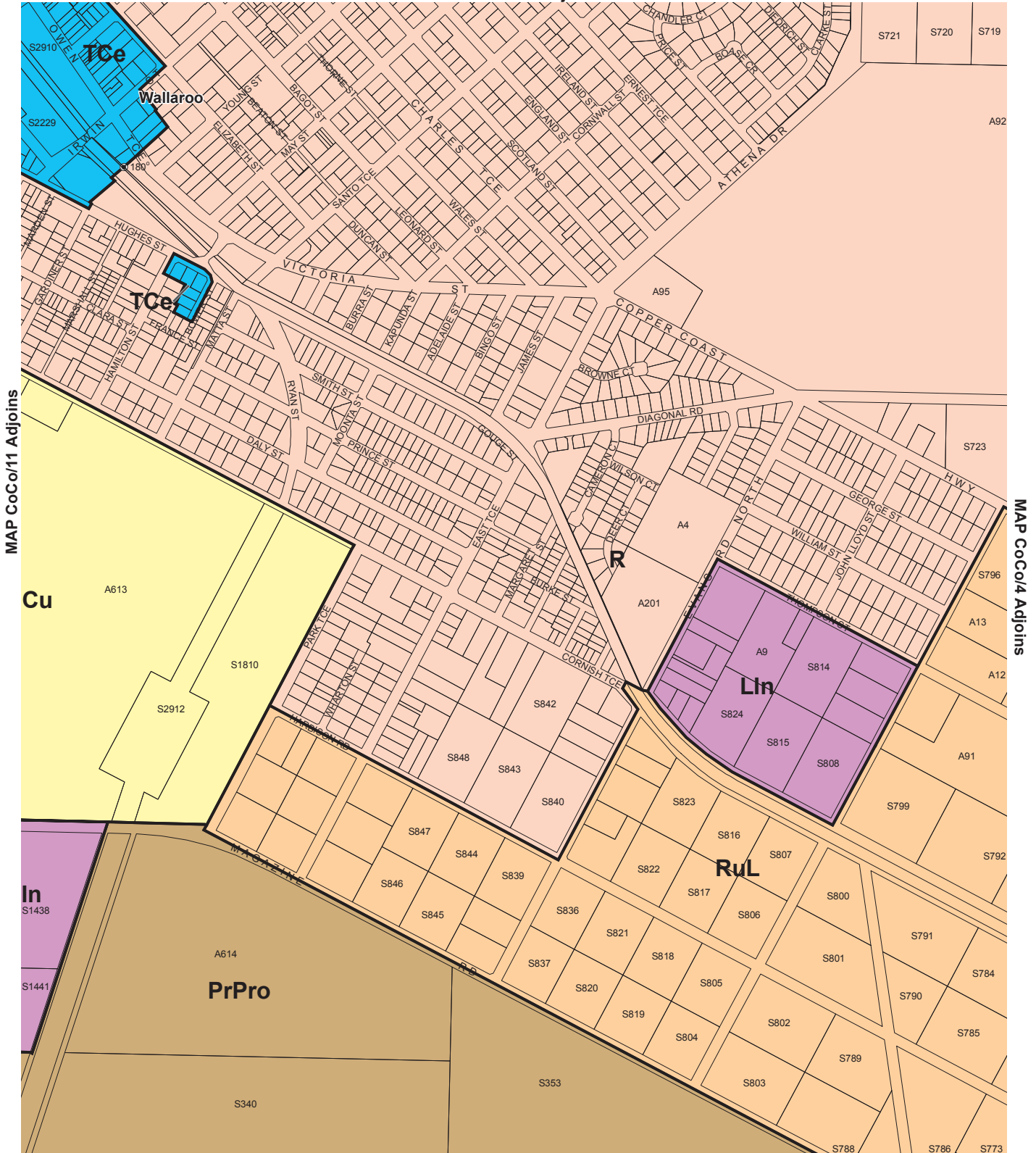
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WALLAROO

Location Map CoCo/12

- S School
- Railways

MAP CoCo/10 Adjoins



MAP CoCo/4 Adjoins

Lamberts Conformal Conic Projection, GDA94

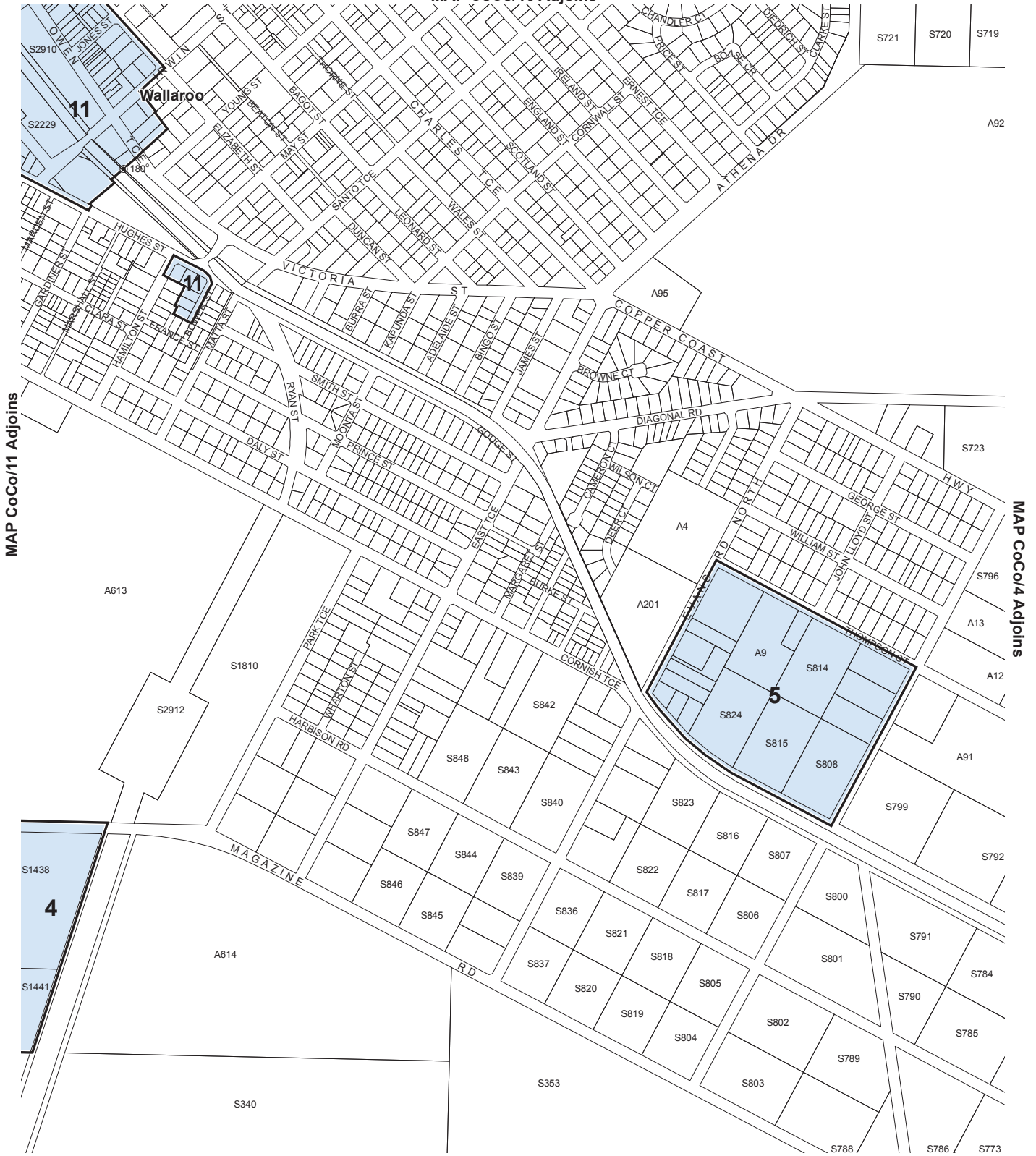
- Zones**
- Cu Community
 - In Industry
 - LIn Light Industry
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - TCe Town Centre
 - Zone Boundary



WALLAROO

Zone Map CoCo/12

MAP CoCo/10 Adjoins



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
- 11 Wallaroo
 - 4 Infrastructure
 - 5 Home Industry



WALLAROO



Policy Area Map CoCo/12

Policy Area Boundary

MAP CoCo/8 Adjoins



Location Map CoCo/13

-  Railways
-  Waterbodies

MAP CoCo/8 Adjoins



MAP CoCo/8 Adjoins

MAP CoCo/14 Adjoins

MAP CoCo/16 Adjoins



KADINA

Overlay Map CoCo/13 TRANSPORT

 Primary Arterial Roads

MAP CoCo/8 Adjoins




Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

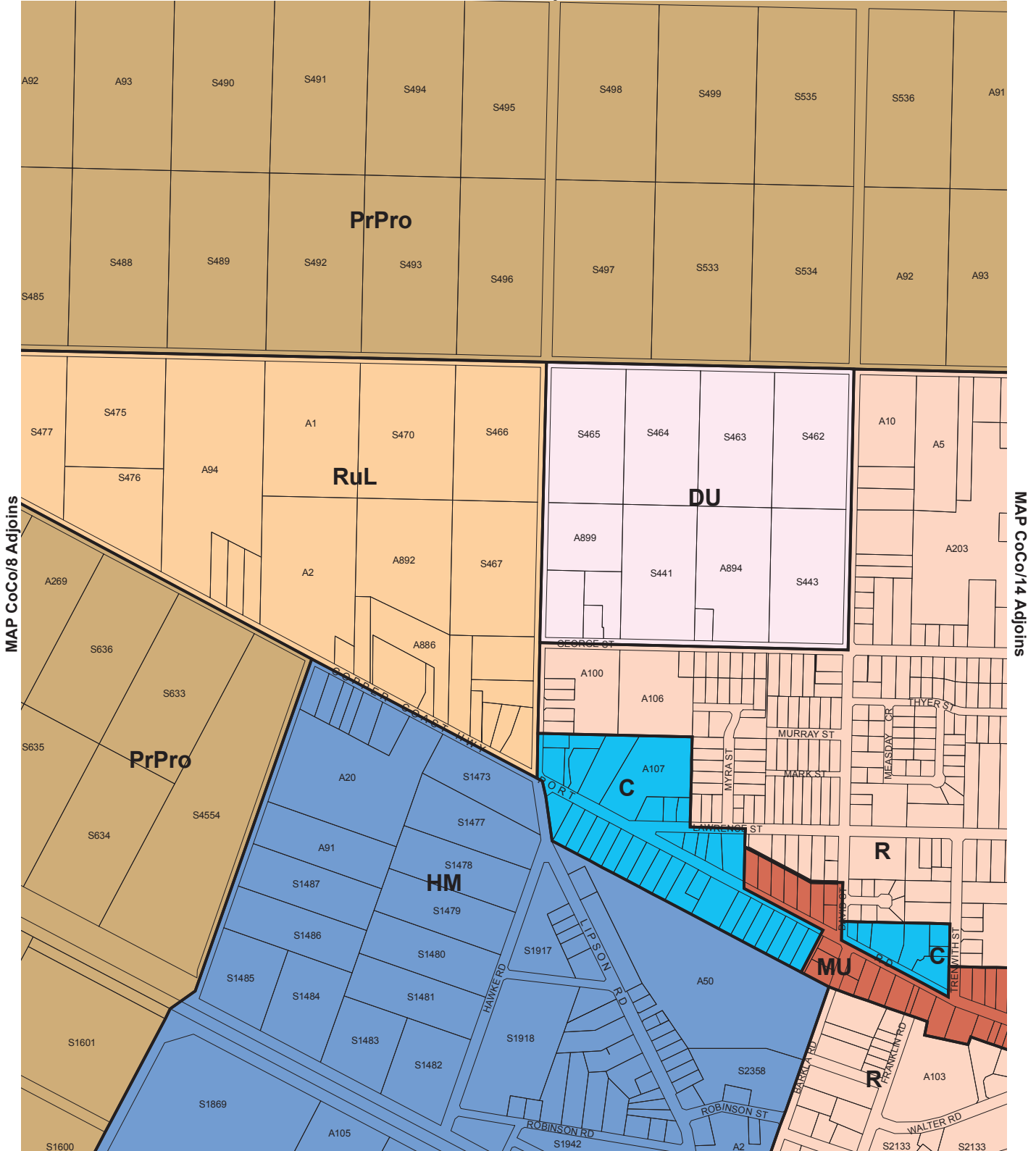


KADINA

Overlay Map CoCo/13 HERITAGE

 Historic Conservation Area

MAP CoCo/8 Adjoins



Lamberts Conformal Conic Projection, GDA94

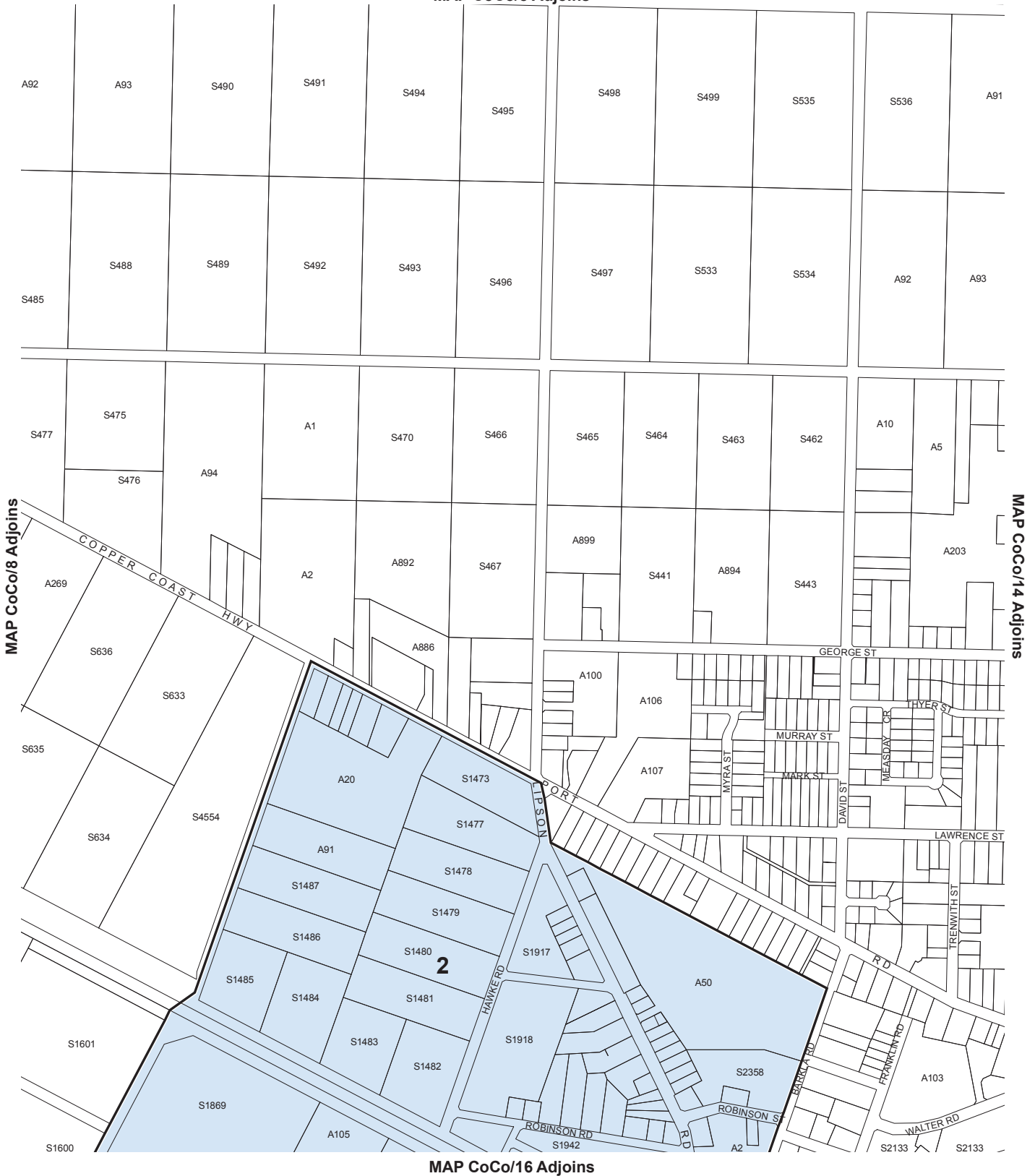


- Zones**
- Commercial
 - DU Deferred Urban
 - HM Historic Mining
 - MU Mixed Use
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - Zone Boundary

KADINA

Zone Map CoCo/13

MAP CoCo/8 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Wallaroo Mines



KADINA

Policy Area Map CoCo/13

 Policy Area Boundary

MAP CoCo/8 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct

- 15 Mines Buffer
- 17 Residential Kadina



KADINA

Precinct Map CoCo/13

Precinct Boundary



KADINA

Location Map CoCo/14

- S** School
- C** Council Office
- H** Other Health Services

Waterbodies

MAP CoCo/8 Adjoins



MAP CoCo/17 Adjoins

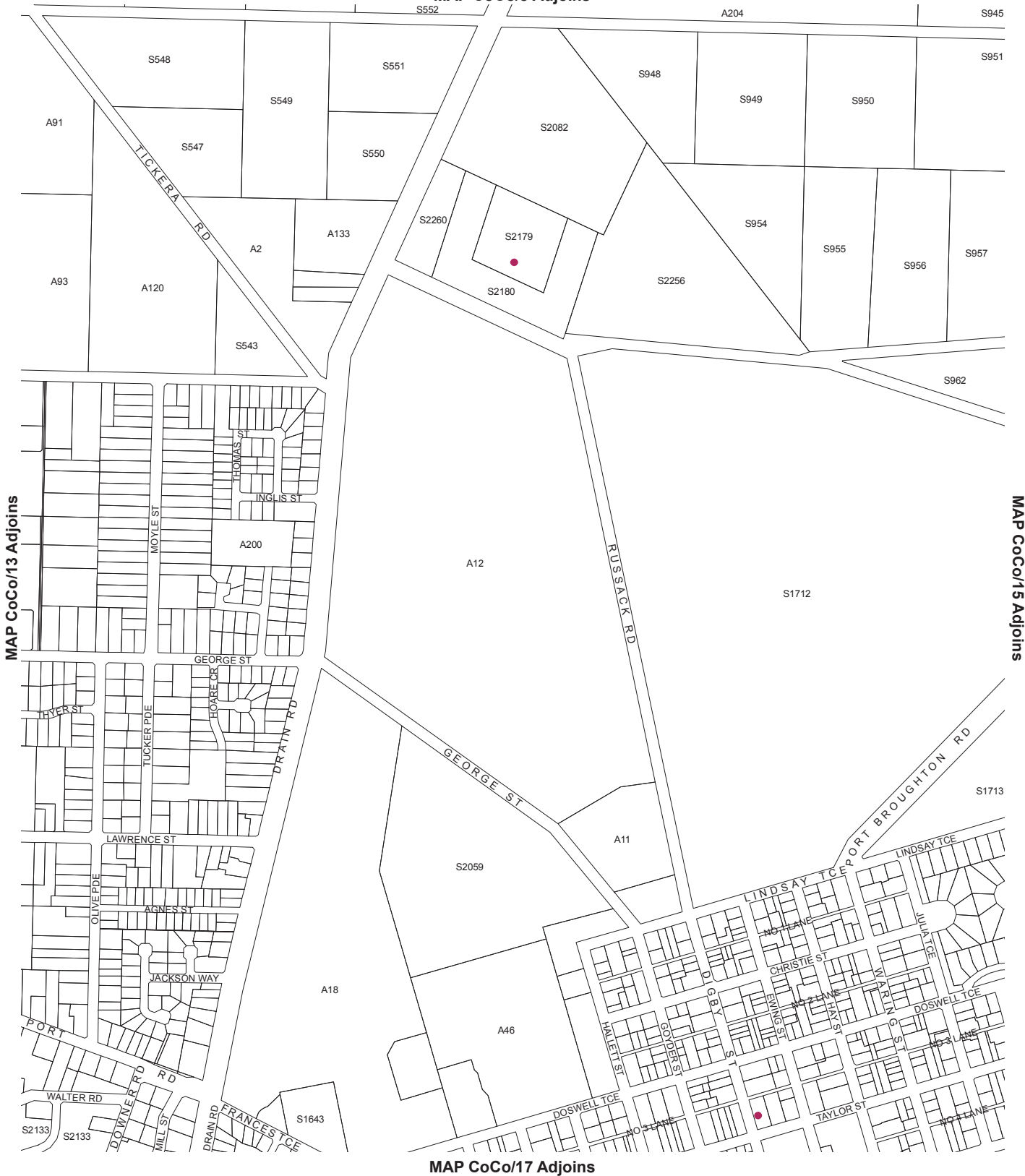


KADINA

Overlay Map CoCo/14 TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads

MAP CoCo/8 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

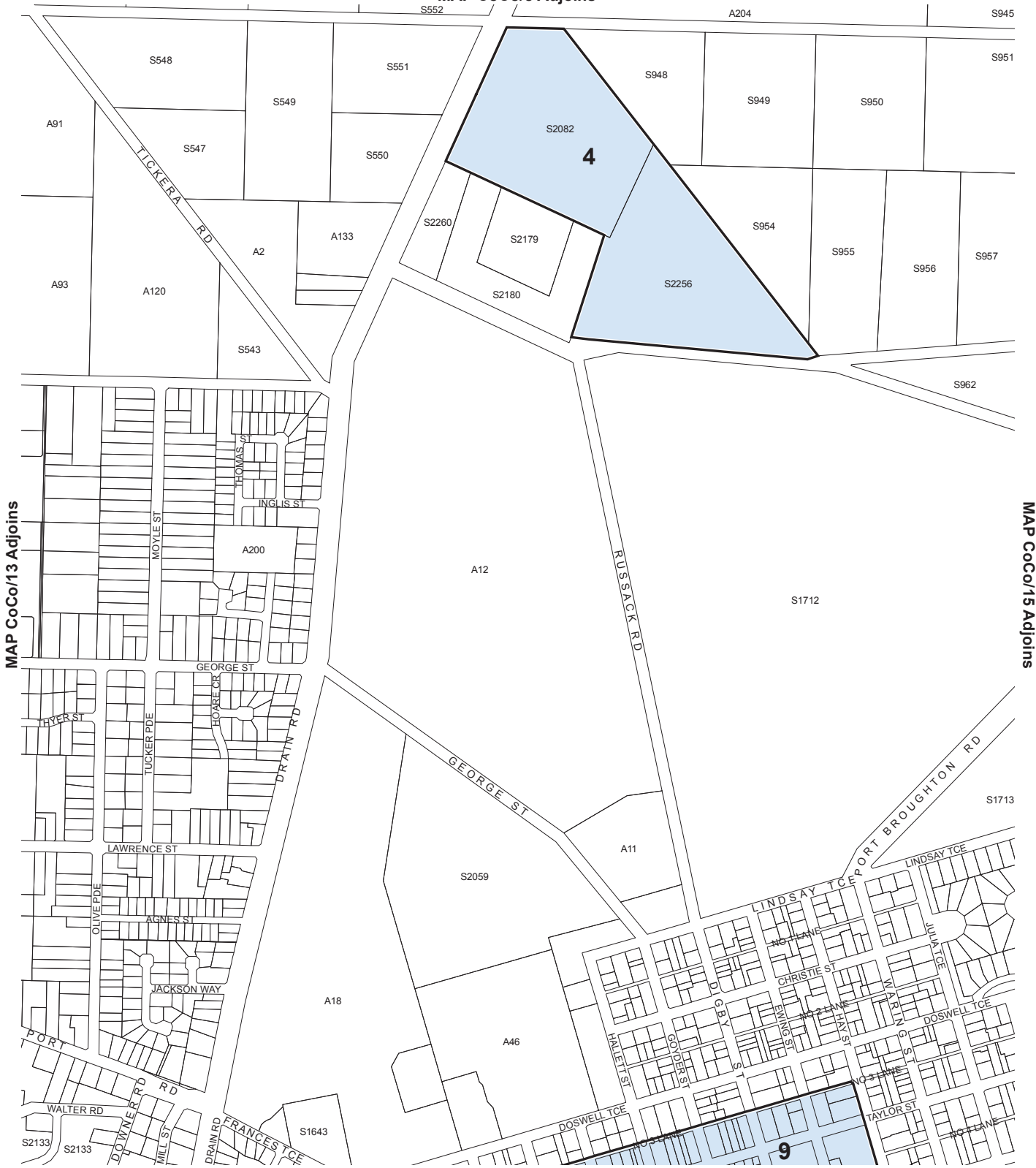


KADINA

Overlay Map CoCo/14 HERITAGE

- State heritage place
- Local heritage place

MAP CoCo/8 Adjoins



MAP CoCo/13 Adjoins

MAP CoCo/15 Adjoins

MAP CoCo/17 Adjoins

Lamberts Conformal Conic Projection, GDA94

- Policy Area**
 4 Infrastructure
 9 Kadina



KADINA

Policy Area Map CoCo/14

 Policy Area Boundary

MAP CoCo/8 Adjoins



Lamberts Conformal Conic Projection, GDA94

- Precinct**
 21 Retail Core
 22 Commercial Area



KADINA

Precinct Map CoCo/14

 Precinct Boundary

MAP CoCo/8 Adjoins
KADINA



KADINA

Location Map CoCo/15

MAP CoCo/8 Adjoins




MAP CoCo/18 Adjoins

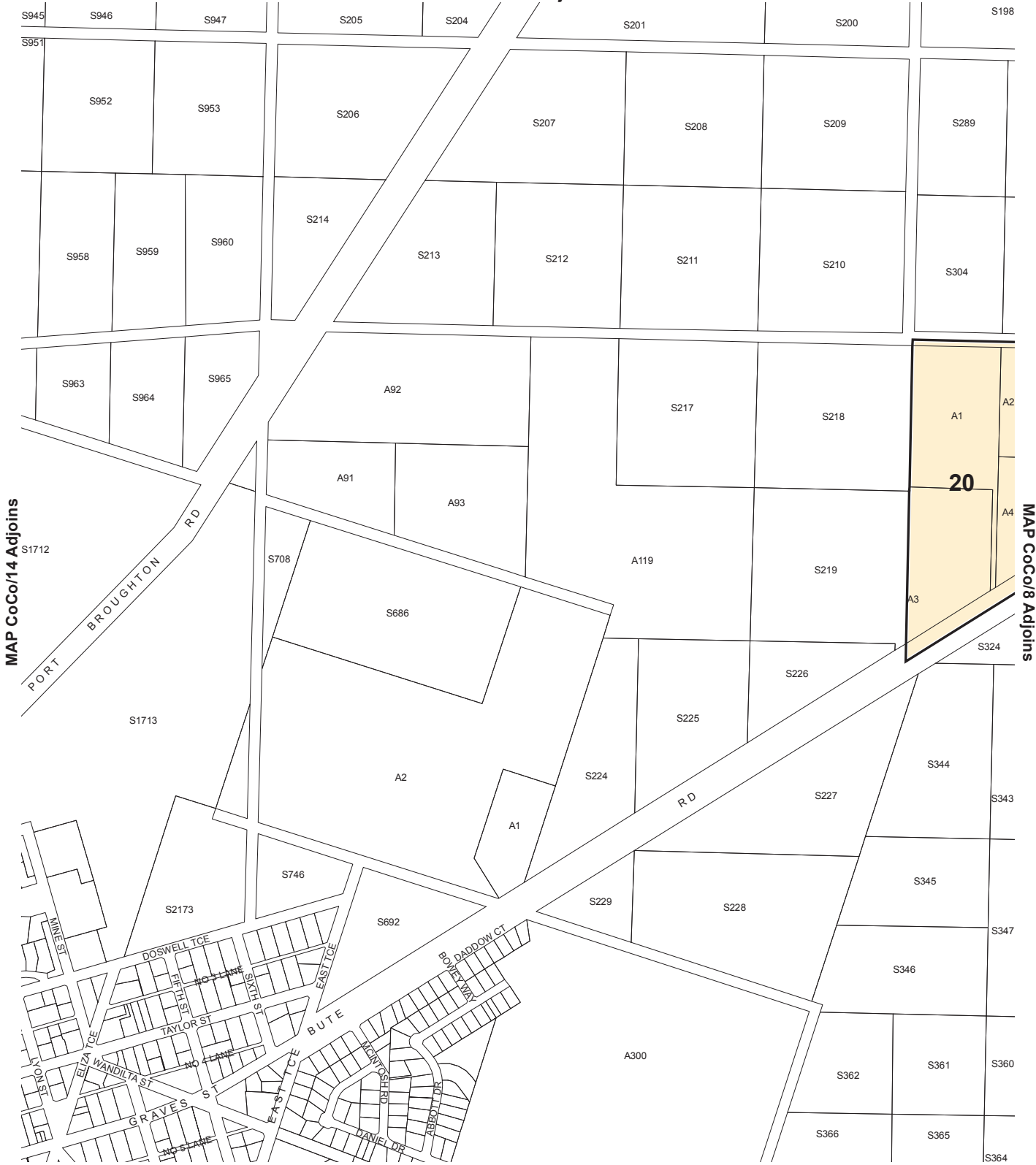


KADINA

Overlay Map CoCo/15 TRANSPORT

 Secondary Arterial Roads

MAP CoCo/8 Adjoins



MAP CoCo/14 Adjoins

MAP CoCo/8 Adjoins

MAP CoCo/18 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
20 Rural Low Density

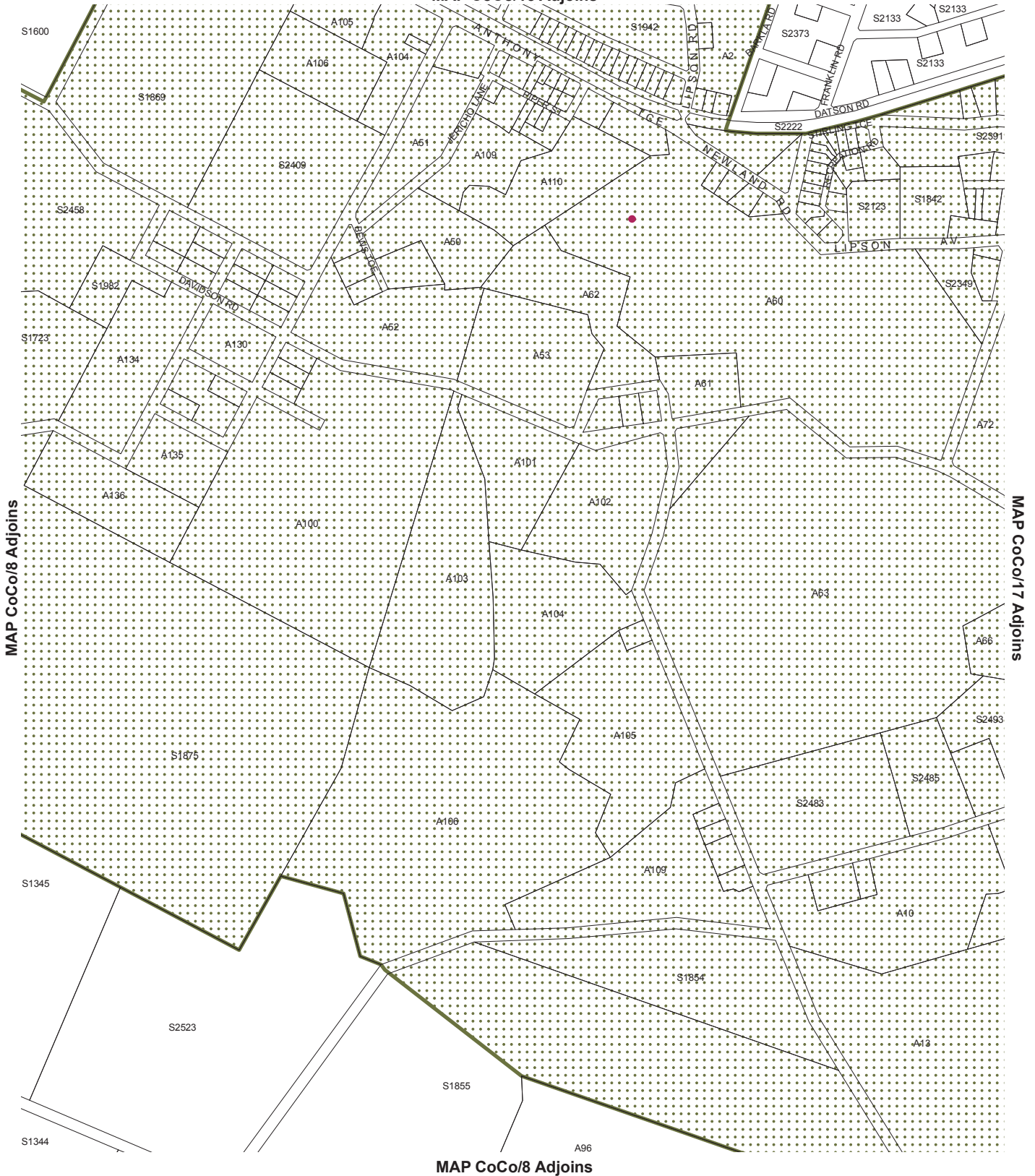


KADINA

Precinct Map CoCo/15

Precinct Boundary

MAP CoCo/13 Adjoins



Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.

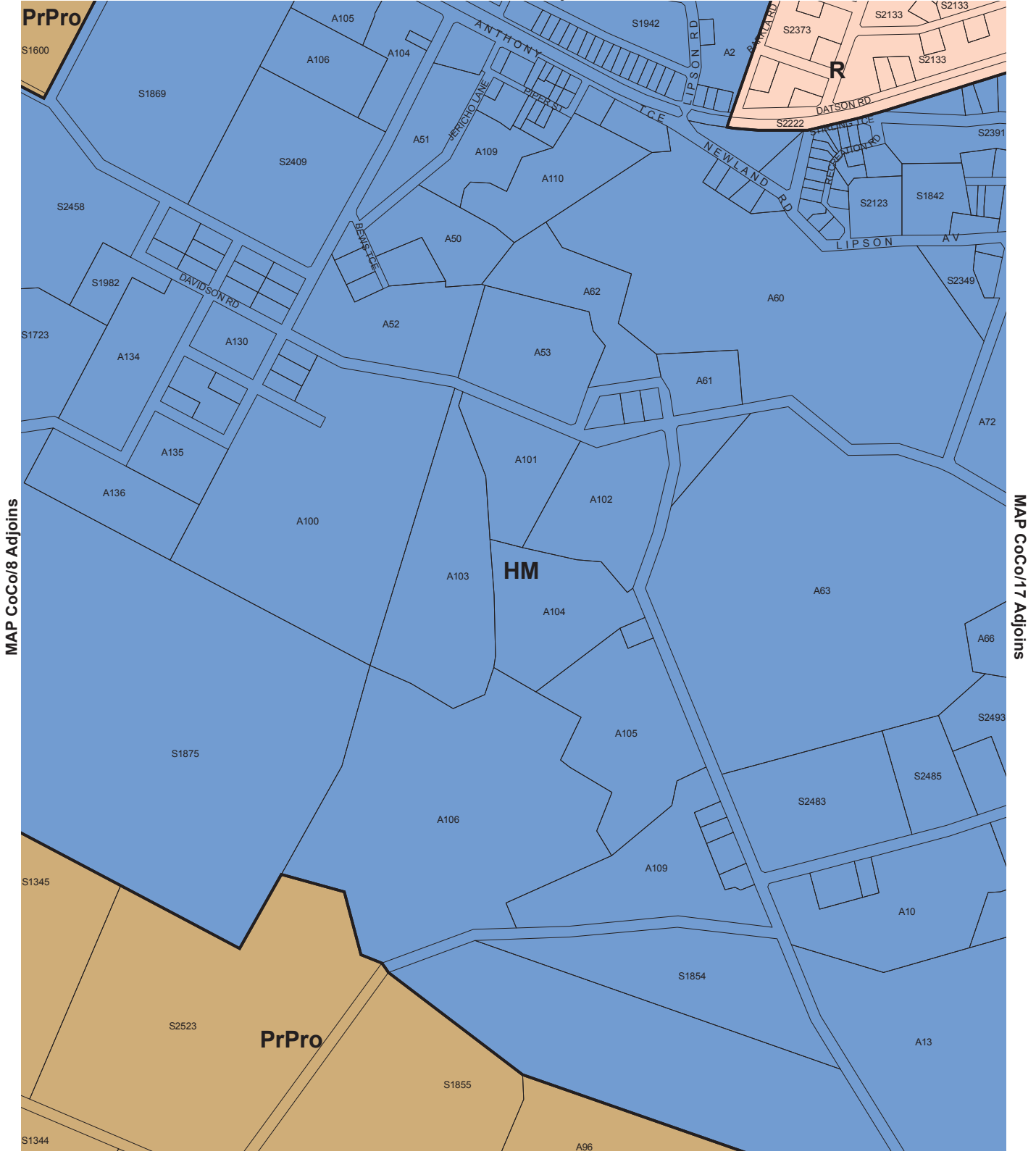


KADINA

Overlay Map CoCo/16 HERITAGE

- State heritage place
- Local heritage place
- Historic Conservation Area

MAP CoCo/13 Adjoins

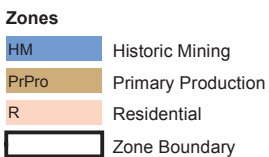


MAP CoCo/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

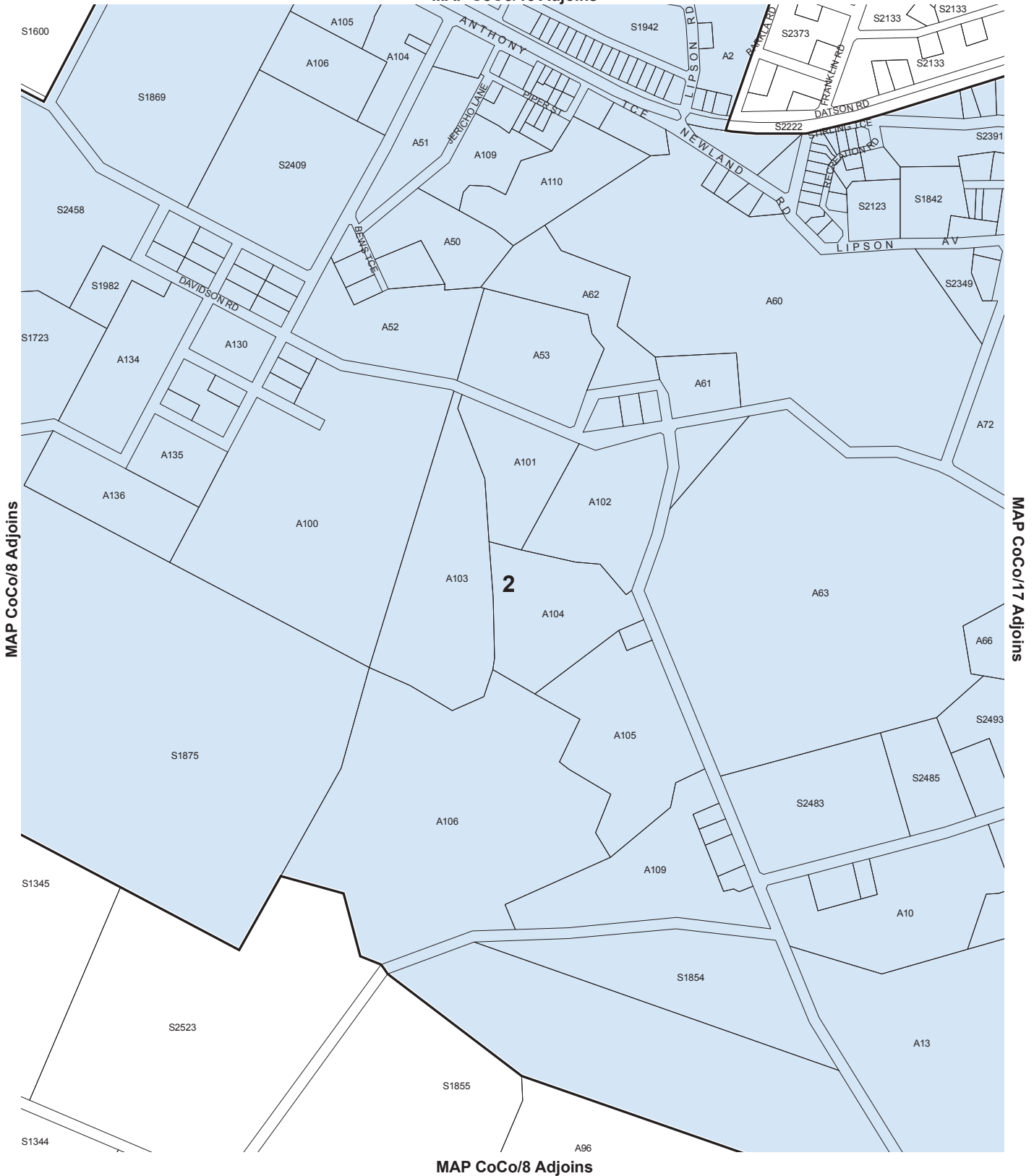


KADINA



Zone Map CoCo/16

MAP CoCo/13 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Wallaroo Mines

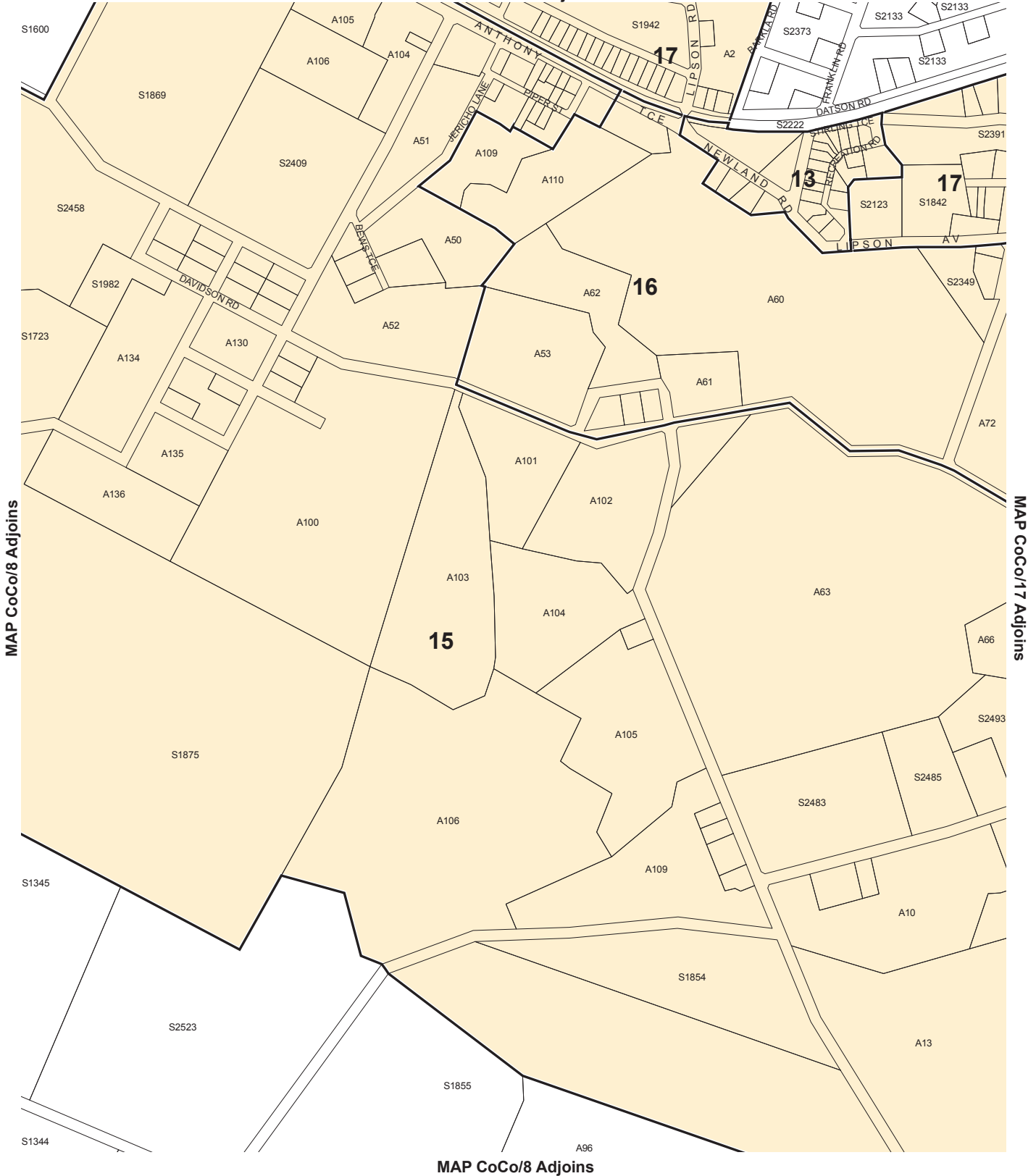


KADINA

Policy Area Map CoCo/16

 Policy Area Boundary

MAP CoCo/13 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct

- 13 Cornish Village
- 15 Mines Buffer
- 16 Mines Industry
- 17 Residential Kadina



KADINA

Precinct Map CoCo/16

Precinct Boundary

MAP CoCo/14 Adjoins

Kadina



MAP CoCo/16 Adjoins

MAP CoCo/18 Adjoins




MAP CoCo/8 Adjoins



0 500m

KADINA

Location Map CoCo/17

-  Public Library
-  Other Health Services
-  Police Station
-  Railways

MAP CoCo/14 Adjoins

Kadina



MAP CoCo/16 Adjoins

MAP CoCo/18 Adjoins

MAP CoCo/8 Adjoins



0 500m

KADINA

Overlay Map CoCo/17 TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads

MAP CoCo/14 Adjoins

Kadina



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 Items please refer to the relevant tables within this document.



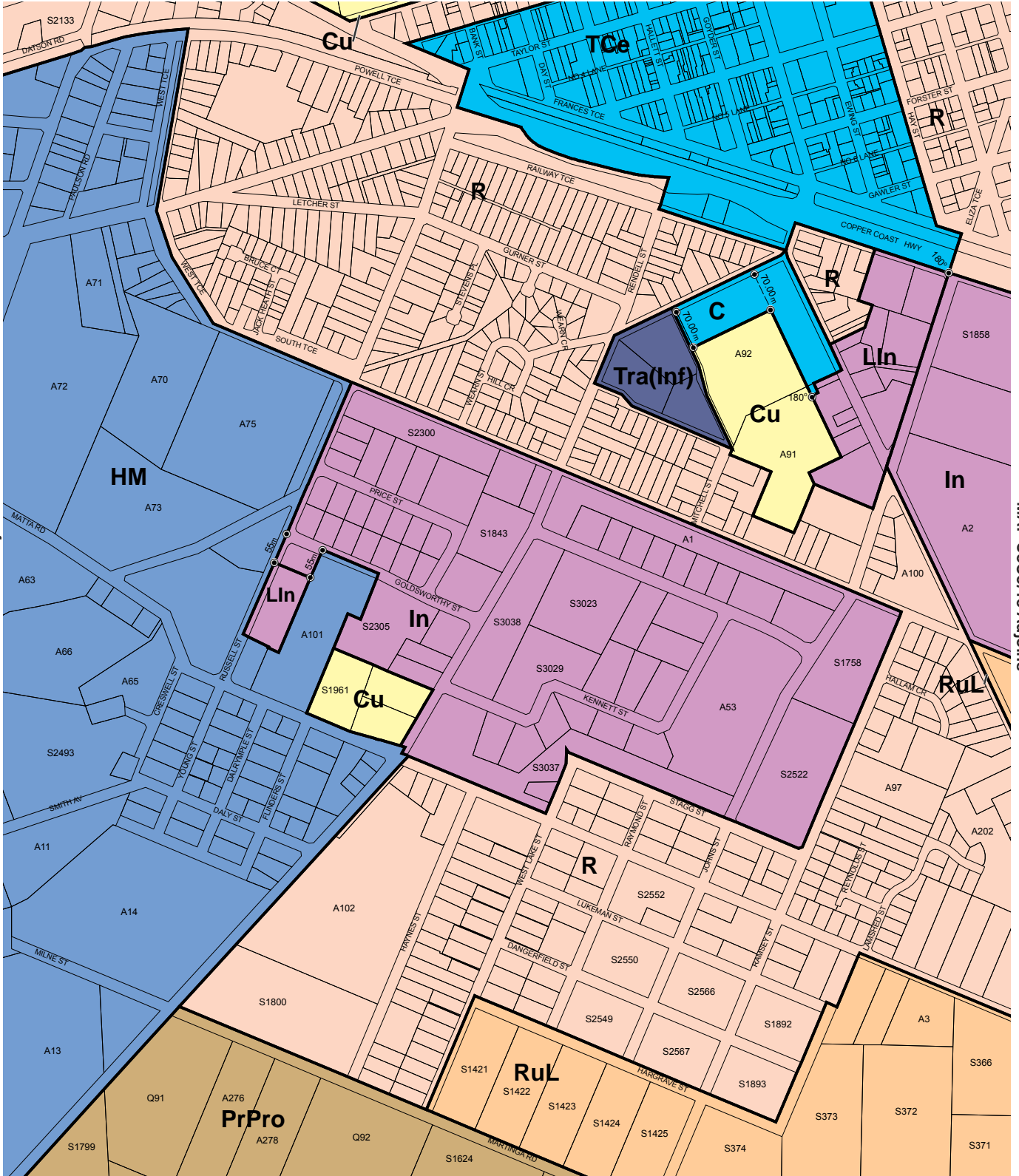
KADINA

Overlay Map CoCo/17

HERITAGE

- State heritage place
- Local heritage place
- Historic Conservation Area

MAP CoCo/14 Adjoins



MAP CoCo/16 Adjoins

MAP CoCo/18 Adjoins

MAP CoCo/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

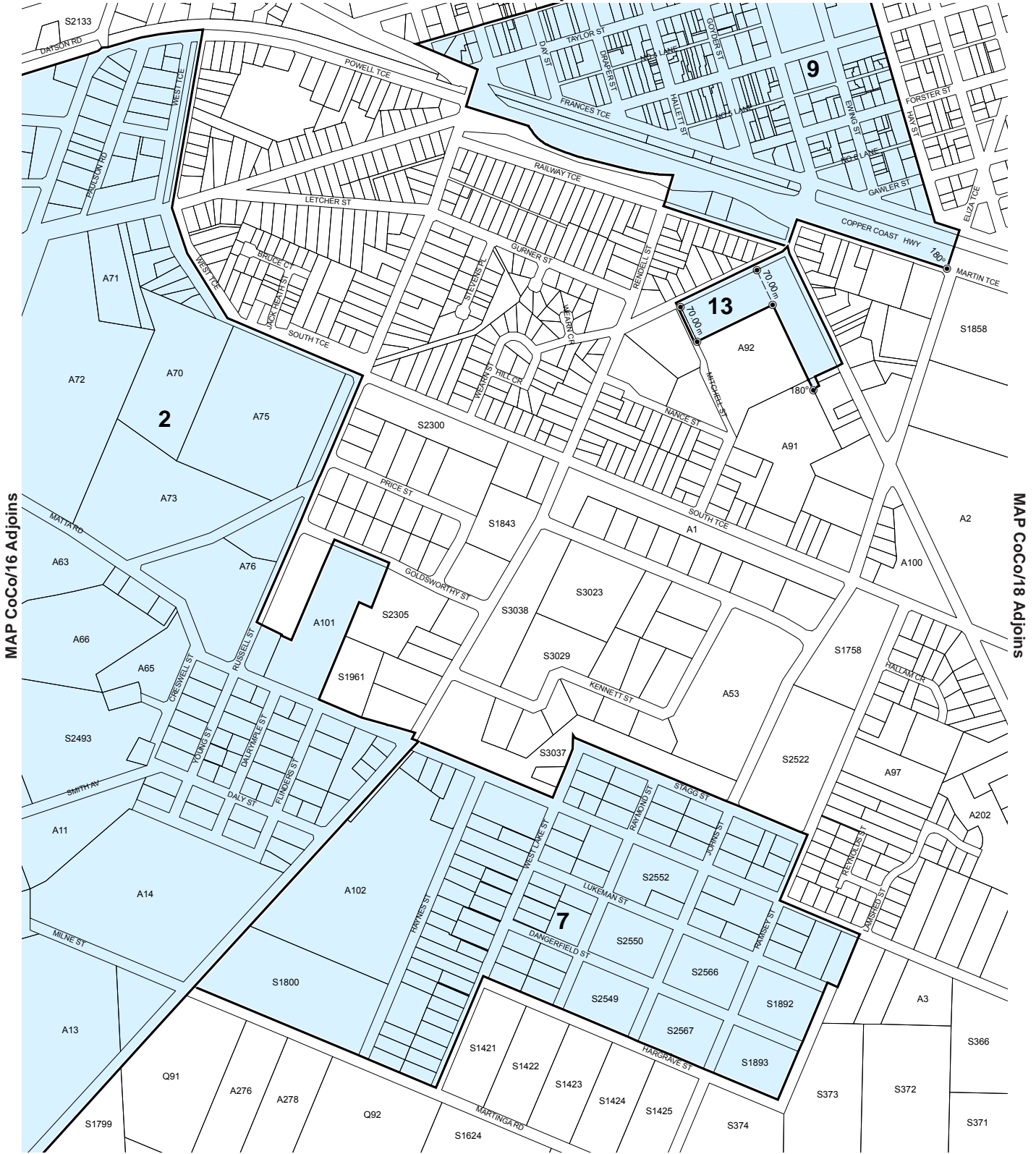
- Commercial
- Community
- Historic Mining
- Industry
- Light Industry
- Primary Production
- Residential
- Rural Living
- Town Centre
- Transition (Infrastructure)
- Zone Boundary



KADINA

Zone Map CoCo/17

MAP CoCo/14 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 13 Motor Vehicle Showroom
- 2 Wallaroo Mines
- 7 Low Density
- 9 Kadina

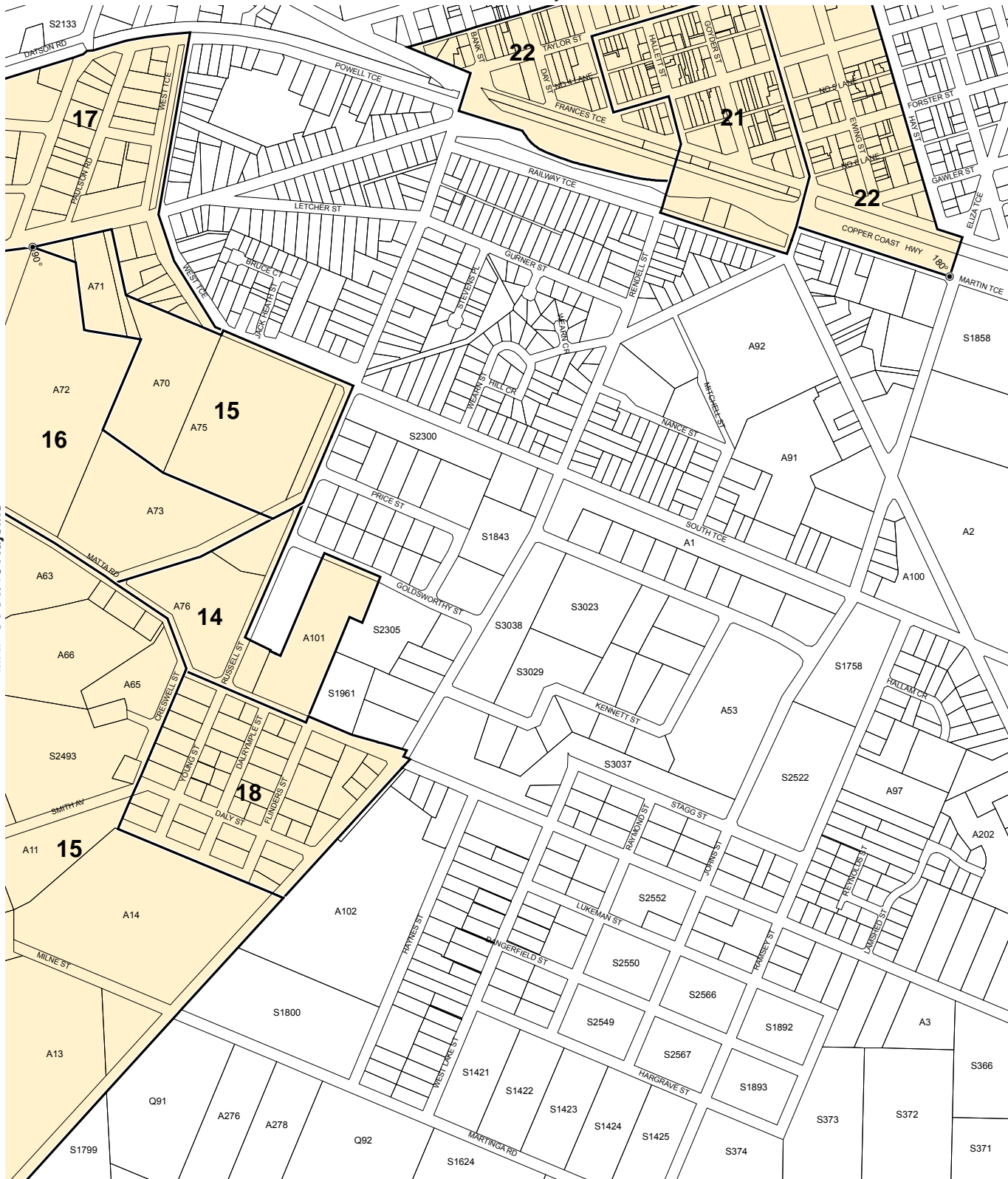


KADINA

Policy Area Map CoCo/17

 Policy Area Boundary

MAP CoCo/14 Adjoins



MAP CoCo/16 Adjoins

MAP CoCo/18 Adjoins

MAP CoCo/8 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct

- 14 Matta Museum
- 15 Mines Buffer
- 16 Mines Industry
- 17 Residential Kadina
- 18 Residential Matta
- 21 Retail Core
- 22 Commercial Area

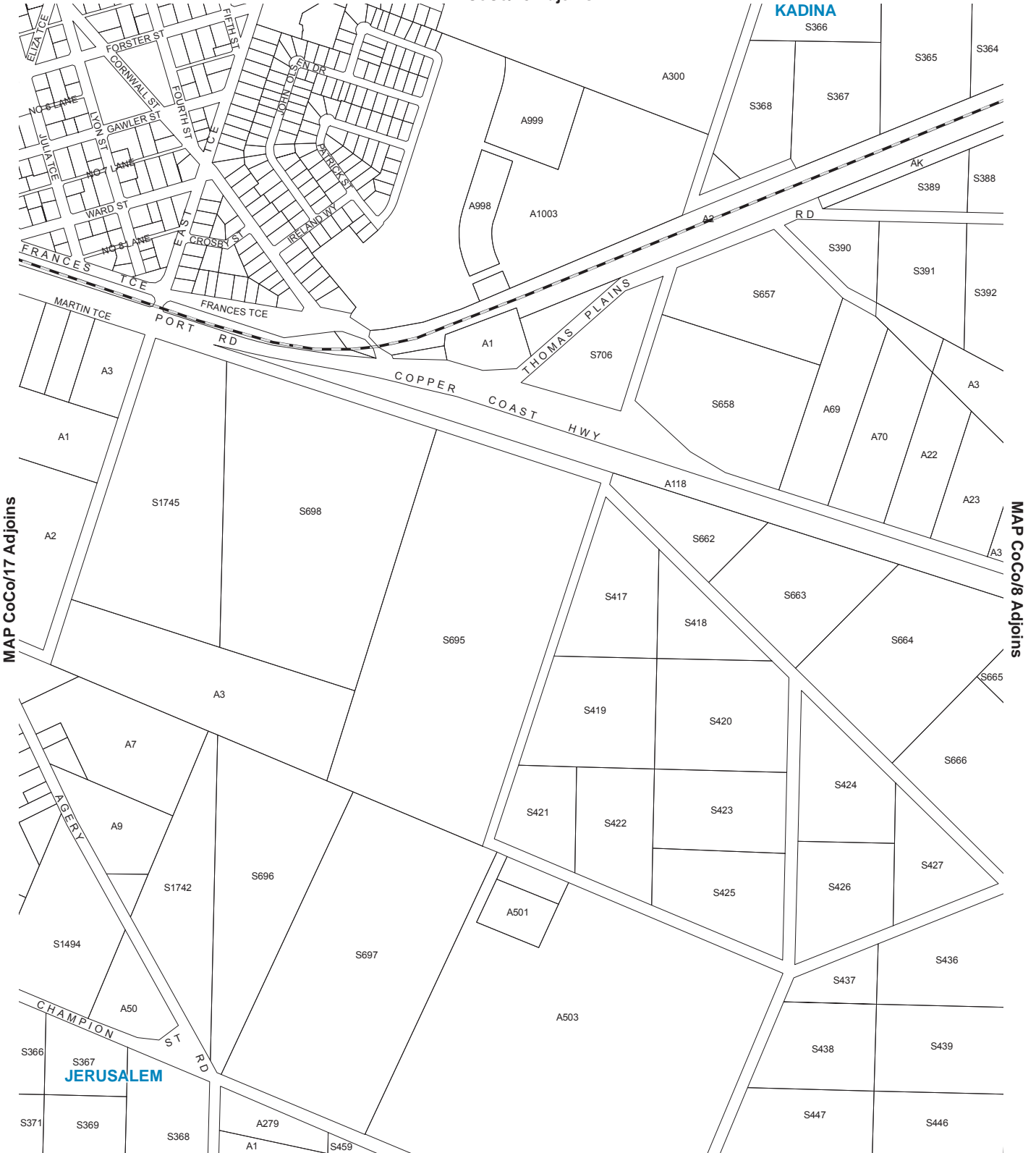


KADINA

Precinct Map CoCo/17

Precinct Boundary

MAP CoCo/15 Adjoins



MAP CoCo/8 Adjoins

KADINA

JERUSALEM

MAP CoCo/8 Adjoins

MAP CoCo/17 Adjoins

KADINA

Location Map CoCo/18



COPPER COAST COUNCIL
Consolidated - 23 May 2019

MAP CoCo/15 Adjoins



MAP CoCo/8 Adjoins

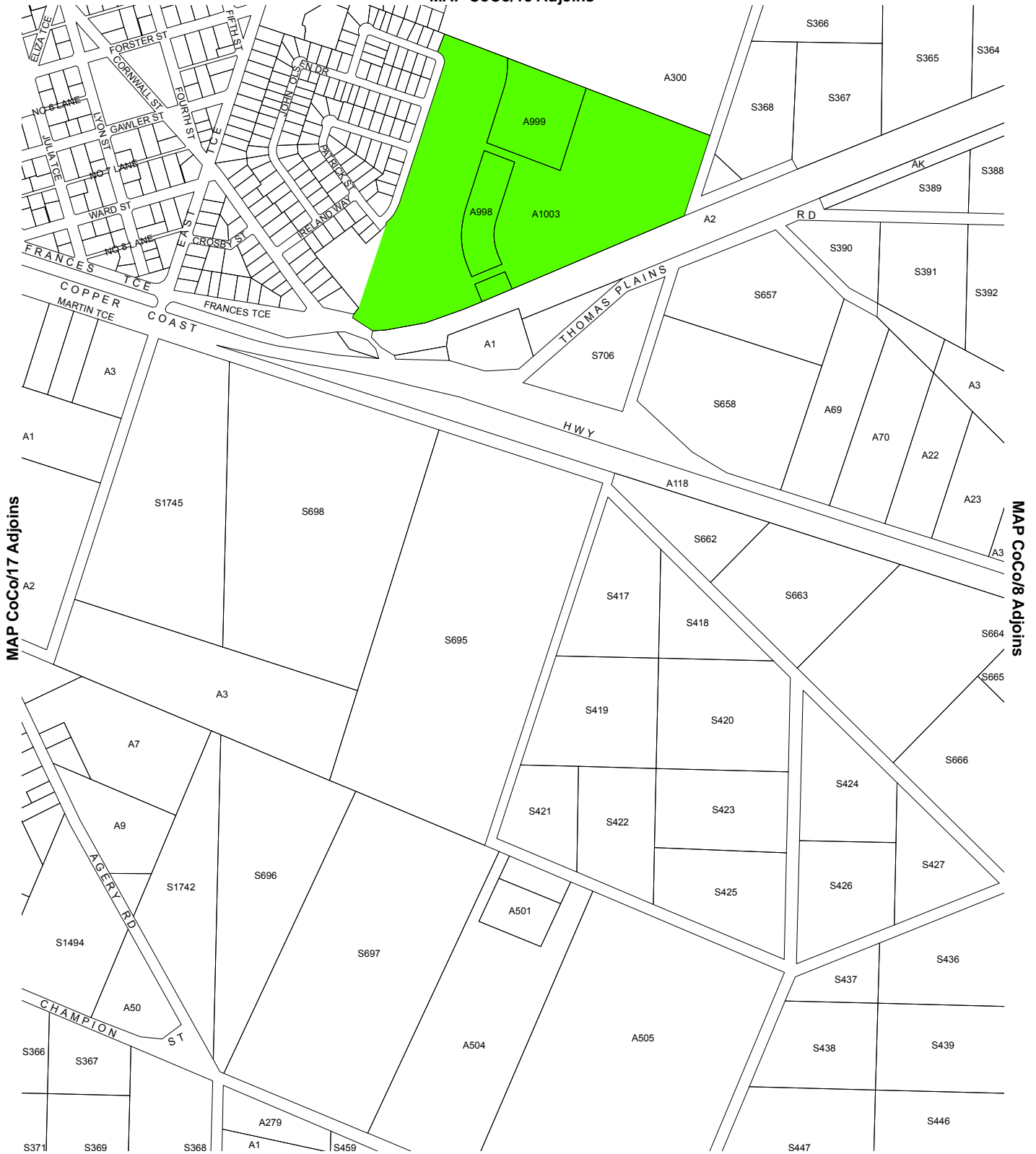


KADINA

Overlay Map CoCo/18 TRANSPORT


- Primary Arterial Roads
- Secondary Arterial Roads

MAP CoCo/15 Adjoins

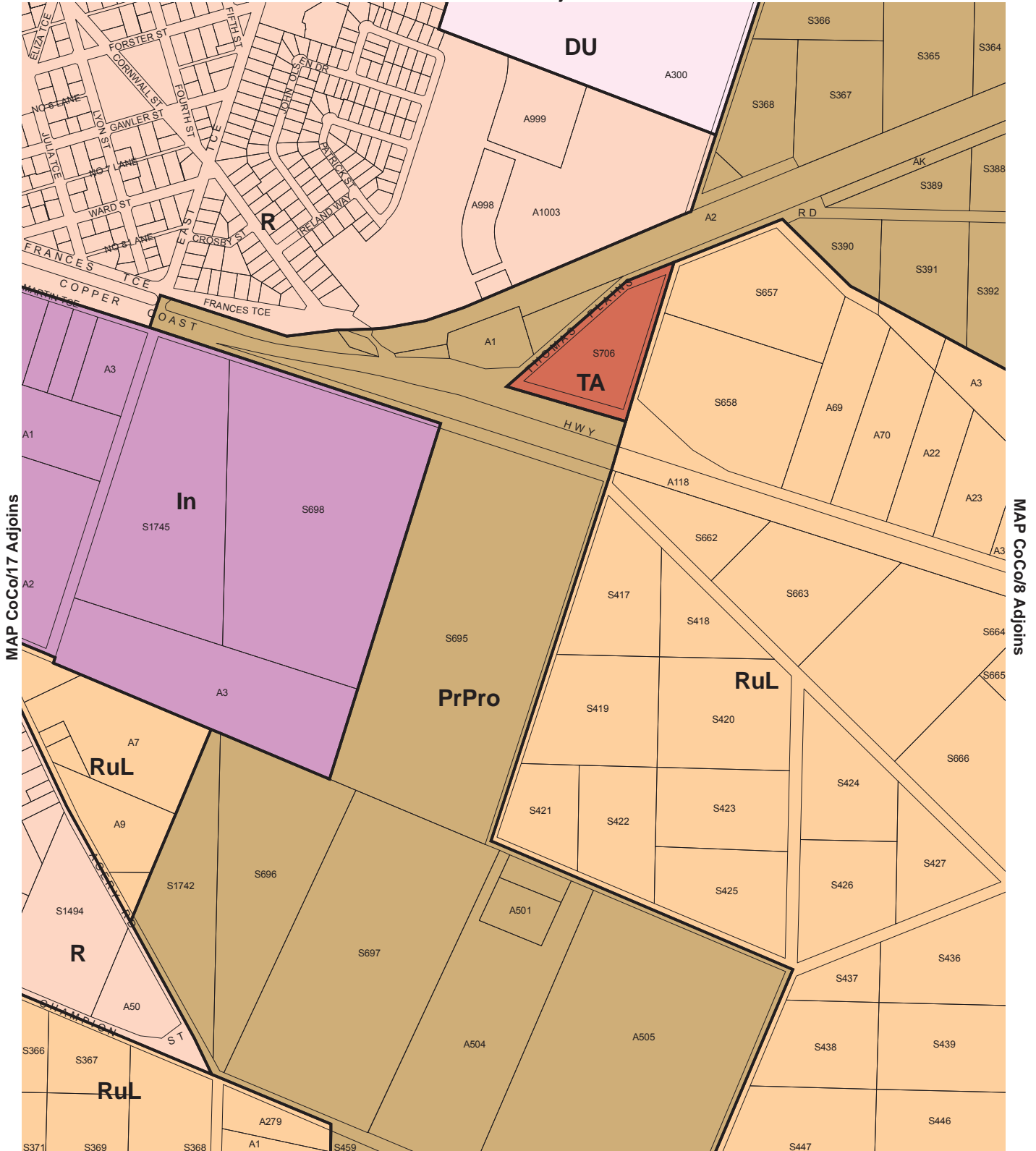


KADINA

Overlay Map CoCo/18 AFFORDABLE HOUSING

 Affordable Housing Designated Area

MAP CoCo/15 Adjoins



MAP CoCo/8 Adjoins

Lamberts Conformal Conic Projection, GDA94



KADINA

Zone Map CoCo/18

Zones

- DU Deferred Urban
- In Industry
- PrPro Primary Production
- R Residential
- RuL Rural Living
- TA Tourist Accommodation
- Zone Boundary

MAP CoCo/7 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP CoCo/7 Adjoins

MAP CoCo/21 Adjoins

MAP CoCo/20 Adjoins

MAP CoCo/22 Adjoins

WARBURTO

NORTH
MOONTA

MOONTA BAY

Moonta Bay

MOONTA

0

500m

MOONTA BAY

Location Map CoCo/19

----- Development Plan Boundary

MAP CoCo/7 Adjoins

Land Not Within a Council Area (Coastal Waters)

MAP CoCo/7 Adjoins

MAP CoCo/21 Adjoins

MAP CoCo/20 Adjoins

MAP CoCo/22 Adjoins

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MOONTA BAY

Overlay Map CoCo/19 HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP CoCo/7 Adjoins

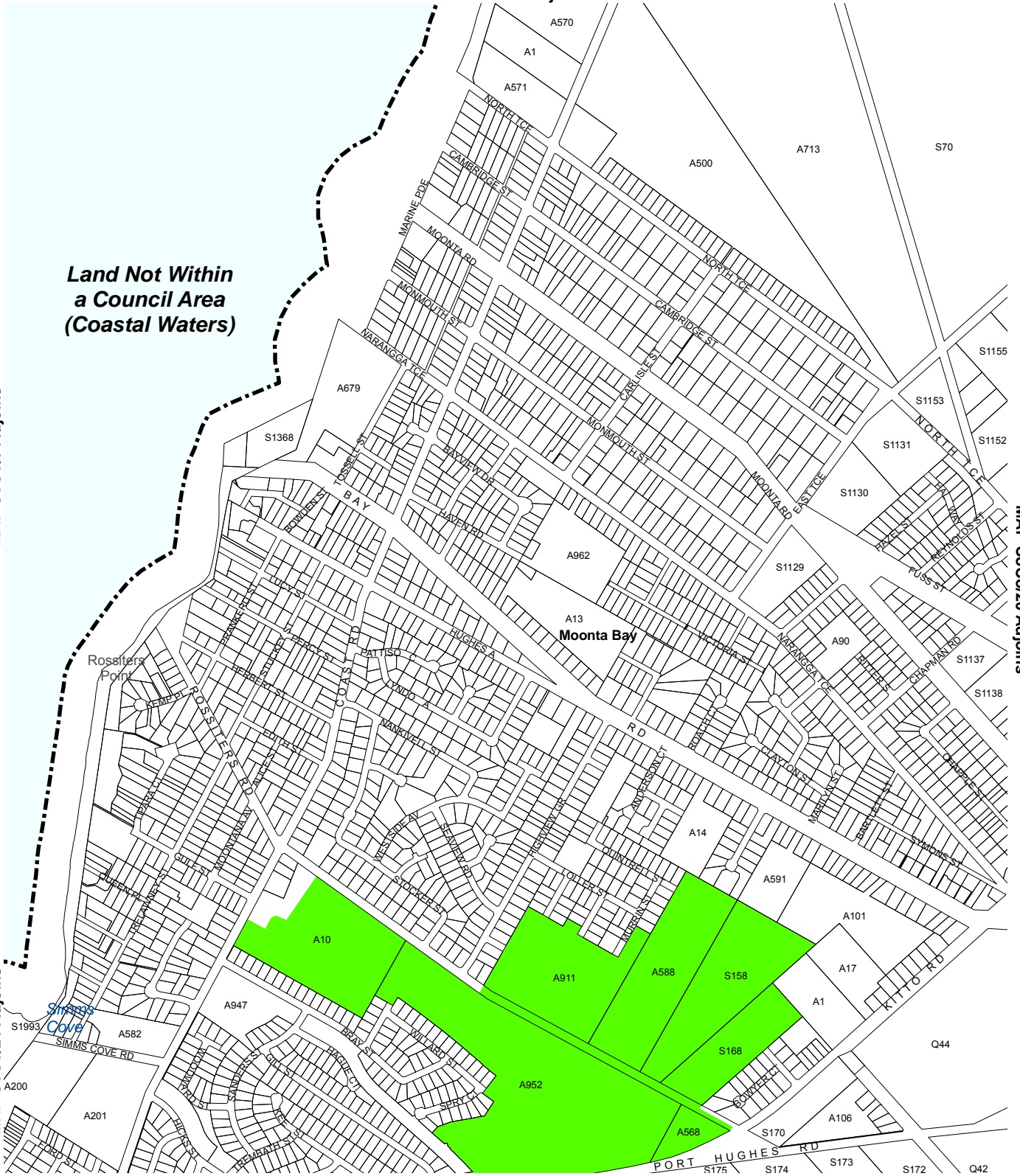
Land Not Within
a Council Area
(Coastal Waters)

MAP CoCo/7 Adjoins

MAP CoCo/21 Adjoins

MAP CoCo/20 Adjoins

MAP CoCo/22 Adjoins



MOONTA BAY

Overlay Map CoCo/19 AFFORDABLE HOUSING

- Affordable Housing Designated Area
- Development Plan Boundary

MAP CoCo/7 Adjoins

CstCon A570

PrPro

Land Not Within a Council Area (Coastal Waters)

MAP CoCo/7 Adjoins

CstOS S1368

CP A679

LCe

RuL

MAP CoCo/20 Adjoins

MAP CoCo/21 Adjoins

Moonta Bay

R

Cu Q44

MAP CoCo/22 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

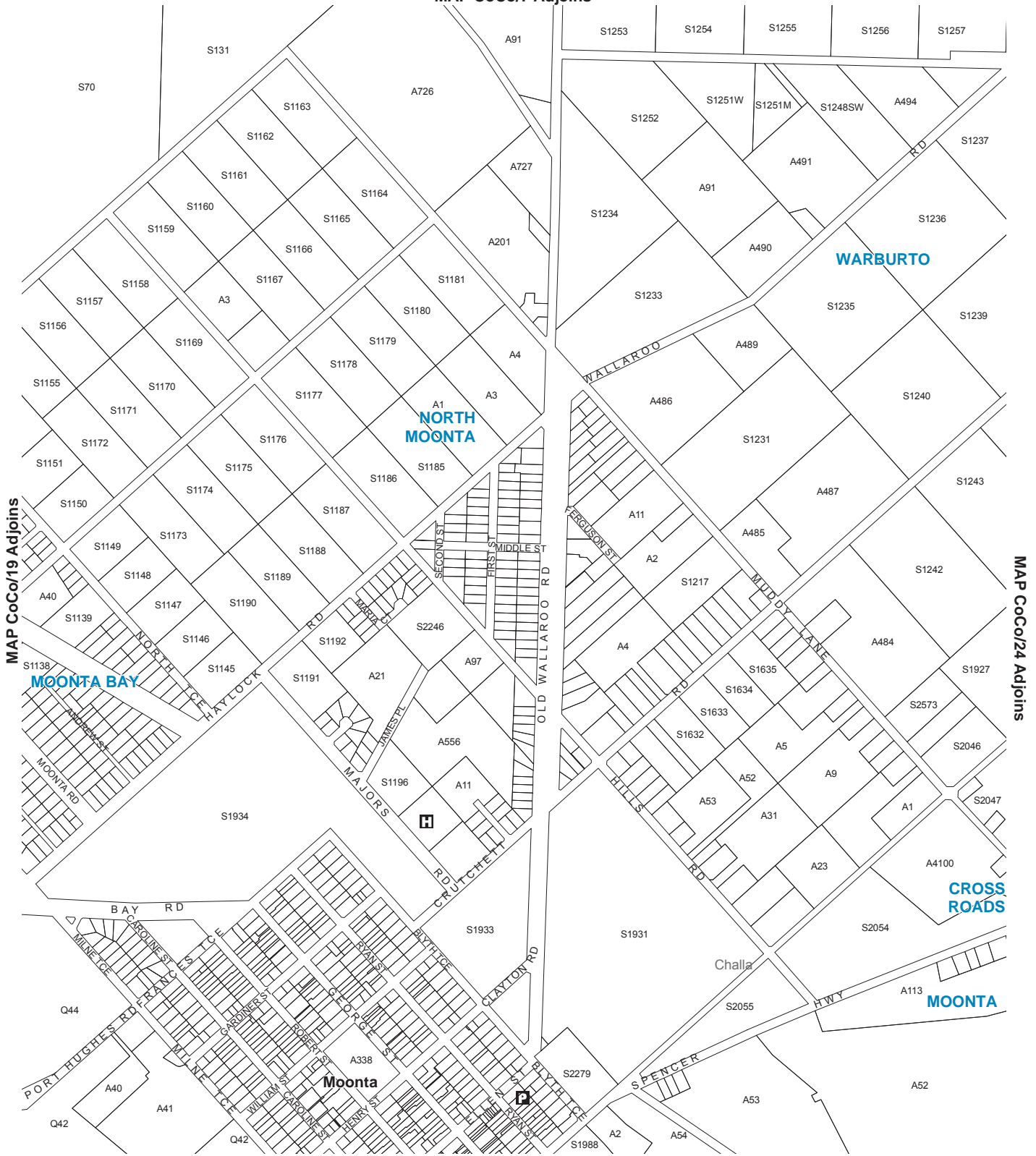
- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- Cu Community
- LCe Local Centre
- PrPro Primary Production
- R Residential
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary



MOONTA BAY

Zone Map CoCo/19

MAP CoCo/7 Adjoins



MAP CoCo/23 Adjoins

MAP CoCo/24 Adjoins



MAP CoCo/19 Adjoins



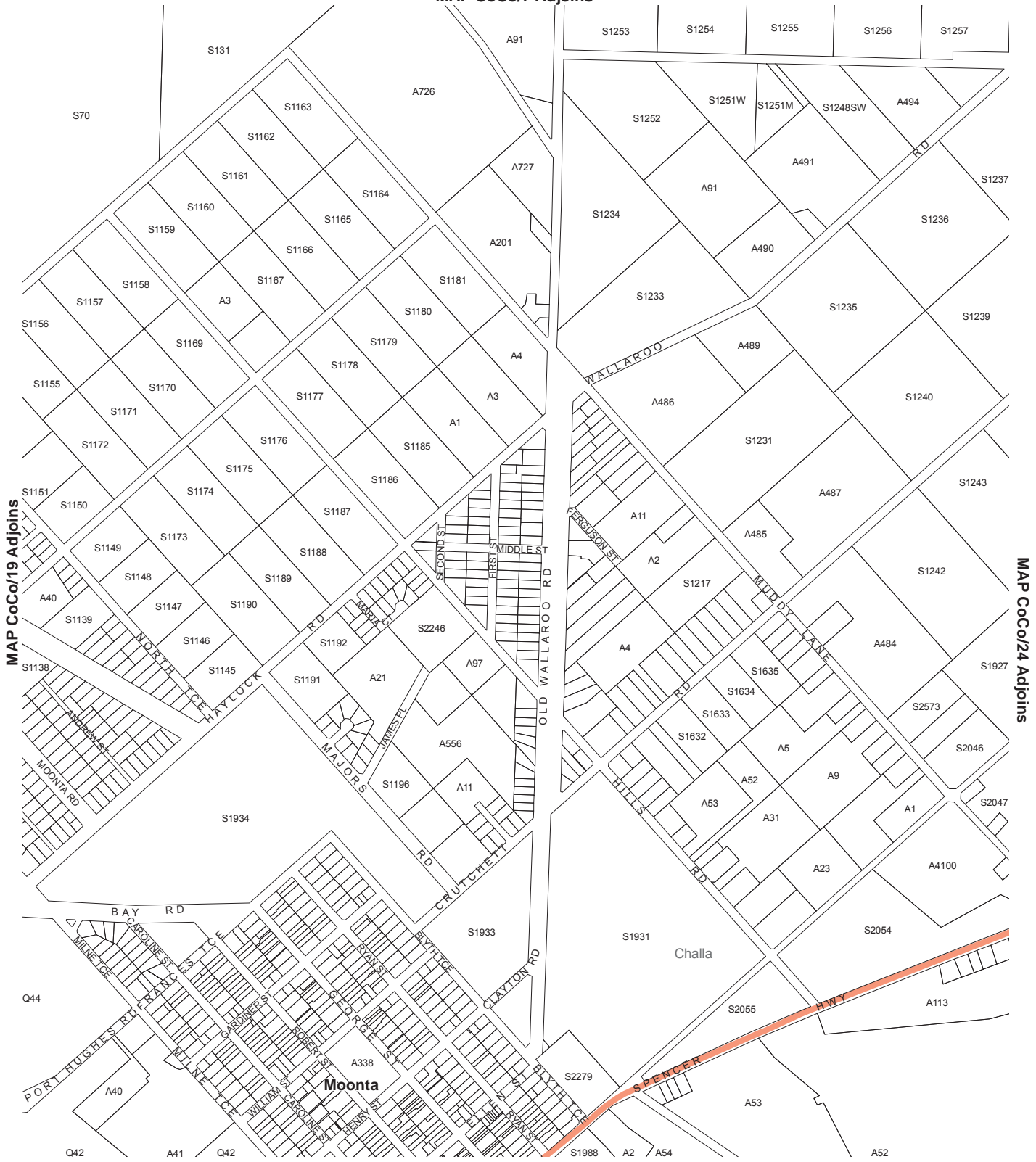
0 500m

MOONTA

Location Map CoCo/20


-  Hospital
-  Police Station

MAP CoCo/7 Adjoins



MOONTA

Overlay Map CoCo/20 TRANSPORT

 Secondary Arterial Roads

COPPER COAST COUNCIL
Consolidated - 23 May 2019

MAP CoCo/7 Adjoins



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 Items please refer to the relevant tables within this document.

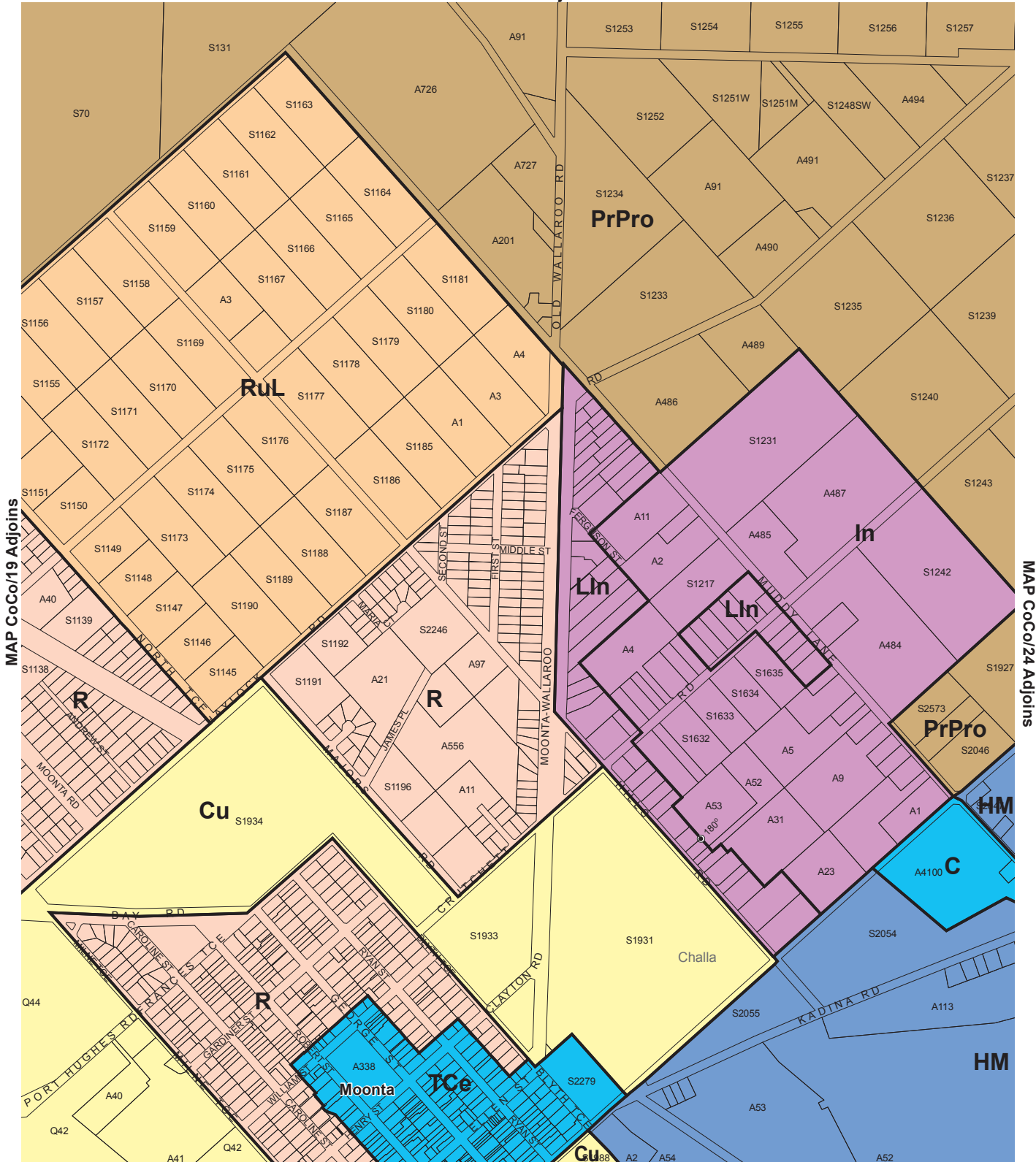


MOONTA

Overlay Map CoCo/20 HERITAGE

- State heritage place
- Local heritage place
- State Heritage Area
- Historic Conservation Area

MAP CoCo/7 Adjoins



MAP CoCo/23 Adjoins

Lamberts Conformal Conic Projection, GDA94

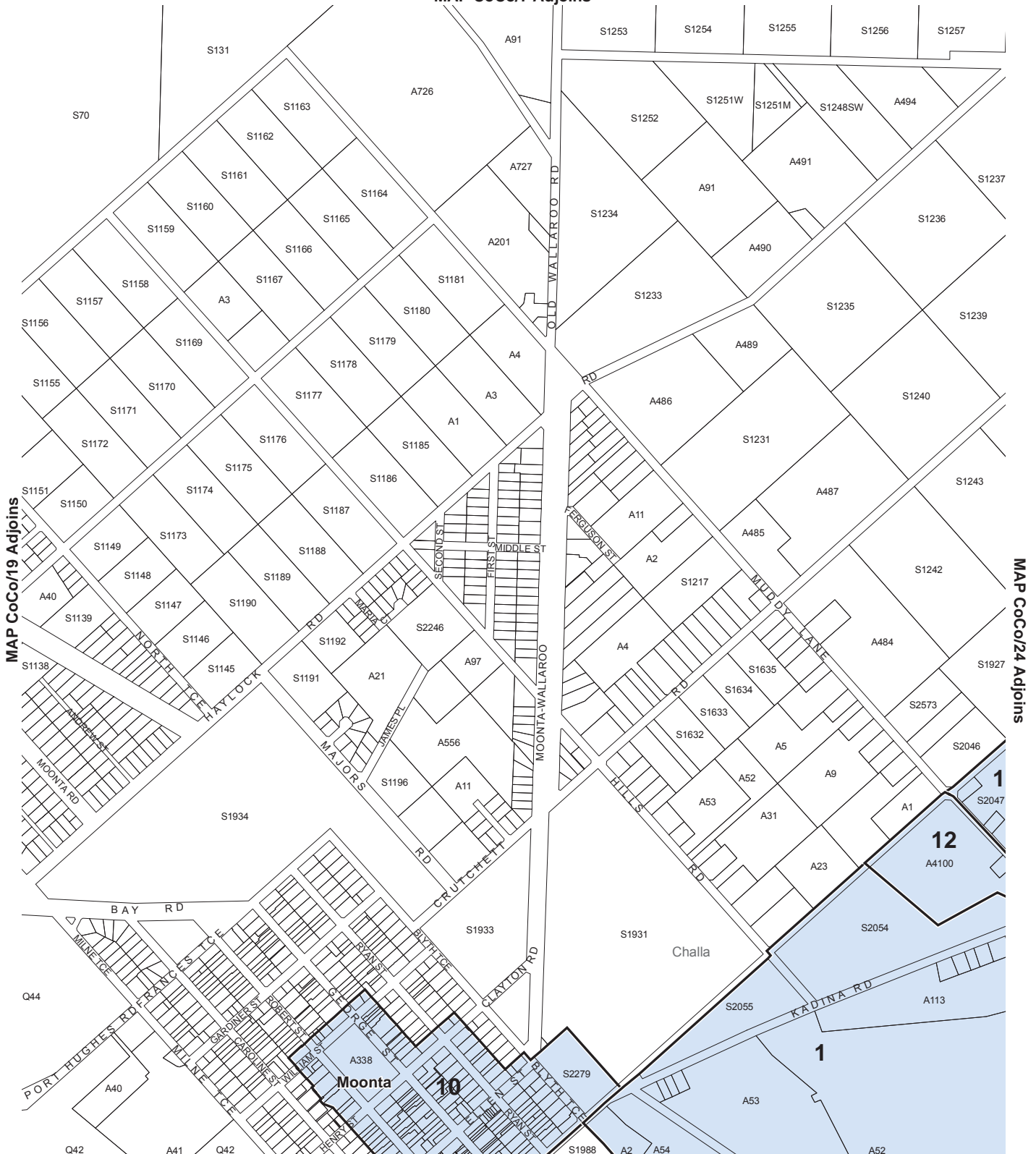
- Zones**
- Commercial
 - Community
 - Historic Mining
 - Industry
 - Light Industry
 - Primary Production
 - Residential
 - Rural Living
 - Town Centre
 - Zone Boundary



MOONTA

Zone Map CoCo/20

MAP CoCo/7 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 1 Moonta Mines
- 10 Moonta
- 12 Bulky Goods



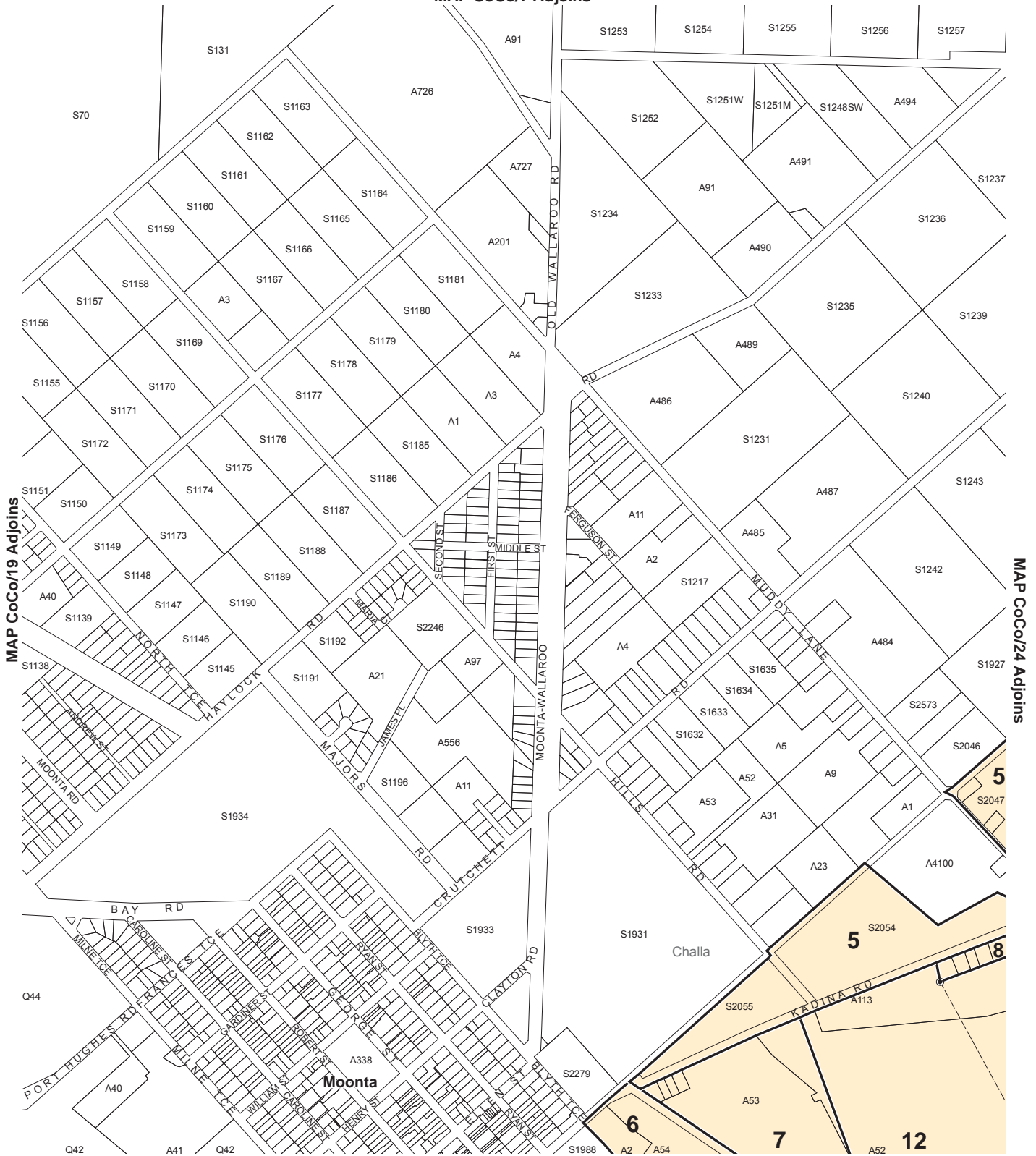
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MOONTA

Policy Area Map CoCo/20

Policy Area Boundary

MAP CoCo/7 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct

- 12 Yelta Slimes
- 5 Moonta Mines Buffer
- 6 Moonta Station
- 7 Precipitation Works
- 8 Residential - Moonta Mines and North Yelta



MOONTA

Precinct Map CoCo/20

Precinct Boundary

MAP CoCo/7 Adjoins

MAP CoCo/19 Adjoins

MAP CoCo/22 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



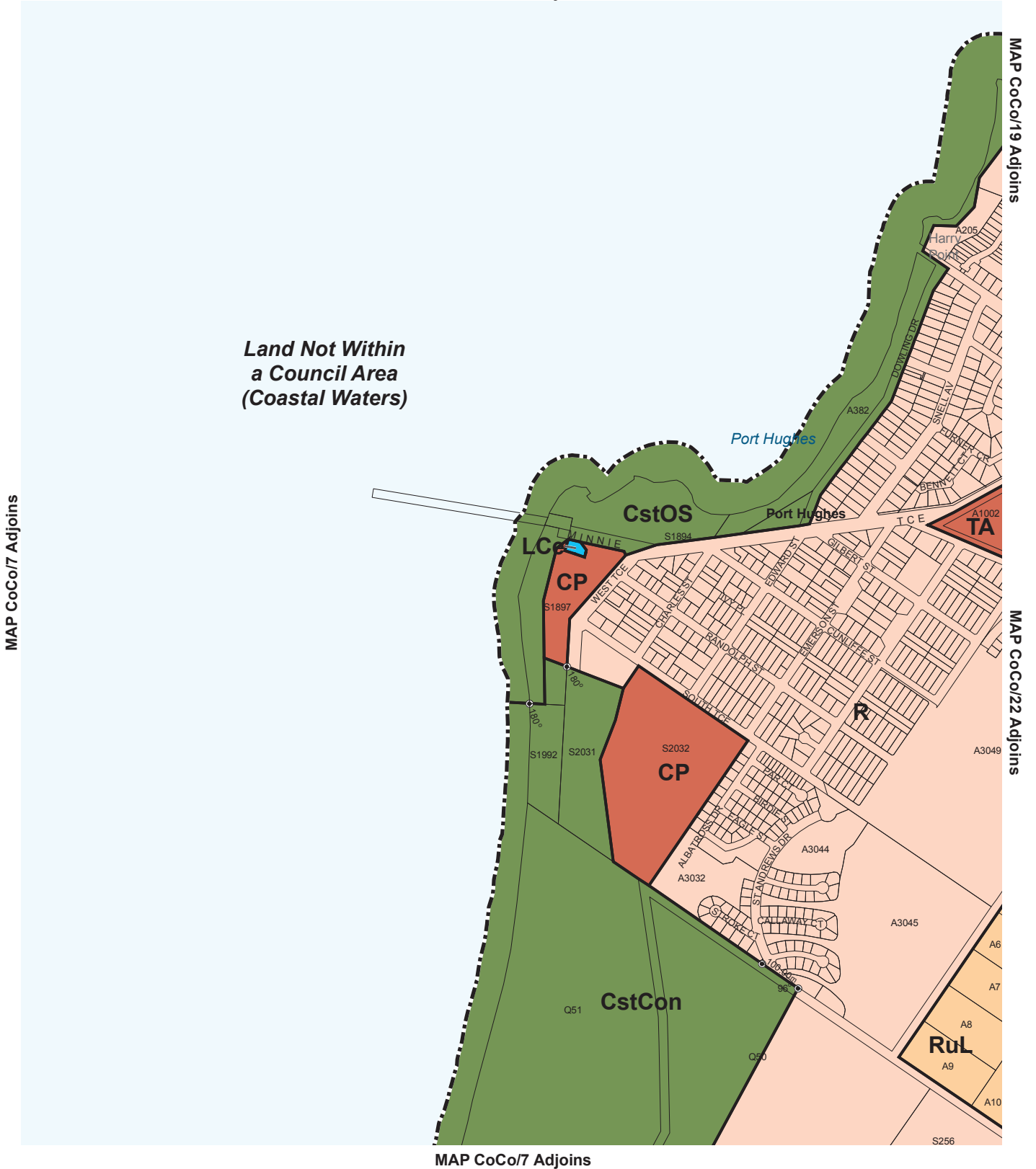
MAP CoCo/7 Adjoins



PORT HUGHES

Location Map CoCo/21

--- Development Plan Boundary



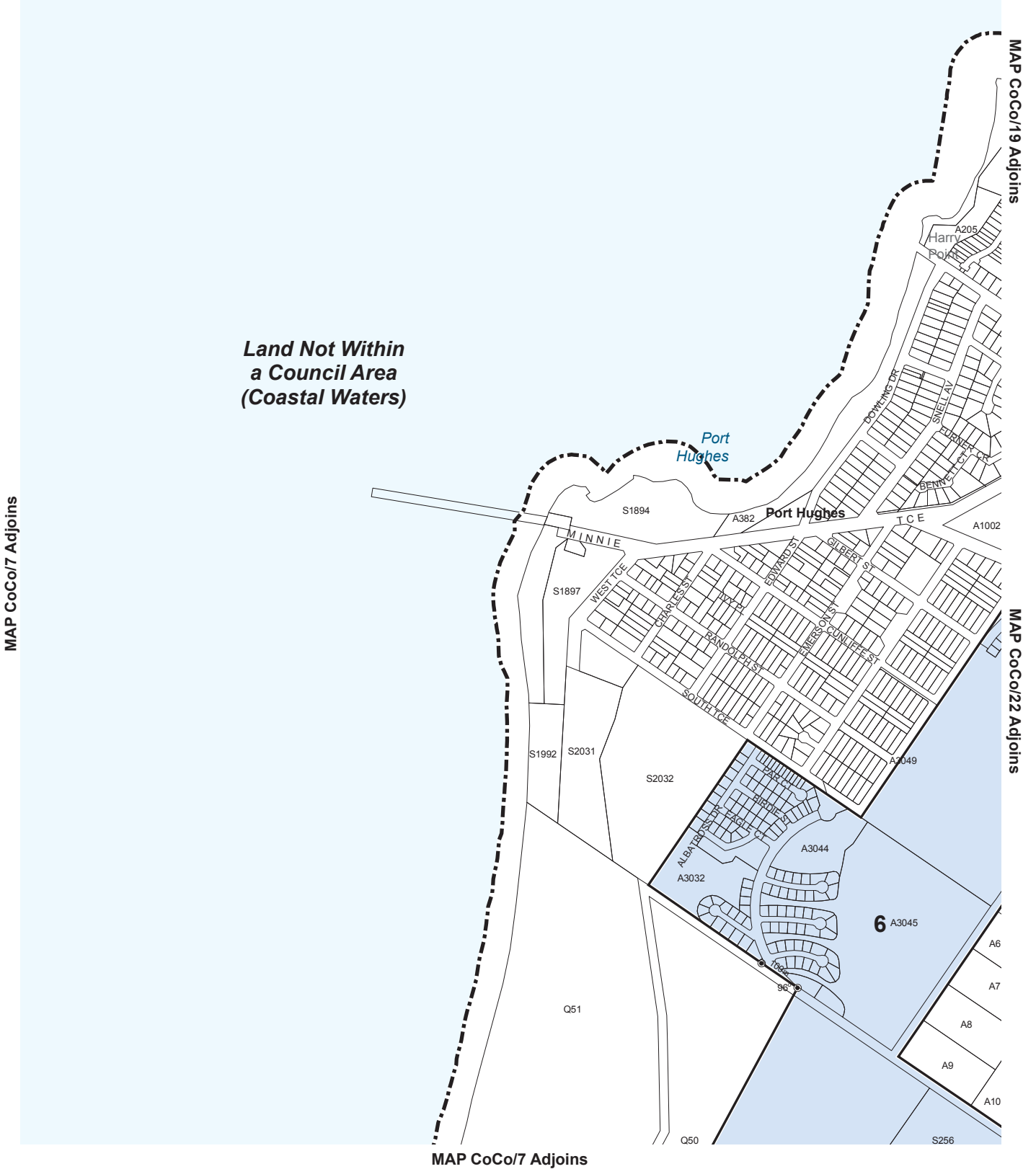
Lamberts Conformal Conic Projection, GDA94

- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - LCe Local Centre
 - R Residential
 - RuL Rural Living
 - TA Tourist Accommodation
 - Zone Boundary
 - Development Plan Boundary



PORT HUGHES

Zone Map CoCo/21



Lamberts Conformal Conic Projection, GDA94

Policy Area
6 Golf Course



PORT HUGHES

Policy Area Map CoCo/21

- Policy Area Boundary
- Development Plan Boundary

MAP CoCo/19 Adjoins

MOONTA BAY A952

MOONTA

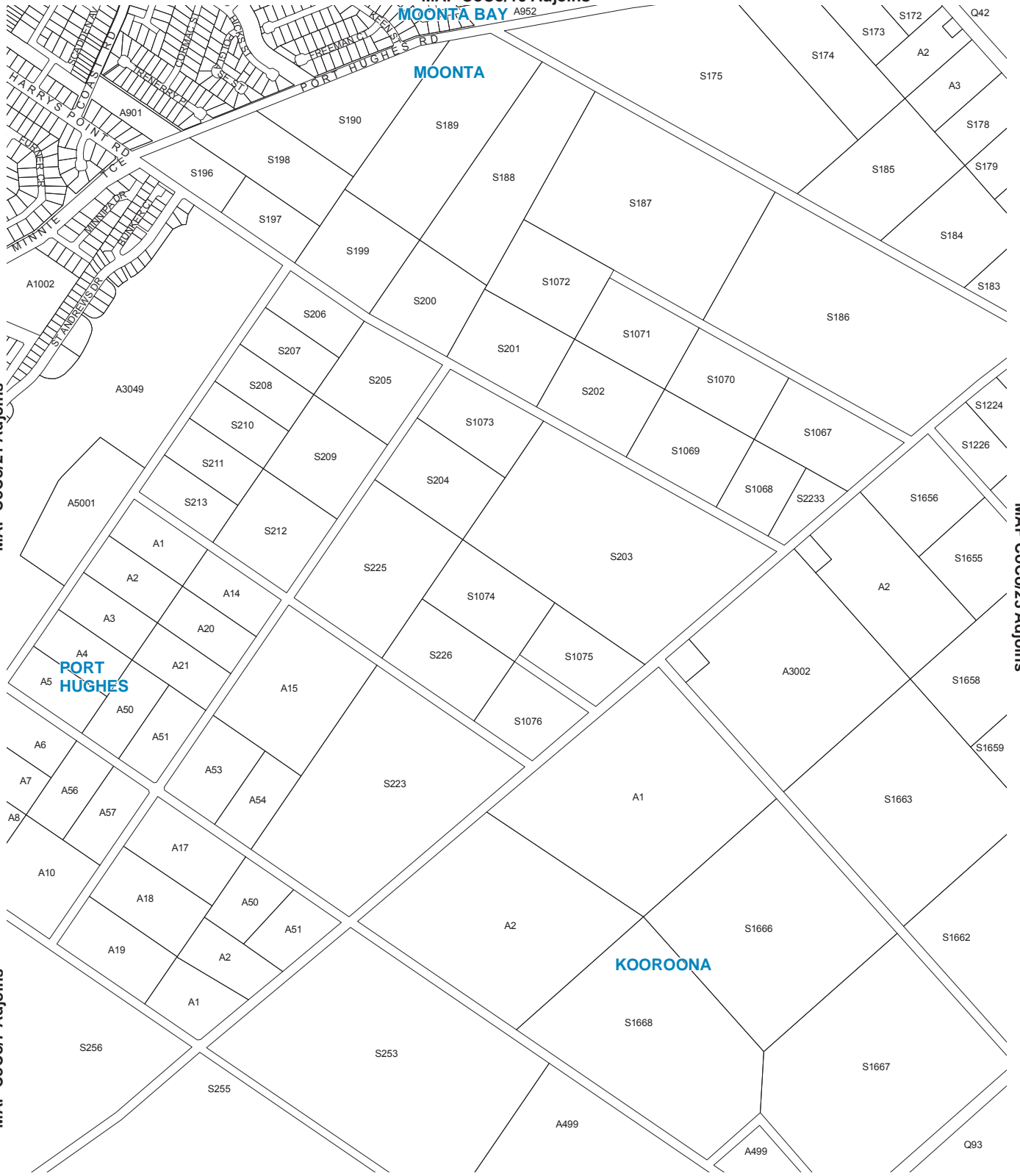
MAP CoCo/7 Adjoins

KOORONA

MAP CoCo/21 Adjoins

MAP CoCo/23 Adjoins

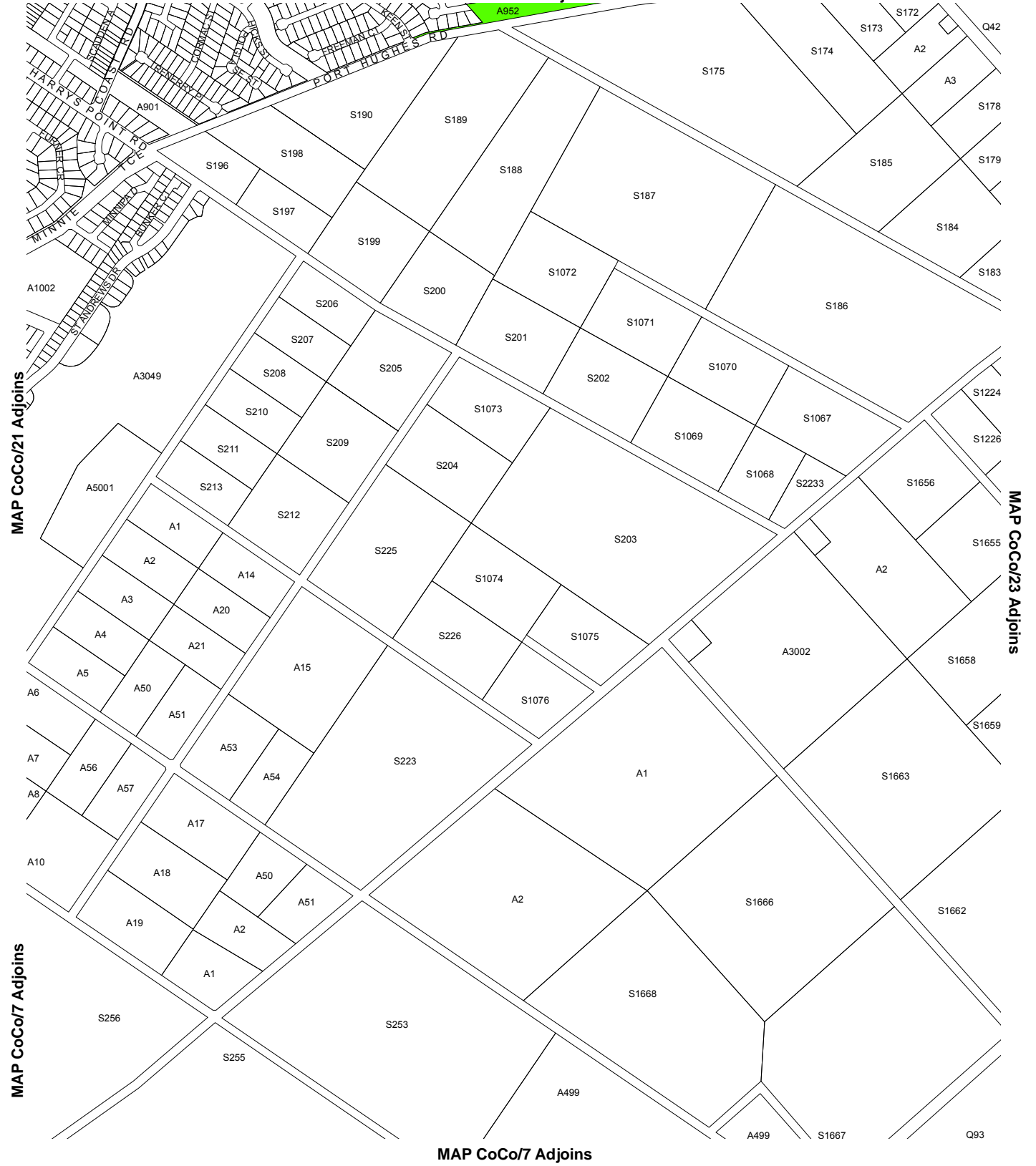
MAP CoCo/7 Adjoins



PORT HUGHES

Location Map CoCo/22

MAP CoCo/19 Adjoins



MAP CoCo/21 Adjoins

MAP CoCo/23 Adjoins

MAP CoCo/7 Adjoins

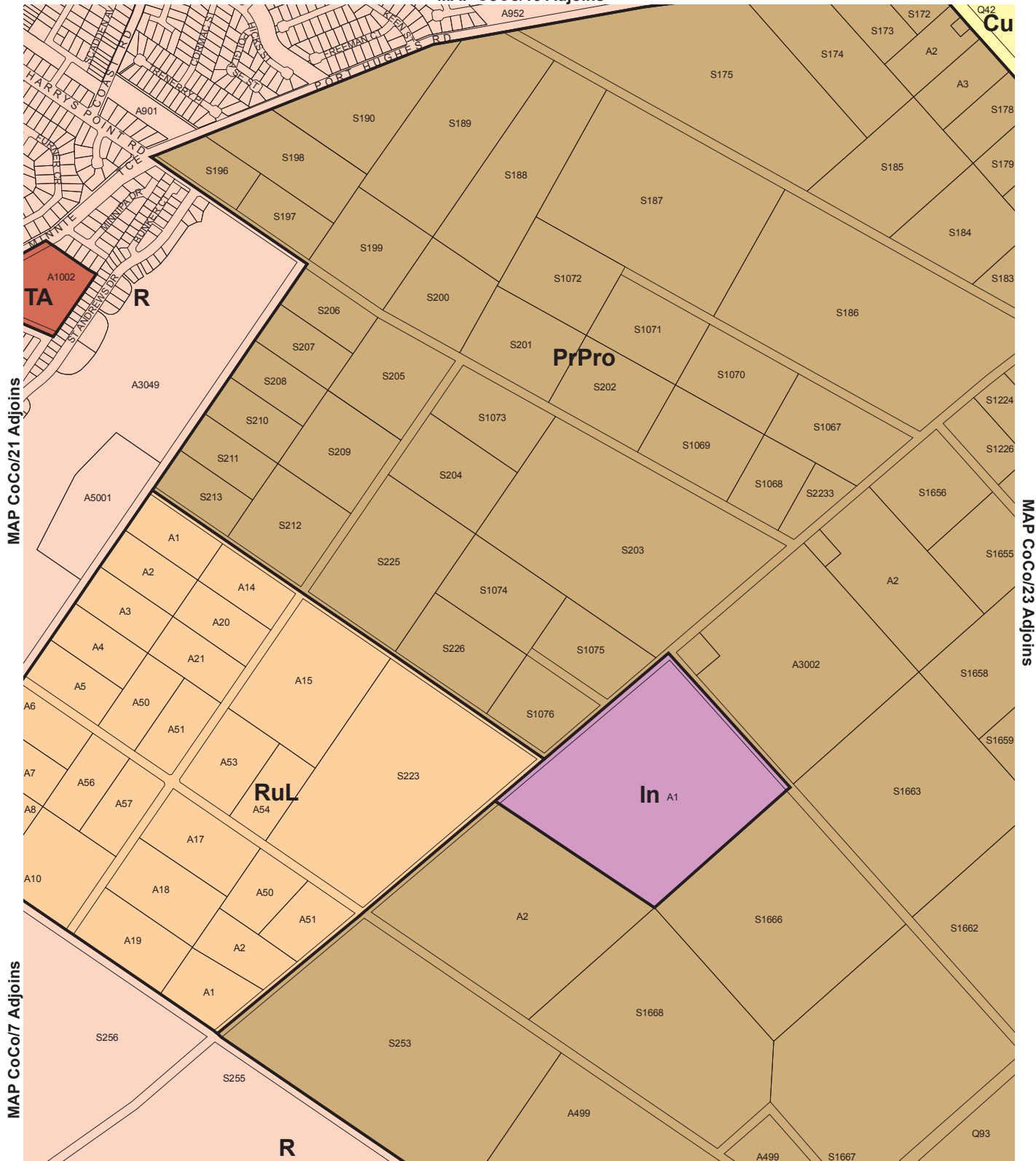
MAP CoCo/7 Adjoins



PORT HUGHES

Overlay Map CoCo/22 AFFORDABLE HOUSING

 Affordable Housing Designated Area



MAP CoCo/21 Adjoins

MAP CoCo/7 Adjoins

MAP CoCo/23 Adjoins

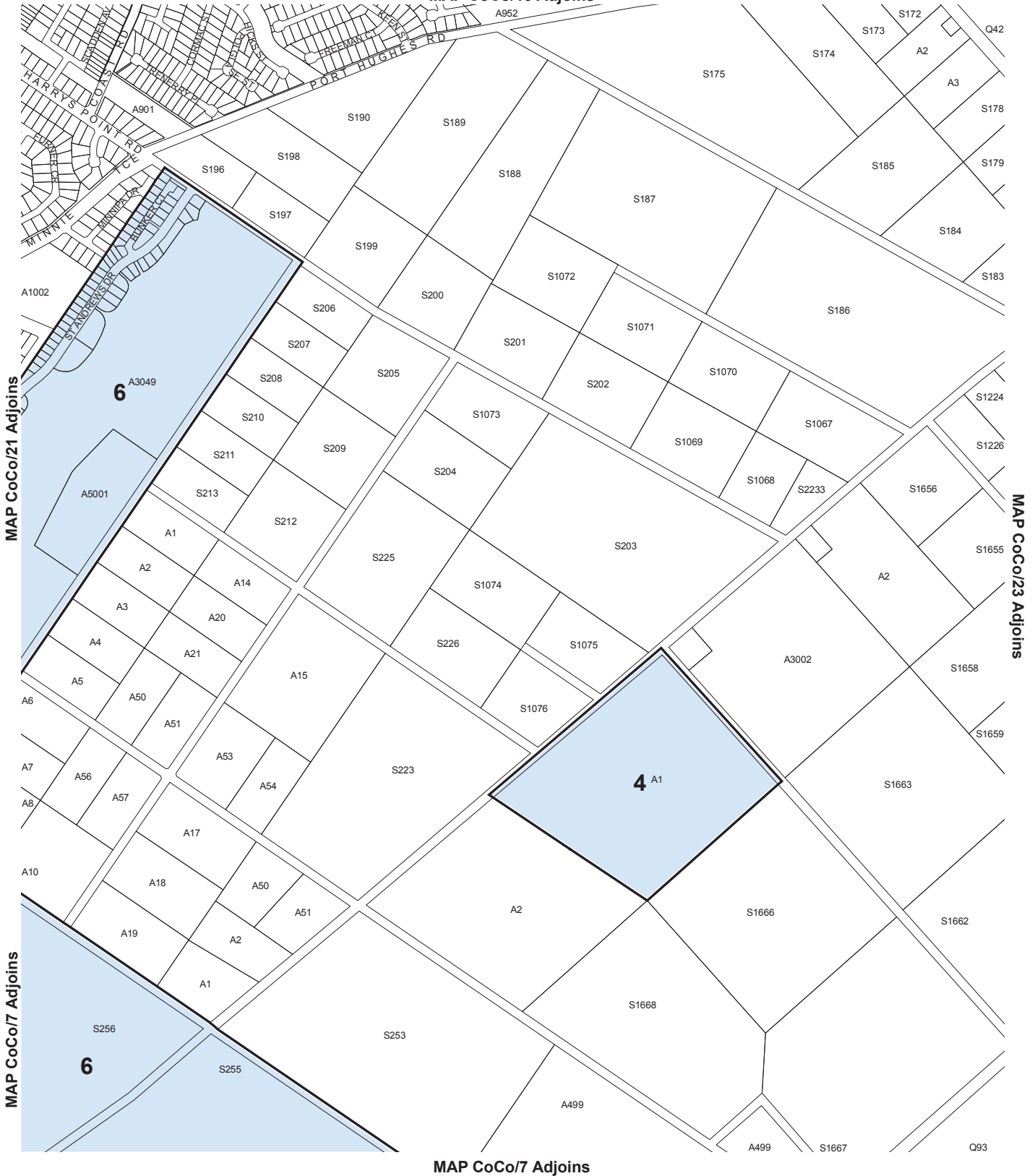
Lamberts Conformal Conic Projection, GDA94



Zones	
Cu	Community
In	Industry
PrPro	Primary Production
R	Residential
RuL	Rural Living
TA	Tourist Accommodation
	Zone Boundary

PORT HUGHES

Zone Map CoCo/22



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
4 Infrastructure
6 Golf Course

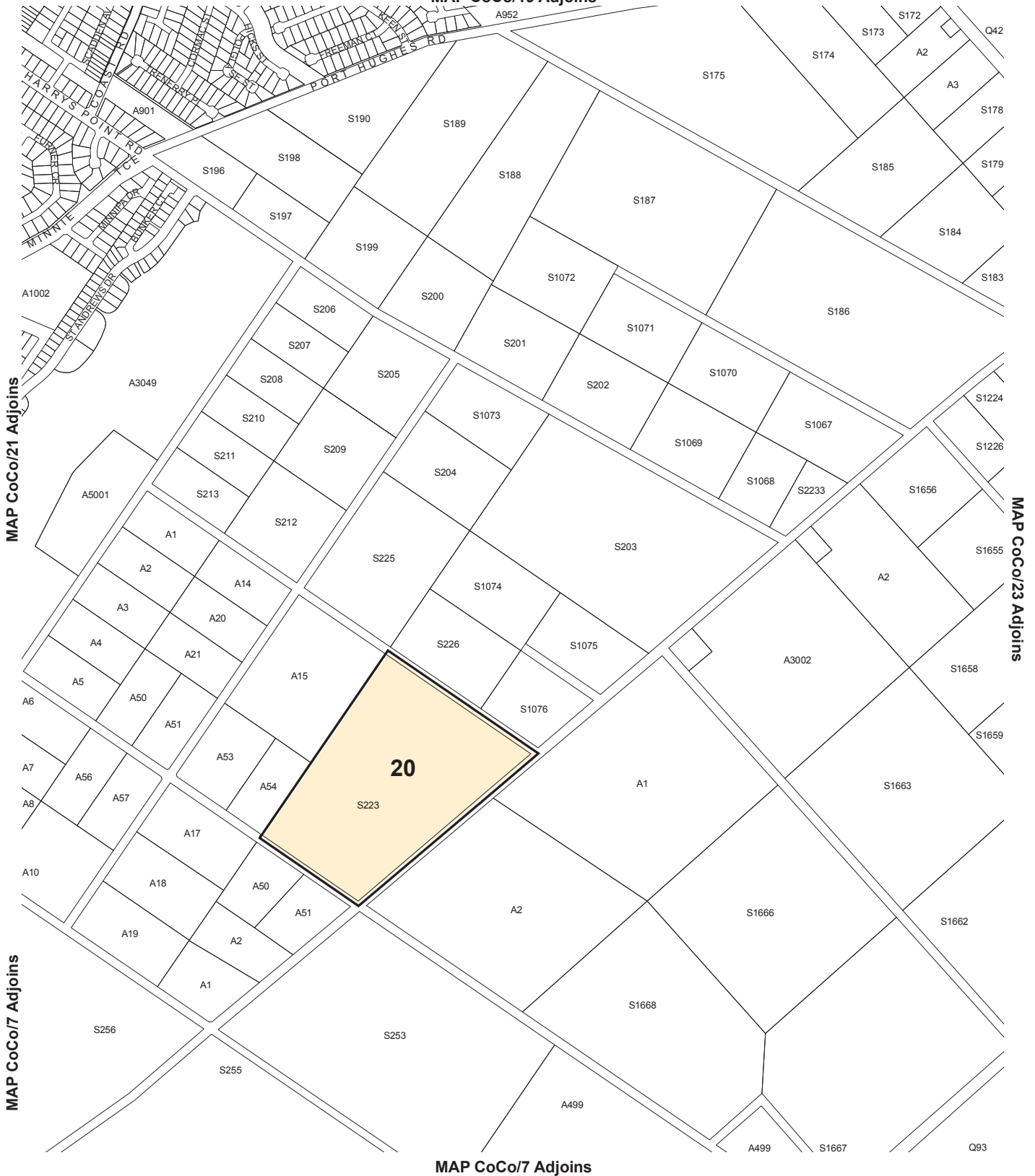


PORT HUGHES

Policy Area Map CoCo/22

Policy Area Boundary

MAP CoCo/19 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
20 Rural Low Density



PORT HUGHES

Precinct Map CoCo/22

 Precinct Boundary

COPPER COAST COUNCIL
Consolidated - 23 May 2019

MAP CoCo/20 Adjoins



MAP CoCo/7 Adjoins

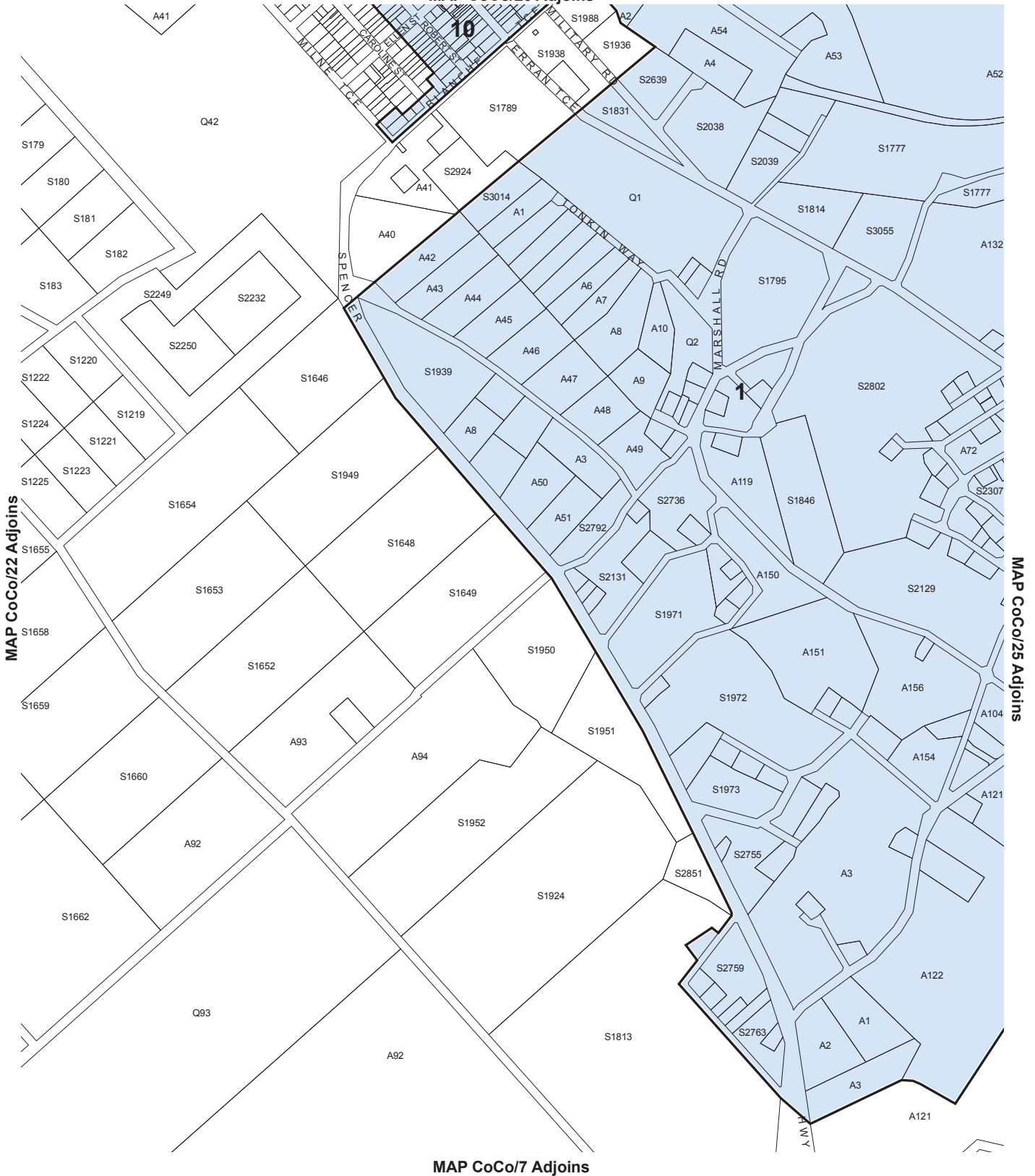


MOONTA

Location Map CoCo/23

- S** School
- L** Public Library

MAP CoCo/20 Adjoins



Lamberts Conformal Conic Projection, GDA94

- Policy Area**
- 1 Moonta Mines
 - 10 Moonta

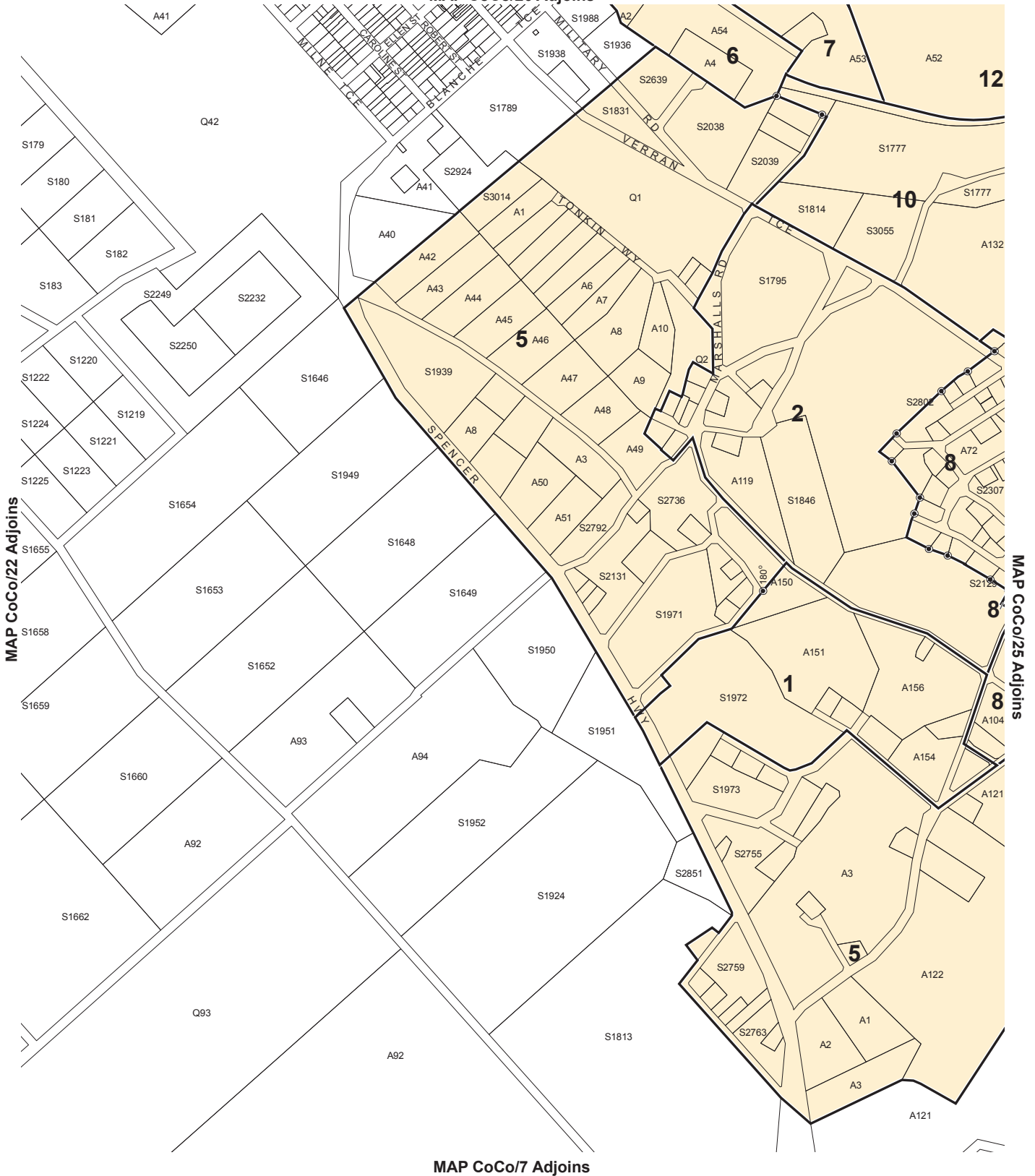


MOONTA

Policy Area Map CoCo/23

Policy Area Boundary

MAP CoCo/20 Adjoins



MAP CoCo/22 Adjoins

MAP CoCo/25 Adjoins

MAP CoCo/7 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct

- 1 Hamley
- 10 Ryans
- 12 Yelta Slimes
- 2 Hancocks
- 5 Moonta Mines Buffer
- 6 Moonta Station
- 7 Precipitation Works
- 8 Residential - Moonta Mines and North Yelta

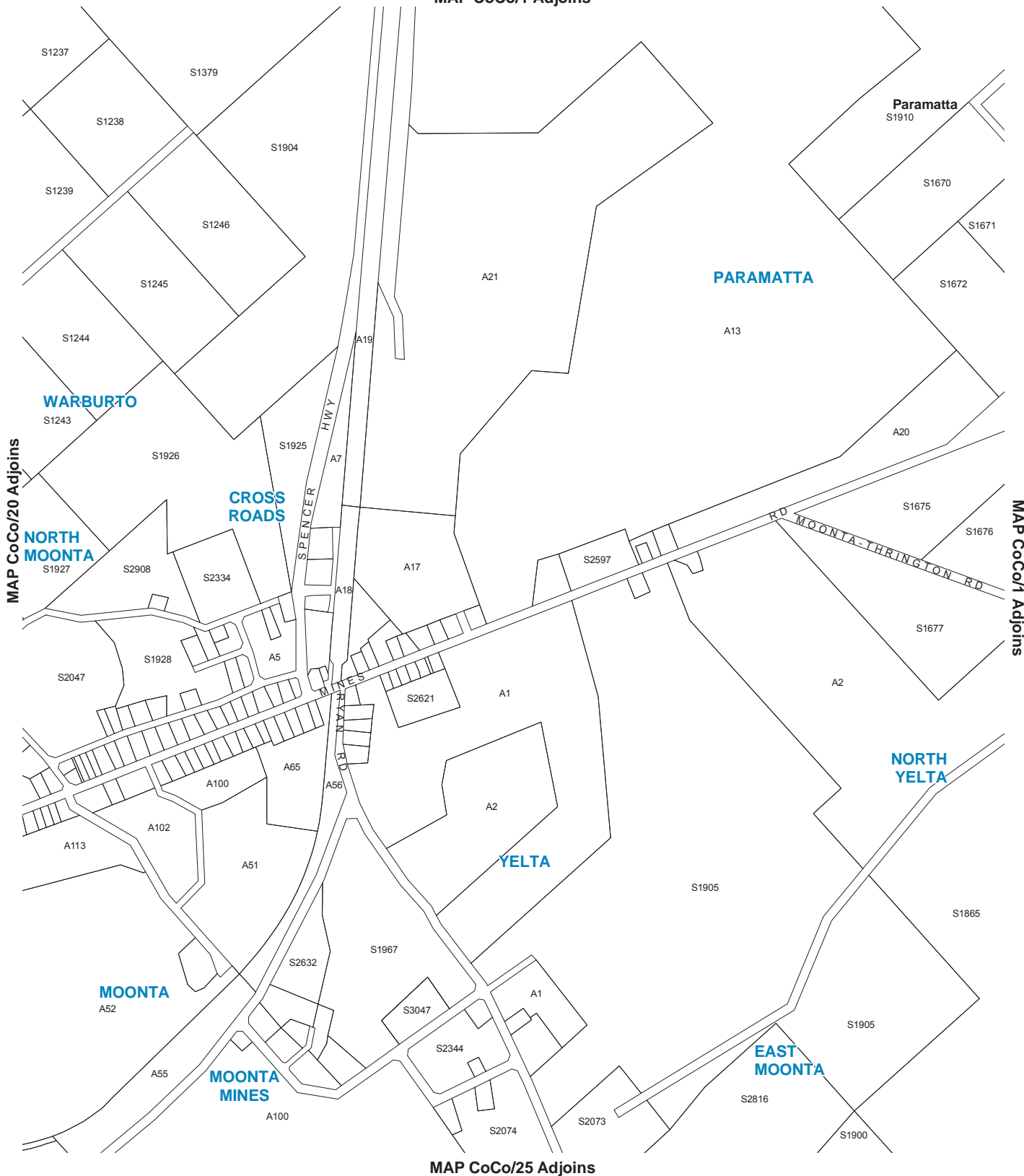


MOONTA

Precinct Map CoCo/23

Precinct Boundary

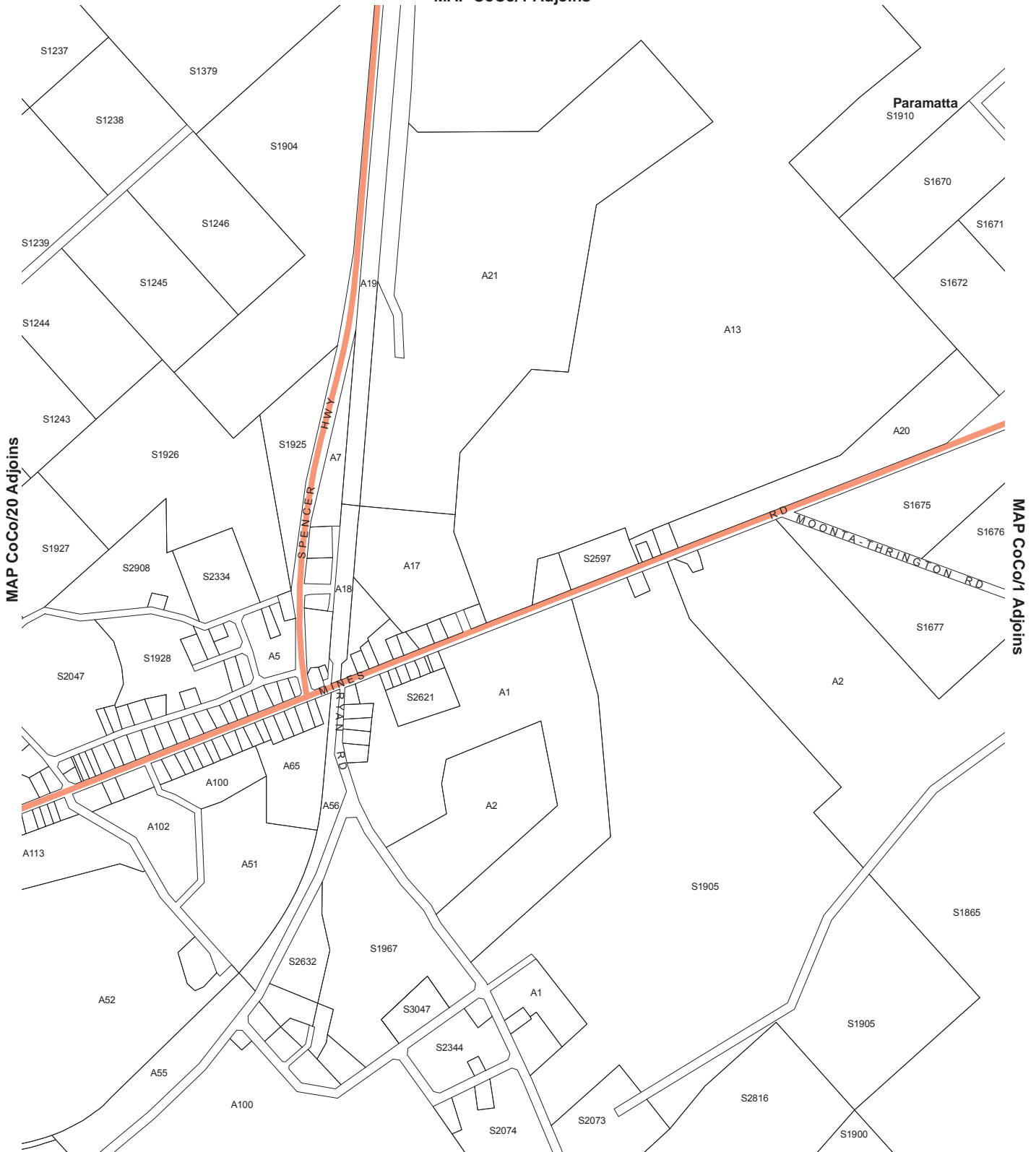
MAP CoCo/1 Adjoins



0 500m

Location Map CoCo/24


MAP CoCo/1 Adjoins



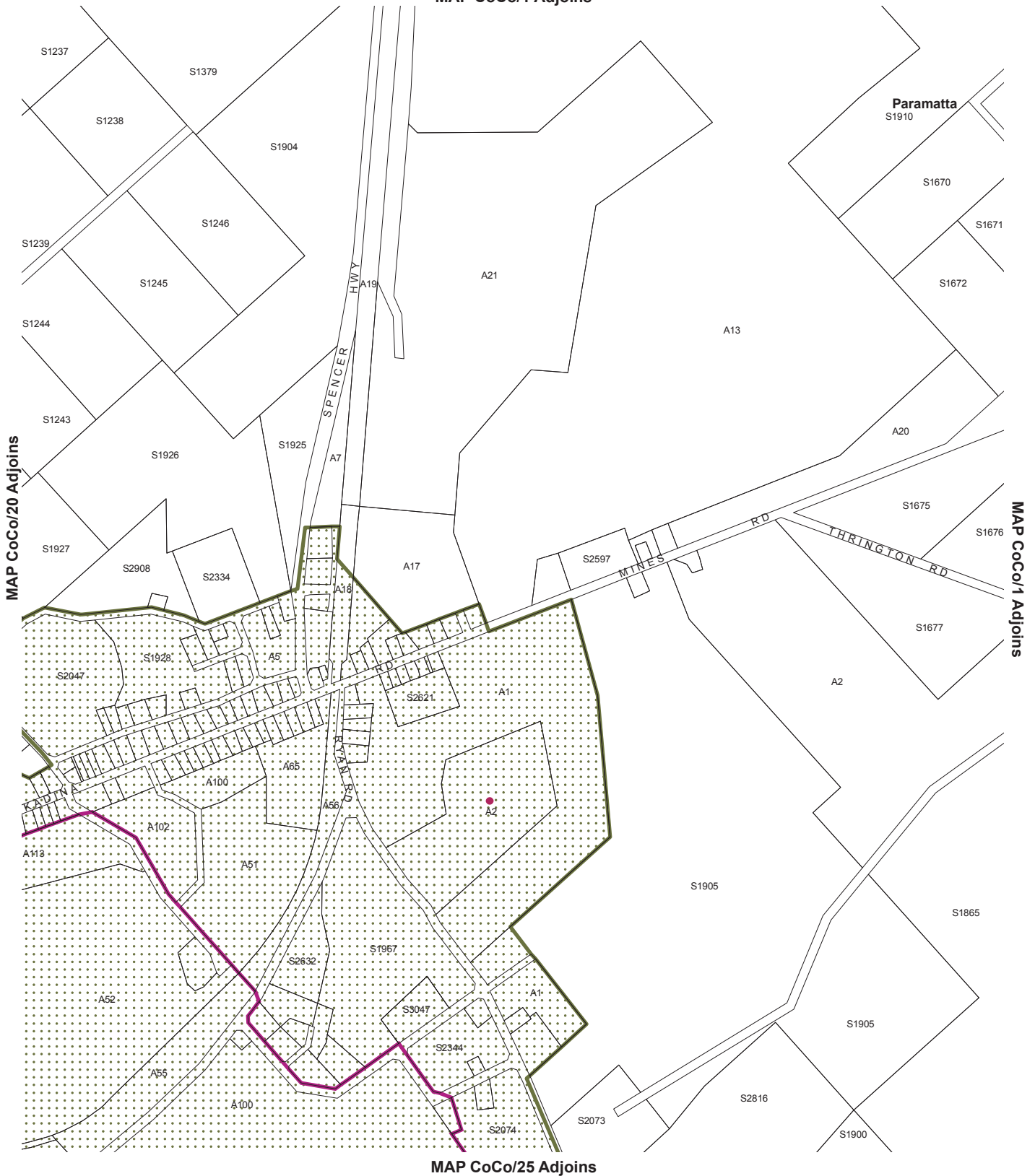
MAP CoCo/25 Adjoins



Overlay Map CoCo/24 TRANSPORT

 Secondary Arterial Roads

MAP CoCo/1 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.

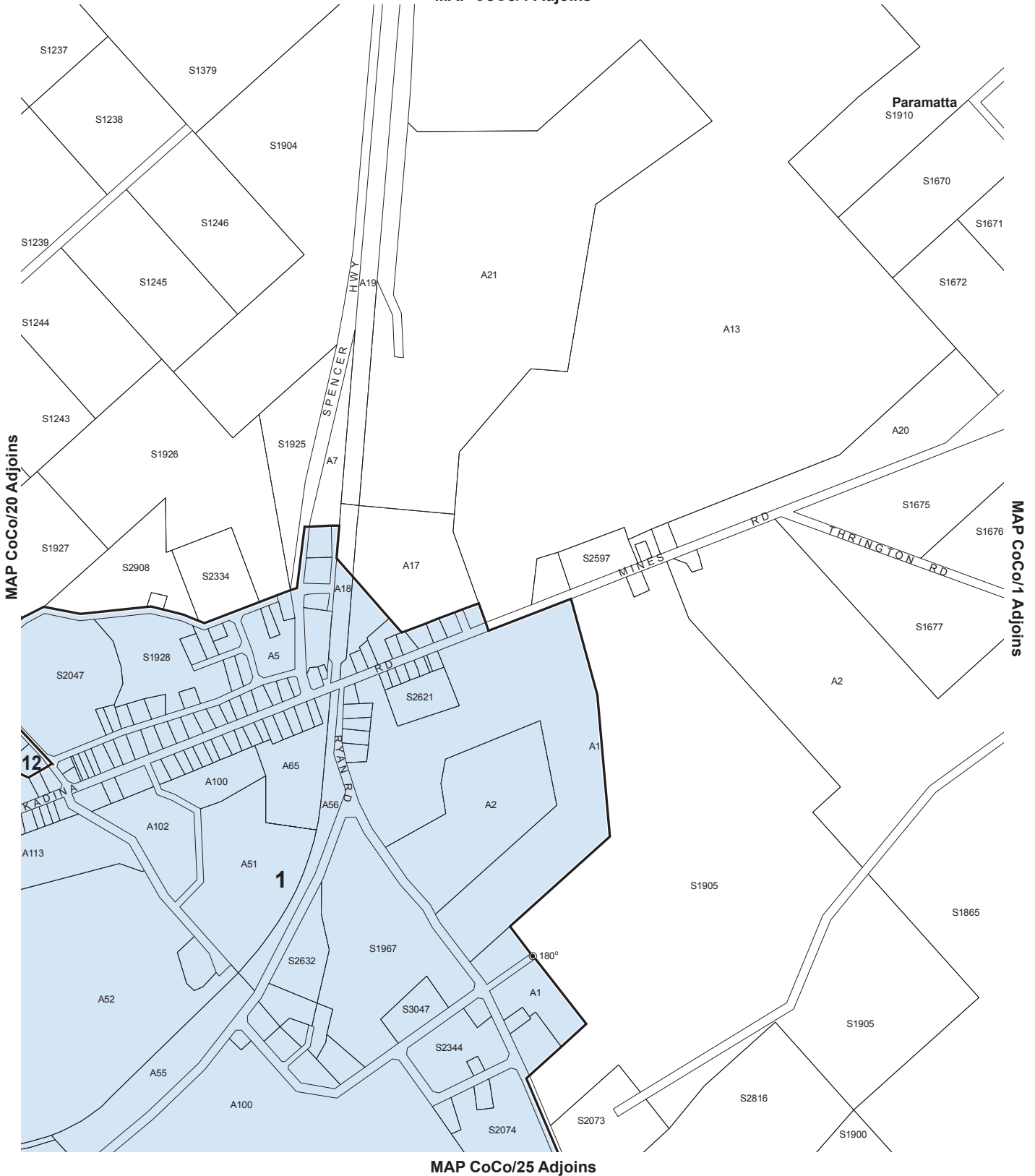


- State heritage place
- Local heritage place
- ▭ State Heritage Area
- ▭ Historic Conservation Area

Overlay Map CoCo/24

HERITAGE

MAP CoCo/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

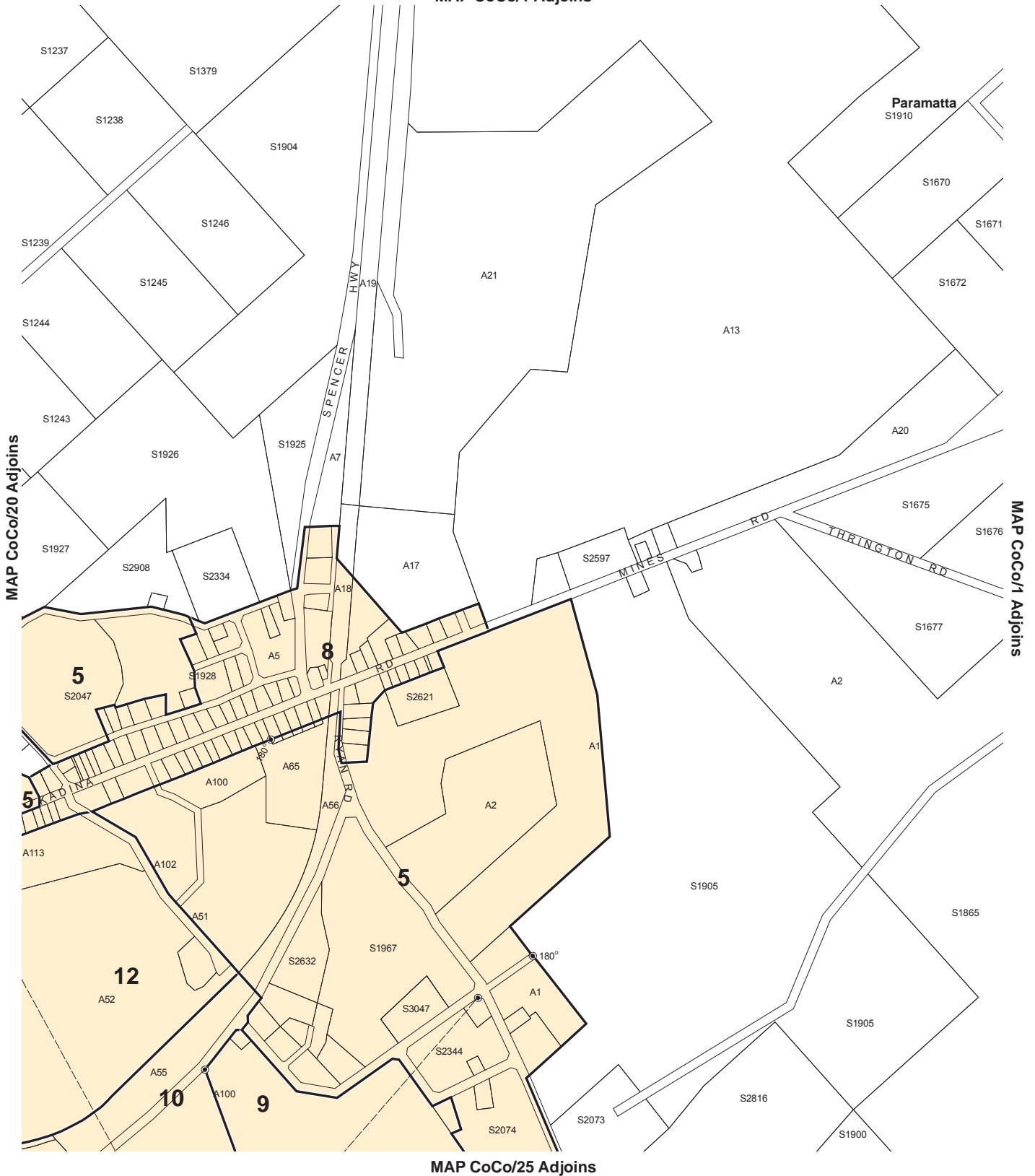
- Policy Area**
 1 Moonta Mines
 12 Bulky Goods



Policy Area Map CoCo/24

Policy Area Boundary

MAP CoCo/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

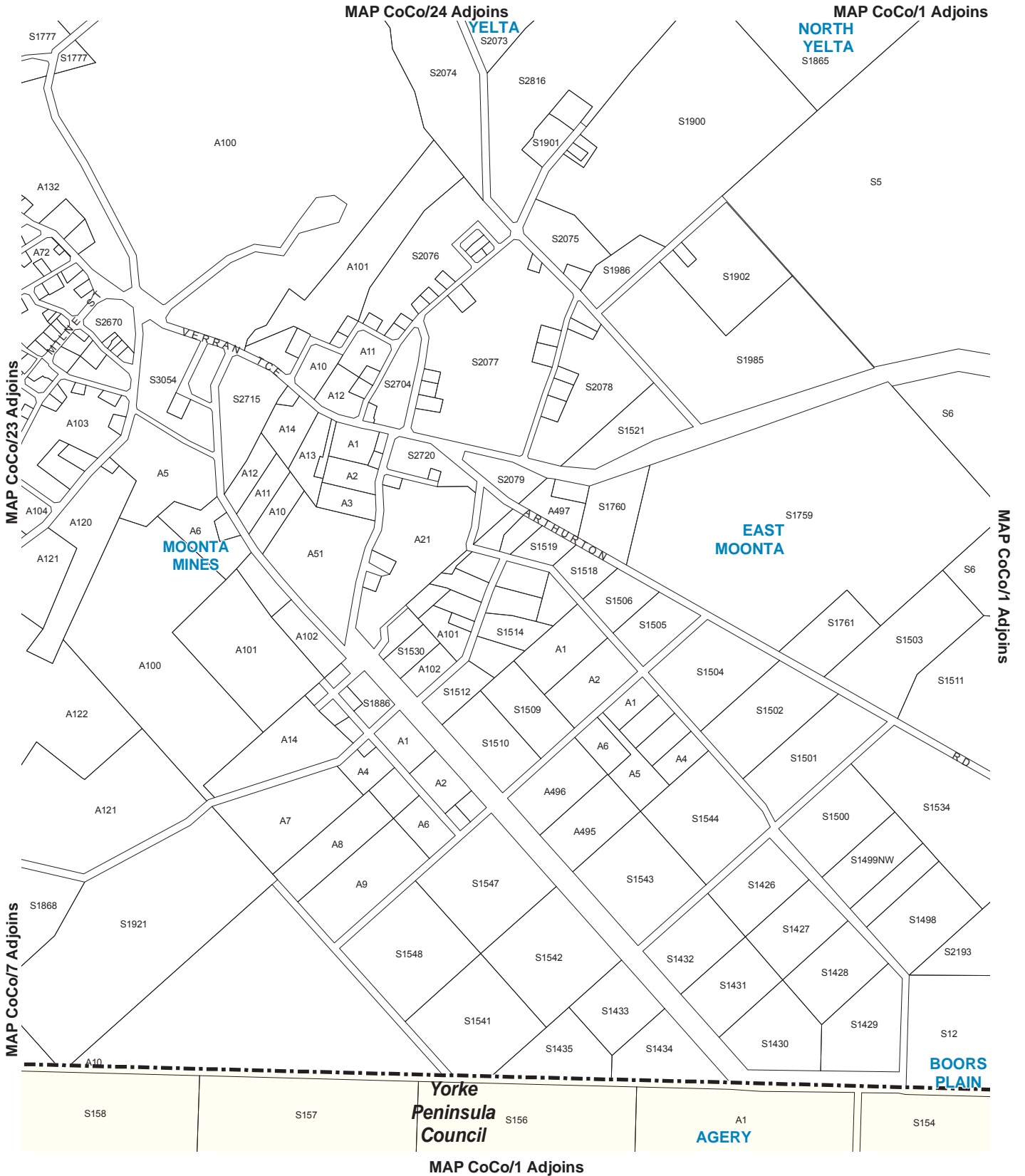
Precinct

- 10 Ryans
- 12 Yelta Slimes
- 5 Moonta Mines Buffer
- 8 Residential - Moonta Mines and North Yelta
- 9 Richmans



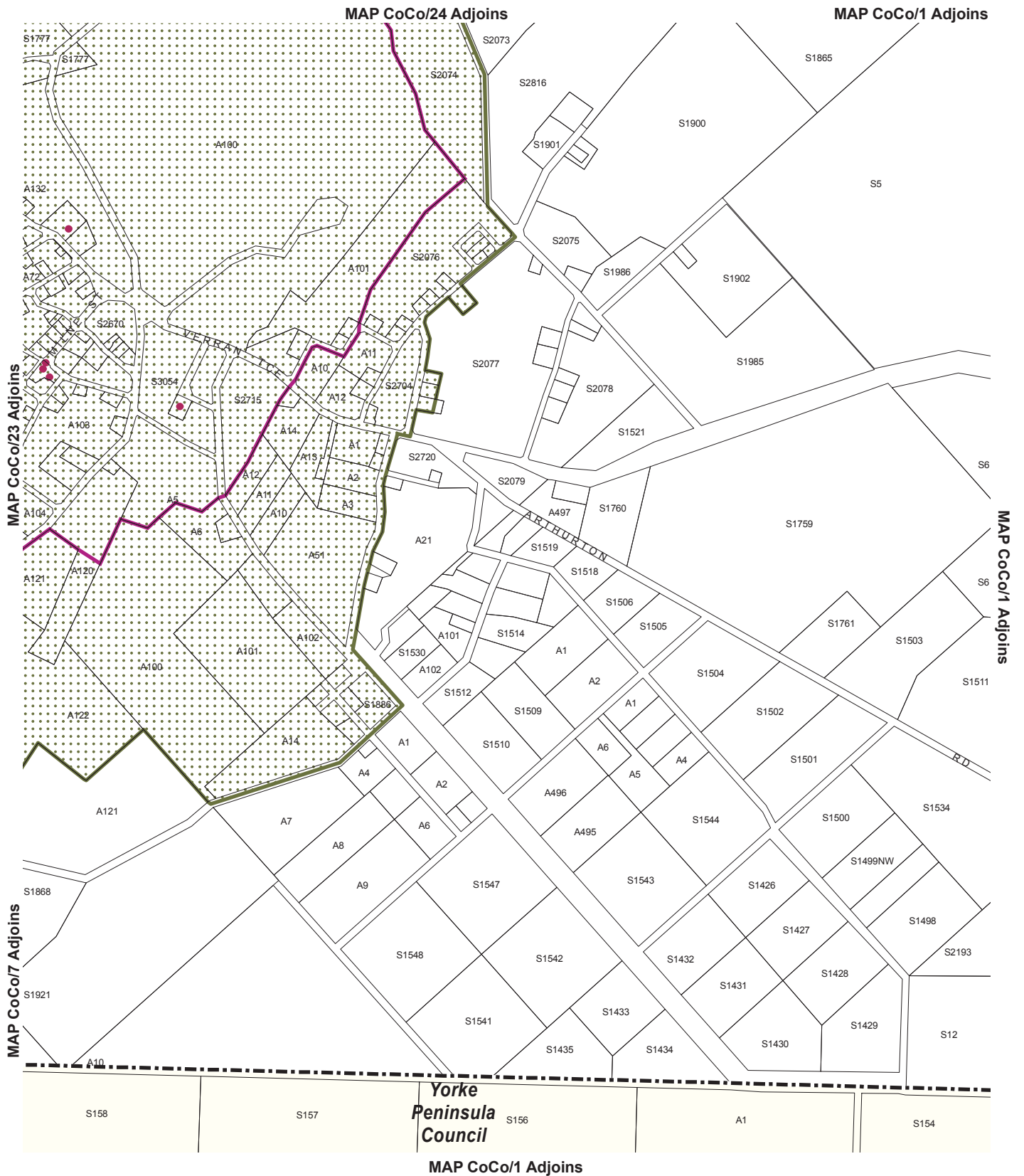
Precinct Map CoCo/24

 Precinct Boundary



Location Map CoCo/25

----- Development Plan Boundary

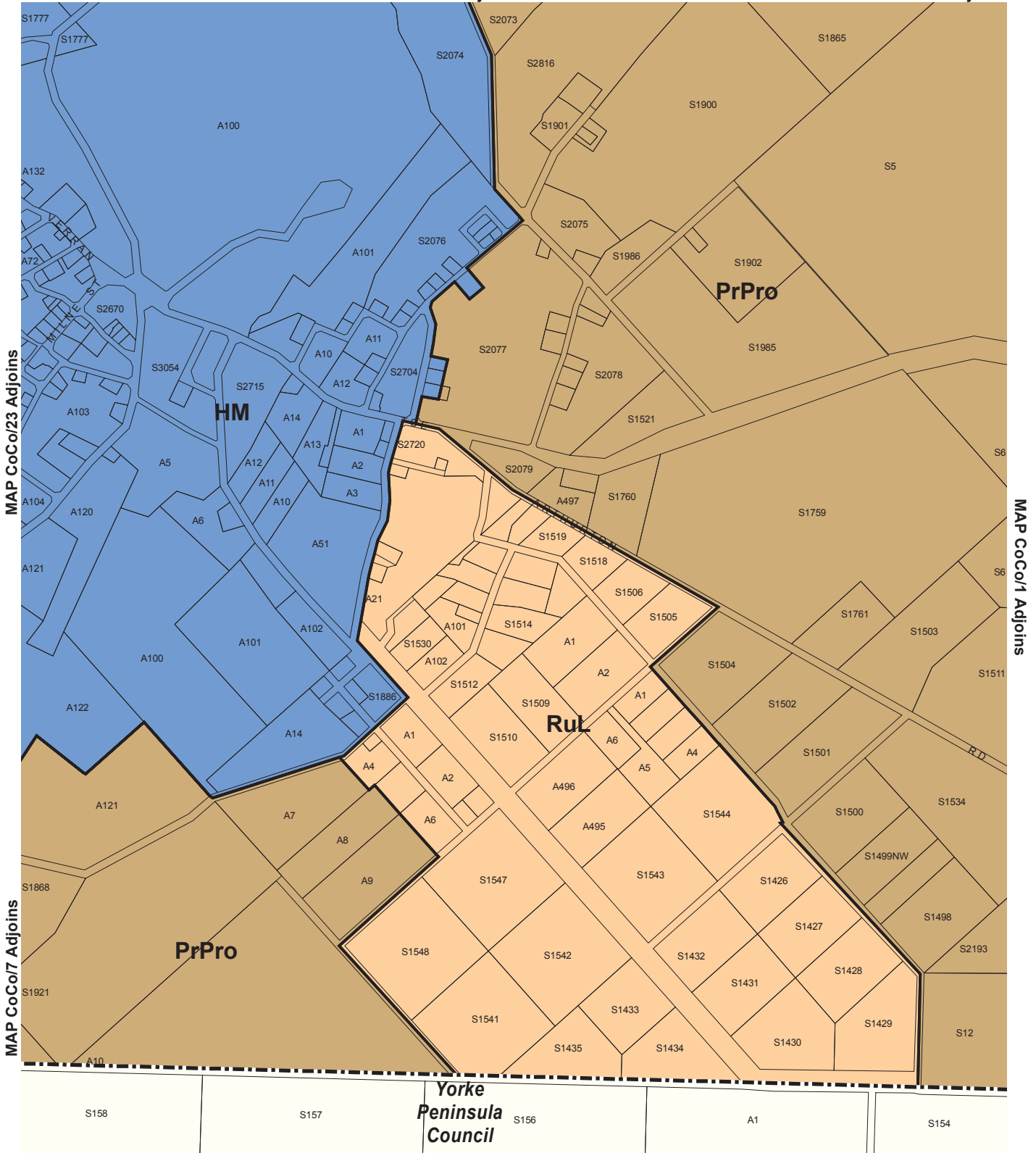


Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- State Heritage Area
- Historic Conservation Area
- Development Plan Boundary

Overlay Map CoCo/25 HERITAGE

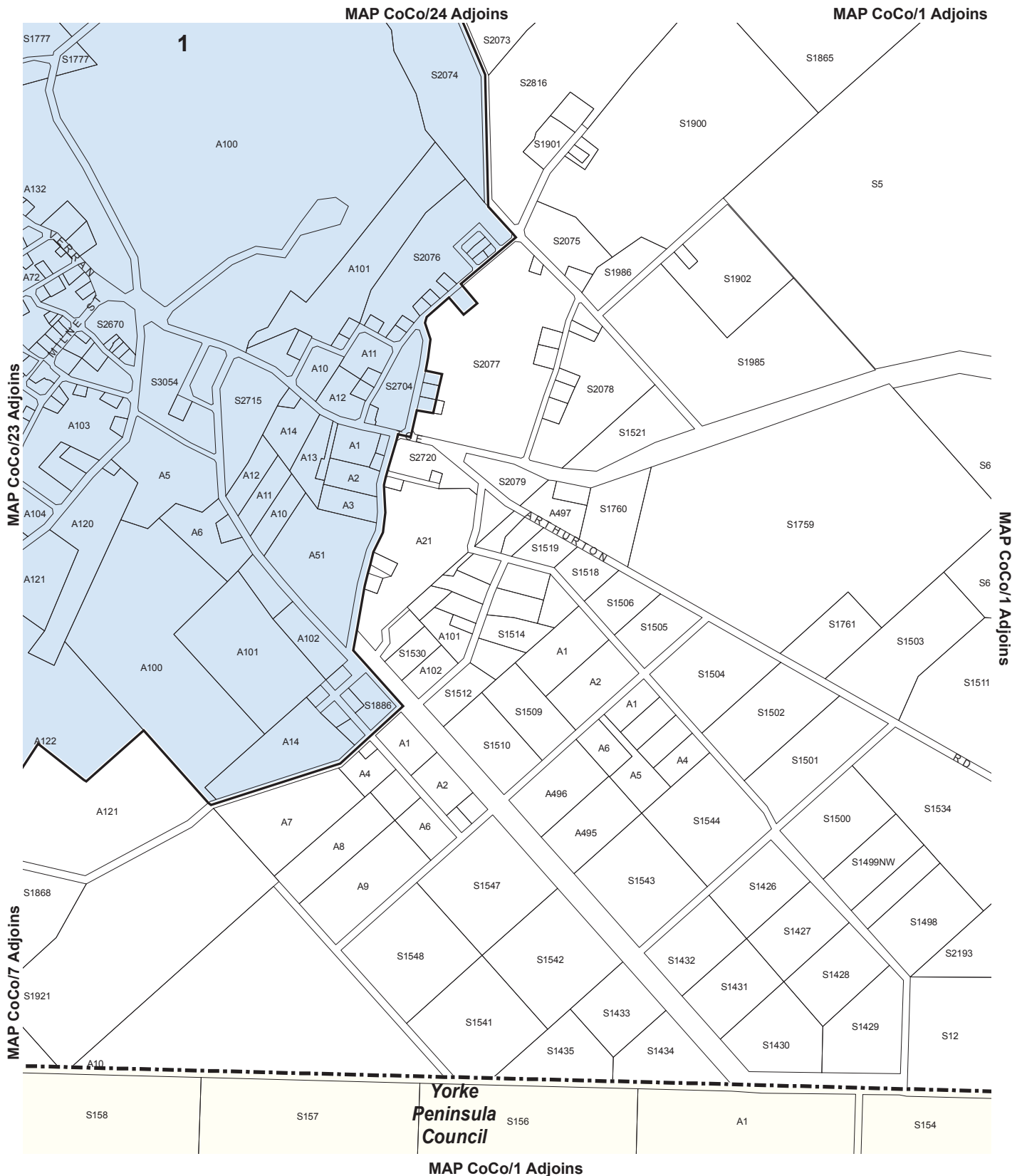


Lamberts Conformal Conic Projection, GDA94



- Zones**
- HM Historic Mining
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Zone Map CoCo/25



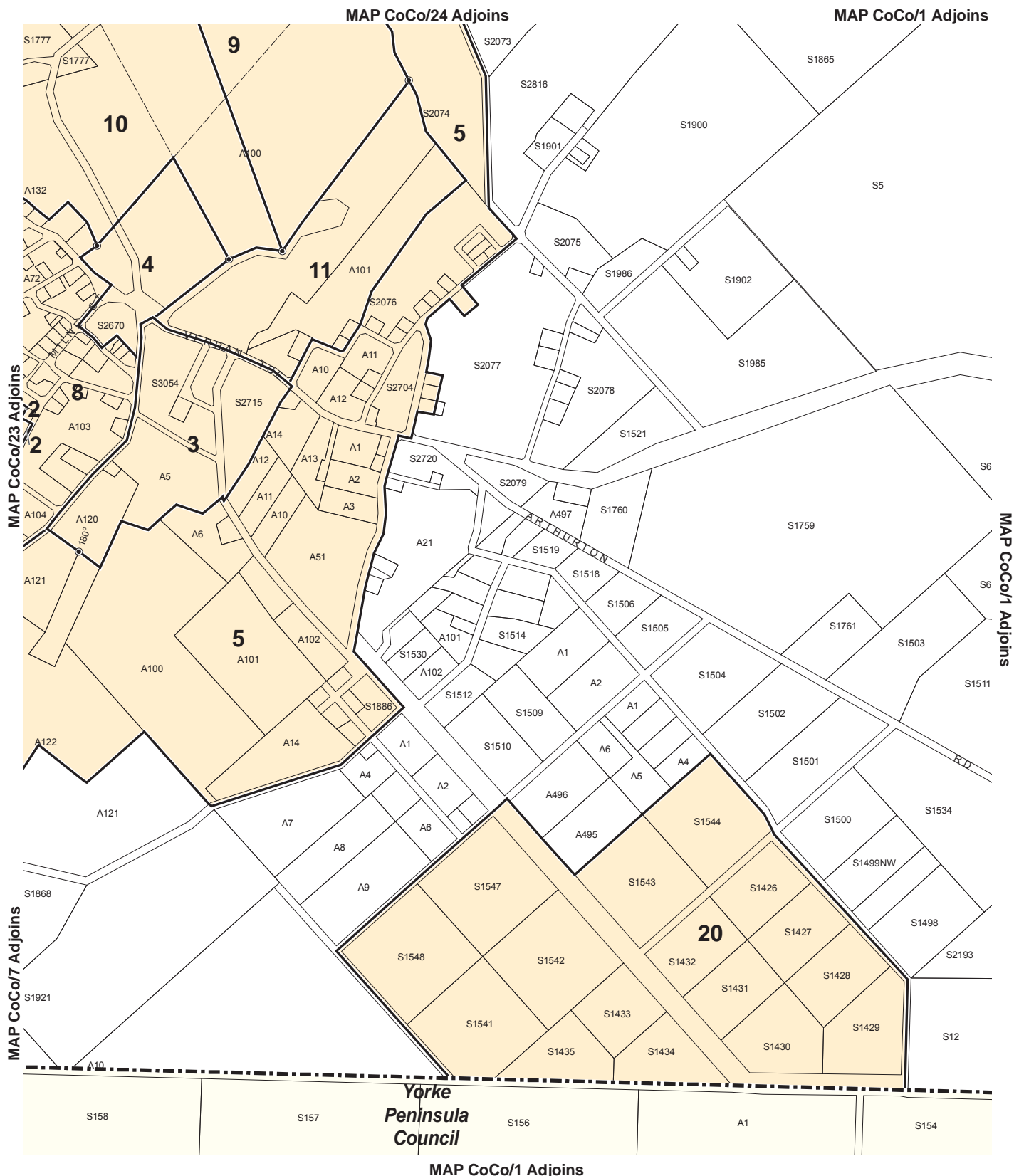
Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Moonta Mines



Policy Area Map CoCo/25

- Policy Area Boundary
- Development Plan Boundary



Lamberts Conformal Conic Projection, GDA94

Precinct

- 10 Ryans
- 11 Taylors
- 2 Hancocks
- 20 Rural Low Density
- 3 Hughes
- 4 Mine Management
- 5 Moonta Mines Buffer
- 8 Residential - Moonta Mines and North Yelta
- 9 Richmans



Precinct Map CoCo/25

- Precinct Boundary
- Development Plan Boundary

MAP CoCo/1 Adjoins



PASKEVILLE

Location Map CoCo/26

MAP CoCo/1 Adjoins

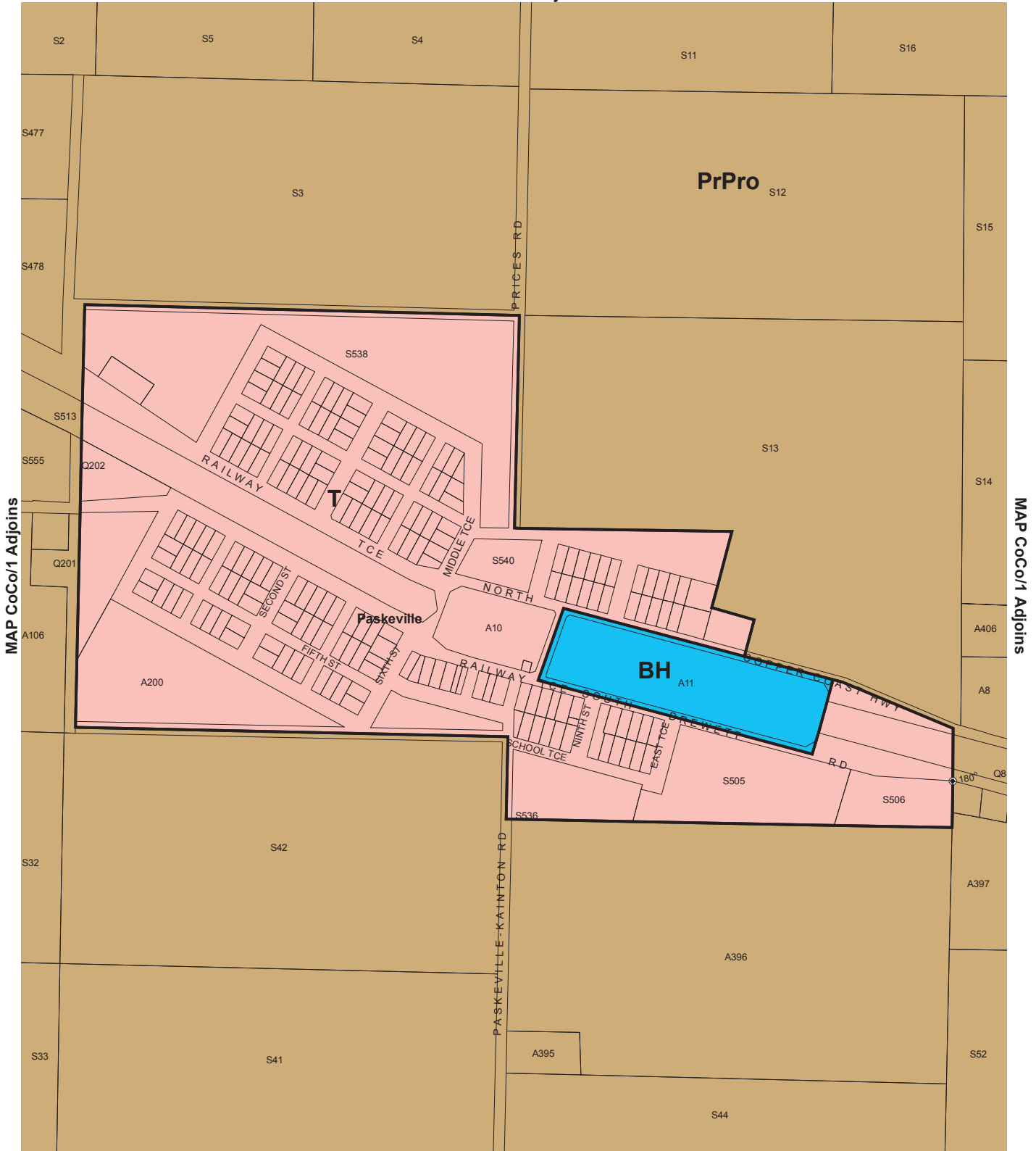


PASKEVILLE

Overlay Map CoCo/26 TRANSPORT

 Primary Arterial Roads

MAP CoCo/1 Adjoins



MAP CoCo/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

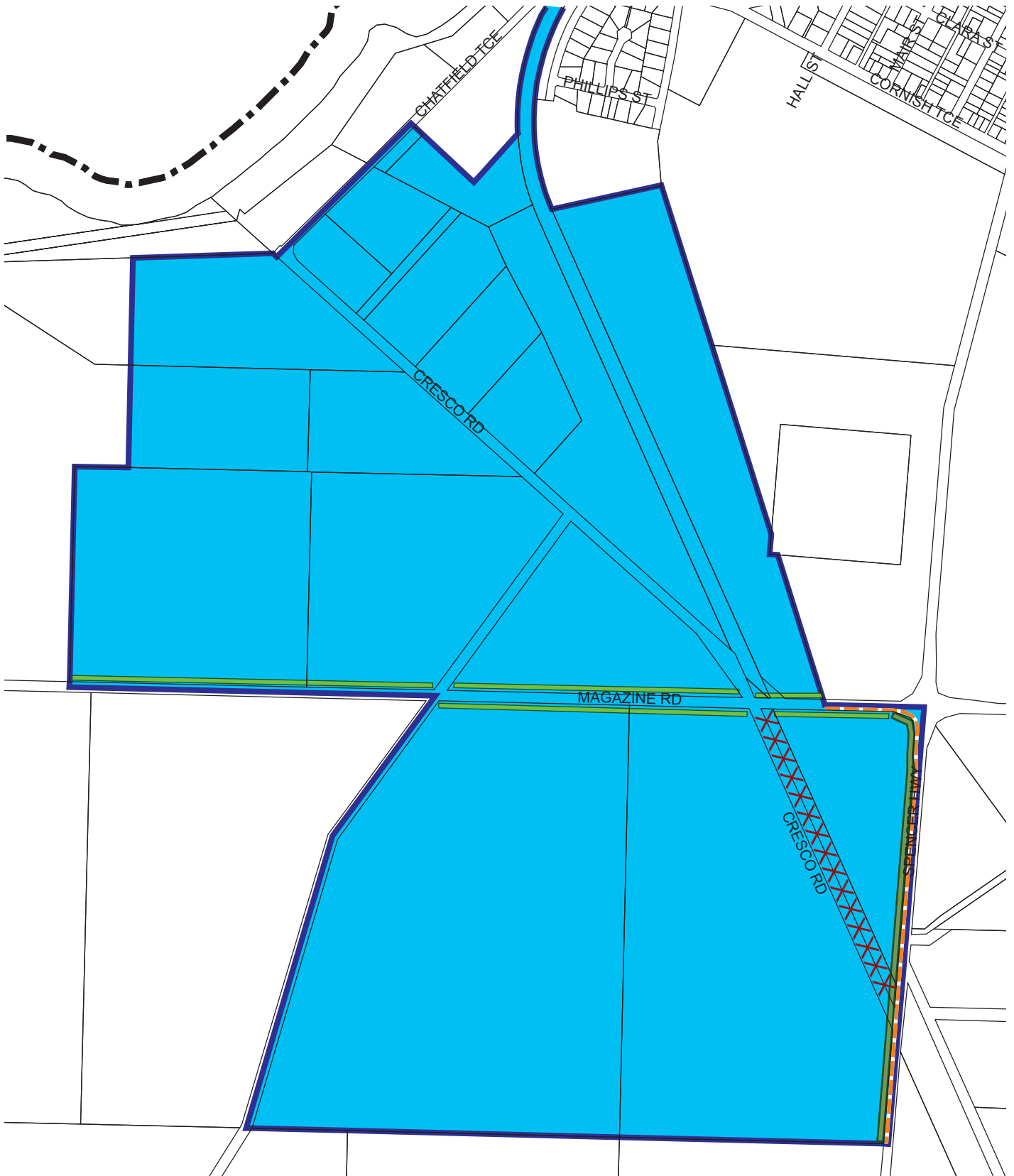


PASKEVILLE

Zone Map CoCo/26

- Zones**
- Bulk Handling
 - Primary Production
 - Township
 - Zone Boundary

Concept Plan Maps



- Concept Plan Boundary
- No Access
- Road must remain closed
- 5m Wide Landscape Buffer
- 10m Wide Landscape Buffer



WALLAROO

Concept Plan Map CoCo/1

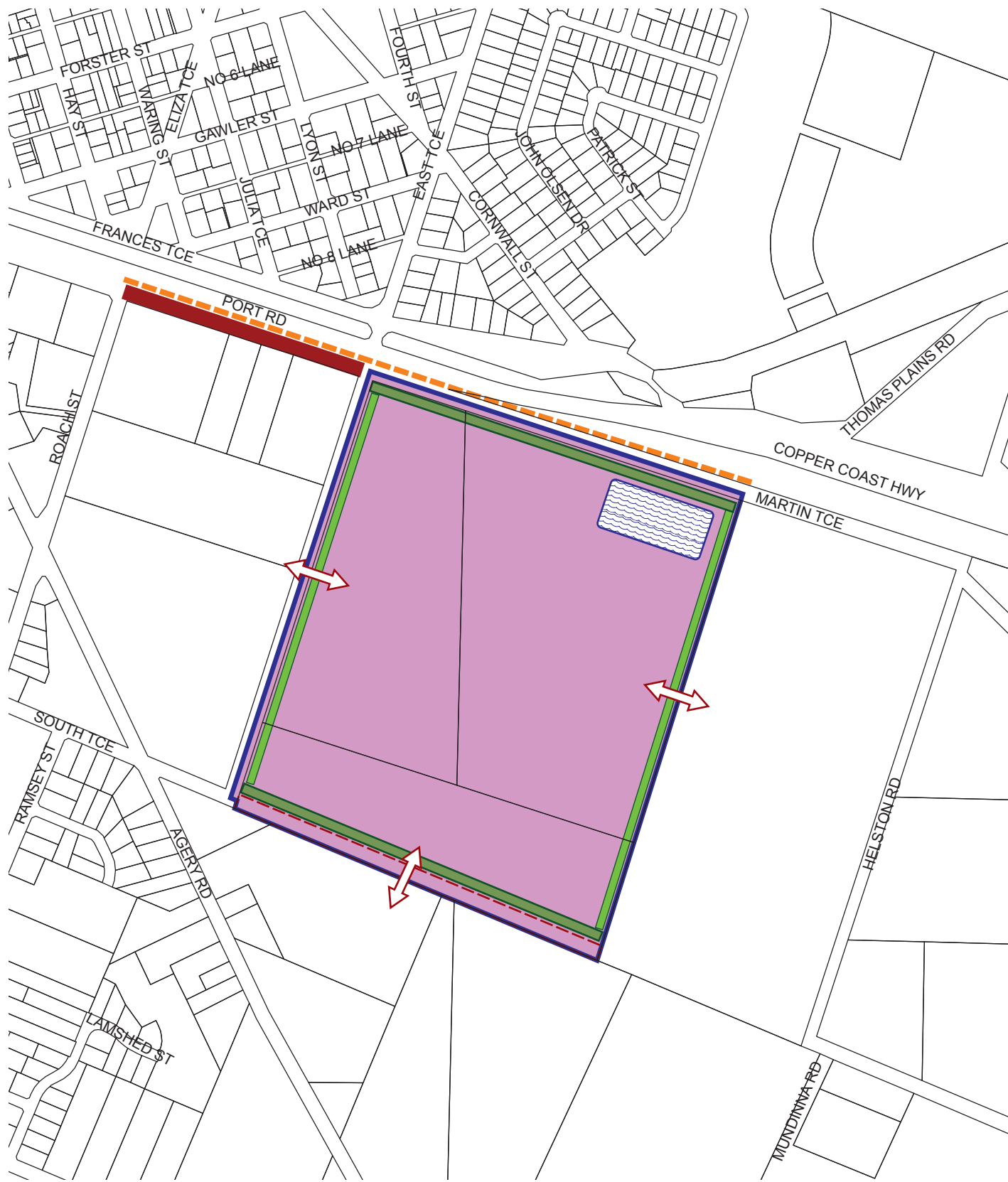
BULK HANDLING











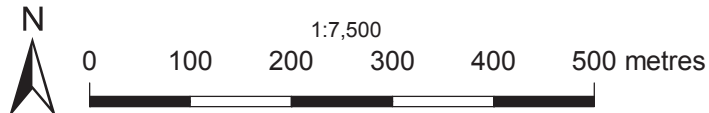
MOONTA

Concept Plan Map CoCo/2 INDUSTRIAL AREA

- Mounded Landscape Buffer
- Proposed Road



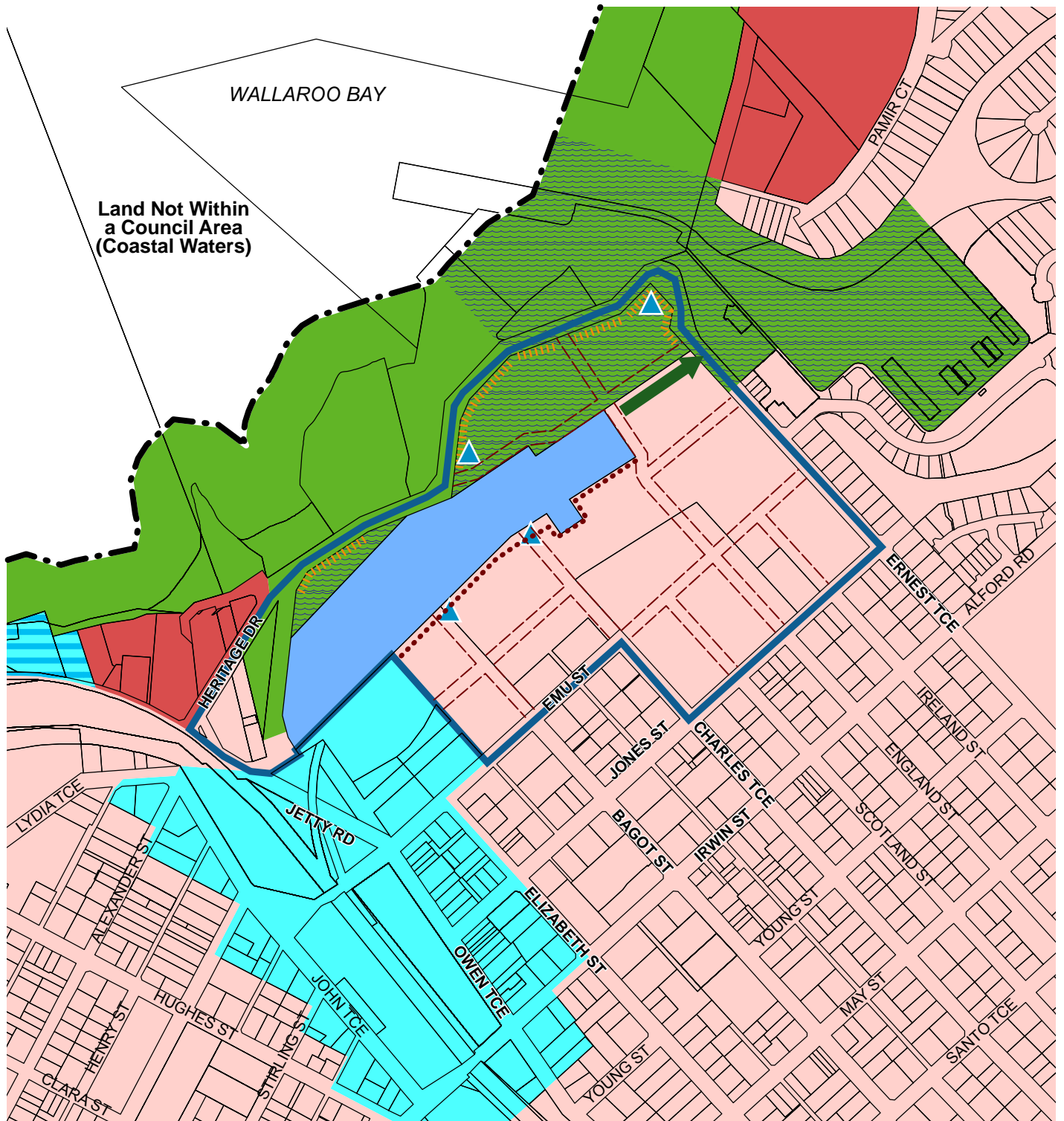
-  Concept Plan Boundary
-  20m Wide Road Reserve
-  Preferred road access to East, South and West Industrial Estate
-  10m Wide Landscape Buffer
-  5m Wide Landscape Buffer
-  No Heavy Vehicle Access
-  No Vehicle Access
-  Stormwater



KADINA

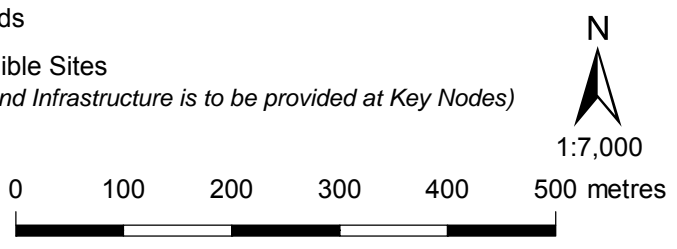
Concept Plan Map CoCo/3

INDUSTRIAL AREA



- Town Centre
- Commercial
- Coastal Open Space
- Coastal Marina
- Historic Mining
- Caravan and Tourist Park
- Residential
- High Visibility Interfaces
- Pedestrian Linkages
- Concept Plan Boundary
- Development Plan Boundary

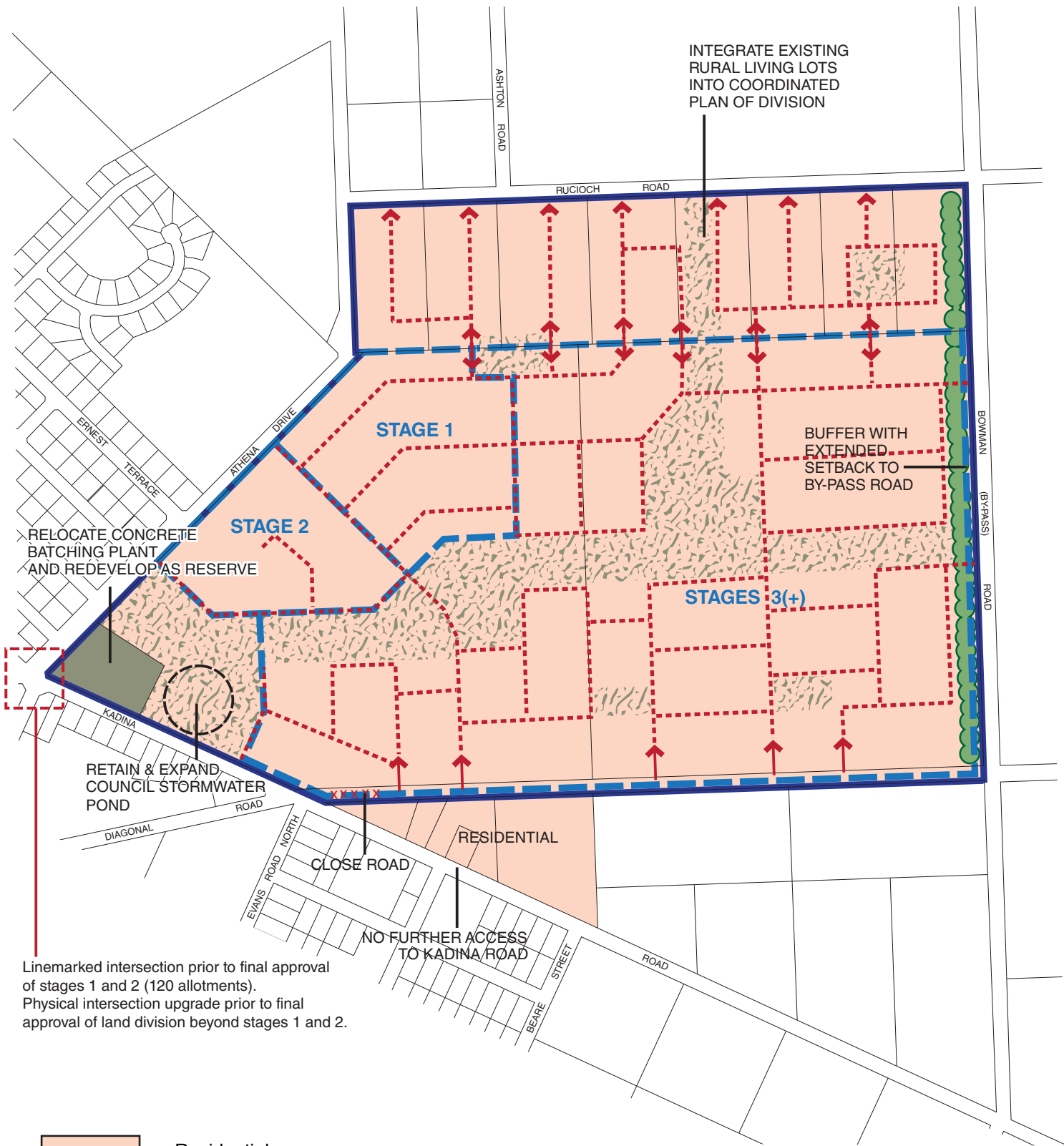
- Green Interface
- Proposed Roads
- Key Nodes/Visible Sites
(Public Space and Infrastructure is to be provided at Key Nodes)



WALLAROO

Concept Plan Map CoCo/4

RESIDENTIAL JONES STREET



RELOCATE CONCRETE BATCHING PLANT AND REDEVELOP AS RESERVE









INTEGRATE EXISTING RURAL LIVING LOTS INTO COORDINATED PLAN OF DIVISION

BUFFER WITH EXTENDED SETBACK TO BY-PASS ROAD

RETAIN & EXPAND COUNCIL STORMWATER POND

NO FURTHER ACCESS TO KADINA ROAD

Linemarked intersection prior to final approval of stages 1 and 2 (120 allotments). Physical intersection upgrade prior to final approval of land division beyond stages 1 and 2.

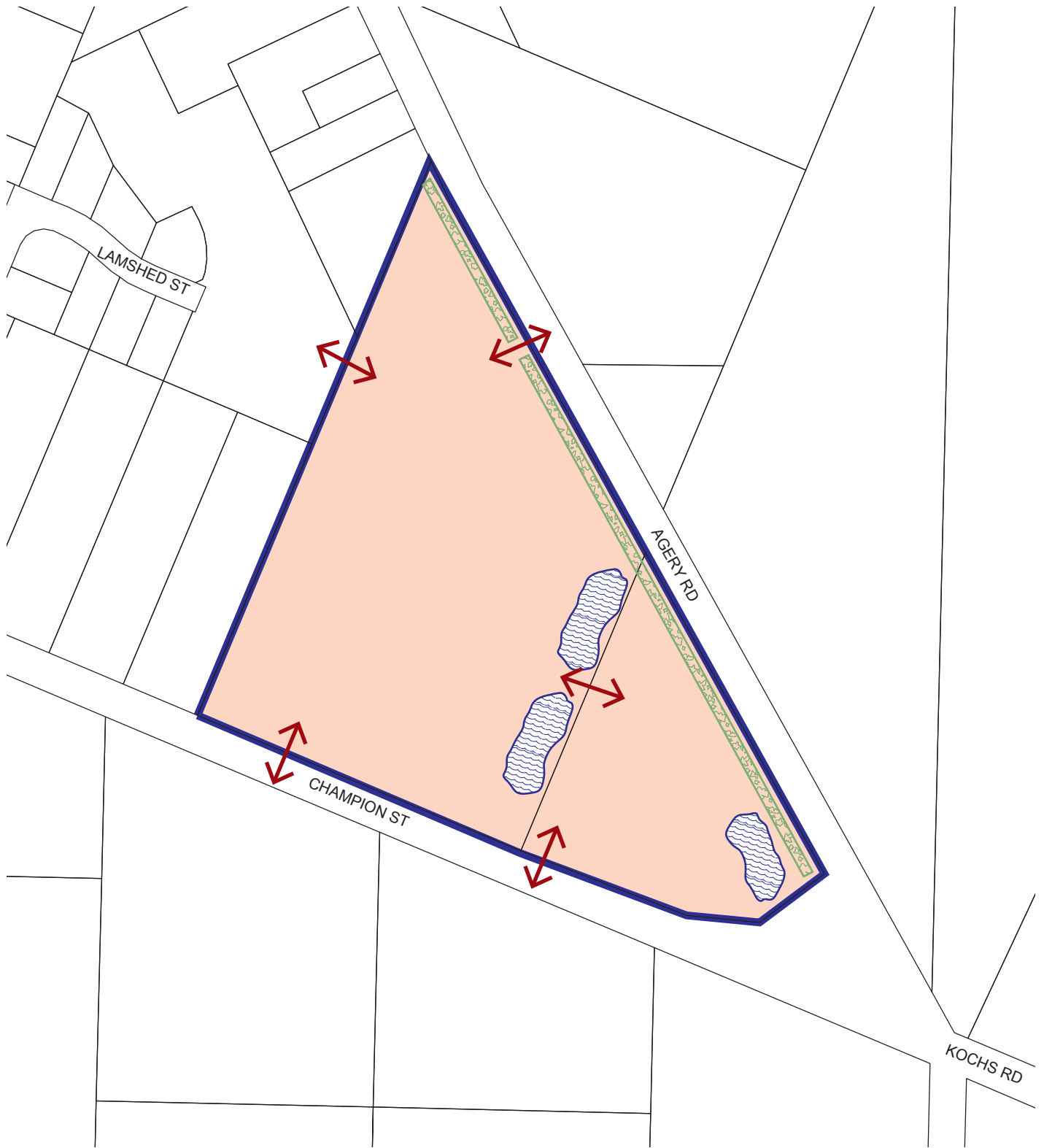
-  Residential
-  Proposed Open Space
-  Landscape Buffer
-  Preferred Vehicle Access Point
-  Proposed Carriageway Location
-  New Road Link
-  Staging
-  Concept Plan Boundary








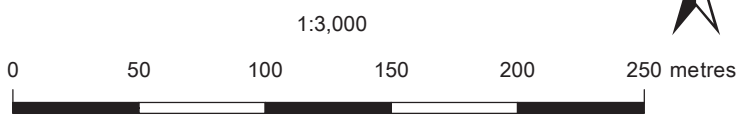
WALLAROO

Concept Plan Map CoCo/5

RESIDENTIAL ATHENA DRIVE



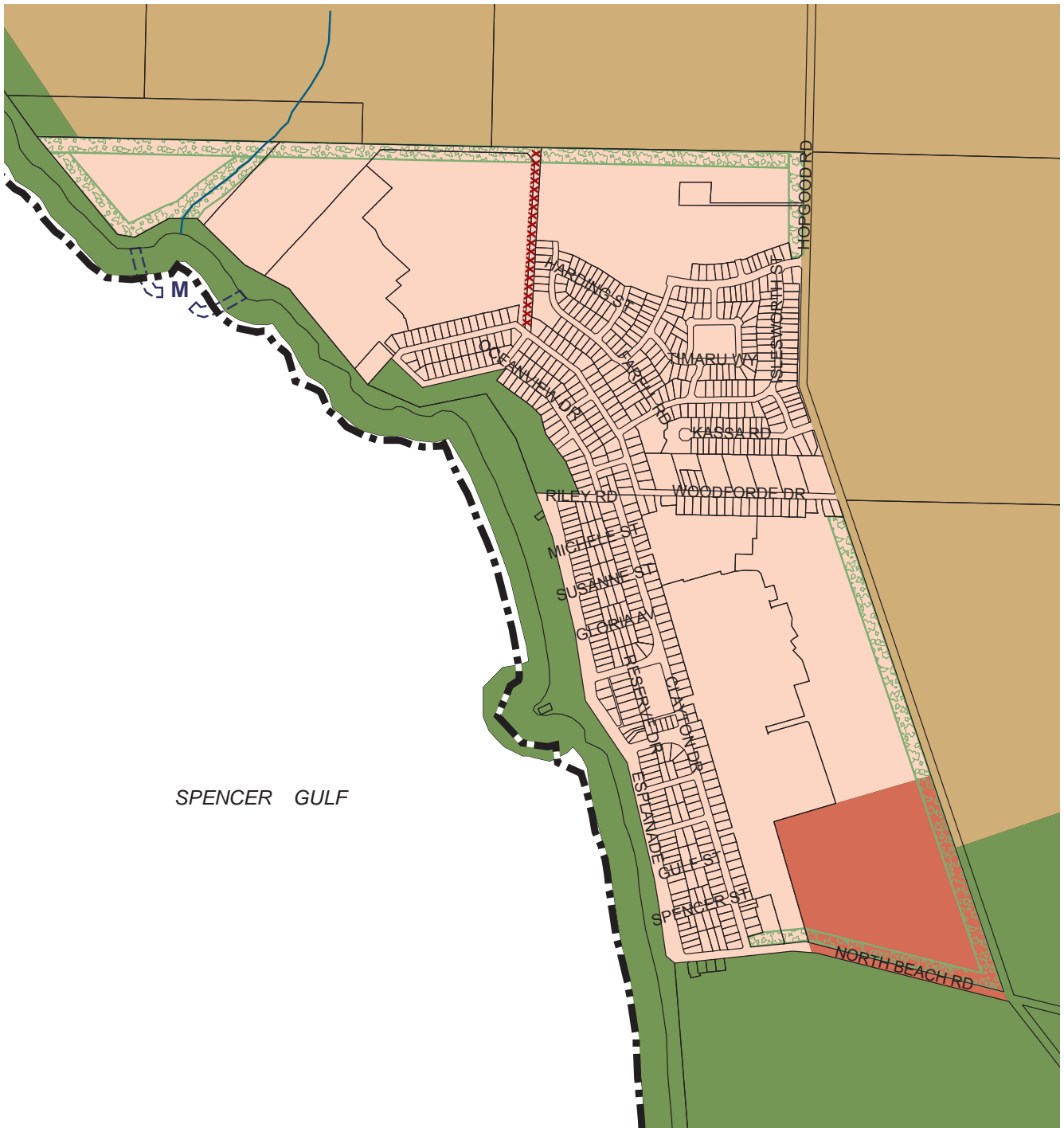
-  Residential
-  5 Metre wide Landscape Buffer
-  Access Point
-  Potential Stormwater Disposal
-  Concept Plan Boundary



KADINA

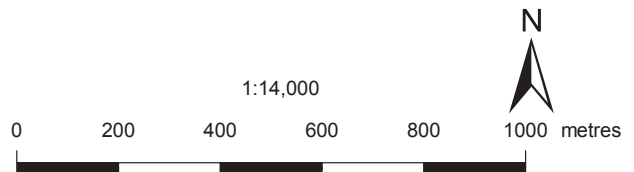
Concept Plan Map CoCo/6

RESIDENTIAL (AGERY ROAD)



SPENCER GULF

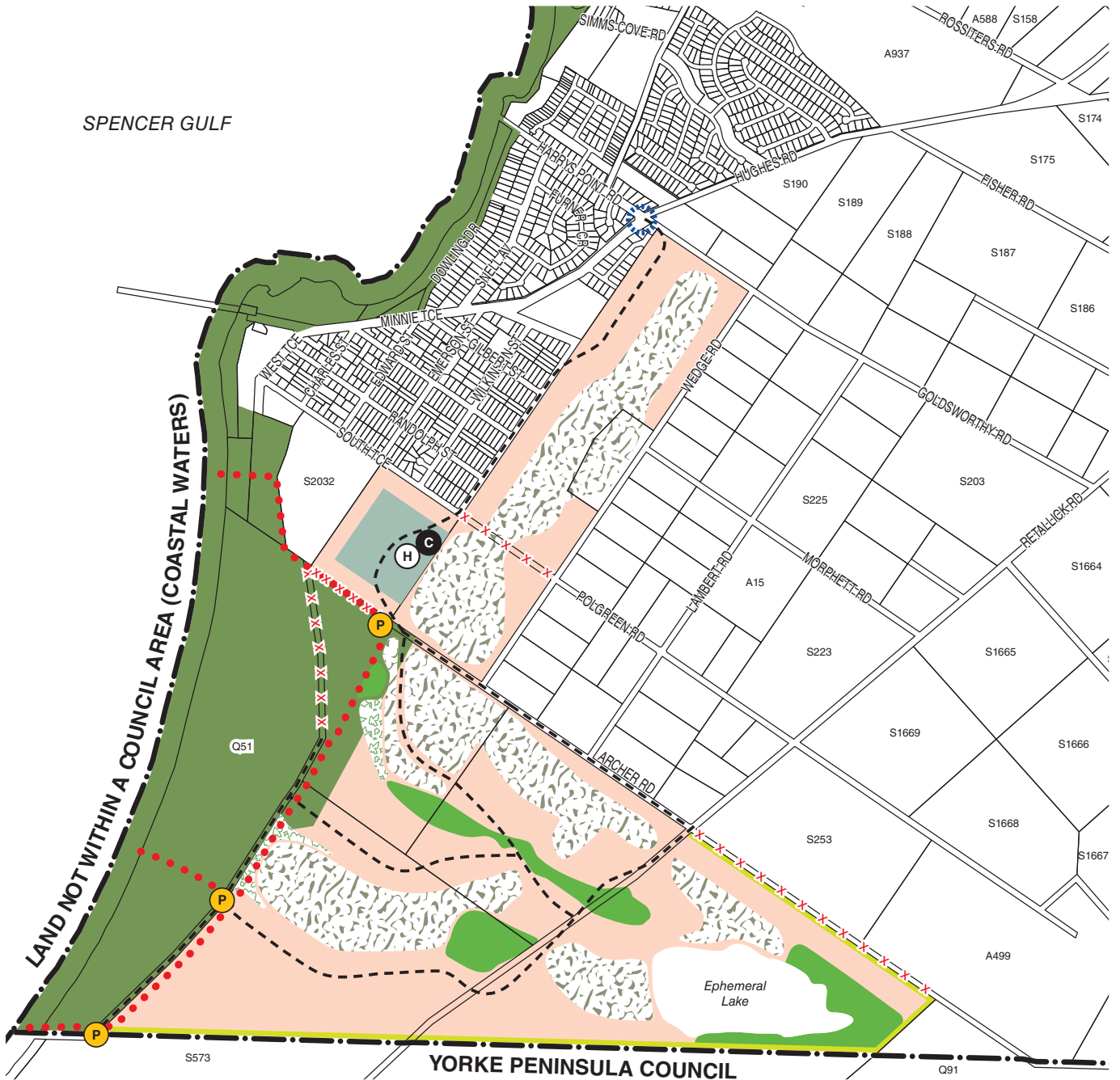
- Environmental Constraint
- Tourist Accommodation
- Primary Production
- Residential
- 30m Wide Intensively Planted Landscape Buffer
- XXXXX Road Closure
- M Possible Small Boat Mooring
- Watercourse
- Development Plan Boundary


















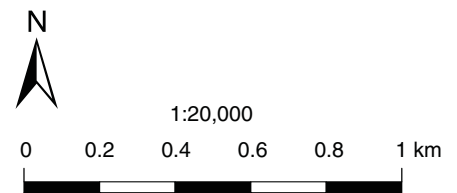
WALLAROO

Concept Plan Map CoCo/7

RESIDENTIAL NORTH BEACH



-  Coastal Conservation
-  Golf Course
-  Golf Course Resort
-  Re-vegetated Landscape Corridors
-  Conserved Vegetation
-  Residential
-  Landscape buffer (Minimum 8 metres)
-  Closed Roads
-  Collector Roads
-  Pedestrian Network
-  Public Car Park
-  Intersection Works
-  Clubhouse
-  Helipad
-  Development Plan Boundary



PORT HUGHES

Concept Plan Map CoCo/8

RESIDENTIAL GOLF COURSE



- 1 Area 1 Marina Basin Medium Density
- 2 Area 2 Marina Basin Living West
- 3 Area 3 Marina Basin Living South
- 4 Area 4 Marina Basin Living East
- Corner Landmark site
- Coastal Marina
- Tourist Accommodation
- Residential

- Reserve
- P Car parking
- Concept Plan Boundary

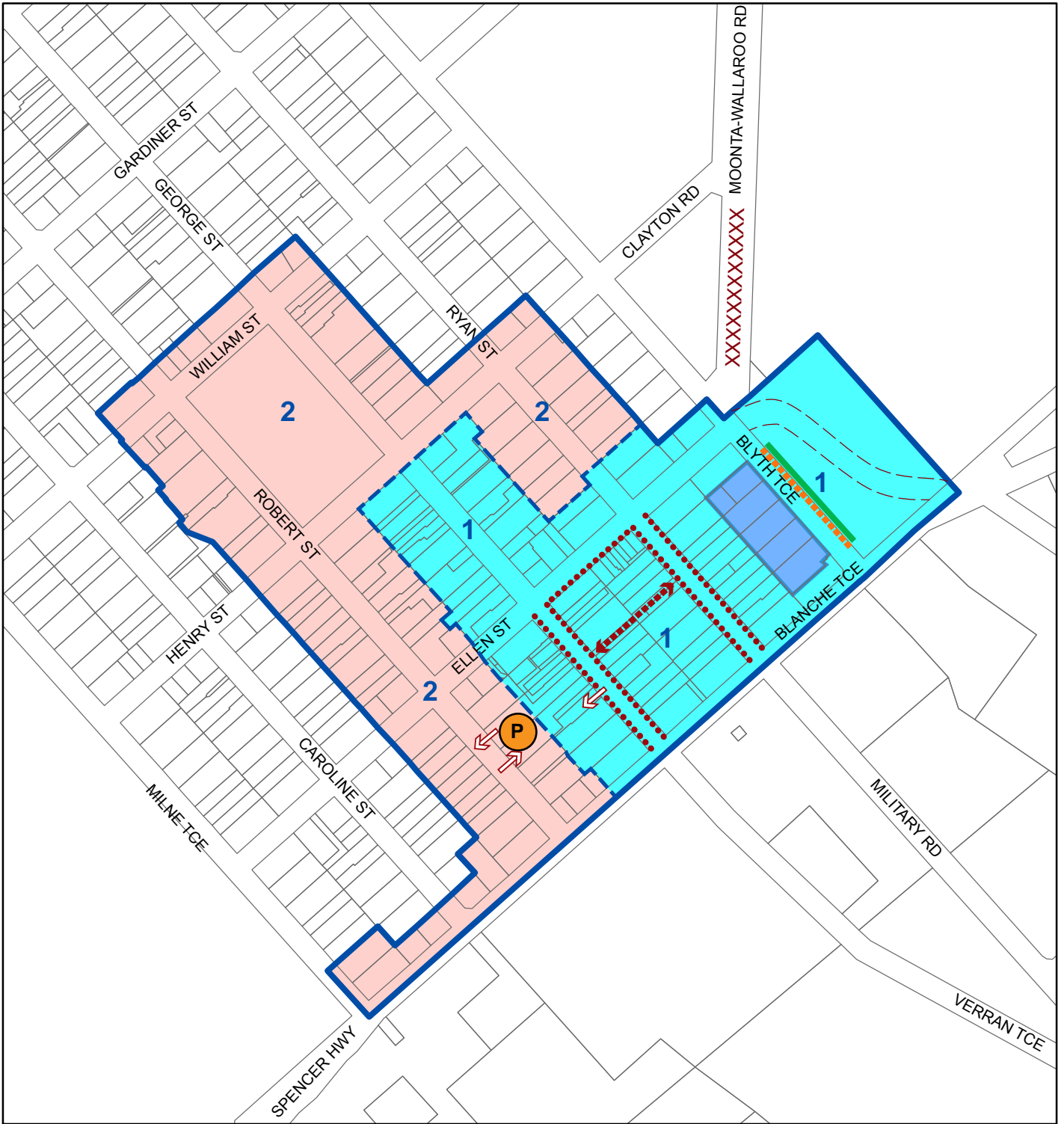
N

1:3,000

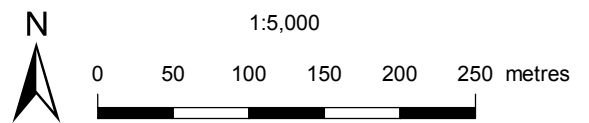
0 50 100 150 200 250 metres

WALLAROO

Concept Plan Map CoCo/9 MARINA



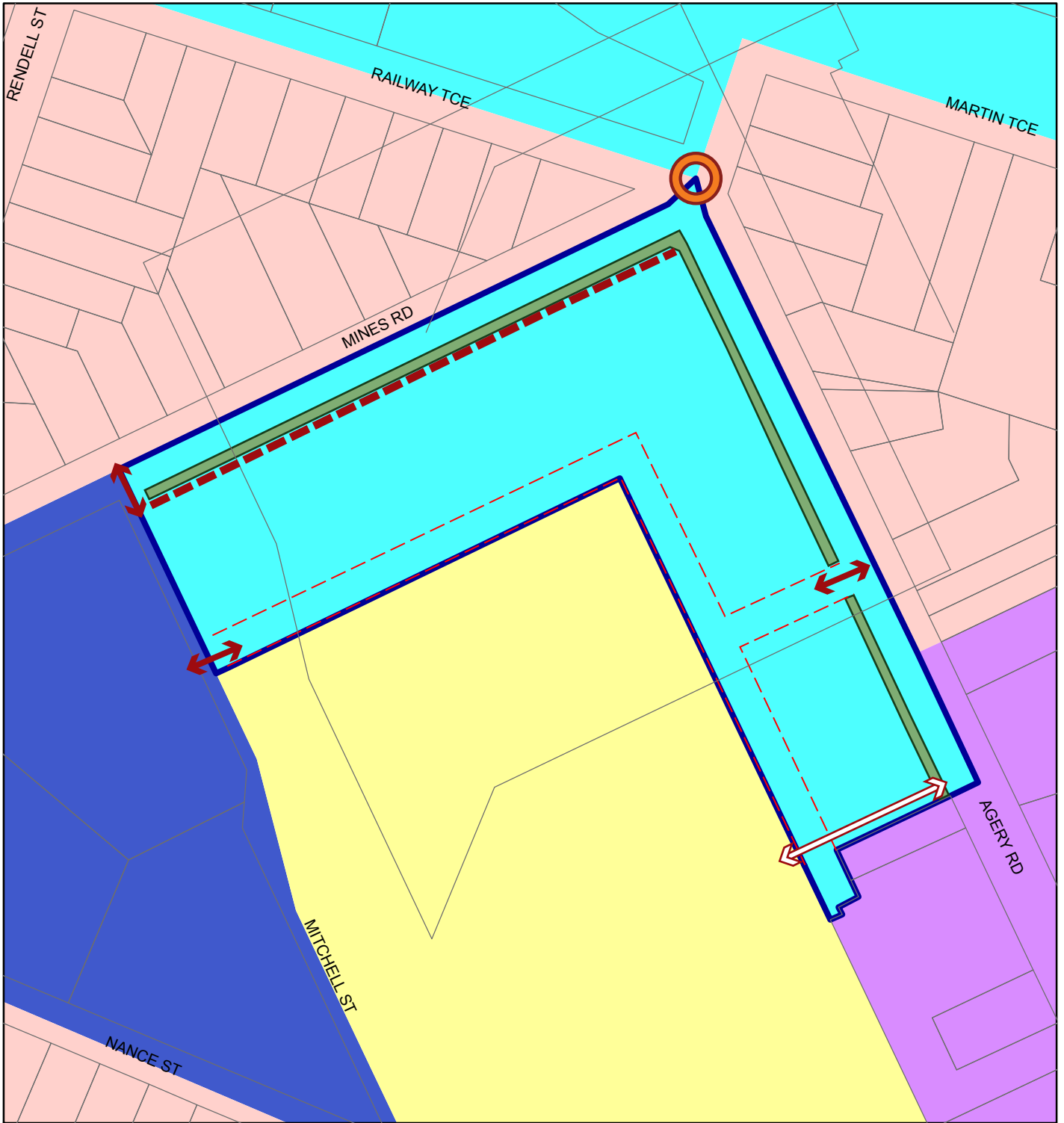
- 1 Retail Core Area
- 2 Residential Area
- Business Area
- XXXX Proposed Road Closure
- ↔ Possible Access points
- P Carpark
- - - - Proposed Future Roadway (subject to investigation)
- - - - No Vehicular Access/Egress
- 5m wide landscape buffer
- ↔ Pedestrian Link
- Pedestrian Environment
- - - - Precinct Boundary
- Concept Boundary



MOONTA

Concept Plan Map CoCo/10

TOWN CENTRE



Commercial Zone - Motor Vehicle Showroom Policy Area

- Commercial
- Community Facilities
- Industrial
- Infrastructure
- Residential

Proposed Service Road

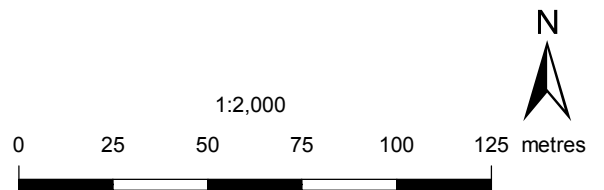
3m Landscape Buffer

Potential Intersection Upgrade

No Vehicle Access

Preferred Access

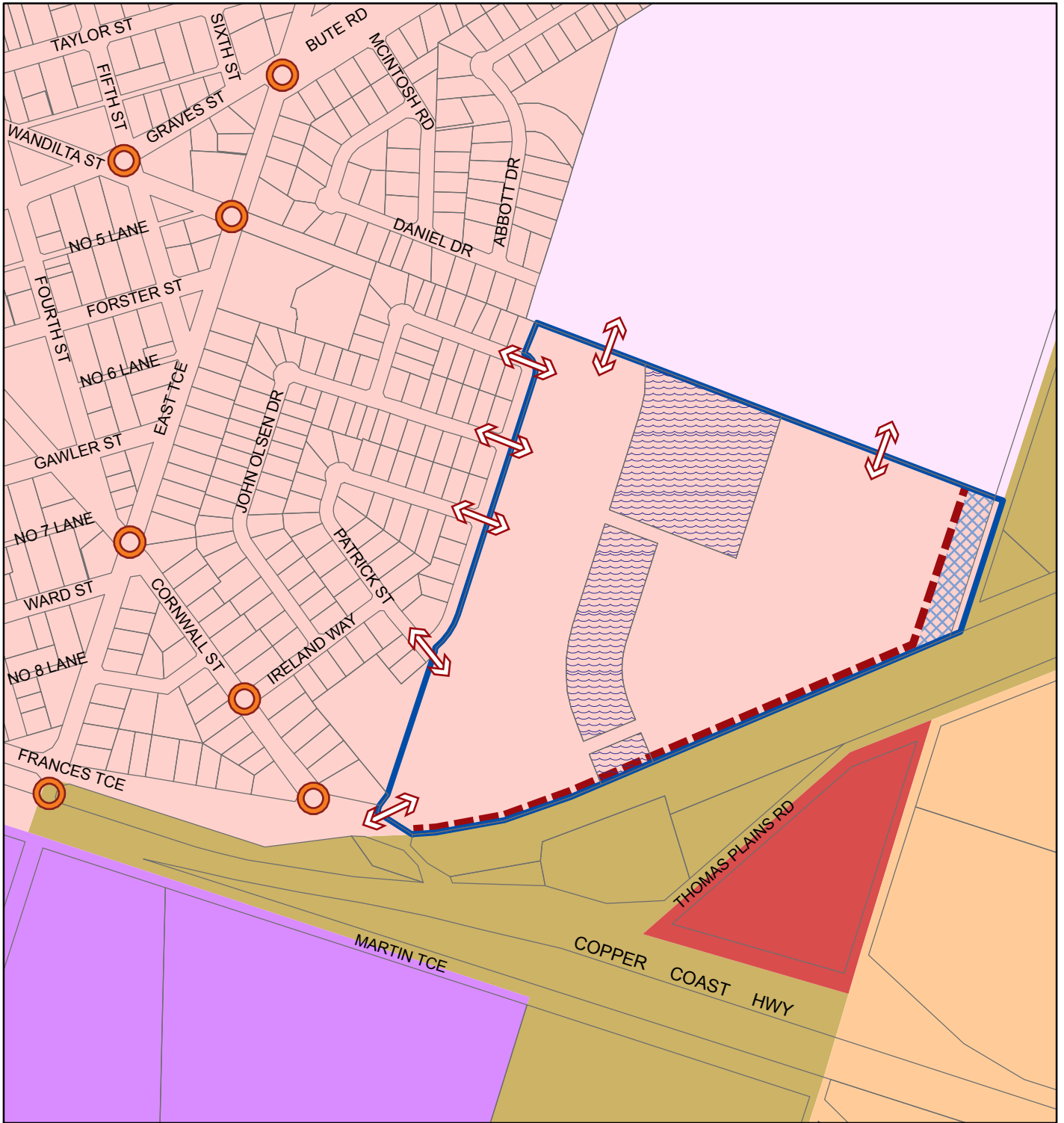
Future Access



KADINA

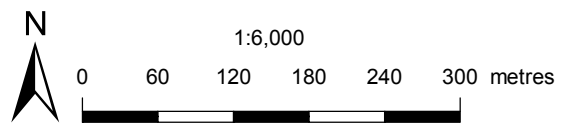
Concept Plan Map CoCo/11

MOTOR VEHICLE SHOWROOMS



- Deferred Urban
- Industrial
- Tourist Accommodation
- Primary Production
- Residential
- Rural Living
- 30m development setback
- Stormwater
- Concept Plan Boundary

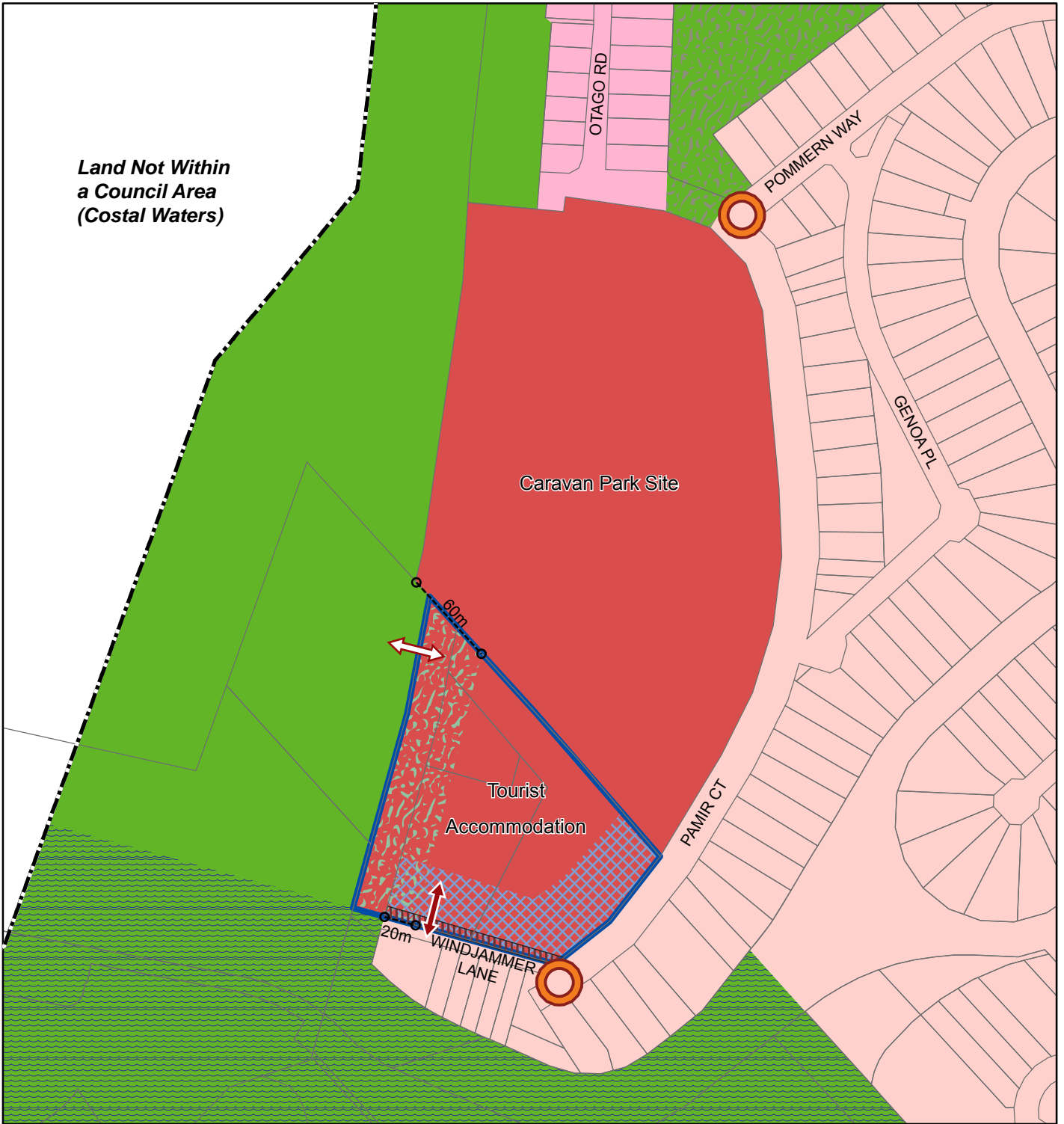
- Potential Intersection Upgrades
- No Vehicle Access
- Preferred Access



KADINA

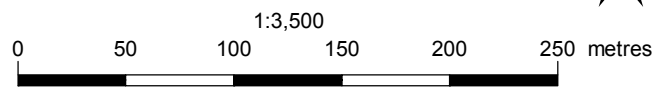
Concept Plan Map CoCo/12

RESIDENTIAL SCHILLING STREET



- Concept Plan Boundary
- Coastal Settlement
- Coastal Open Space
- Coastal Marina
- Conservation
- Tourist Accommodation
- Tourist Accommodation (Coastal Area)
- Residential
- Detached Dwellings

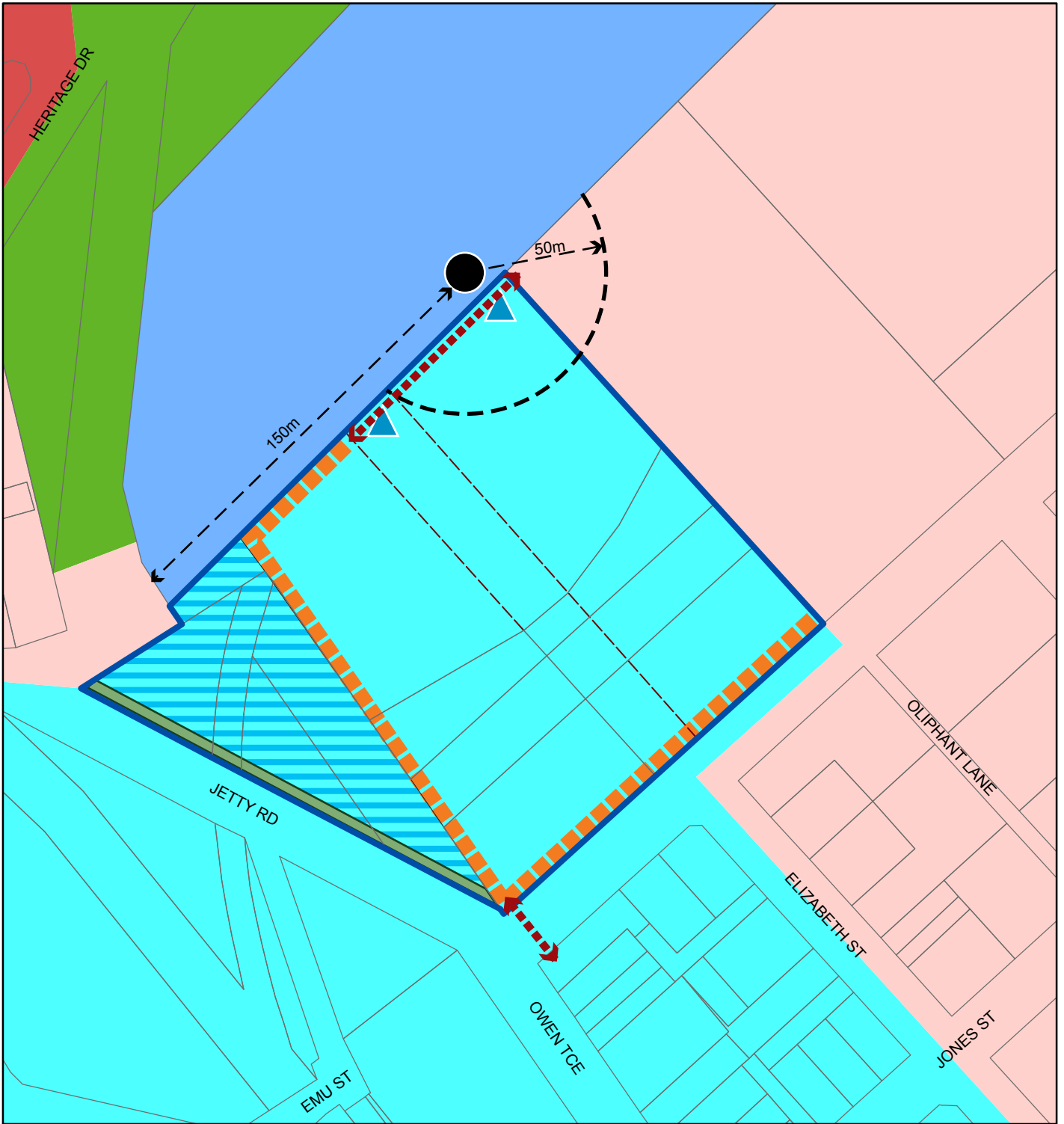
- Potential Intersection Upgrade
- Beach Access
- Vehicle Access
- Expansion of Windjammer Lane
- Development Plan Boundary



WALLAROO

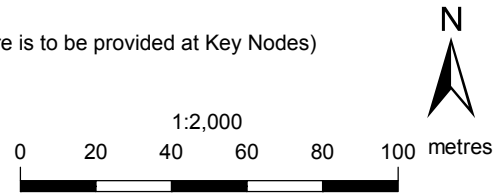
Concept Plan Map CoCo/13

TOURIST ACCOMMODATION PAMIR COURT



- Commercial
- Coastal Open Space
- Heritage
- Tourist Accommodation
- Residential
- Coastal Vista Area
- Proposed Roads
- 3m Landscape Buffer
- Interfaces to be addressed
- Pedestrian Linkage
- Concept Boundary

- Hughes Chimney Stack
- 50m 50m Radius of Hughes Chimney Stack
- Key Nodes/Visible Sites
(Public Space and Infrastructure is to be provided at Key Nodes)



WALLAROO

Concept Plan Map CoCo/14

TOWN CENTRE