

Development Plan

Yorke Peninsula Council

Consolidated – 29 November 2018

Please refer to the Yorke Peninsula Council page at www.sa.gov.au/developmentplans to see any amendments not consolidated.



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Introduction Section

Amendment Record Table

The following table is a record of authorised amendments and their consolidation dates for the Yorke Peninsula Council Development Plan since its inception on 18 January 2001. Further information on authorised amendments prior to this date may be researched through the relevant Council, the Department of Planning, Transport and Infrastructure or by viewing Gazette records.

CONSOLIDATED	AMENDMENT – [Gazetted date]
18 January 2001	Central Yorke Peninsula (DC), Minlaton (DC), Warooka (DC) and Yorketown (DC) - General Consolidation PAR – [18 January 2001]
1 February 2001	South Australian Ports (Disposal of Maritime Assets) Act 2000 – [25 January 2001]
18 October 2001	Telecommunications Facilities State-wide Policy Framework PAR (<i>Ministerial</i>) – [30 August 2001]
27 March 2003	Port Vincent Marina PAR (Interim) – [27 March 2003]
21 August 2003	Wind Farms PAR (<i>Ministerial</i>) – [24 July 2003]
13 November 2003	Port Vincent Marina PAR – [13 November 2003]
16 December 2004	Miscellaneous Amendments PAR – [16 December 2004]
2 March 2006	Industry (Commercial Bulk Handling) PAR – [23 February 2006]
29 June 2006	Port Clinton PAR – [29 June 2006] Corny Point PAR – [29 June 2006]
30 November 2006	Bushfire Management (Part 1) PAR (<i>Ministerial</i>) – [9 November 2006]
8 February 2007	Shack Design Guidelines PAR – [1 February 2007]
11 June 2009	Parsons Beach DPA – [11 June 2009] Stansbury – Aquaculture Zone DPA – [11 June 2009]
24 June 2010	Bushfires (Miscellaneous Amendments) DPA (<i>Ministerial</i>) (Interim) – [10 December 2009] Statewide Bulky Goods DPA (<i>Ministerial</i>) (Interim) – [1 June 2010] Port Victoria Town DPA – [24 June 2010]
7 October 2010	Ardrossan Rural Living DPA – [7 October 2010]
10 February 2011	Bushfires (Miscellaneous Amendments) DPA (<i>Ministerial</i>) – [9 December 2010] Statewide Bulky Goods DPA (<i>Ministerial</i>) – [13 January 2011]
22 March 2012	Statewide Wind Farms DPA (Interim) (<i>Ministerial</i>) – [19 October 2011]
22 November 2012	Termination of the Statewide Wind Farms DPA (<i>Ministerial</i>) and its removal from the Yorke Peninsula (DC) Development Plan – [18 October 2012] Statewide Wind Farms DPA (<i>Ministerial</i>) – [18 October 2012] Better Development Plan (BDP) and General DPA – [22 November 2012]
28 March 2013	Section 29(2)(c) Amendment – [29 November 2012] Section 29(2)(b)(ii) Amendment – [28 March 2013]
6 February 2014	Port Vincent DPA – [19 December 2013] Four Towns (Maitland, Minlaton, Yorketown and Warooka) DPA – [6 February 2014]
6 November 2014	Bluff Beach DPA – [30 October 2014]

Yorke Peninsula Council
Introduction Section
Amendment Record Table

CONSOLIDATED	AMENDMENT – [Gazetted date]
26 November 2015	Section 29(3)(a) Amendment – [19 March 2015] Section 29(2)(b)(ii) Amendment – [25 June 2015]
31 October 2017	Section 29(2)(b)(i) and (ii) Amendment – [17 March 2016] Edithburgh Town and Surrounds DPA – [24 October 2017]
29 November 2018	Section 29(2)(b)(ii) – [27 February 2018] Balgowan Settlement DPA – [15 November 2018]

Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

Introduction to the Development Plan

Welcome to the Development Plan for the District Council of Yorke Peninsula.

This introduction has been prepared by the Department of Planning, Transport and Infrastructure as guide to assist you in understanding this Development Plan.

For full details about your rights and responsibilities, you are advised to refer to the *Development Act 1993* and the associated *Development Regulations 2008* and/or consult your council.

A number of guides and additional information regarding South Australia's Planning and Development Assessment System are available via the website www.saplanningportal.sa.gov.au or by contacting the Department of Planning, Transport and Infrastructure at Level 5, 50 Flinders Street, Adelaide, SA 5000.

Overview of the Planning System

South Australia has an integrated planning and development system, with three distinct but interrelated parts, these being:

- Legislation
- The Planning Strategy
- Development Plans.

The **legislative framework** establishing the planning and development system and setting out its statutory procedures is provided by the *Development Act 1993* and its associated *Development Regulations 2008*. The *Development Act* is the core legislation enacted by the South Australian Parliament to establish the planning and development system framework and many of the processes required to be followed within that framework (including processes for assessing development applications). The Regulations provide more details about the framework and are updated from time to time by the Governor (on the advice of the Minister for Planning).

The State Government's broad vision for sustainable land use and the built development of the state is outlined in the **Planning Strategy**. The relevant volumes of the Planning Strategy for this Development Plan is the Yorke Peninsula Regional Land Use Framework (December 2007).

The Planning Strategy, which covers a full range of social, economic and environmental issues, informs and guides policies both across Government and in local area Development Plans. The Planning Strategy is required under section 22 of the *Development Act, 1993* and is updated by the State Government every few years. Local councils also prepare strategic plans which guide the same matters but at a local level. These strategic plans are not, however, development assessment tools, that is the role of Development Plans.

Development Plans are the key on-the-ground development assessment documents in South Australia. They contain the rules that set out what can be done on any piece of land across the state, and the detailed criteria against which development applications will be assessed. Development Plans cover distinct and separate geographic areas of the state. There is a separate Development Plan for each one of the 68 local council areas, plus a handful of other Development Plans covering areas not situated within local government boundaries. Development Plans outline what sort of developments and land use are and are not envisaged for particular zones (eg residential, commercial, industrial), and various objectives, principles and policies further controlling and affecting the design and other aspects of proposed developments.

What is Development?

'Development' is defined in Section 4 of the *Development Act 1993* as:

- a change in the use of land or buildings
- the creation of new allotments through land division (including Strata and Community Title division)
- building work (including construction, demolition, alteration and associated excavation/fill)
- cutting, damaging or felling of significant trees
- specific work in relation to State and Local heritage places
- prescribed mining operations
- other acts or activities in relation to land as declared by the Development Regulations.

No development can be undertaken without an appropriate **Development Approval** being obtained from the relevant authority after an application and assessment process.

How does the Development Plan relate to other legislation?

The Development Plan is a self-contained policy document prepared under and given statutory recognition pursuant to *the Development Act 1993*.

It is generally independent of other legislation but is one of many mechanisms that control or manage the way that land and buildings are used.

The *Development Act, 1993* and *Development Regulations, 2008* contain a number of provisions to ensure that development applications are referred to other government agencies when appropriate.

What doesn't a Development Plan do?

Development Plans are applicable only when new development is being designed or assessed. They do not affect existing development (see above for a description of what constitutes 'development').

Once a Development Approval is issued, the details contained within the application and any conditions attached to that approval are binding.

Development Plan policies guide the point in time assessment of a development application but do not generally seek to control the on-going management of land, which is the role of other legislation (eg the *Environment Protection Act 1993*, *Natural Resources Management Act 2004*, *Liquor Licensing Act 1997*).

When do you use the Development Plan?

The Development Plan should be used during a development application process. This may include:

- when undertaking or proposing to undertake 'development' (eg building a house or factory or converting an office into a shop)
- when assessing or determining a development proposal (eg by council staff, a Council or Regional Development Assessment Panel or the Development Assessment Commission)
- when you believe you could be affected by a proposed development and you are given an opportunity to comment on it as part of the assessment process.

How to read the Development Plan

Development Plans are comprised of several sections as described below.

All sections and **all** relevant provisions within each section of the Development Plan must be considered in relation to a development proposal or application.

Development Plans use three text font colours:

- (a) Black text is used to identify all standard policy that forms the basis of all council Development Plans.

- (b) Green text is used to identify additional council-specific policy or variables that have been included in the Development Plan to reflect local circumstances.
- (c) Blue text illustrates hyperlinks to maps, overlays and tables in the Development Plan. These hyperlinks are operational only when viewing electronic versions of the Development Plan.

Development Plan Structure Overview

Advisory Section	Function
Table of Contents	Navigational aid to reference sections within the Development Plan by name and page number.
Amendment Record Table	Tabled information recording previously-authorized Development Plan amendments and their consolidation dates.
Introduction Overview of the Planning System What is Development? How does the Development Plan relate to other legislation? What doesn't a Development Plan do? When do you use the Development Plan? How to read the Development Plan?	A general overview of the context, purpose and way a Development Plan is set out (this section is advisory only and not used for development assessment purposes).
Strategic Setting State Strategic Setting <i>(30-Year Plan for Greater Adelaide/Regional Planning Strategy)</i> Council Strategic Setting <i>(Council Strategy)</i>	To be developed, but intended to reflect the relevant Planning Strategy (as it relates to the council area) and council's own local strategic investigations.
Council Preface Map	Map of the entire Development Plan boundary and its spatial relationship to other Development Plans' boundaries.
Assessment Section	Function
General Provisions Objectives Principles of Development Control	These policies apply across the whole council area and relate to a range of social, environmental, and economic development issues such as: <ul style="list-style-type: none"> ▪ site and design criteria ▪ access and vehicle parking requirements ▪ heritage and conservation measures ▪ environmental issues ▪ hazards ▪ infrastructure requirements ▪ land use specific requirements. They establish the development standards that apply to all forms of development and provide a yardstick against which the suitability of development proposals is measured. Many policies include a number of subclauses. All subclauses should be met, unless otherwise stated.

Assessment Section	Function
Zone Provisions	<p>These policies give greater certainty and direction about where certain forms of developments should be located. Maps are referenced within zones that show where land uses are suitable to be located.</p> <p>Generally, envisaged forms of development within a zone are identified and encouraged through carefully worded policies.</p>
Desired Character Statements	These express a vision about how the zone should look and feel in the future. They may describe the valued elements of the neighbourhood or area to be retained and/or what level and nature of change is desired.
Objectives	These are the specific planning policies that determine what land uses are encouraged or discouraged in the zone. They often contain detailed provisions to further guide the scale and design of development.
Principles of Development Control	These also provide lists of complying and non-complying development and any public notification provisions that vary from those in the Development Regulations.
Policy Area	Policy areas apply to a portion of a zone and contain additional objectives, desired character statements and principles of development control for that portion.
Precincts	<p>Precincts are used to express policies for a small sub-area of a zone or a policy area.</p> <p>Precincts are used if additional site-specific principles of development control are needed to reflect particular circumstances associated with those sub-areas.</p>
Procedural Matters	<p>All zones have a procedural matters section that identifies and lists complying, non-complying and public notification categories for various forms of development.</p> <p>Policy areas and/or precincts, which are a sub-set of the zone, share this procedural matters section. Their respective lists can be modified to accommodate policy area and precinct variations.</p>
Tables	<p>These tables provide detailed data for the assessment of certain elements of development, for example, numeric values for setbacks from road boundaries and car parking rates for certain types of development.</p> <p>Conditions for complying development are grouped into their respective tables.</p>
Mapping	
Structure Plan Maps	Structure Plan maps will commonly show the general arrangement and broad distribution of land uses; key spatial elements; and movement patterns throughout the council area and major urban areas.
Council Index Maps	<p>This is the first point of reference when determining the appropriate map(s) applying to a specific property.</p> <p>An enlargement index map may be included where needed, eg for large townships.</p>

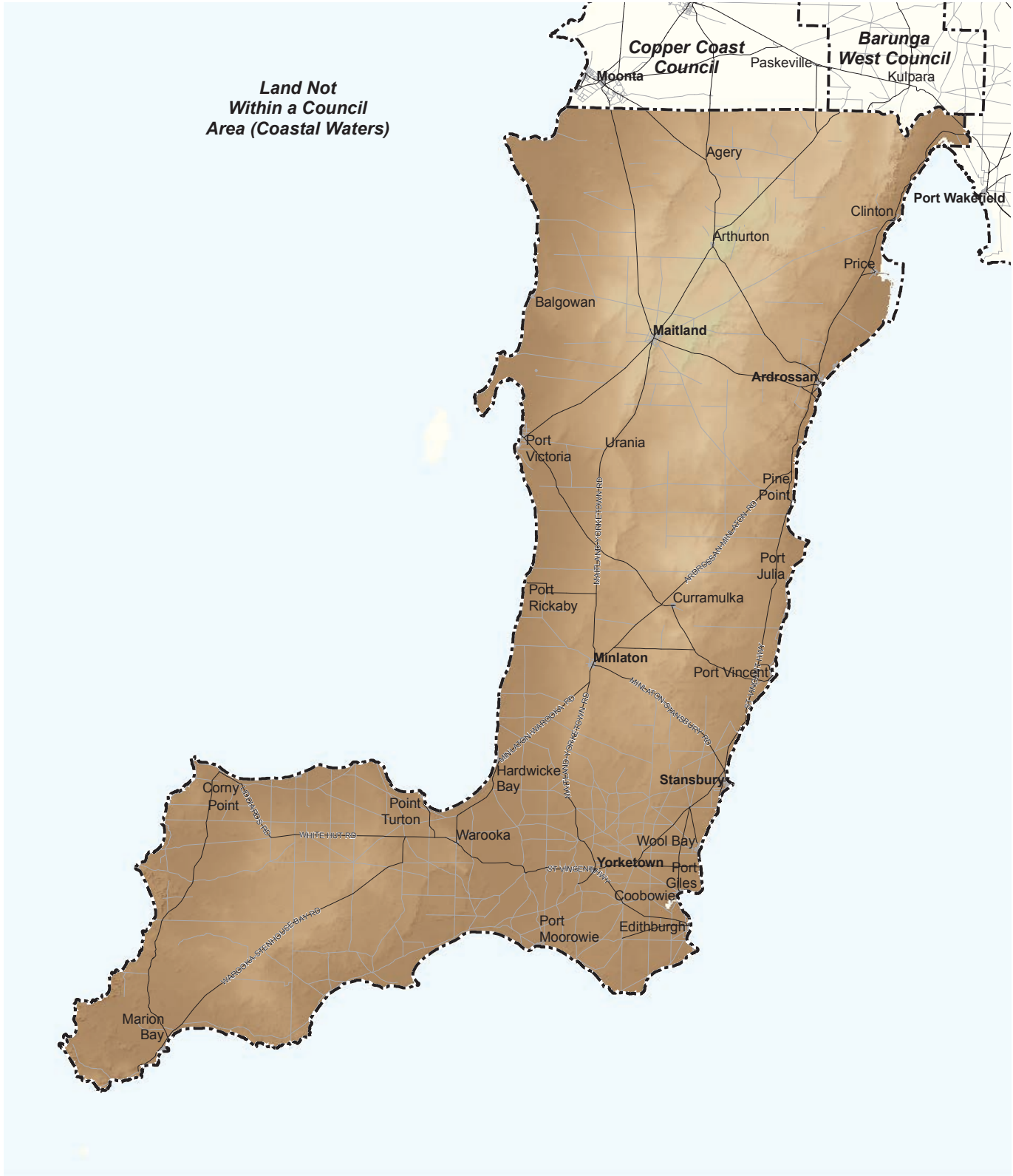
Assessment Section	Function
Extent Map Series Location Maps	<p>Individual overlay and spatial-based maps (based on the Council Index Maps) originate from a single Location Map and 'drill down' through relevant extent maps affecting that location.</p> <p><i>Note: the entire council area will always be represented as the first map in the extent map series and will commence as map 1.</i></p>
Overlay Maps	<p>Used to show issue areas or features that run across a number of zones, and are spatially defined to a cadastre, for example:</p> <ul style="list-style-type: none"> ▪ Transport ▪ Development Constraints ▪ Heritage ▪ Natural Resources ▪ Affordable Housing ▪ Noise and Air Emissions ▪ Strategic Transport Routes. <p><i>Note: issues that are not spatially defined to a cadastre can appear in this section; however they will be presented as illustrative maps only.</i></p>
Zone Maps	Used to determine which zone applies to which land.
Policy Area Maps	Used to depict the presence and location of any applicable policy area.
Precinct Maps	Used to depict the presence and location of any applicable precincts.
Bushfire Maps <i>(where applicable)</i> Bushfire Protection Area BPA Maps - Bushfire Risk	Bushfire Protection Area - BPA Maps are used to determine the potential bushfire risk (high, medium or general), associated with an allotment located within an area prone to bushfires.
Concept Plan Maps	<p>Concept Plans are used to depict graphically key features and conceptual layouts of how specific areas should be developed.</p> <p>Concept Plans appear at the end of the extent map series as a separate section. Concept Plans are consecutively numbered, commencing with number 1.</p>

Further info

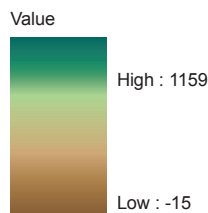
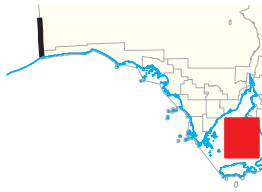
Contact the [District Council of Yorke Peninsula](#).

Visit the Department of Planning, Transport and Infrastructure website: www.saplanningportal.sa.gov.au.

Discuss your matter with your planning consultant.



To identify the precise location of the Development Plan boundary refer to Council Index Map then select the relevant map number.



Council Preface Map

General Section

Advertisements

OBJECTIVES

- 1 Urban and rural landscapes that are not disfigured by advertisements and/or advertising hoardings.
- 2 Advertisements and/or advertising hoardings that do not create a hazard.
- 3 Advertisements and/or advertising hoardings designed to enhance the appearance of the building and locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The location, siting, design, materials, size, and shape of advertisements and/or advertising hoardings should be:
 - (a) consistent with the predominant character of the urban or rural landscape
 - (b) in harmony with any buildings or sites of historic significance or heritage value in the area
 - (c) co-ordinated with and complement the architectural form and design of the building they are to be located on.
- 2 The number of advertisements and/or advertising hoardings associated with a development should be minimised to avoid:
 - (a) clutter
 - (b) disorder
 - (c) untidiness of buildings and their surrounds
 - (d) driver distraction.
- 3 Buildings occupied by a number of tenants should exhibit co-ordinated and complementary advertisements and/or advertising hoardings to identify the tenants and their type of business.
- 4 The content of advertisements should be limited to information relating to the legitimate use of the associated land.
- 5 Advertisements and/or advertising hoardings should:
 - (a) be completely contained within the boundaries of the subject allotment
 - (b) be sited to avoid damage to, or pruning or lopping of, on-site landscaping or street trees
 - (c) not obscure views to vistas or objects of high amenity value.
- 6 Advertisements and/or advertising hoardings should not be erected on:
 - (a) a public footpath or veranda post
 - (b) a road, median strip or traffic island
 - (c) a vehicle adapted and exhibited primarily as an advertisement

- (d) residential land.
- 7 Advertisements and/or advertising hoardings attached to buildings should not be sited on the roof or higher than the walls of a building, unless the advertisement or advertising hoarding is appropriately designed to form an integrated and complementary extension of the existing building.
- 8 Advertisements and/or advertising hoardings erected on a veranda or that project from a building wall should:
- (a) have a **minimum** clearance over a footway of **2.5 metres** to allow for safe and convenient pedestrian access
 - (b) where erected on the side of a veranda, not exceed the width of the veranda or project from the veranda
 - (c) where erected on the front of a veranda, not exceed the length of the veranda or project from the veranda
 - (d) where projecting from a wall, have the edge of the advertisement or advertising hoarding abutting the surface of the wall.
- 9 Advertisements should be designed to conceal their supporting advertising hoarding from view.
- 10 Advertisements should convey the owner/occupier and/or generic type of business, merchandise or services using simple, clear and concise language, symbols, print style and layout and a small number of colours.
- 11 Advertisements which perform a secondary role in identifying the business, goods or services should only be readable in the immediate vicinity of the site.
- 12 Outside of townships and country settlements advertisements other than traffic signs, tourist signs or advertisements on an existing tourist information bay display board, should not be erected in road reserves.

Safety

- 13 Advertisements and/or advertising hoardings should not create a hazard by:
- (a) being so highly illuminated as to cause discomfort to an approaching driver, or to create difficulty in the driver's perception of the road or persons or objects on the road
 - (b) being liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals
 - (c) distracting drivers from the primary driving task at a location especially where the demands on driver concentration are high
 - (d) obscuring a driver's view of other road or rail vehicles at/or approaching level crossings, or of pedestrians or of features of the road that are potentially hazardous (eg junctions, bends, changes in width, traffic control devices).
- 14 Any internally illuminated advertising signs and/or advertising hoardings which utilise LED, LCD or other similar technologies should be located a minimum of 80 metres from traffic signals, level crossings and other important traffic control devices.

Freestanding Advertisements

- 15 Freestanding advertisements and/or advertising hoardings should be:
- (a) limited to only one primary advertisement per site or complex

- (b) not more than 6 metres in height or exceed 6 square metres in advertisement area
 - (c) of a scale and size in keeping with the desired character of the locality and compatible with the development on the site.
- 16 Freestanding advertisements and/or advertising hoardings for multiple-business tenancy complexes should:
- (a) incorporate the name or nature of each business or activity within the site or complex in a single advertisement
 - (b) be integrally designed and mounted below the more predominant main complex or site identity advertisement.
- 17 Portable, easel or A-frame advertisements should be displayed only where:
- (a) no other appropriate opportunity exists for an adequate co-ordinated and permanently erected advertisement and/or advertising hoarding
 - (b) they do not obstruct or compromise the safety of pedestrians or vehicle movement
 - (c) there is no unnecessary duplication or proliferation of advertising information
 - (d) there is no damage to, or removal of, any landscaping on the site
 - (e) the structure is not more than 900 millimetres in height and where the advertisement area per face does not exceed 1 square metre.
- 18 Portable, easel or A-frame advertisements should be limited to only one such advertisement structure per site or complex, or one per major road frontage if located on a corner site.
- 19 Portable, easel or A-frame advertisements associated with a development should be displayed only during the hours the development is open for trading.

Flags, Bunting and Streamers

- 20 Advertisements and/or advertising hoardings incorporating any flags, bunting, streamers, or suspended objects should:
- (a) be placed or arranged to complement and accord with the scale of the associated development
 - (b) other than flags, not be positioned higher than the building they are attached or related to
 - (c) not be displayed in residential areas.

Advertising along Arterial Roads

- 21 Advertising and/or advertising hoardings should not be placed along arterial roads that have a speed limit of 80 km/h or more.

Animal Keeping

OBJECTIVES

- 1 Animals not kept at a density beyond the carrying capacity of the land or water.
- 2 Animal keeping development sited and designed to avoid adverse effects on surrounding development.
- 3 Intensive animal keeping protected from encroachment by incompatible development.
- 4 Ecological sustainable development of the aquaculture industry.
- 5 Marine aquaculture development in marine waters that ensures fair and equitable sharing of marine and coastal resources and minimises conflict with water-based and land-based uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Animal keeping and associated activities should not create adverse impacts on the environment or the amenity of the locality.
- 2 Storage facilities for manure, used litter and other wastes should be designed and sited:
 - (a) to be vermin proof
 - (b) with an impervious base
 - (c) to ensure that all clean rainfall runoff is excluded from the storage area
 - (d) outside the 1-in-100 year average return interval flood event area.

Horse Keeping

- 3 Stables, horse shelters or associated yards should be sited:
 - (a) at least 50 metres from a watercourse
 - (b) on land with a slope no greater than 1-in-10.
- 4 A concrete drainage apron should be provided along the front of stables directing water from wash-down areas onto a suitably vegetated area that can absorb all the water, or into a constructed drainage pit.
- 5 Stables, horse shelters or associated yards should be sited at least 30 metres from any dwelling on the site and from the nearest allotment boundary to avoid adverse impacts from dust, erosion and odour.
- 6 **Horses should be kept within appropriately constructed stables having an attached, fenced and sand-based yard having a dimension of not less than 6 metres by 8 metres.**
- 7 All areas accessible to horses should be separated from septic tank drainage areas.

Dairies

- 8 Dairies and associated wastewater lagoons and liquid/solid waste storage and disposal areas should be located at a distance from nearby dwellings, public roads and outside the 1-in-100 year average return interval flood event area of any watercourse to avoid adverse impacts or nuisance by noise, smell or pollution on nearby sensitive receptors such as dwellings.

- 9 Dairies should include a lagoon for the storage or treatment of milking shed effluent which should be located:
- (a) at least 20 metres from a public road
 - (b) at least 200 metres from any dwelling not located on the land
 - (c) outside any 1-in-100 year average return interval flood event area of any watercourse.

Intensive Animal Keeping

- 10 Intensive animal keeping operations and their associated components, including holding yards, temporary feeding areas, movement lanes and similar, should not be located on land within any of the following areas:
- (a) 800 metres of a public water supply reservoir
 - (b) the 1-in-100 year average return interval flood event area of any watercourse
 - (c) 200 metres of a major watercourse (third order or higher stream)
 - (d) 100 metres of any other watercourse, bore or well used for domestic or stock water supplies
 - (e) 1000 metres from a **Rural Living Zone** or a **Water Protection Zone**
 - (f) 2000 metres of a defined and zoned township, settlement or urban area (except for land based aquaculture)
 - (g) 500 metres of a dwelling (except for a dwelling directly associated with the intensive animal keeping facility).
- 11 Intensive animal keeping operations in uncovered situations should incorporate:
- (a) a controlled drainage system which:
 - (i) diverts runoff from external areas, and
 - (ii) directs surface runoff into an effluent management system that has sufficient capacity to hold run off from the controlled drainage area
 - (b) pen floors which:
 - (i) ensure that effluent does not infiltrate and contaminate groundwater or soil, and
 - (ii) are graded to a consistent uniform slope of between 2 per cent and 6 per cent
 - (c) effluent drainage into an effluent lagoon(s) that has sufficient capacity to hold runoff from the controlled drainage area.
- 12 Intensive animal keeping facilities and associated wastewater lagoons and liquid/solid waste disposal areas should be sited, designed, constructed and managed to avoid adverse odour impacts on nearby sensitive land uses.

Kennels

- 13 The floor of kennels should be constructed of concrete or similar impervious material and be designed to allow for adequate drainage when kennels are cleaned.
- 14 Kennels and exercise yards should be designed and sited to minimise noise nuisance to neighbours through:

- (a) orienting their openings away from sensitive land uses such as dwellings
- (b) siting them as far as practicable from allotment boundaries.

15 Kennels should occur only where there is a permanently occupied dwelling on the land.

Land Based Aquaculture

- 16 Land-based aquaculture and associated components should not be located on land within 500 metres of a defined and zoned township, settlement or urban area.
- 17 Land-based aquaculture ponds should be sited and designed to:
- (a) prevent surface flows from entering the ponds in a 1-in-100 year average return interval flood event
 - (b) prevent pond leakage that would pollute groundwater
 - (c) prevent the farmed species escaping and entering into any waters
 - (d) minimise the need for intake and discharge pipes to traverse sensitive environments.
- 18 Buildings associated with land-based aquaculture should provide enclosed storage areas to accommodate all equipment associated with aquaculture operations in a manner which is integrated with the use of the land.
- 19 Development should ensure that pipe inlet and outlets associated with land-based aquaculture are located to minimise the risk of disease transmission.

Marine Based Aquaculture

- 20 Marine aquaculture and other offshore development should be ecologically sustainable and be located, designed, constructed and managed to:
- (a) minimise adverse impacts on marine habitats and ecosystems, and public access to beaches, public watercourses or the foreshore
 - (b) take into account the requirements of traditional indigenous and commercial fishing grounds
 - (c) ensure satisfactory removal and disposal of litter, disused material, debris, detritus and dead animals from the development
 - (d) prevent the build up of waste.
- 21 In marine waters, marine aquaculture (other than inter tidal aquaculture) and other offshore development should be located a minimum of 100 metres seaward of the high-water mark.
- 22 Marine aquaculture development should not significantly obstruct or adversely affect any of the following:
- (a) areas of high public use
 - (b) areas established for recreational activities
 - (c) areas of outstanding visual, environmental, commercial or tourism value
 - (d) sites, including beaches, used for recreational activities such as swimming, fishing, skiing, sailing and other water sports.
- 23 Marine aquaculture should be sited, designed, constructed and managed to minimise interference and obstruction to the natural processes of the coastal and marine environment.

- 24 Marine aquaculture should be developed in areas where an adequate water current exists to disperse sediments and be sited a sufficient height above the sea floor to:
 - (a) prevent the fouling of waters, publicly owned wetlands or the nearby coastline
 - (b) minimise seabed damage.
- 25 Racks, floats and other farm structures associated with marine aquaculture or other offshore development should where practicable be visually unobtrusive from the shoreline.
- 26 Marine aquaculture development should:
 - (a) use feed hoppers that are painted in subdued colours and suspended as low as possible above the water
 - (b) position structures to protrude the minimum distance practicable above water
 - (c) avoid the use of shelters and structures above cages and platforms unless necessary to exclude predators and protected species from interacting with the farming structures and/or stock inside the cages, or for safety reasons.
- 27 Marine aquaculture should be developed to maintain existing rights of way within or adjacent to a site.
- 28 Marine aquaculture access, launching and maintenance facilities should:
 - (a) where possible, use existing and established roads, tracks, ramps and paths to or from the sea
 - (b) be developed co-operatively and co-located.
- 29 Marine aquaculture and other offshore development should be located at least:
 - (a) 550 metres from a proclaimed shipwreck
 - (b) 1000 metres seaward from the boundary of any reserve under the *National Parks and Wildlife Act 1972*, unless a lesser distance is agreed with the Minister responsible for that *Act*.
- 30 Marine aquaculture development should be located so as not to obstruct nor interfere with navigation channels, access channels, frequently used natural launching sites, safe anchorage areas, known diving areas, commercial shipping lanes or activities associated with existing jetties and wharves.
- 31 Marine aquaculture development should contribute to navigational safety by being:
 - (a) suitably marked for navigational purposes
 - (b) sited to allow an adequate distance between farms for safe navigation
 - (c) located at least 250 metres from a commercial shipping lane
 - (d) comprised of structures that are secured and/or weighted to prevent drifting from the licensed site
 - (e) able to be rehabilitated when no longer operational.

Building near Airfields

OBJECTIVES

- 1 Development that ensures the long-term operational, safety, commercial and military aviation requirements of airfields (airports, airstrips and helicopter landing sites) continue to be met.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The height and location of buildings and structures should not adversely affect the long-term operational, safety, commercial and military aviation requirements of airfields.
- 2 Development in the vicinity of airfields should not create a risk to public safety, in particular through any of the following:
 - (a) lighting glare
 - (b) smoke, dust and exhaust emissions
 - (c) air turbulence
 - (d) storage of flammable liquids
 - (e) attraction of birds
 - (f) reflective surfaces (eg roofs of buildings, large windows)
 - (g) materials that affect aircraft navigational aids.
- 3 Outdoor lighting within 6 kilometres of an airport should be designed so that it does not pose a hazard to aircraft operations.
- 4 Development that is likely to increase the attraction of birds should not be located within 3 kilometres of an airport used by commercial aircraft. If located closer than 3 kilometres the facility should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 5 Dwellings should not be located within areas affected by airport noise.
- 6 Development within areas affected by aircraft noise should be consistent with *Australian Standard AS 2021: Acoustics - Aircraft Noise Intrusion - Building Siting and Construction*.

Bulk Handling and Storage Facilities

OBJECTIVES

- 1 Facilities for the bulk handling and storage of agricultural and other commodities sited and designed to minimise adverse impacts on the landscape and on and from surrounding land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Facilities for the handling, storage and dispatch of commodities in bulk should be:
 - (a) located in bulk handling, industry or primary production type zones
 - (b) sited, designed and operated to minimise risks of contamination to the environment and adverse impacts on nearby sensitive land uses and from surrounding land uses.
- 2 Development of facilities for the handling, transportation and storage of bulk commodities should have:
 - (a) areas set aside on the site of the development for the marshalling and manoeuvring of vehicles attending the site
 - (b) roadways and parking areas surfaced in a manner sufficient to control dust emissions from the site
 - (c) vehicle circulation between activity areas contained within the site and without the need to use public roads
 - (d) landscaping, using locally indigenous plant species wherever practical, established within the site for the purpose of providing shade and shelter, and to assist with screening and dust filtration
 - (e) a buffer area for the establishment of dense landscaping adjacent road frontages
 - (f) security fencing around the perimeter of the site.
- 3 Temporary bunkers for storage should not compromise the efficient circulation and parking of vehicles within the site.
- 4 Access to and from the site should be designed to allow simultaneous movement of vehicles entering and exiting in a forward direction to minimise interference to other traffic using adjacent public roads.

Centres and Retail Development

OBJECTIVES

- 1 Shopping, administrative, cultural, community, entertainment, educational, religious and recreational facilities located in integrated centres.
- 2 Centres that ensure rational, economic and convenient provision of goods and services and provide:
 - (a) a focus for community life
 - (b) safe, permeable, pleasant and accessible walking and cycling networks.
- 3 Promotion of the Maitland, Minlaton, Yorketown, Ardrossan, Port Vincent and Warooka centres as the primary retail and business centres serving the region.
- 4 The provision of a safe pedestrian environment within centres which gives high priority to pedestrians, public and community transport.
- 5 Increased vitality and activity in centres through the introduction and integration of housing.
- 6 Centres developed in accordance with a hierarchy based on function, so that each type of centre provides a proportion of the total requirement of goods and services commensurate with its role.
- 7 Development of centres outside of Greater Adelaide in accordance with the following hierarchy:
 - (a) Regional Centre
 - (b) District Centre
 - (c) Town Centre (for smaller towns with a single centre zone)
 - (d) Local Centre (subsidiary centres for towns with a regional or district centre).

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within centres should:
 - (a) integrate facilities within the zone
 - (b) allow for the multiple use of facilities and the sharing of utility spaces
 - (c) allow for the staging of development within the centre
 - (d) be integrated with public and community transport.
- 2 Development within centres should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.
- 3 Development within centres should provide:
 - (a) public spaces such as malls, plazas and courtyards

- (b) street furniture, including lighting, signs, litter bins, seats and bollards, that is sited and designed to complement the desired character
 - (c) unobtrusive facilities for the storage and removal of waste materials
 - (d) public facilities including toilets, infant changing facilities for parents, seating, litter bins, telephones and community information boards
 - (e) access for public and community transport and sheltered waiting areas for passengers
 - (f) lighting for pedestrian paths, buildings and associated areas
 - (g) a single landscaping theme
 - (h) safe and secure bicycle parking.
- 4 A single architectural theme should be established within centres through:
- (a) constructing additions or other buildings in a style complementary to the existing shopping complex
 - (b) renovating the existing shopping complex to complement new additions and other buildings within the centre
 - (c) employing a signage theme.
- 5 The design of undercroft or semi-basement car parking areas should not detract from the visual quality and amenity of adjacent pedestrian paths, streets or public spaces.
- 6 Undercroft or semi-basement car parking areas should not project above natural or finished ground level by more than 1 metre.

Retail Development

- 7 A shop or group of shops with a gross leaseable area of greater than 250 square metres should be located within a centre zone.
- 8 A shop or group of shops with a gross leaseable area of less than 250 square metres should not be located on arterial roads unless within a centre zone.
- 9 A shop or group of shops located outside of zones that allow for retail development should:
- (a) be of a size and type that will not hinder the development, function or viability of any centre zone
 - (b) not demonstrably lead to the physical deterioration of any designated centre
 - (c) be developed taking into consideration its effect on adjacent development.
- 10 Bulky goods outlets located within centres zones should:
- (a) complement the overall provision of facilities
 - (b) be sited towards the periphery of those centres where the bulky goods outlet has a gross leaseable area of 500 square metres or more.

Coastal Areas

OBJECTIVES

- 1 The protection and enhancement of the natural coastal environment, including environmentally important features of coastal areas such as mangroves, wetlands, sand dunes, cliff-tops, native vegetation, wildlife habitat shore and estuarine areas.
- 2 Protection of the physical and economic resources of the coast from inappropriate development.
- 3 Preservation of areas of high landscape and amenity value including stands of vegetation, shores, exposed cliffs, headlands, islands and hill tops, and areas which form an attractive background to urban and tourist areas.
- 4 Development that maintains and/or enhances public access to coastal areas with minimal impact on the environment and amenity.
- 5 Development only undertaken on land which is not subject to or that can be protected from coastal hazards including inundation by storm tides or combined storm tides and stormwater, coastal erosion or sand drift, and probable sea level rise.
- 6 Development that can accommodate anticipated changes in sea level due to natural subsidence and probable climate change during the first 100 years of the development.
- 7 Development which will not require, now or in the future, public expenditure on protection of the development or the environment.
- 8 Management of development in coastal areas to sustain or enhance the remaining natural coastal environment.
- 9 Low intensity recreational uses located where environmental impacts on the coast will be minimal.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be compatible with the coastal environment in terms of built-form, appearance and landscaping including the use of walls and low pitched roofs of non-reflective texture and natural earth colours.

Environmental Protection

- 2 The coast should be protected from development that would adversely affect the marine and onshore coastal environment, whether by pollution, erosion, damage or depletion of physical or biological resources, interference with natural coastal processes or any other means.
- 3 Development should not be located in delicate or environmentally-sensitive coastal features such as sand dunes, cliff-tops, wetlands or substantially intact strata of native vegetation.
- 4 Development should not be undertaken where it will create or aggravate coastal erosion, or where it will require coast protection works which cause or aggravate coastal erosion.
- 5 Development should be designed so that solid/fluid wastes and stormwater runoff is disposed of in a manner that will not cause pollution or other detrimental impacts on the marine and on-shore environment of coastal areas.
- 6 Effluent disposal systems incorporating soakage trenches or similar should prevent effluent migration onto the inter-tidal zone and be sited at least 100 metres from whichever of the following requires the greater distance:

- (a) the mean high-water mark at spring tide, adjusted for any subsidence for the first 50 years of development plus a sea level rise of 1 metre
 - (b) the nearest boundary of any erosion buffer determined in accordance with the relevant provisions in this Development Plan.
- 7 Development that proposes to include or create confined coastal waters, as well as water subject to the ebb and flow of the tide should be designed to ensure the quality of such waters is maintained at an acceptable level.
- 8 Development should be designed and sited so that it does not prevent natural landform and ecological adjustment to changing climatic conditions and sea levels and should allow for the following:
- (a) the unrestricted landward migration of coastal wetlands
 - (b) new areas to be colonised by mangroves, samphire and wetland species
 - (c) sand dune drift
 - (d) where appropriate, the removal of embankments that interfere with the abovementioned processes.

Maintenance of Public Access

- 9 Development should maintain or enhance public access to and along the foreshore.
- 10 Development should provide for a public thoroughfare between the development and any coastal reserve.
- 11 Other than small-scale infill development in a predominantly urban zone, development adjacent to the coast should not be undertaken unless it incorporates an existing or proposed public reserve, not including a road or erosion buffer, of at least 50 metres width between the development and the landward toe of the frontal dune or the top edge of an escarpment.
- 12 If an existing reserve is less than 50 metres wide, the development should incorporate an appropriate width of reserve to achieve a total 50 metres wide reserve.
- 13 Except where otherwise specified in a particular zone or policy area, buildings on land abutting coastal reserves should be set back either a distance of 8 metres from any boundary with the reserve or in line with adjacent development, whichever is the greater distance.
- 14 Development that abuts or includes a coastal reserve should be sited and designed to be compatible with the purpose, management and amenity of the reserve, as well as to prevent inappropriate access to the reserve.
- 15 Development, including marinas and aquaculture, should be located and designed to ensure convenient public access along the waterfront to beaches and coastal reserves is maintained, and where possible enhanced through the provision of one or more of the following:
- (a) pedestrian pathways and recreation trails
 - (b) coastal reserves and lookouts
 - (c) recreational use of the water and waterfront
 - (d) safe public boating facilities at selected locations
 - (e) vehicular access to points near beaches and points of interest
 - (f) car parking.

- 16 Where a development such as a marina creates new areas of waterfront, provision should be made for public access to, and recreational use of, the waterfront and the water.
- 17 Public access through sensitive coastal landforms, particularly sand dunes, wetlands and cliff faces, should be restricted to defined pedestrian paths constructed to minimise adverse environmental impact.
- 18 Access roads to the coast and lookouts should preferably be spur roads rather than through routes, other than tourist routes where they:
 - (a) do not detract from the amenity or the environment
 - (b) are designed for slow moving traffic
 - (c) provide adequate car parking.

Hazard Risk Minimisation

- 19 Development and its site should be protected against the standard sea-flood risk level which is defined as the 1-in-100 year average return interval flood extreme sea level (tide, stormwater and associated wave effects combined), plus an allowance to accommodate land subsidence until the year 2100.
- 20 Development including associated roads and parking areas, other than minor structures unlikely to be adversely affected by flooding, should be protected from sea level rise by ensuring all of the following apply:
 - (a) site and building floor levels are in accordance with those outlined in [Table YoP/1 - Coastal Areas: Site/Building Floor Levels](#)
 - (b) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres, plus an allowance to accommodate land subsidence until the year 2100 at the site.
- 21 Buildings to be sited over tidal water or which are not capable of being raised or protected by flood protection measures in future, should have a floor level of at least 1.25 metres above the standard sea-flood risk level.
- 22 Development that requires protection measures against coastal erosion, sea or stormwater flooding, sand drift or the management of other coastal processes at the time of development, or in the future, should only be undertaken if all of the following apply:
 - (a) the measures themselves will not have an adverse effect on coastal ecology, processes, conservation, public access and amenity
 - (b) the measures do not nor will not require community resources, including land, to be committed
 - (c) the risk of failure of measures such as sand management, levee banks, flood gates, valves or stormwater pumping, is acceptable relative to the potential hazard resulting from their failure
 - (d) binding agreements are in place to cover future construction, operation, maintenance and management of the protection measures
- 23 Development should not compromise the structural integrity of any sea wall or levee bank adjacent to the foreshore, or compromise its capacity to protect against coastal flooding and erosion.

Erosion Buffers

- 24 Development should be set back a sufficient distance from the coast to provide an erosion buffer (in addition to a public reserve) which will allow for at least 100 years of coastal retreat for single buildings or small scale developments, or 200 years of coastal retreat for large scale developments (ie new townships) unless either of the following applies:

- (a) the development incorporates appropriate private coastal protection measures to protect the development and public reserve from the anticipated erosion.
 - (b) the council is committed to protecting the public reserve and development from the anticipated coastal erosion.
- 25 Where a coastal reserve exists or is to be provided it should be increased in width by the amount of any required erosion buffer. The width of an erosion buffer should be based on the following:
- (a) the susceptibility of the coast to erosion
 - (b) local coastal processes
 - (c) the effect of severe storm events
 - (d) the effect of a 0.3 metres sea level rise over the next 50 years on coastal processes and storms
 - (e) the availability of practical measures to protect the development from erosion caused by a further sea level rise of 0.7 metres per 50 years thereafter.
- 26 Development should not occur where essential services cannot be economically provided and maintained having regard to flood risk and sea level rise, or where emergency vehicle access would be prevented by a 1-in-100 year average return interval flood event, adjusted for 100 years of sea level rise.

Land Division

- 27 Land in coastal areas should only be divided if:
- (a) it or the subsequent development and use of the land will not adversely affect the management of the land, adjoining land or the coast
 - (b) sand dunes, wetlands and substantially intact strata of native vegetation are maintained or consolidated within single allotments.
- 28 Land division in coastal areas outside of designated urban or settlement zones should not increase either of the following:
- (a) the number of allotments abutting the coast or a reserve
 - (b) the number of allotments, including community title allotments and those that incorporate rights of way, with direct access to the coast or a reserve.
- 29 Land should not be divided for commercial, industrial or residential purposes unless a layout can be achieved whereby roads, parking areas and development sites on each allotment are at least 0.3 metres above the standard sea-flood risk level, unless the land is, or can be provided with appropriate coastal protection measures.

Protection of Economic Resources

- 30 Development should be sited, designed and managed so as not to conflict with or jeopardise the continuance of an existing aquaculture development.

Development in Appropriate Locations

- 31 Development along the coast should be in the form of infill in existing developed areas or concentrated into appropriately chosen nodes and not be in a scattered or linear form.
- 32 Development of a kind or scale (eg commercial or large-scale retail) that does not require a coastal location and would not significantly contribute to the community's enjoyment of the coast should not be located in coastal areas.

Community Facilities

OBJECTIVES

- 1 Location of community facilities including social, health, welfare, education and recreation facilities where they are conveniently accessible to the population they serve.
- 2 The proper provision of public and community facilities including the reservation of suitable land in advance of need.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Community facilities should be sited and developed to be accessible by pedestrians, cyclists and public and community transport.
- 2 Community facilities should be integrated in their design to promote efficient land use.
- 3 Design of community facilities should encourage flexible and adaptable use of open space and facilities for a range of uses over time.

Crime Prevention

OBJECTIVES

- 1 A safe, secure, crime resistant environment where land uses are integrated and designed to facilitate community surveillance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be designed to maximise surveillance of public spaces through the incorporation of clear lines of sight, appropriate lighting and the use of visible permeable barriers wherever practicable.
- 2 Buildings should be designed to overlook public and communal streets and public open space to allow casual surveillance.
- 3 Development should provide a robust environment that is resistant to vandalism and graffiti.
- 4 Development should provide lighting in frequently used public spaces including those:
 - (a) along dedicated cyclist and pedestrian pathways, laneways and access routes
 - (b) around public facilities such as toilets, telephones, bus stops, seating, litter bins, automatic teller machines, taxi ranks and car parks.
- 5 Development, including car park facilities should incorporate signage and lighting that indicate the entrances and pathways to, from and within sites.
- 6 Landscaping should be used to assist in discouraging crime by:
 - (a) screen planting areas susceptible to vandalism
 - (b) planting trees or ground covers, rather than shrubs, alongside footpaths
 - (c) planting vegetation other than ground covers a minimum distance of 2 metres from footpaths to reduce concealment opportunities.
- 7 Site planning, buildings, fences, landscaping and other features should clearly differentiate public, communal and private areas.
- 8 Buildings should be designed to minimise and discourage access between roofs, balconies and windows of adjoining dwellings.
- 9 Public toilets should be located, sited and designed:
 - (a) to promote the visibility of people entering and exiting the facility (eg by avoiding recessed entrances and dense shrubbery that obstructs passive surveillance)
 - (b) near public and community transport links and pedestrian and cyclist networks to maximise visibility.
- 10 Development should avoid pedestrian entrapment spots and movement predictors (eg routes or paths that are predictable or unchangeable and offer no choice to pedestrians).

Design and Appearance

OBJECTIVES

- 1 Development of a high architectural standard that responds to and reinforces positive aspects of the local environment and built form.
- 2 Roads, open spaces, buildings and land uses laid out and linked so that they are easy to understand and navigate.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The design of a building may be of a contemporary nature and exhibit an innovative style provided the overall form is sympathetic to the scale of development in the locality and with the context of its setting with regard to shape, size, materials and colour.
- 2 Buildings should be designed and sited to avoid creating extensive areas of uninterrupted walling facing areas exposed to public view.
- 3 Buildings should be designed to reduce their visual bulk and provide visual interest through design elements such as:
 - (a) articulation
 - (b) colour and detailing
 - (c) small vertical and horizontal components
 - (d) design and placing of windows
 - (e) variations to facades.
- 4 Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise:
 - (a) the visual impact of the building as viewed from adjoining properties
 - (b) overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings.
- 5 Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like, should:
 - (a) not have the underside of the building higher than 1.2 metres above finished ground level
 - (b) have their suspended footings enclosed around the perimeter of the building with brickwork or timber, and the use of verandas, pergolas and other suitable architectural detailing to give the appearance of a permanent structure.
- 6 The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties or drivers.
- 7 Structures located on the roofs of buildings to house plant and equipment should form an integral part of the building design in relation to external finishes, shaping and colours.

- 8 Development in the form of Quaker or American barn-style buildings should only be established where they are consistent in appearance, scale and style with existing development in the locality, and should:
 - (a) include a carport, veranda or pergola which is integrated into the design of the building
 - (b) be designed and constructed with masonry and/or rendered finishes to the walls, and factory colour-coated metal roof sheeting which does not include colours of a white or off-white nature
 - (c) incorporate fencing and landscaping around the building to reduce the visual impact of such buildings on the locality.
- 9 Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.
- 10 Development should provide clearly recognisable links to adjoining areas and facilities.
- 11 Buildings, landscaping, paving and signage should have a co-ordinated appearance that maintains and enhances the visual attractiveness of the locality.
- 12 Buildings (other than ancillary buildings or group dwellings) should be designed so that their main façade faces the primary street frontage of the land on which they are situated.
- 13 Where applicable, development should incorporate verandas over footpaths to enhance the quality of the pedestrian environment.
- 14 Development should be designed and sited so that outdoor storage, loading and service areas are screened from public view by an appropriate combination of built form, solid fencing and/or landscaping.
- 15 Outdoor lighting should not result in light spillage on adjacent land.
- 16 Balconies should:
 - (a) be integrated with the overall architectural form and detail of the building
 - (b) be sited to face predominantly north, east or west to provide solar access
 - (c) have a minimum area of 2 square metres.

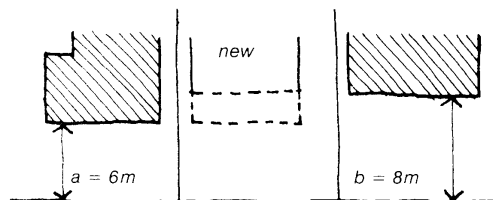
Building Setbacks from Road Boundaries

- 17 The setback of buildings from public roads should:
 - (a) be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality
 - (b) contribute positively to the function, appearance and/or desired character of the locality.
- 18 Except where specified in a particular zone, policy area or precinct, the main face of a building should be set back from the primary road frontage in accordance with the following table:

Setback difference between buildings on adjacent allotments	Setback of new building
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Up to 2 metres

The same setback as one of the adjacent buildings, as illustrated below:



When $b - a \leq 2$, setback of new dwelling = a or b

Greater than 2 metres

At least the average setback of the adjacent buildings.

- 19 Except where specified in a particular zone, policy area, or precinct, buildings and structures should be set back from road boundaries having regard to the requirements set out in [Table YoP/2 - Building Setbacks from Road Boundaries](#).
- 20 Except where specified in a zone, policy area or precinct, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality.

Energy Efficiency

OBJECTIVES

- 1 Development designed and sited to conserve energy.
- 2 Development that provides for on-site power generation including photovoltaic cells and wind power.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should provide for efficient solar access to buildings and open space all year around.
- 2 Buildings should be sited and designed:
 - (a) to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings
 - (b) so that open spaces associated with the main activity areas face north for exposure to winter sun.

On-site Energy Generation

- 3 Development should facilitate the efficient use of photovoltaic cells and solar hot water systems by:
 - (a) taking into account overshadowing from neighbouring buildings
 - (b) designing roof orientation and pitches to maximise exposure to direct sunlight.
- 4 Public infrastructure and lighting should be designed to generate and use renewable energy.

Forestry

OBJECTIVES

- 1 Forestry development that is designed and sited to maximise environmental and economic benefits whilst managing potential negative impacts on the environment, transport networks and surrounding land uses and landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Forestry plantations should not be undertaken if they will cause or require the clearance of valued trees or substantially intact strata of vegetation, or detrimentally affect the physical environment or scenic quality of the rural landscape.
- 2 Forestry plantations should not occur:
 - (a) on land with a slope exceeding 20 degrees
 - (b) within a separation distance (which may include forestry firebreaks and vehicle access tracks) of 50 metres of either of the following:
 - (i) any dwelling including those on an adjoining allotment
 - (ii) a reserve gazetted under the *National Parks and Wildlife Act 1972* or *Wilderness Protection Act 1992*.
- 3 Forestry plantations should:
 - (a) not involve cultivation (excluding spot cultivation) in drainage lines or within 20 metres of a major watercourse (a third order or higher watercourse), lake, reservoir, wetland and sinkhole (direct connection to aquifer)
 - (b) incorporate artificial drainage lines (ie culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas
 - (c) retain a minimum 10 metre width separation distance immediately to either side of a watercourse (a first or second order watercourse) and sinkhole (no-direct connection to aquifer). This separation distance should contain locally indigenous vegetation (including grasses) and unmodified topography to ensure water flow.
- 4 Forestry plantations should incorporate:
 - (a) 7 metre wide external boundary firebreaks for plantations of 40 hectares or less
 - (b) 10 metre wide external boundary firebreaks for plantations of between 40 and 100 hectares
 - (c) 20 metre wide external boundary firebreaks, or 10 metres with an additional 10 metres of fuel-reduced plantation, for plantations of 100 hectares or greater.
- 5 Forestry plantations should incorporate vehicle access tracks:
 - (a) within all firebreaks
 - (b) of a minimum width of 7 metres with a vertical clearance of 4 metres

- (c) that are aligned to provide straight through access at junctions, or if they are a no through access track they are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles
 - (d) that partition the plantation into units not exceeding 40 hectares in area.
- 6 Forestry plantations should ensure the clearances from power lines listed in the Table following are maintained when planting trees with an expected mature height of more than 6 metres:

Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines (in metres)
500 kV	Tower	38
275 kV	Tower	25
132 kV	Tower	30
132 kV	Pole	20
66 kV	Pole	20
Less than 66 kV	Pole	20

Hazards

OBJECTIVES

- 1 Maintenance of the natural environment and systems by limiting development in areas susceptible to natural hazard risk.
- 2 Development located away from areas that are vulnerable to, and cannot be adequately and effectively protected from the risk of natural hazards.
- 3 Critical community facilities such as hospitals, emergency control centres, major service infrastructure facilities, and emergency service facilities located where they are not exposed to natural hazard risks.
- 4 Development located and designed to minimise the risks to safety and property from flooding.
- 5 Development located to minimise the threat and impact of bushfires on life and property.
- 6 Expansion of existing non-rural uses directed away from areas of high bushfire risk.
- 7 The environmental values and ecological health of receiving waterways and marine environments protected from the release of acid water resulting from the disturbance of acid sulfate soils.
- 8 Protection of human health and the environment wherever site contamination has been identified or is suspected to have occurred.
- 9 Appropriate assessment and remediation of site contamination to ensure land is suitable for the proposed use and provides a safe and healthy living and working environment.
- 10 Minimisation of harm to life, property and the environment through appropriate location of development and appropriate storage, containment and handling of hazardous materials.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be excluded from areas that are vulnerable to, and cannot be adequately and effectively protected from, the risk of hazards.
- 2 There should not be any significant interference with natural processes in order to reduce the exposure of development to the risk of natural hazards.

Flooding

- 3 Development should not occur on land where the risk of flooding is likely to be harmful to safety or damage property.
- 4 Development should not be undertaken in areas liable to inundation by tidal, drainage or flood waters unless the development can achieve all of the following:
 - (a) it is developed with a public stormwater system capable of catering for a 1-in-100 year average return interval flood event
 - (b) buildings are designed and constructed to prevent the entry of floodwaters in a 1-in-100 year average return interval flood event.
- 5 Development, including earthworks associated with development, should not do any of the following:
 - (a) impede the flow of floodwaters through the land or other surrounding land

- (b) increase the potential hazard risk to public safety of persons during a flood event
 - (c) aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood
 - (d) cause any adverse effect on the floodway function
 - (e) increase the risk of flooding of other land
 - (f) obstruct a watercourse.
- 6 Provision for stormwater ponding shall be made within areas subject to a 1-in-100 year average return interval flood event at Edithburgh as shown on *Overlay Map YoP/53 – Development Constraints*.
- 7 Development at Edithburgh on land shown on *Overlay Map YoP/53 – Development Constraints* should have a minimum floor level of:
- (a) 2.80 metres Australian Height Datum on land subject to a 1-in-100 year average return interval flood event within the West Street Catchment
 - (b) 6.20 metres Australian Height Datum on land subject to a 1-in-100 year average return interval flood event within the Park Terrace South Catchment
 - (c) 7.1 metres Australian Height Datum or 200 millimetres above top of kerb at the adjacent road, whichever is higher, within the Thomas Street Catchment
 - (d) 7.30 metres Australian Height Datum on land subject to a 1-in-100 year average return interval flood event within the Lehman Road Catchment.

Bushfire

- 8 The following bushfire protection principles of development control apply to development of land identified as *General, Medium and High Bushfire Risk* areas as shown on the *Bushfire Protection Area BPA Maps - Bushfire Risk*.
- 9 Development in a Bushfire Protection Area should be in accordance with those provisions of the *Minister's Code: Undertaking development in Bushfire Protection Areas* that are designated as mandatory for Development Plan Consent purposes.
- 10 Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:
- (a) vegetation cover comprising trees and/or shrubs
 - (b) poor access
 - (c) rugged terrain
 - (d) inability to provide an adequate building protection zone
 - (e) inability to provide an adequate supply of water for fire-fighting purposes.
- 11 Residential, tourist accommodation and other habitable buildings should:
- (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect
 - (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation
 - (c) have a dedicated and accessible water supply available at all times for fire fighting.

- 12 Extensions to existing buildings, outbuildings and other ancillary structures should be sited and constructed using materials to minimise the threat of fire spread to residential, tourist accommodation and other habitable buildings in the event of bushfire.
- 13 Buildings and structures should be designed and configured to reduce the impact of bushfire through using simple designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.
- 14 Land division for residential or tourist accommodation purposes within areas of high bushfire risk should be limited to those areas specifically set aside for these uses.
- 15 Where land division does occur it should be designed to:
 - (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel
 - (b) minimise the extent of damage to buildings and other property during a bushfire
 - (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire
 - (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 16 Vehicle access and driveways to properties and public roads created by land division should be designed and constructed to:
 - (a) facilitate safe and effective operational use for fire-fighting and other emergency vehicles and residents
 - (b) provide for two-way vehicular access between areas of fire risk and the nearest public road.
- 17 Olive orchards should be located and developed in a manner that minimises their potential to fuel bushfires.

Salinity

- 18 Development should not increase the potential for, or result in an increase in, soil and water salinity.
- 19 Preservation, maintenance and restoration of locally indigenous plant species should be encouraged in areas affected by dry land salinity.
- 20 Irrigated horticulture and pasture should not increase groundwater-induced salinity.

Acid Sulfate Soils

- 21 Development and activities, including excavation and filling of land, that may lead to the disturbance of potential or actual acid sulfate soils should be avoided unless such disturbances are managed in a way that effectively avoids the potential for harm or damage to any of the following:
 - (a) the marine and estuarine environment
 - (b) natural water bodies and wetlands
 - (c) agricultural or aquaculture activities
 - (d) buildings, structures and infrastructure
 - (e) public health.

- 22 Development, including primary production, aquaculture activities and infrastructure, should not proceed unless it can be demonstrated that the risk of releasing acid water resulting from the disturbance of acid sulfate soils is minimal.

Site Contamination

- 23 Development, including land division, should not occur where site contamination has occurred unless the site has been assessed and remediated as necessary to ensure that it is suitable and safe for the proposed use.

Containment of Chemical and Hazardous Materials

- 24 Hazardous materials should be stored and contained in a manner that minimises the risk to public health and safety and the potential for water, land or air contamination.
- 25 Development that involves the storage and handling of hazardous materials should ensure that these are contained in designated areas that are secure, readily accessible to emergency vehicles, impervious, protected from rain and stormwater intrusion and other measures necessary to prevent:
- (a) discharge of polluted water from the site
 - (b) contamination of land
 - (c) airborne migration of pollutants
 - (d) potential interface impacts with sensitive land uses.

Landslip

- 26 Development, including associated cut and fill activities, should not lead to an increased danger from land surface instability or to the potential of landslip occurring on the site or on surrounding land.
- 27 Development on steep slopes should promote the retention and replanting of vegetation as a means of stabilising and reducing the possibility of surface movement or disturbance.
- 28 Development in areas susceptible to landslip should:
- (a) incorporate split level designs to minimise cutting into the slope
 - (b) ensure that cut and fill and heights of faces are minimised
 - (c) ensure cut and fill is supported with engineered retaining walls or are battered to appropriate grades
 - (d) control any erosion that will increase the gradient of the slope and decrease stability
 - (e) ensure the siting and operation of an effluent drainage field does not contribute to landslip
 - (f) provide drainage measures to ensure surface stability is not compromised
 - (g) ensure natural drainage lines are not obstructed.

Heritage Places

OBJECTIVES

- 1 The conservation of State and local heritage places.
- 2 The continued use, or adaptive re-use of State and local heritage places that supports the conservation of their cultural significance.
- 3 Conservation of the setting of State and local heritage places.
- 4 Protection and conservation of Aboriginal heritage of archeological significance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 A heritage place spatially located on *Overlay Maps - Heritage* and more specifically identified in [Table YoP/6 - State Heritage Places](#) should not be demolished, destroyed or removed, in total or in part, unless either of the following apply:
 - (a) that portion of the place to be demolished, destroyed or removed is excluded from the extent of the places identified in the Table
 - (b) the structural condition of the place represents an unacceptable risk to public or private safety.
- 2 Development of a State or local heritage place should retain those elements contributing to its heritage value, which may include (but not be limited to):
 - (a) principal elevations
 - (b) important vistas and views to and from the place
 - (c) setting and setbacks
 - (d) building materials
 - (e) outbuildings and walls
 - (f) trees and other landscaping elements
 - (g) access conditions (driveway form/width/material)
 - (h) architectural treatments
 - (i) the use of the place.
- 3 Development of a State or local heritage place should be compatible with the heritage value of the place.
- 4 Original unpainted plaster, brickwork, stonework, or other masonry of existing State or local heritage places should be preserved, unpainted.
- 5 New buildings should not be placed or erected between the front street boundary and the façade of existing State or local heritage places.

- 6 Development that materially affects the context within which the heritage place is situated should be compatible with the heritage place. It is not necessary to replicate historic detailing, however design elements that should be compatible include, but are not limited to:
 - (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as rooflines, openings, fencing and landscaping
 - (e) colour and texture of external materials.
- 7 The introduction of advertisements and signage to a State or local heritage place should:
 - (a) be placed on discrete elements of its architecture such as parapets and wall panels, below the canopy, or within fascias and infill end panels and windows
 - (b) not conceal or obstruct historical detailing of the heritage place
 - (c) not project beyond the silhouette or skyline of the heritage place
 - (d) not form a dominant element of the place.
- 8 The division of land adjacent to or containing a State or local heritage place should occur only where it will:
 - (a) create an allotment pattern that maintains or reinforces the integrity of the heritage place and the character of the surrounding area
 - (b) create an allotment or allotments of a size and dimension that can accommodate new development that will reinforce and complement the heritage place and the zone or policy area generally
 - (c) be of a size and dimension that will enable the siting and setback of new buildings from allotment boundaries so that they do not overshadow, dominate, encroach on or otherwise impact on the setting of the heritage place
 - (d) provide an area for landscaping of a size and dimension that complements the landscape setting of the heritage place and the landscape character of the locality
 - (e) enable the State or local heritage place to have a curtilage of a size sufficient to protect its setting.

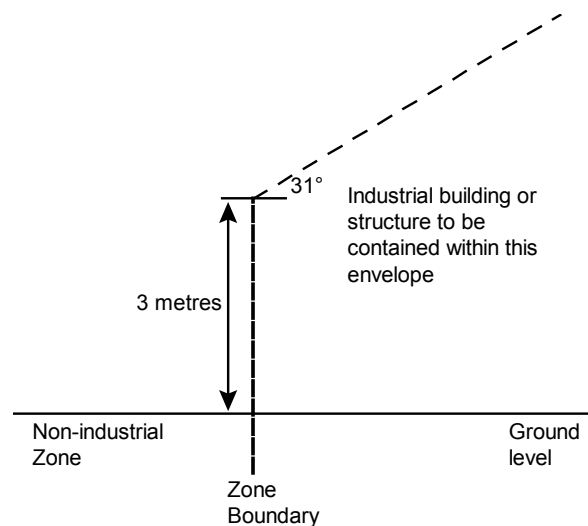
Industrial Development

OBJECTIVES

- 1 Industrial, warehouse, storage and transport distribution development on appropriately located land, integrated with transport networks and designed to minimise potential impact on these networks.
- 2 Industrially zoned allotments and uses protected from encroachment by adjoining uses that would reduce industrial development or expansion.
- 3 Industrial development occurring without adverse effects on the health and amenity of occupiers of land in adjoining zones.
- 4 Compatibility between industrial uses within industrial zones.
- 5 The improved amenity of industrial areas.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Offices and showrooms associated with industrial, warehouse, storage and transport development should be sited at the front of the building with direct and convenient pedestrian access from the main visitor parking area.
- 2 Any building or structure on, or abutting the boundary of, a non-industrial zone should be restricted to a height of 3 metres above ground level at the boundary and a plane projected at 31 degrees above the horizontal into the development site from that 3 metre height, as shown in the following diagram:



- 3 Industrial development should enable all vehicles to enter and exit the site in a forward direction.
- 4 Industrial development abutting an arterial road, a non-industrial zone boundary, or significant open space should be developed in a manner that does not create adverse visual impacts on the locality.
- 5 Building facades facing a non-industrial zone, public road, or public open space should:
 - (a) use a variety of building finishes
 - (b) not consist solely of metal cladding

- (c) contain materials of low reflectivity
 - (d) incorporate design elements to add visual interest
 - (e) avoid large expanses of blank walls.
- 6 Industrial development should minimise significant adverse impact on adjoining uses due to hours of operation, traffic, noise, fumes, smell, dust, paint or other chemical over-spray, vibration, glare or light spill, electronic interference, ash or other harmful or nuisance-creating impacts.
- 7 Landscaping should be incorporated as an integral element of industrial development along non-industrial zone boundaries and, where it abuts a **Residential Zone**, solid screen fencing to a height of 1.8 metres should be also provided.
- 8 Development should provide landscaped areas comprising at least 10 per cent of the site area and which incorporate:
- (a) a landscape strip adjacent to public roads that has a minimum width of 3 metres
 - (b) 20 per cent of all plantings being in the form of trees capable of growing to at least the height of the main building on the land.
- 9 Fencing (including colour-coated wire mesh fencing) adjacent to public roads should be set back in one of the following ways:
- (a) in line with the building facade
 - (b) behind the building line
 - (c) behind a landscaped area that softens its visual impact.
- 10 Marine aquaculture onshore storage, cooling and processing facilities should not impair the coastline and its visual amenity and should:
- (a) be sited, designed, landscaped and developed at a scale and using external materials that minimise any adverse visual impact on the coastal landscape
 - (b) be sited and designed with appropriate vehicular access arrangement
 - (c) include appropriate waste treatment and disposal.

Infrastructure

OBJECTIVES

- 1 Infrastructure provided in an economical and environmentally sensitive manner.
- 2 Infrastructure, including social infrastructure, provided in advance of need.
- 3 Suitable land for infrastructure identified and set aside in advance of need.
- 4 The visual impact of infrastructure facilities minimised.
- 5 The efficient and cost-effective use of existing infrastructure.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not occur without the provision of adequate utilities and services, including:
 - (a) electricity supply
 - (b) water supply
 - (c) drainage and stormwater systems
 - (d) waste disposal
 - (e) effluent disposal systems
 - (f) formed all-weather public roads
 - (g) telecommunications services
 - (h) social infrastructure, community services and facilities
 - (i) gas services.
- 2 Development should only occur where it provides, or has access to, relevant easements for the supply of infrastructure.
- 3 Development should incorporate provision for the supply of infrastructure services to be located within common service trenches where practicable.
- 4 Development should not take place until adequate and co-ordinated drainage of the land is assured.
- 5 Development in urban areas should not occur without provision of an adequate reticulated domestic quality mains water supply and an appropriate waste treatment system.
- 6 In areas where no reticulated water supply is available, development should provide for an adequate and reliable on-site water storage system having a capacity of at least 45 000 litres which is connected to the development.
- 7 In areas where an unrestricted reticulated water supply is available, development should provide for and be connected to an adequate and reliable on-site water storage system having a capacity of at least 10 000 litres.

- 8 In areas where a restricted reticulated water supply is available, development should provide for an adequate and reliable on-site water storage system having a capacity of at least 10 000 litres which should be:
 - (a) connected to and trickle fed from the reticulated water supply at a rate of not less than 2.5 litres per minute
 - (b) used in connection with an on-site pump of sufficient capacity to reticulate water to a dwelling and throughout the site generally
 - (c) interconnected to a roof collection rainwater system that is subject to the installation of a residential dual check valve in compliance with *Australian Standard AS 2845: Water supply - Backflow prevention devices - Materials, design and performance requirements*.
- 9 The on-site storage of stormwater and water run-off for water supply purposes to development should be adopted in preference to the extension and/or augmentation of an existing reticulated water supply system where:
 - (a) sufficient land is available to accommodate on-site water storage at the volumes required, namely 45 000 litres of storage where there is no reticulated water supply and 10 000 litres of storage where there is a reticulated water supply
 - (b) roof areas of the development are sufficient to provide a water supply of a volume necessary to supply the development.
- 10 Electricity infrastructure should be designed and located to minimise its visual and environmental impacts.
- 11 In urban areas, electricity supply serving new development should be installed underground.
- 12 Utilities and services, including access roads and tracks, should be sited on areas already cleared of native vegetation. If this is not possible, their siting should cause minimal interference or disturbance to existing native vegetation and biodiversity.
- 13 Utility buildings and structures should be grouped with non-residential development where possible.
- 14 Development in proximity to infrastructure facilities should be sited and be of a scale to ensure adequate separation to protect people and property.

Interface between Land Uses

OBJECTIVES

- 1 Development located and designed to prevent adverse impact and conflict between land uses.
- 2 Protect community health and amenity and support the operation of all desired land uses.
- 3 Protect desired land uses from the encroachment of incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:
 - (a) the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants
 - (b) noise
 - (c) vibration
 - (d) electrical interference
 - (e) light spill
 - (f) glare
 - (g) hours of operation
 - (h) traffic impacts.
- 2 Development should be sited and designed to minimise negative impact on existing and potential future land uses considered appropriate in the locality.
- 3 Development adjacent to a **Residential Zone** or residential area within a **Settlement Zone** should be designed to minimise overlooking and overshadowing of nearby residential properties.
- 4 Residential development adjacent to non-residential zones and land uses should be located, designed and/or sited to protect residents from potential adverse impacts from non-residential activities.
- 5 Sensitive uses likely to conflict with the continuation of lawfully existing developments and land uses desired for the zone should be designed to minimise negative impacts.
- 6 Non-residential development on land abutting a residential zone should be designed to minimise noise impacts to achieve adequate levels of compatibility between existing and proposed uses.

Noise Generating Activities

- 7 Development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant Environment Protection (Noise) Policy criteria when assessed at the nearest existing noise sensitive premises.
- 8 Development with the potential to emit significant noise (e.g. industry) should incorporate noise attenuation measures that prevent noise from causing unreasonable interference with the amenity of noise sensitive premises.

- 9 Outdoor areas (such as beer gardens or dining areas) associated with licensed premises should be designed or sited to minimise adverse noise impacts on adjacent existing or future noise sensitive development.
- 10 Development proposing music should include noise attenuation measures that achieve the following desired noise levels:

Noise level assessment location	Desired noise level
Adjacent existing noise sensitive development property boundary	Less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and Less than 5 dB(A) above the level of background noise ($LA_{90,15min}$) for the overall (sum of all octave bands) A-weighted level
Adjacent land property boundary	Less than 65dB(Lin) at 63Hz and 70dB(Lin) in all other octave bands of the sound spectrum or Less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and 5 dB(A) overall (sum of all octave bands) A-weighted level

Air Quality

- 11 Development with the potential to emit harmful or nuisance-generating air pollution should incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity of sensitive uses within the locality.
- 12 Chimneys or exhaust flues associated with commercial development (including cafes, restaurants and fast food outlets) should be designed to ensure they do not cause a nuisance or health concerns to nearby sensitive receivers by:
- (a) incorporating appropriate treatment technology before exhaust emissions are released to the atmosphere
 - (b) ensuring that the location and design of chimneys or exhaust flues maximises dispersion and takes into account the location of nearby sensitive uses.

Rural Interface

- 13 The potential for adverse impacts resulting from rural development should be minimised by:
- (a) not locating horticulture or intensive animal keeping on land adjacent to townships
 - (b) maintaining an adequate separation between horticulture or intensive animal keeping and townships, other sensitive uses and, where desirable, other forms of primary production.
- 14 Traffic movement, spray drift, dust, noise, odour, and the use of frost fans and gas guns associated with primary production activities should not lead to unreasonable impact on adjacent land users.
- 15 Existing primary production uses and mineral extraction should not be prejudiced by the inappropriate encroachment of sensitive uses such as urban development.
- 16 Development that is adjacent to land used for primary production (within either the zone or adjacent zones) should include appropriate setbacks and vegetative plantings designed to minimise the potential impacts of chemical spray drift and other impacts associated with primary production.

- 17 New urban development should provide a buffer of at least 40 metres wide (inclusive of any fuel break, emergency vehicle access or road) separating urban and rural activities.
- 18 Development within 300 metres of facilities for the handling, transportation and storage of bulk commodities should:
 - (a) not prejudice the continued operation of those facilities
 - (b) be located, designed, and developed having regard to the potential environmental impact arising from the operation of such facilities and the potential extended operation of activities.

Land Division

OBJECTIVES

- 1 Land division that occurs in an orderly sequence allowing efficient provision of new infrastructure and facilities and making optimum use of existing under utilised infrastructure and facilities.
- 2 Land division that creates allotments appropriate for the intended use.
- 3 Land division layout that is optimal for energy efficient building orientation.
- 4 Land division that is integrated with site features, including landscape and environmental features, adjacent land uses, the existing transport network and the availability of infrastructure.
- 5 Land division restricted in rural areas to ensure the efficient use of rural land for primary production and avoidance of uneconomic infrastructure provision.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 When land is divided:
 - (a) stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner
 - (b) a sufficient water supply should be made available for each allotment
 - (c) provision should be made for the disposal of wastewater, sewage and other effluent from each allotment without risk to health
 - (d) proposed roads should be graded, or be capable of being graded to connect safely and conveniently with an existing road or thoroughfare.
- 2 Land should not be divided if any of the following apply:
 - (a) the size, shape, location, slope or nature of the land makes any of the allotments unsuitable for the intended use
 - (b) any allotment will not have a frontage to one of the following:
 - (i) an existing road
 - (ii) a proposed public road
 - (iii) access to a public road via an internal roadway in a plan of community division
 - (c) the intended use of the land is likely to require excessive cut and/or fill
 - (d) it is likely to lead to undue erosion of the subject land or land within the locality
 - (e) the wastewater treatment plant to which subsequent development will be connected does not have sufficient capacity to handle the additional wastewater volumes and pollutant loads generated by such development
 - (f) the area is unsewered and cannot accommodate an appropriate on-site wastewater disposal system within the allotment that complies with (or can comply with) the relevant public and environmental health legislation applying to the intended use(s)

- (g) any allotments will straddle more than one zone, policy area or precinct
 - (h) the allotments unreasonably restrict access to publicly owned land such as recreation areas.
- 3 Land division intended for residential purposes should:
- (a) provide a variety of allotment sizes to meet the diverse housing needs of the population
 - (b) take into consideration the climatic and topographical features of the land
 - (c) provide allotments which are of a shape and size sufficient to accommodate:
 - (i) a dwelling and accessory structures
 - (ii) an area of outdoor private open space
 - (iii) vehicle parking
 - (iv) domestic outbuildings
 - (v) landscaping
 - (vi) the disposal of wastewater in accordance with relevant public and environmental health legislation and, where off site wastewater disposal facilities are available or planned, make provision for the connection to those facilities
 - (d) not result in the creation of a vacant allotment with an area less than:
 - (i) 1200 square metres where effluent is to be disposed on-site
 - (ii) 450 square metres where effluent is to be disposed off site.
- 4 Land division should create allotments that restrict the siting of residential development within 20 metres of native vegetation.
- 5 Land division for the purposes of creating community title allotments should not be undertaken where division by Torrens title would provide for the more orderly development of the land or of adjoining land.

Design and Layout

- 6 Land divisions should be designed to ensure that areas of native vegetation and wetlands:
- (a) are not fragmented or reduced in size
 - (b) do not need to be cleared as a consequence of subsequent development.
- 7 The design of a land division should incorporate:
- (a) roads, thoroughfares and open space that result in safe and convenient linkages with the surrounding environment, including public and community facilities, and which, where necessary, facilitate the satisfactory future division of land and the inter-communication with neighbouring localities
 - (b) new road and allotment access points providing appropriate separation distances from existing road junctions or level crossings
 - (c) safe and convenient access from each allotment to an existing or proposed road or thoroughfare
 - (d) areas to provide appropriate separation distances between potentially conflicting land uses and/or zones

- (e) suitable land set aside for useable local open space
 - (f) public utility services within road reserves and where necessary within dedicated easements
 - (g) the preservation of significant natural, cultural or landscape features including State and local heritage places
 - (h) protection for existing vegetation and drainage lines
 - (i) where appropriate, the amalgamation of smaller allotments to ensure co-ordinated and efficient site development.
- 8 Land division should result in allotments of a size suitable for their intended use.
- 9 Land division should facilitate optimum solar access for energy efficiency.
- 10 Land division within an area identified as being an 'Excluded Area from Bushfire Protection Planning Provisions' as shown on *Bushfire Protection Area BPA Maps - Bushfire Risk* should be designed to make provisions for:
- (a) emergency vehicle access through to the Bushfire Protection Area and other areas of open space connected to it
 - (b) a mainly continuous street pattern serving new allotments that eliminates the use of cul-de-sacs or dead end roads
 - (c) a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 11 Allotments should have an orientation, size and configuration to encourage development that:
- (a) minimises the need for earthworks and retaining walls
 - (b) maintains natural drainage systems
 - (c) faces abutting streets and open spaces
 - (d) does not require the removal of native vegetation to facilitate that development
 - (e) will not overshadow, dominate, encroach on or otherwise detrimentally affect the setting of the surrounding locality.
- 12 Within defined townships and settlements where the land to be divided borders a river, lake, wetland or creek, the land adjoining the bank should become public open space and linked with an existing or proposed pedestrian or transport network.
- 13 Within defined townships and settlements land division should make provision for a reserve or an area of open space that is at least 25 metres wide from the top of the bank of a watercourse and that incorporates land within the 1-in-100 year average return interval flood event area.
- 14 The layout of a land division should keep flood-prone land free from development.
- 15 The arrangement of roads, allotments, reserves and open space should enable the provision of a stormwater management drainage system that:
- (a) contains and retains all watercourses, drainage lines and native vegetation
 - (b) enhances amenity

- (c) integrates with the open space system and surrounding area.

Roads and Access

- 16 Road reserves should be of a width and alignment that can:
- (a) provide for safe and convenient movement and parking of projected volumes of vehicles and other users
 - (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors
 - (c) allow vehicles to enter or reverse from an allotment or site in a single movement allowing for a car parked on the opposite side of the street
 - (d) accommodate street tree planting, landscaping and street furniture
 - (e) accommodate the location, construction and maintenance of stormwater drainage and public utilities
 - (f) provide unobstructed, safe and efficient vehicular access to individual allotments and sites
 - (g) allow for the efficient movement of service and emergency vehicles.
- 17 Roads in industrial areas should have an adequate width to accommodate industrial vehicles, and the volume of traffic expected, and be designed so that the:
- (a) road reserve is at least 18 metres in width
 - (b) road pavement, measured from kerb to kerb, is at least 8 metres in width.
- 18 The design of the land division should facilitate the most direct route to local facilities for pedestrians and cyclists and enable footpaths, cycle lanes and shared-use paths to be provided of a safe and suitable width and reasonable longitudinal gradient.
- 19 The layout of land divisions should result in roads designed and constructed to ensure:
- (a) that traffic speeds and volumes are restricted where appropriate by limiting street length and/or the distance between bends and slow points
 - (b) there are adequate sight distances for motorists at intersections, junctions, pedestrian and cyclist crossings, and crossovers to allotments to ensure the safety of all road users and pedestrians
 - (c) that existing dedicated cycling and walking routes are not compromised.
- 20 The design of the land division should provide space sufficient for on-street visitor car parking for the number and size of allotments, taking account of:
- (a) the size of proposed allotments and sites and opportunities for on-site parking
 - (b) the availability and frequency of public and community transport
 - (c) on-street parking demand likely to be generated by nearby uses.
- 21 The layout of land divisions should incorporate street patterns designed to enhance the efficient movement of traffic and minimise trip lengths.

Land Division in Rural Areas

- 22 Rural land should not be divided if the resulting allotments would be of a size and configuration likely to impede the efficient use of rural land for any of the following:
- (a) primary production
 - (b) value adding industries related to primary production
 - (c) protection of natural resources.
- 23 Rural land should not be divided where new allotments would result in any of the following:
- (a) fragmentation of productive primary production land
 - (b) strip development along roads or water mains
 - (c) prejudice against the proper and orderly development of townships
 - (d) removal of native vegetation for allotment boundaries, access roads, infrastructure, dwellings and other buildings or firebreaks
 - (e) uneconomic costs to the community for the provision of services.
- 24 Land division creating an allotment of less than 40 hectares for agricultural use should provide evidence to be submitted with a plan of division to demonstrate that:
- (a) water, of sufficient quality and quantity, is available to sustain the proposed use
 - (b) the land is appropriate for the proposed use
 - (c) the land is capable of supporting the proposed use with reasonable investment and management inputs
 - (d) the use will be compatible with adjacent or nearby uses of land
 - (e) a management plan or investment schedule has been prepared for the proposed use
 - (f) there will be no adverse impacts on downstream property owners in terms of water flow and discharge of pollutants
 - (g) there will not be a deleterious risk of the water table either falling or rising because of excessive irrigation or water use.

Landscaping, Fences and Walls

OBJECTIVES

- 1 The amenity of land and development enhanced with appropriate planting and other landscaping works, using locally indigenous plant species where possible.
- 2 Functional fences and walls that enhance the attractiveness of development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should incorporate open space and landscaping and minimise hard paved surfaces in order to:
 - (a) complement built form and reduce the visual impact of larger buildings (eg taller and broader plantings against taller and bulkier building components)
 - (b) enhance the appearance of road frontages
 - (c) screen service yards, loading areas and outdoor storage areas
 - (d) minimise maintenance and watering requirements
 - (e) enhance and define outdoor spaces, including car parking areas
 - (f) maximise shade and shelter
 - (g) assist in climate control within and around buildings
 - (h) minimise heat absorption and reflection
 - (i) maintain privacy
 - (j) maximise stormwater re-use
 - (k) complement existing vegetation, including native vegetation
 - (l) contribute to the viability of ecosystems and species
 - (m) promote water and biodiversity conservation.
- 2 Landscaping should:
 - (a) include the planting of locally indigenous species where appropriate
 - (b) be oriented towards the street frontage
 - (c) result in the appropriate clearance from powerlines and other infrastructure being maintained.
- 3 Landscaping should not:
 - (a) unreasonably restrict solar access to adjoining development
 - (b) cause damage to buildings, paths and other landscaping from root invasion, soil disturbance or plant overcrowding

- (c) introduce pest plants
 - (d) increase the risk of bushfire
 - (e) remove opportunities for passive surveillance
 - (f) increase leaf fall in watercourses
 - (g) increase the risk of weed invasion
 - (h) obscure driver sight lines
 - (i) create a hazard for train or tram drivers by obscuring sight lines at crossovers.
- 4 Fences and walls, including retaining walls, should:
- (a) not result in damage to neighbouring trees
 - (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality
 - (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance
 - (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street
 - (e) assist in highlighting building entrances
 - (f) be sited and limited in height, to ensure adequate sight lines for motorists and pedestrians especially on corner sites
 - (g) in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land
 - (h) be constructed of non-flammable materials.
- 5 Front fencing should be open in form to allow cross ventilation and access to sunlight.

Marinas and Maritime Structures

OBJECTIVE

- 1 The provision, in appropriate locations, of marinas, pontoons, jetties, piers, wharves and boat moorings that cater for vessels and:
 - (a) maintain public access to the waterfront
 - (b) do not compromise public safety
 - (c) preserve the structural integrity of the marine infrastructure
 - (d) minimise adverse impacts on the natural environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Marina development should include one or more of the following:
 - (a) wet and dry berthing of boats
 - (b) launching and retrieval of recreational boats and associated trailer and car parking areas
 - (c) access ramps, landings, storage and other structures associated with a marina
 - (d) clubrooms for maritime organisations.
- 2 The design of marinas, berths, channels, fairways, gangways and floating structures should comply with:
 - (a) *Australian Standard AS 3962: Guidelines for Design of Marinas*
 - (b) *Australian Standard AS 4997: Guidelines for the Design of Maritime Structures.*
- 3 Development should not obstruct or impair:
 - (a) navigation and access channels
 - (b) maintenance activities of marine infrastructure including revetment walls
 - (c) the operation of wharves.
- 4 Safe public access should be provided or maintained to:
 - (a) the waterfront
 - (b) known diving areas
 - (c) jetties, wharves and associated activities.
- 5 Marinas should be designed to:
 - (a) facilitate water circulation and exchange
 - (b) maximise the penetration of sunlight into the water.

Mineral Extraction

OBJECTIVES

- 1 Development of mining activities in a way that contributes to the sustainable growth of the industry.
- 2 Protection of mineral deposits against intrusion by inappropriate forms of development.
- 3 Areas with scenic or conservation significance protected from undue damage arising from mining operations.
- 4 Mining operations undertaken with minimal adverse impacts on the environment and on the health and amenity of adjacent land uses.
- 5 Minimisation of the impacts from mining activities upon the existing groundwater level and the quality of groundwater resources.
- 6 Mining operations that make adequate provision for site rehabilitation.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Known reserves of economically-viable mineral deposits should be kept free of development that may inhibit their future exploitation.
- 2 Development in proximity to mining operations should not be undertaken where it may be exposed to adverse impacts resulting from mining activities.
- 3 Mining in scenic and native vegetation areas should only be undertaken if:
 - (a) the proposed location is the best site in regard to minimising loss of amenity, degradation of the landscape and loss of native vegetation
 - (b) there are a limited number of known reserves of the minerals in the area or elsewhere in the State
 - (c) the extraction and transportation of materials from alternative sites to principal centres of consumption carry significantly higher costs
 - (d) the site is capable of restoration with locally indigenous plant species to counter the long-term impact on the landscape and biodiversity.
- 4 Stormwater and/or wastewater from land used for mining should be diverted into a silt retention structure so that it can be reused on-site for purposes such as truck wash-down, dust control, washing of equipment and landscape irrigation or for disposal off-site in an environmentally responsible manner.
- 5 Access to land used for mining should be sited and designed to accommodate heavy-vehicle traffic and ensure the safety of all road users.
- 6 Mining operations should:
 - (a) ensure that minimal damage is caused to the landscape
 - (b) minimise the area required for operations, and provide for the progressive reclamation of disturbed areas
 - (c) minimise disturbance to natural hydrological systems

- (d) not result in the degradation of local roads, or in an increased maintenance burden to the Council.

Separation Treatments, Buffers and Landscaping

- 7 Mining development should be sited, designed and sequenced to protect the amenity of surrounding land uses from environmental nuisance such as dust or vibration emanating from mining operations.
- 8 Mining operations that are likely to impact upon the amenity of the locality should incorporate a separation distance and/or mounding/vegetation between the mining operations (including stockpiles) and adjoining allotments to help minimise exposure to those potential impacts.
- 9 Quarry faces should be orientated away from public view.
- 10 Screening of mining areas should occur in advance of extraction commencing.
- 11 An area of densely vegetated and/or mounded land should be established around the perimeter of mining sites in order to screen excavated land and mineral processing facilities from all of the following:
 - (a) residential areas
 - (b) tourist areas
 - (c) tourist routes
 - (d) scenic routes.
- 12 Screen planting around mining operations should incorporate a mixture of trees and shrubs that:
 - (a) contribute to an attractive landscape
 - (b) suit local soil and climatic conditions
 - (c) are fast growing and/or have a long life expectancy
 - (d) are locally indigenous species.
- 13 Borrow pits for road making materials should be sited so as to cause the minimum effect on their surroundings.

Natural Resources

OBJECTIVES

- 1 Retention, protection and restoration of the natural resources and environment.
- 2 Protection of the quality and quantity of South Australia's surface waters, including inland, marine and estuarine and underground waters.
- 3 The ecologically sustainable use of natural resources including water resources, including marine waters, ground water, surface water and watercourses.
- 4 Natural hydrological systems and environmental flows reinstated, and maintained and enhanced.
- 5 Development consistent with the principles of water sensitive design.
- 6 Development sited and designed to:
 - (a) protect natural ecological systems
 - (b) achieve the sustainable use of water
 - (c) protect water quality, including receiving waters
 - (d) reduce runoff and peak flows and prevent the risk of downstream flooding
 - (e) minimise demand on reticulated water supplies
 - (f) maximise the harvest and use of stormwater
 - (g) protect stormwater from pollution sources.
- 7 Storage and use of stormwater which avoids adverse impact on public health and safety.
- 8 Native flora, fauna and ecosystems protected, retained, conserved and restored.
- 9 Restoration, expansion and linking of existing native vegetation to facilitate habitat corridors for ease of movement of fauna.
- 10 Minimal disturbance and modification of the natural landform.
- 11 Protection of the physical, chemical and biological quality of soil resources.
- 12 Protection of areas prone to erosion or other land degradation processes from inappropriate development.
- 13 Protection of the scenic qualities of natural and rural landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be undertaken with minimum impact on the natural environment, including air and water quality, land, soil, biodiversity, and scenically attractive areas.
- 2 Development should ensure that South Australia's natural assets, such as biodiversity, water and soil, are protected and enhanced.

- 3 Development should not significantly obstruct or adversely affect sensitive ecological areas such as creeks, wetlands, estuaries and significant seagrass and mangrove communities.
- 4 Development should be appropriate to land capability and the protection and conservation of water resources and biodiversity.

Water Sensitive Design

- 5 Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 6 Development should not take place if it results in unsustainable use of surface or underground water resources.
- 7 Development should be sited and designed to:
 - (a) capture and re-use stormwater, where practical
 - (b) minimise surface water runoff
 - (c) prevent soil erosion and water pollution
 - (d) protect and enhance natural water flows
 - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies
 - (f) not contribute to an increase in salinity levels
 - (g) avoid the water logging of soil or the release of toxic elements
 - (h) maintain natural hydrological systems and not adversely affect:
 - (i) the quantity and quality of groundwater
 - (ii) the depth and directional flow of groundwater
 - (iii) the quality and function of natural springs.
- 8 Water discharged from a development site should:
 - (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state
 - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 9 Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 10 Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 11 Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.
- 12 Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.

- 13 Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 14 Stormwater management systems should:
 - (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source
 - (b) utilise, but not be limited to, one or more of the following harvesting methods:
 - (i) the collection of roof water in tanks
 - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks
 - (iii) the incorporation of detention and retention facilities
 - (iv) aquifer recharge.
- 15 Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 16 Artificial wetland systems, including detention and retention basins, should be sited and designed to:
 - (a) ensure public health and safety is protected
 - (b) minimise potential public health risks arising from the breeding of mosquitoes.

Water Catchment Areas

- 17 Development should ensure watercourses and their beds, banks, wetlands and floodplains are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.
- 18 No development should occur where its proximity to a swamp or wetland will damage or interfere with the hydrology or water regime of the swamp or wetland.
- 19 A wetland or low-lying area providing habitat for native flora and fauna should not be drained, except temporarily for essential management purposes to enhance environmental values.
- 20 Along watercourses, areas of remnant native vegetation, or areas prone to erosion, that are capable of natural regeneration should be fenced off to limit stock access.
- 21 Development such as cropping, intensive animal keeping, residential, tourism, industry and horticulture, that increases the amount of surface run-off should include a strip of land at least 20 metres wide measured from the top of existing banks on each side of a watercourse that is:
 - (a) fenced to exclude livestock
 - (b) kept free of development, including structures, formal roadways or access ways for machinery or any other activity causing soil compaction or significant modification of the natural surface of the land
 - (c) revegetated with locally indigenous vegetation comprising trees, shrubs and other groundcover plants to filter run-off so as to reduce the impacts on native aquatic ecosystems and to minimise soil loss eroding into the watercourse.

- 22 Development resulting in the depositing of an object or solid material in a watercourse or floodplain or the removal of bank and bed material should not:
- (a) adversely affect the migration of aquatic biota
 - (b) adversely affect the natural flow regime
 - (c) cause or contribute to water pollution
 - (d) result in watercourse or bank erosion
 - (e) adversely affect native vegetation upstream or downstream that is growing in or adjacent to a watercourse.
- 23 The location and construction of dams, water tanks and diversion drains should:
- (a) occur off watercourse
 - (b) not take place in ecologically sensitive areas or on erosion-prone sites
 - (c) provide for low flow by-pass mechanisms to allow for migration of aquatic biota
 - (d) not negatively affect downstream users
 - (e) minimise in-stream or riparian vegetation loss
 - (f) incorporate features to improve water quality (eg wetlands and floodplain ecological communities)
 - (g) protect ecosystems dependent on water resources.
- 24 Irrigated horticulture and pasture should not increase groundwater-induced salinity.
- 25 Development should comply with *the strategies set out in the Northern and Yorke Regional NRM Plan as well as the current NRM Water Allocation Plans and Environment Protection (Water Quality) Policy.*

Biodiversity and Native Vegetation

- 26 Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.
- 27 Development should be designed and sited to minimise the loss and disturbance of native flora and fauna, including marine animals and plants, and their breeding grounds and habitats.
- 28 Native vegetation should be conserved and its conservation value and function not compromised by development if the native vegetation does any of the following:
- (a) provides an important habitat for wildlife or shade and shelter for livestock
 - (b) has a high plant species diversity or includes rare, vulnerable or endangered plant species or plant associations and communities
 - (c) provides an important seed bank for locally indigenous vegetation
 - (d) has high amenity value and/or significantly contributes to the landscape quality of an area, including the screening of buildings and unsightly views
 - (e) has high value as a remnant of vegetation associations characteristic of a district or region prior to extensive clearance for agriculture
 - (f) is growing in, or is characteristically associated with a wetland environment.

- 29 Native vegetation should not be cleared if such clearing is likely to lead to, cause or exacerbate any of the following:
- (a) erosion or sediment within water catchments
 - (b) decreased soil stability
 - (c) soil or land slip
 - (d) deterioration in the quality of water in a watercourse or surface water runoff
 - (e) a local or regional salinity problem
 - (f) the occurrence or intensity of local or regional flooding.
- 30 Development that proposes the clearance of native vegetation should address or consider the implications that removing the native vegetation will have on the following:
- (a) provision for linkages and wildlife corridors between significant areas of native vegetation
 - (b) erosion along watercourses and the filtering of suspended solids and nutrients from run-off
 - (c) the amenity of the locality
 - (d) bushfire safety
 - (e) the net loss of native vegetation and other biodiversity.
- 31 Where native vegetation is to be removed, it should be replaced in a suitable location on the site with locally indigenous vegetation to ensure that there is not a net loss of native vegetation and biodiversity.
- 32 Development should be located and occur in a manner which:
- (a) does not increase the potential for, or result in, the spread of pest plants, or the spread of any non-indigenous plants into areas of native vegetation or a conservation zone
 - (b) avoids the degradation of remnant native vegetation by any other means including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or change to groundwater levels
 - (c) incorporates a separation distance and/or buffer area to protect wildlife habitats and other features of nature conservation significance.
- 33 Development should promote the long-term conservation of vegetation by:
- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunk of trees and beneath their canopies
 - (b) minimising impervious surfaces beneath the canopies of trees
 - (c) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.
- 34 Horticulture involving the growing of olives should be located at least:
- (a) 500 metres from:
 - (i) a national park
 - (ii) a conservation park

- (iii) a wilderness protection area
 - (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area
- (b) 50 metres from the edge of stands of native vegetation 5 hectares or less in area.
- 35 Horticulture involving the growing of olives should have at least one locally indigenous tree that will grow to a height of at least 7 metres sited at least every 100 metres around the perimeter of the orchard.

Soil Conservation

- 36 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 37 Development should be designed and sited to prevent erosion.
- 38 Development should take place in a manner that will minimise alteration to the existing landform.
- 39 Development should minimise the loss of soil from a site through soil erosion or siltation during the construction phase of any development and following the commencement of an activity.

Open Space and Recreation

OBJECTIVES

- 1 The creation of a network of linked parks, reserves, recreational trails and recreation areas at regional and local levels.
- 2 Pleasant, functional and accessible open spaces providing a range of physical environments.
- 3 A wide range of settings for active and passive recreational opportunities.
- 4 The provision of open space in the following hierarchy:
 - State
 - Regional
 - District
 - Neighbourhood
 - Local.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Urban development should include public open space and recreation areas.
- 2 Public open space and recreation areas should be of a size, dimension and location that:
 - (a) facilitate a range of formal and informal recreation activities
 - (b) provide for the movement of pedestrians and cyclists
 - (c) incorporate existing vegetation and natural features, watercourses, wildlife habitat and other sites of natural or cultural value
 - (d) link habitats, wildlife corridors, public open spaces and existing recreation facilities
 - (e) enable effective stormwater management
 - (f) provides for the planting and retention of large trees and vegetation.
- 3 Open space should be designed to incorporate:
 - (a) pedestrian, cycle linkages to other open spaces, centres, schools and public transport nodes
 - (b) park furniture, shaded areas and resting places to enhance pedestrian comfort
 - (c) safe crossing points where pedestrian routes intersect the road network
 - (d) easily identified access points
 - (e) frontage to abutting public roads to optimise pedestrian access and visibility
 - (f) re-use of stormwater for irrigation purposes
 - (g) recreational trails where appropriate.
- 4 Where practical, access points to regional parks should be located close to public transport.

- 5 District level parks should be at least 3 hectares in size, and provided within 2 kilometres of all households that they serve.
- 6 Neighbourhood parks should be at least 0.5 hectares and generally closer to 1 hectare in size, and provided within 500 metres of households that they serve.
- 7 Local parks should be:
 - (a) a minimum of 0.2 hectares in size
 - (b) centrally located within a residential area, close to schools, shops and generally within 300 metres of households that they serve.
- 8 No more than 20 per cent of land allocated as public open space should:
 - (a) have a slope in excess of 1-in-4
 - (b) comprise creeks or other drainage areas.
- 9 Signage should be provided at entrances to and within public open space to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes and park activities.
- 10 Buildings in open space, including structures and associated car parking areas, should be designed, located and of a scale that is unobtrusive and does not detract from the desired open space character.
- 11 Development in open space should:
 - (a) be clustered where practical to ensure that the majority of the site remains open
 - (b) where practical, be developed for multi-purpose use
 - (c) be constructed to minimise the extent of hard paved areas.
- 12 Open spaces and recreation areas should be located and designed to maximise safety and security by:
 - (a) ensuring that within urban areas, their edges are overlooked by housing, commercial or other development that can provide effective informal surveillance
 - (b) ensuring fenced parks and playgrounds have more than one entrance or exit when fenced
 - (c) locating play equipment where it can be informally observed by nearby residents and users during times of use
 - (d) clearly defining the perimeters of play areas
 - (e) providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks
 - (f) focusing pedestrian and bicycle movement after dark along clearly defined, adequately lit routes with observable entries and exits.
- 13 Landscaping associated with open space and recreation areas should:
 - (a) not compromise the drainage function of any drainage channel
 - (b) provide shade and windbreaks along cyclist and pedestrian routes, around picnic and barbecue areas and seating, and in car parking areas
 - (c) maximise opportunities for informal surveillance throughout the park

- (d) enhance the visual amenity of the area and complement existing buildings
 - (e) be designed and selected to minimise maintenance costs
 - (f) provide habitat for local fauna.
- 14 Development of recreational activities in areas not zoned for that purpose should be compatible with surrounding activities.
- 15 Recreation facilities development should be sited and designed to minimise negative impacts on the amenity of the locality.

Orderly and Sustainable Development

OBJECTIVES

- 1 Orderly and economical development that creates a safe, convenient and pleasant environment in which to live.
- 2 Development occurring in an orderly sequence and in a compact form to enable the efficient provision of public services and facilities.
- 3 Development that does not jeopardise the continuance of adjoining authorised land uses.
- 4 Development that does not prejudice the achievement of the provisions of the Development Plan.
- 5 Development abutting adjoining Council areas having regard to the policies of that Council's Development Plan.
- 6 Urban development contained within existing townships and settlements and located only in zones designated for such development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not prejudice the development of a zone for its intended purpose.
- 2 Land outside of townships and settlements should primarily be used for primary production, conservation purposes.
- 3 The economic base of the region should be expanded in a sustainable manner.
- 4 Urban development should form a compact extension to an existing built-up area.
- 5 Ribbon development should not occur along the coast, water frontages or arterial roads shown in *Overlay Maps - Transport*.
- 6 Development should be located and staged to achieve the economical provision of public services and infrastructure, and to maximise the use of existing services and infrastructure.
- 7 Where development is expected to impact upon the existing infrastructure network (including the transport network), development should demonstrate how the undue effect will be addressed.
- 8 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to not prejudice the orderly development of adjacent land.
- 9 Development should be undertaken in accordance with the following Concept Plan Maps:
 - [Concept Plan Map YoP/1 - Maitland Bulk Handling](#)
 - [Concept Plan Map YoP/2 - Black Point](#)
 - [Concept Plan Map YoP/3 - Marion Bay](#)
 - [Concept Plan Map YoP/4 - Port Victoria Residential](#)
 - [Concept Plan Map YoP/5 - Corny Point](#)
 - [Concept Plan Map YoP/6 – Port Vincent.](#)

Renewable Energy Facilities

OBJECTIVES

- 1 Development of renewable energy facilities that benefit the environment, the community and the state.
- 2 The development of renewable energy facilities, such as wind farms and ancillary development, in areas that provide opportunity to harvest natural resources for the efficient generation of electricity.
- 3 Location, siting, design and operation of renewable energy facilities to avoid or minimise adverse impacts on the natural environment and other land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Renewable energy facilities, including wind farms and ancillary development, should be:
 - (a) located in areas that maximize efficient generation and supply of electricity
 - (b) designed and sited so as not to impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips.

Wind Farms and Ancillary Development

- 2 The visual impacts of wind farms and ancillary development (such as substations, maintenance sheds, access roads and wind monitoring masts) should be managed through:
 - (a) wind turbine generators being:
 - (i) setback at least 1000 metres from non-associated (non-stakeholder) dwellings and tourist accommodation
 - (ii) setback at least 2000 metres from defined and zoned township, settlement or urban areas (including deferred urban areas)
 - (iii) regularly spaced
 - (iv) uniform in colour, size and shape and blade rotation direction
 - (v) mounted on tubular towers (as opposed to lattice towers)
 - (b) provision of vegetated buffers around substations, maintenance sheds and other ancillary structures.
- 3 Wind farms and ancillary development should avoid or minimise the following impacts on nearby property owners / occupiers, road users and wildlife:
 - (a) shadowing, flickering, reflection or glint
 - (b) excessive noise
 - (c) interference with television and radio signals and geographic positioning systems
 - (d) interference with low altitude aircraft movements associated with agriculture
 - (e) modification of vegetation, soils and habitats

- (f) striking of birds and bats.
- 4 Wind turbine generators should be setback from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms) a distance that will ensure that failure does not present an unacceptable risk to safety.

Residential Development

OBJECTIVES

- 1 Safe, convenient, pleasant and healthy-living environments that meet the full range of needs and preferences of the community.
- 2 An increased mix in the range and number of dwelling types available within urban boundaries to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Higher dwelling densities in areas close to centres, public and community transport and public open spaces.
- 4 The regeneration of selected areas identified at zone and/or policy area levels.
- 5 Affordable housing and housing for aged persons provided in appropriate locations.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:
 - (a) the siting and construction of a dwelling and associated ancillary outbuildings
 - (b) the provision of landscaping and private open space
 - (c) convenient and safe vehicle access and off street parking
 - (d) passive energy design.
- 2 Buildings on battleaxe allotments or the like should be single storey and be designed to maintain the privacy of adjoining properties.
- 3 Residential allotments should be of varying sizes to encourage housing diversity.
- 4 Dwellings constituting affordable housing should be located to optimise access to shops, social services and facilities, or public transport.
- 5 Medium density development that achieves gross densities of between 23 and 45 dwellings per hectare (which translates to net densities of between 40 and 67 dwellings per hectare) should typically be in the form of two to four storey buildings.
- 6 High density development that achieves gross densities of more than 45 dwellings per hectare (which translates to net densities of more than 67 dwellings per hectare) should typically be in the form of over four storey buildings.

Design and Appearance

- 7 Where a dwelling has direct frontage to a street the dwelling should be designed to provide surveillance and address the street.
- 8 Entries to dwellings should be clearly visible from the streets that they front to enable visitors to identify a specific dwelling easily.

- 9 The design of residential flat buildings should:
- (a) define individual dwellings in the external appearance of the building
 - (b) provide transitional space around the entry
 - (c) ensure building entrances provide shelter, are visible and easily identifiable from the street.

Overshadowing

- 10 The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:
- (a) windows of habitable rooms, particularly living areas
 - (b) ground-level private open space
 - (c) upper-level private balconies that provide the primary open space area for any dwelling.

Garages, Carports and Outbuildings

- 11 Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.
- 12 Garages and carports facing the street should not dominate the streetscape.
- 13 Residential outbuildings, including garages and sheds, should not be constructed unless in association with an existing dwelling.

Street and Boundary Setbacks

- 14 Dwellings should be set back from allotment or site boundaries to:
- (a) contribute to the desired character of the area
 - (b) provide adequate visual privacy by separating habitable rooms from pedestrian and vehicle movement.
- 15 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:
- (a) minimise the visual impact of buildings from adjoining properties
 - (b) minimise the overshadowing of adjoining properties.
- 16 Side boundary walls in residential areas should be limited in length and height to:
- (a) minimise their visual impact on adjoining properties
 - (b) minimise the overshadowing of adjoining properties.
- 17 Carports and garages should be set back from road and building frontages so as to:
- (a) contribute to the desired character of the area
 - (b) not adversely impact on the safety of road users
 - (c) provide safe entry and exit
 - (d) not dominate the appearance of dwellings from the street.

Site Coverage

- 18 Site coverage should be limited to ensure sufficient space is provided for:
- (a) pedestrian and vehicle access and vehicle parking
 - (b) domestic storage
 - (c) outdoor clothes drying
 - (d) a rainwater tank
 - (e) private open space and landscaping
 - (f) front, side and rear boundary setbacks that contribute to the desired character of the area
 - (g) convenient storage of household waste and recycling receptacles.

Private Open Space

- 19 Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:
- (a) to be accessed directly from the internal living areas of the dwelling
 - (b) generally at ground level to the side or rear of a dwelling and screened for privacy
 - (c) to take advantage of but not adversely affect natural features of the site
 - (d) to minimise overlooking from adjacent buildings
 - (e) to achieve separation from bedroom windows on adjoining sites
 - (f) to have a northerly aspect to provide for comfortable year-round use
 - (g) to not be significantly shaded during winter by the associated dwelling or adjacent development
 - (h) to be shaded in summer.
- 20 Dwellings should have associated private open space of sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site, **with at least part of the required space capable of containing a rectangular area having minimum dimensions of 6 metres by 4 metres.**
- 21 Private open space should not include driveways, effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space in residential flat buildings and group dwellings, and should have a minimum dimension of:
- (a) 2.5 metres for ground level or roof-top private open space
 - (b) 2 metres for upper level balconies or terraces.
- 22 Balconies should make a positive contribution to the internal and external amenity of residential buildings and should be sited adjacent to the main living areas, such as the living room, dining room or kitchen, to extend the dwelling's living space.

Site Facilities and Storage

- 23 Site facilities for group dwellings, residential parks and residential flat buildings should include:
- (a) mail box facilities sited close to the major pedestrian entrance to the site

- (b) bicycle parking for residents and visitors
- (c) household waste and recyclable material storage areas away from dwellings
- (d) external clothes drying areas, which are readily accessible to each dwelling and complement the development and streetscape character for dwellings which do not incorporate ground level private open space.

Visual Privacy

- 24 Upper level windows, balconies, terraces and decks should have a sill height of not less than 1.5 metres or be permanently screened to a height of not less than 1.5 metres above finished floor level to avoid overlooking into habitable room windows or onto the useable private open spaces of other dwellings.
- 25 Permanently fixed external screening devices should be designed and coloured to blend with the associated building's external material and finishes.

Noise

- 26 Noise generated by fixed noise sources such as air conditioning units and pool pumps should be located, designed and attenuated to avoid causing potential noise nuisance to adjoining landowners and occupiers.
- 27 Residential development close to high noise sources (eg major roads, railway lines, tram lines, industry, and airports) should be designed to locate bedrooms, living rooms and private open spaces away from those noise sources, or protect these areas with appropriate noise attenuation measures.
- 28 The number of dwellings sharing a common internal pedestrian entry within a residential flat building should be minimised to limit noise generation in internal access ways.
- 29 External noise and light intrusion to bedrooms should be minimised by separating or shielding these rooms from:
 - (a) active communal recreation areas, parking areas and vehicle access ways
 - (b) service equipment areas and fixed noise sources on the same or adjacent sites.

Car Parking and Access

- 30 Driveway crossovers should be single width and appropriately separated, and the number should be minimised to optimise the provision of on-street visitor parking.
- 31 On-site parking should be provided having regard to:
 - (a) the number, nature and size of proposed dwellings
 - (b) proximity to centre facilities, public and community transport within walking distance of the dwellings
 - (c) the anticipated mobility and transport requirements of the likely occupants, particularly groups such as aged persons
 - (d) availability of on-street car parking
 - (e) any loss of on-street parking arising from the development (eg an increase in number of driveway crossovers).
- 32 Parking areas servicing more than one dwelling should be of a size and location to:
 - (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely

- (b) provide adequate space for vehicles to manoeuvre between the street and the parking area
 - (c) reinforce or contribute to attractive streetscapes.
- 33 On-site visitor parking spaces for group and multiple dwellings and residential flat buildings should be sited and designed to:
- (a) serve users efficiently and safely
 - (b) not dominate internal site layout
 - (c) be clearly defined as visitor spaces not specifically associated with any particular dwelling
 - (d) ensure they are not sited behind locked garages and are accessible to visitors at all times.
- 34 Driveways on arterial roads that serve more than one dwelling should be designed to cater for the simultaneous two-way movements of the largest vehicles expected to enter and exit the site.
- 35 On-site parking and manoeuvring areas servicing development abutting arterial roads should be designed to enable all vehicles to enter and exit the site in a forward direction.

Undercroft Garaging of Vehicles

- 36 Semi-basement or undercroft car parking should be suitably integrated with building form.
- 37 In the case of semi-basement car parks where cars are visible, adequate screening and landscaping should be provided.

Dependent Accommodation

- 38 Dependent accommodation (ie accommodation where the living unit is connected to the same services of the main dwelling) should be developed on the same allotment as the existing dwelling only where:
- (a) the site is of adequate size and configuration and the minimum total site is 1200 square metres
 - (b) the accommodation has a small floor area relative to the associated main dwelling with a floor area not exceeding 60 square metres
 - (c) adequate outdoor space of a minimum of 25 square metres, having a minimum dimension of 4 metres, is provided for the use of all occupants
 - (d) adequate on-site car parking is provided by one additional car parking space being provided on the site
 - (e) the building is designed to, and comprises colours and materials that will, complement the original dwelling
 - (f) the building is attached to the associated main dwelling
 - (g) sufficient land is available to accommodate any required on-site wastewater disposal.

Swimming Pools and Outdoor Spas

- 39 Swimming pools, outdoor spas and associated ancillary equipment and structures should be sited so as to protect the privacy and amenity of adjoining residential land.

Short-Term Workers Accommodation

OBJECTIVES

- 1 A range of appropriately located accommodation types supplied for seasonal and short-term workers.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Accommodation intended to be occupied on a temporary basis by persons engaged in employment relating to the production or processing of primary produce including minerals should be located within existing townships or within primary production areas, where it directly supports and is ancillary to legitimate primary production activities or related industries.
- 2 Buildings used for short-term workers accommodation should:
 - (a) be designed and constructed to enhance their appearance
 - (b) provide for the addition of a carport, verandas or pergolas as an integral part of the building
 - (c) where located outside of townships, not jeopardise the continuation of primary production on adjoining land or elsewhere in the zone
 - (d) be supplied with service infrastructure such as power, water, and effluent disposal sufficient to satisfy the living requirements of workers.
- 3 Short-term workers accommodation should not be adapted or used for permanent occupancy.
- 4 A common amenities building should be provided for temporary forms of short-term accommodation such as caravan and camping sites.

Siting and Visibility

OBJECTIVES

- 1 Protection of scenically attractive areas, particularly natural, rural and coastal landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to minimise its visual impact on:
 - (a) the natural, rural or heritage character of the area
 - (b) areas of high visual or scenic value, particularly rural and coastal areas
 - (c) views from the coast, near-shore waters, public reserves, tourist routes and walking trails
 - (d) the amenity of public beaches.
- 2 Buildings should be sited in unobtrusive locations and, in particular, should:
 - (a) be grouped together
 - (b) where possible be located in such a way as to be screened by existing vegetation when viewed from public roads.
- 3 Buildings outside of urban areas and in undulating landscapes should be sited in unobtrusive locations and in particular should be:
 - (a) sited below the ridgeline
 - (b) sited within valleys or behind spurs
 - (c) sited in such a way as to not be visible against the skyline when viewed from public roads
 - (d) set well back from public roads, particularly when the allotment is on the high side of the road.
- 4 Buildings and structures should be designed to minimise their visual impact in the landscape, in particular:
 - (a) the profile of buildings should be low and the rooflines should complement the natural form of the land
 - (b) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land
 - (c) large eaves, verandas and pergolas should be incorporated into designs so as to create shadowed areas that reduce the bulky appearance of buildings.
- 5 The nature of external surface materials of buildings should not detract from the visual character and amenity of the landscape.
- 6 The number of buildings and structures on land outside of urban areas should be limited to that necessary for the efficient management of the land.

- 7 Driveways and access tracks should be designed and surfaced to blend sympathetically with the landscape and to minimise interference with natural vegetation and landforms.
- 8 Development should be screened through the establishment of landscaping using locally indigenous plant species:
 - (a) around buildings and earthworks to provide a visual screen as well as shade in summer, and protection from prevailing winds
 - (b) along allotment boundaries to provide permanent screening of buildings and structures when viewed from adjoining properties and public roads
 - (c) along the verges of new roads and access tracks to provide screening and minimise erosion.

Sloping Land

OBJECTIVES

- 1 Development on sloping land designed to manage visual impacts, minimise impacts on the natural environment and protect soil stability and water quality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development and associated driveways and access tracks should be sited and designed to integrate with the natural topography of the land and minimise the need for earthworks.
- 2 Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that:
 - (a) minimises their visual impact
 - (b) reduces the bulk of the buildings and structures
 - (c) minimises the extent of cut and/or fill
 - (d) minimises the need for, and the height of, retaining walls
 - (e) does not cause or contribute to instability of any embankment or cutting
 - (f) avoids the silting of watercourses
 - (g) protects development and its surrounds from erosion caused by water run-off.
- 3 Driveways and access tracks across sloping land should be accessible and have a safe, all-weather trafficable surface.
- 4 Development sites should not be at risk of landslip.
- 5 Development on steep land should include site drainage systems to minimise erosion and avoid adverse impacts on slope stability.
- 6 Steep sloping sites in unsewered areas should not be developed unless the physical characteristics of the allotments enable the proper siting and operation of an effluent drainage field suitable for the development intended.
- 7 The cutting and/or filling of land outside townships and urban areas should:
 - (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation
 - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment
 - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion
 - (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.

Supported Accommodation, Housing for Aged Persons and People with Disabilities

OBJECTIVES

- 1 Provision of well designed supported accommodation for community groups with special needs in appropriate locations.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Supported accommodation (including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses) and housing for aged persons and people with disabilities should be:
 - (a) located within walking distance of essential facilities such as convenience shops, health and community services and public and community transport
 - (b) located where on-site movement of residents is not unduly restricted by the slope of the land
 - (c) sited and designed to promote interaction with other sections of the community, without compromising privacy
 - (d) of a scale and appearance that reflects the residential style and character of the locality
 - (e) provided with public and private open space and landscaping.
- 2 Supported accommodation and housing for aged persons and people with disabilities should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:
 - (a) internal communal areas and private spaces
 - (b) useable recreation areas for residents and visitors, including visiting children
 - (c) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry
 - (d) storage areas for items such as boats, trailers ,caravans and specialised equipment
 - (e) mail boxes and waste disposal areas within easy walking distance of all units.
- 3 Access roads within supported accommodation and development incorporating housing for aged persons and people with disabilities should:
 - (a) not have steep gradients
 - (b) provide convenient access for emergency vehicles, visitors and residents
 - (c) provide space for manoeuvring cars and community buses
 - (d) include kerb ramps at pedestrian crossing points
 - (e) have level-surface passenger loading areas.

- 4 Car parking associated with supported accommodation and housing for aged persons and people with disabilities should:
 - (a) be conveniently located on site within easy walking distance of resident units
 - (b) be adequate for residents, service providers and visitors
 - (c) include covered and secure parking for residents' vehicles
 - (d) have slip-resistant surfaces with gradients not steeper than 1-in-40
 - (e) allow ease of vehicle manoeuvrability
 - (f) be designed to allow the full opening of all vehicle doors
 - (g) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise
 - (h) be appropriately lit to enable safe and easy movement to and from vehicles.
- 5 Supported accommodation should include:
 - (a) ground-level access or lifted access to all units
 - (b) an interesting and attractive outlook from units and communal areas for all residents including those in wheelchairs
 - (c) adequate living space allowing for the use of wheelchairs with an attendant
 - (d) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles.
- 6 Car parking associated with supported accommodation should:
 - (a) have adequate identifiable provisions for staff
 - (b) include private parking spaces for independent living units
 - (c) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles.

Telecommunications Facilities

OBJECTIVES

- 1 Telecommunications facilities provided to deliver communication services to the community.
- 2 Telecommunications facilities sited and designed to minimise visual impact on the amenity of the local environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Telecommunications facilities should:
 - (a) be located in a co-ordinated manner to deliver communication services efficiently
 - (b) use materials and finishes that minimise visual impact
 - (c) have antennae located as close as practical to the support structure
 - (d) be located primarily in industrial, commercial, business, office, centre and rural zones
 - (e) where technically feasible, be co-located with other telecommunications facilities
 - (f) incorporate landscaping to screen the development, particularly equipment shelters and huts
 - (g) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points and significant vistas.
- 2 Telecommunications facilities in areas of high visitation and community use should use innovative design techniques (eg sculpture and other artworks) where possible and where the resulting design would positively contribute to the character of the area.
- 3 Telecommunications facilities should be located in residential zones only if sited and designed to minimise visual impact by:
 - (a) using existing buildings and vegetation for screening
 - (b) incorporating the facility within an existing structure that may serve another purpose
 - (c) taking into account the size, scale, context and characteristics of existing structures, landforms and vegetation so as to complement the local environment.
- 4 Telecommunications facilities should not have a direct or significant effect on the amenity, character and settings of Historic Conservation Areas, local heritage places, State heritage places or State Heritage Areas.

Tourism Development

OBJECTIVES

- 1 Environmentally sustainable and innovative tourism development.
- 2 Tourism development that assists in the conservation, interpretation and public appreciation of significant natural and cultural features including State or local heritage places.
- 3 Tourism development that sustains or enhances the local character, visual amenity and appeal of the area.
- 4 Tourism development that protects areas of exceptional natural value, allows for appropriate levels of visitation, and demonstrates an environmental analysis and design response which enhances environmental values.
- 5 Tourism development in rural areas that does not adversely affect the use of agricultural land for primary production.
- 6 Tourism development that contributes to local communities by adding vitality to neighbouring townships, regions and settlements.
- 7 Increased opportunities for visitors to stay overnight.
- 8 Ensure new development, together with associated bushfire management minimise the threat and impact of bushfires on life and property while protecting the environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Tourism development should have a functional or locational link with its natural, cultural or historical setting.
- 2 Tourism development and any associated activities should not damage or degrade any significant natural and cultural features.
- 3 Tourism development should ensure that its scale, form and location will not overwhelm, over commercialise or detract from the intrinsic natural values of the land on which it is sited or the character of its locality.
- 4 Tourism development should, where appropriate, add to the range of services and accommodation types available in an area.
- 5 Any upgrading of infrastructure to serve tourism development should be consistent with the landscape and the intrinsic natural values of the land and the basis of its appeal.
- 6 Major tourism developments should generally be located within designated areas and existing townships, towns or cities.

Tourism Development in Association with Dwelling(s)

- 7 Tourist facilities developed on the site of a dwelling should not detrimentally affect residential amenity.
- 8 Car parking for tourist accommodation associated with a dwelling should be provided at the rate of one space for each guest room or suite of rooms, and ensure that:

- (a) parking areas are attractively developed and landscaped, or screen fenced, and do not dominate the street frontage
- (b) the bedrooms of residential neighbours are suitably shielded from noise and headlight glare associated with guest vehicle movements
- (c) a domestic character is retained through the scale and appearance of landscaping and paving materials that provide a suitable all-weather surface.

Tourism Development Outside Townships

- 9 Tourist developments should demonstrate excellence in design to minimise potential impacts or intrusion on primary production activities and on areas of high conservation, landscape and cultural value.
- 10 Tourism developments in rural areas should be sited and designed to minimise impacts and have a functional or locational link with either of the following:
 - (a) the surrounding agricultural production or processing
 - (b) the natural, cultural or historical setting of the area.
- 11 Tourism developments in rural areas should primarily be developed in association with one or more of the following:
 - (a) agricultural, horticultural, viticultural or winery development
 - (b) heritage places and areas
 - (c) public open space and reserves
 - (d) walking and cycling trails
 - (e) interpretive infrastructure and signs.
- 12 Where appropriate, tourism developments in areas outside townships should:
 - (a) adapt and upgrade existing buildings of heritage value
 - (b) seek to improve conditions in disturbed or degraded areas on the site.
- 13 Advertisements associated with tourism developments should:
 - (a) not exceed 0.5 square metres in area for each display
 - (b) be limited to no more than two per site
 - (c) be located on the same site as the tourist development
 - (d) not be internally illuminated.
- 14 Tourism development in rural areas should occur only where it:
 - (a) incorporates a separation distance or buffers to avoid conflict with existing rural industries or agriculture or otherwise is designed to overcome the potential impacts associated with the adjoining land use (such as noise, dust, spray drift, odour and traffic)
 - (b) will not give rise to demands for infrastructure and services, especially on public lands, that are inappropriate to the primary purpose of the zone and/or policy area.

- 15 Tourism development, particularly in remote areas should be designed to minimise energy and water demands and incorporate alternative, sustainable technologies that use renewable energy sources and/or treat and re-use stormwater and wastewater to minimise reliance on mains services.
- 16 Natural features, signs and walkways should be used to manage and minimise potential risks of visitors damaging areas of cultural or natural significance, fragile areas, and areas of highest environmental value.
- 17 The visual and ambient impact of vehicles should be minimised by placing roadways and parking areas in unobtrusive locations.

Residential Parks and Caravan and Tourist Parks

- 18 Residential parks which are principally designed for residents should be located in areas with access to employment, shops, schools, public transport and community and recreation facilities.
- 19 Residential parks and Caravan and Tourist parks should be designed to:
 - (a) minimise potential conflicts between long-term residents and short-term tourists
 - (b) protect the privacy and amenity of occupants through landscaping and fencing
 - (c) minimise traffic speeds and provide a safe environment for pedestrians
 - (d) include centrally located recreation areas
 - (e) include extensive landscaping that enhances the appearance of the locality, with a landscape buffer around the perimeter of the site
 - (f) ensure that adequate amenity blocks (showers, toilets, laundry and kitchen facilities) and service facilities (eg public telephones, kiosks and restaurants) are provided to serve the population to be accommodated by the facility.
- 20 Visitor car parking should be provided at the rate of:
 - (a) one space per 10 sites to be used for accommodation for parks with less than 100 sites
 - (b) one space per 15 sites to be used for accommodation for parks with greater than 100 sites.
- 21 On-site visitor parking in Caravan and Tourist parks should:
 - (a) be designed and located to be accessible to visitors at all times
 - (b) not dominate the internal site layout
 - (c) be clearly defined as visitor spaces and not specifically associated with any particular accommodation site.
- 22 Long-term occupation of Caravan and Tourist parks should not lead to the displacement of existing tourist accommodation, particularly in important tourist destinations, such as in coastal or riverside locations.
- 23 A minimum of 12.5 per cent of a park should comprise communal open space, landscaped areas and recreation areas.
- 24 Landscaping should comprise locally indigenous species that are appropriate to the development and the subject land, and facilitate amenity and environmental sustainability.

Transportation and Access

OBJECTIVES

- 1 A comprehensive, integrated, affordable and efficient air, rail, sea, road, cycle and pedestrian transport system that will:
 - (a) provide equitable access to a range of public, community and private transport services for all people
 - (b) ensure a high level of safety
 - (c) effectively support the economic development of the State
 - (d) have minimal negative environmental and social impacts
 - (e) maintain options for the introduction of suitable new transport technologies.
- 2 Development that:
 - (a) provides safe and efficient movement for all motorised and non-motorised transport modes
 - (b) ensures access for vehicles including emergency services, public infrastructure maintenance and commercial vehicles
 - (c) provides off street parking
 - (d) is appropriately located so that it supports and makes best use of existing transport facilities and networks.
- 3 A road hierarchy that promotes safe and efficient transportation in an integrated manner throughout the State.
- 4 Provision of safe, pleasant, accessible, integrated and permeable pedestrian and cycling networks.
- 5 Safe and convenient freight movement throughout the State.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Land uses arranged to support the efficient provision of sustainable transport networks and encourage their use.

Movement Systems

- 2 Development should be integrated with existing transport networks, particularly major rail and road corridors as shown on *Location Maps* and *Overlay Maps - Transport*, and designed to minimise its potential impact on the functional performance of the transport networks.
- 3 Transport corridors should be sited and designed so as to not unreasonably interfere with the health and amenity of adjacent sensitive land uses.
- 4 Roads should be sited and designed to blend with the landscape and be in sympathy with the terrain.

- 5 Land uses that generate large numbers of visitors such as shopping centres and areas, places of employment, schools, hospitals and medium to high density residential uses should be located so that they can be serviced by existing transport networks and encourage walking and cycling.
- 6 Development generating high levels of traffic, such as schools, shopping centres and other retail areas, entertainment and sporting facilities, should incorporate passenger pick-up and set down areas. The design of such areas should ensure interference to existing traffic is minimised and give priority to pedestrians, cyclists and public and community transport users.
- 7 The location and design of public and community transport set-down and pick-up points should maximise safety and minimise the isolation and vulnerability of users.
- 8 Development should provide safe and convenient access for all anticipated modes of transport including cycling, walking, public and community transport, and motor vehicles.
- 9 Development at intersections, pedestrian and cycle crossings, and crossovers to allotments should maintain or enhance sightlines for motorists, cyclists and pedestrians to ensure safety for all road users and pedestrians.
- 10 Driveway cross-overs affecting pedestrian footpaths should maintain the level of the footpath.
- 11 Development should discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive land uses such as schools.
- 12 Industrial/commercial vehicle movements should be separated from passenger vehicle car parking areas.
- 13 Development should make sufficient provision on site for the loading, unloading and turning of all traffic likely to be generated.

Cycling and Walking

- 14 Development should ensure that a permeable street and path network is established that encourages walking and cycling through the provision of safe, convenient and attractive routes with connections to adjoining streets, paths, open spaces, schools, public and community transport stops and activity centres.
- 15 Development should provide access, and accommodate multiple route options, for cyclists by enhancing and integrating with open space networks, recreational trails, parks, reserves and recreation areas.
- 16 Cycling and pedestrian networks should be designed to be permeable and facilitate direct and efficient passage to neighbouring networks and facilities.
- 17 New developments should give priority to and not compromise existing designated bicycle routes.
- 18 Where development coincides with, intersects or divides a proposed bicycle route or corridor, development should incorporate through-access for cyclists.
- 19 Developments should encourage and facilitate cycling as a mode of transport by incorporating end-of-journey facilities including:
 - (a) showers, changing facilities, and secure lockers
 - (b) signage indicating the location of bicycle facilities
 - (c) secure bicycle parking facilities.
- 20 Pedestrian facilities and networks should be designed and provided in accordance with relevant provisions of the *Australian Standards and Austroads Guide to Traffic Engineering Practice Part 13*.

- 21 Cycling facilities and networks should be designed and provided in accordance with the relevant provisions of the *Australian Standards and Austroads Guide to Traffic Engineering Practice Part 14*.

Access

- 22 Development should have direct access from an all weather public road.
- 23 Development should be provided with safe and convenient access which:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads
 - (b) provides appropriate separation distances from existing roads or level crossings
 - (c) accommodates the type and volume of traffic likely to be generated by the development or land use and minimises induced traffic through over-provision
 - (d) is sited and designed to minimise any adverse impacts on the occupants of and visitors to neighbouring properties.
- 24 Development should not restrict access to publicly owned land such as recreation areas.
- 25 The number of vehicle access points onto arterial roads shown on *Overlay Maps - Transport* should be minimised, and where possible access points should be:
- (a) limited to local roads
 - (b) shared between developments.
- 26 The number of access points for cyclists and pedestrians onto all adjoining roads should be maximised.
- 27 Development with access from arterial roads or roads as shown on *Overlay Maps - Transport* should be sited to avoid the need for vehicles to reverse on to or from the road.
- 28 Driveways, access tracks and parking areas should be designed and constructed to:
- (a) follow the natural contours of the land
 - (b) minimise excavation and/or fill
 - (c) minimise the potential for erosion from run-off
 - (d) avoid the removal of existing vegetation
 - (e) be consistent with *Australian Standard AS 2890: Parking facilities*.

Access for People with Disabilities

- 29 Development should be sited and designed to provide convenient access for people with a disability.
- 30 Where appropriate and practical, development should provide for safe and convenient access to the coast and beaches for disabled persons.

Vehicle Parking

- 31 Development should provide off-street vehicle parking and specifically marked disabled car parking places to meet anticipated demand in accordance with [Table YoP/3 - Off Street Vehicle Parking Requirements](#).
- 32 Development should be consistent with *Australian Standard AS 2890: Parking facilities*.

- 33 Vehicle parking areas should be sited and designed in a manner that will:
- (a) facilitate safe and convenient pedestrian linkages to the development and areas of significant activity or interest in the vicinity of the development
 - (b) include safe pedestrian and bicycle linkages that complement the overall pedestrian and cycling network
 - (c) not inhibit safe and convenient traffic circulation
 - (d) result in minimal conflict between customer and service vehicles
 - (e) avoid the necessity to use public roads when moving from one part of a parking area to another
 - (f) minimise the number of vehicle access points to public roads
 - (g) avoid the necessity for backing onto public roads
 - (h) where reasonably possible, provide the opportunity for shared use of car parking and integration of car parking areas with adjoining development to reduce the total extent of vehicle parking areas and the requirement for access points
 - (i) not dominate the character and appearance of a site when viewed from public roads and spaces
 - (j) provide landscaping that will shade and enhance the appearance of the vehicle parking areas.
- 34 Vehicle parking areas should be designed to reduce opportunities for crime by:
- (a) maximising the potential for passive surveillance by ensuring they can be overlooked from nearby buildings and roads
 - (b) incorporating walls and landscaping that do not obscure vehicles or provide potential hiding places
 - (c) being appropriately lit
 - (d) having clearly visible walkways.
- 35 Where parking areas are not obviously visible or navigated, signs indicating the location and availability of vehicle parking spaces associated with businesses should be displayed at locations readily visible to customers.
- 36 Parking areas that are likely to be used during non daylight hours should provide floodlit entrance and exit points and site lighting directed and shaded in a manner that will not cause nuisance to adjacent properties or users of the car park.
- 37 Parking areas should be sealed or paved in order to minimise dust and mud nuisance.
- 38 To assist with stormwater detention and reduce heat loads in summer, vehicle parking areas should include soft (living) landscaping.
- 39 Parking areas should be line-marked to indicate parking bays, movement aisles and direction of traffic flow.

Waste

OBJECTIVES

- 1 Development that, in order of priority, avoids the production of waste, minimises the production of waste, reuses waste, recycles waste for reuse, treats waste and disposes of waste in an environmentally sound manner.
- 2 Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including, soil, plant and animal biodiversity, human health and the amenity of the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:
 - (a) avoiding the production of waste
 - (b) minimising waste production
 - (c) reusing waste
 - (d) recycling waste
 - (e) recovering part of the waste for re-use
 - (f) treating waste to reduce the potentially degrading impacts
 - (g) disposing of waste in an environmentally sound manner.
- 2 The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.
- 3 Development should avoid as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).
- 4 Untreated waste should not be discharged to the environment, and in particular to any water body.
- 5 Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.
- 6 Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:
 - (a) screened and separated from adjoining areas
 - (b) located to avoid impacting on adjoining sensitive environments or land uses
 - (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system
 - (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water

- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

Wastewater

- 7 The disposal of wastewater to land should only occur where methods of wastewater reduction and re-use are unable to remove the need for its disposal, and where its application to the land is environmentally sustainable.
- 8 Wastewater lagoons should not be sited in any of the following areas:
 - (a) within land subject to a 1-in-100 year average return interval flood event
 - (b) within 50 metres of the top of the bank of a watercourse
 - (c) within 500 metres of the coastal high water mark
 - (d) where the base of the lagoon would be below any seasonal water table.
- 9 Artificial wetland systems for the storage of treated wastewater, such as wastewater lagoons, should be:
 - (a) sufficiently separated from adjoining sensitive uses to minimise potential adverse odour impacts
 - (b) sited and designed to minimise potential public health risks arising from the breeding of mosquitoes.

Waste Treatment Systems

- 10 Development that produces any sewage or effluent should be connected to a waste treatment system that complies with (or can comply with) the relevant public and environmental health legislation applying to that type of system.
- 11 The methods for, and siting of, effluent and waste storage, treatment and disposal systems should minimise the potential for environmental harm and adverse impacts on:
 - (a) the quality of surface and groundwater resources
 - (b) public health
 - (c) the amenity of a locality
 - (d) sensitive land uses.
- 12 Waste treatment should only occur where the capacity of the treatment facility is sufficient to accommodate likely maximum daily demands including a contingency for unexpected high flows and breakdowns.
- 13 Any on-site wastewater treatment system/ re-use system or effluent drainage field should be located within the allotment of the development that it will service.
- 14 A dedicated on-site effluent disposal area should not include any areas to be used for, or could be reasonably foreseen to be used for, private outdoor open space, driveways, car parking or outbuildings.
- 15 The spreading or discharging of treated liquid or solid waste onto the ground should only occur where the disposal area consists of soil and vegetation that has the capacity to store and use the waste without contaminating soil or surface or ground water resources or damaging crops.

- 16 Stock slaughter works, poultry processors, saleyards, piggeries, cattle feedlots, milking sheds, milk processing works, fish processing works, wineries, distilleries, tanneries and fellmongeries, composting works, waste or recycling depots and concrete batching works should have a wastewater management system that is designed so as not to discharge wastes generated by the premises:
- (a) into any waters
 - (b) onto land in a place where it is reasonably likely to enter any waters by processes such as:
 - (i) seepage
 - (ii) infiltration
 - (iii) carriage by wind, rain, sea spray, or stormwater
 - (iv) the rising of the watertable.

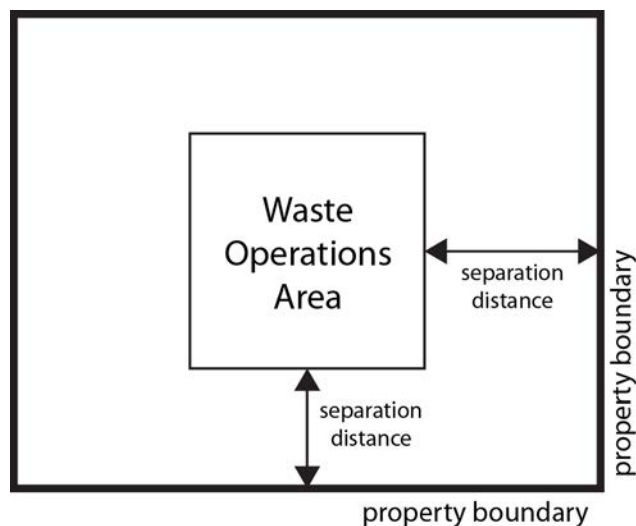
Waste Management Facilities

OBJECTIVES

- 1 The orderly and economic development of waste management facilities in appropriate locations.
- 2 Minimisation of human and environmental health impacts from the location and operation of waste management facilities.
- 3 Protection of waste management facilities from incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Waste management facilities should be located and designed to minimise adverse impacts on both the site and surrounding areas from the generation of surface water and groundwater pollution, traffic, noise, odours, dust, vermin, weeds, litter, gas and visual impact.
- 2 Waste management facilities in the form of land fill and organic processing facilities should not be located in existing or future township, living, residential, centre, office, business, institutional or environmental protection, conservation, landscape, water protection and open space areas.
- 3 Waste management facilities should not be located where access to the facility requires, or is likely to involve, the use of non-arterial roads in adjacent residential areas.
- 4 Waste management facilities should:
 - (a) be appropriately separated from sensitive land uses and environmentally-sensitive areas
 - (b) incorporate the separation distance between the waste operations area (including all closed, operating and future cells) and sensitive uses within the development site as illustrated in the figure below:



- (c) not incorporate other land uses and activities within the separation distance unless they are compatible with both a waste management facility and any adjacent land uses.
- 5 Separation and/or noise attenuation should be used to ensure noise generation associated with the waste management operation does not unreasonably interfere with the amenity of sensitive land uses.

- 6 Sufficient area should be provided within the waste operations area for the:
 - (a) maximum expected volume of material on the site at any one time
 - (b) containment of potential groundwater and surface water contaminants
 - (c) diversion of clean stormwater away from the waste and potentially-contaminated areas.
- 7 Processing facilities and operational areas should be screened from public view.
- 8 Waste management sites should be accessed by appropriately constructed and maintained roads.
- 9 Traffic circulation movements within any waste management site should:
 - (a) be of a dimension and constructed to support all vehicles transporting waste
 - (b) enable all vehicles to enter and exit the site in a forward direction.
- 10 Suitable access for emergency vehicles should be provided to and within waste management sites.
- 11 Chain wire mesh or pre-coated painted metal fencing to a minimum height of 2 metres should be erected on the perimeter of a waste management facility site to prevent access other than at entry points.
- 12 Plant, equipment or activities that could cause a potential hazard to the public should be enclosed by a security fence.
- 13 Litter control measures that minimise the incidence of wind blown litter should be provided.
- 14 The waste operations area of a landfill or organic waste processing facility should be sited at least:
 - (a) 3 kilometres from an airfield used by commercial aircraft to minimise the risk of bird strikes to aircraft
 - (b) 500 metres from:
 - (i) the boundaries of the allotment
 - (ii) the nearest dwelling, shop, office, public institution or other building designed primarily for human occupation in the case of an organic waste processing facility for the composting of waste
 - (c) 250 metres from a public open space reserve, forest reserve, national park, conservation zone or policy area
 - (d) 100 metres from:
 - (i) the nearest surface water (whether permanent or intermittent)
 - (ii) a 1-in-100 year average return interval flood event area.
- 15 The waste operations area of a landfill should not be located on land:
 - (a) that is subject to land slipping
 - (b) with ground slopes greater than 10 per cent, except where the site incorporates a disused quarry.
- 16 The waste operations area of an organic waste processing facility should not be located on land:
 - (a) that is subject to land slipping

- (b) with ground slopes greater than 6 per cent
 - (c) where the interface of the engineered landfill liner and natural soils would be within any of the following:
 - (i) 15 metres of unconfined aquifers bearing groundwater with less than 3000 milligrams per litres total dissolved salts
 - (ii) 5 metres of groundwater with a water quality of 3000 to 12 000 milligrams per litres total dissolved salts
 - (iii) 2 metres of groundwater with a water quality of greater than 12 000 milligrams per litres total dissolved salts.
- 17 Where required, a leachate barrier should be provided between the operational areas and underlying soil and groundwater.
- 18 Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should make sustainable use of landfill gas emissions. For smaller landfill activities, if the sustainable use of the landfill gas emissions is not practical or feasible, flaring should be used to avoid gases being vented directly to the air.

Zone Section

Aquaculture Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily for land-based facilities for marine-based aquaculture farms and for intensive animal keeping in the form of aquaculture, including associated support facilities.
- 2 Development sited and designed to minimise potential off-site impacts.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

A zone characterised by land-based aquaculture development to support off-shore oyster farming.

The zone serves as the focal point of oyster cultivation in Stansbury. This will involve the accommodation of on-shore facilities that are required for marine aquaculture lease sites in the waters off Stansbury, and the relocation of existing aquaculture activity from the residential areas of Stansbury.

Development comprising indoor and outdoor storage; processing and wash-down areas; and a caretaker's residence will be an integral component of the zone. Support facilities are envisaged to include light industrial activities such as the cleaning, washing, packing or adapting for sale of any fish or marine produce and the small-scale manufacture, maintenance or repair of infrastructure used in aquaculture, plus the storage of boats, vehicles and equipment associated with aquaculture activities.

Development may also provide limited value adding opportunities such as visitor amenities, including shop and dining, to maximize benefits flowing from tourism and hospitality.

The built character of the zone will be necessarily varied due to the range of uses it will encompass. Notwithstanding this, it is desirable that attempts be made to achieve an integrated and consistent layout and building design throughout the zone.

The nature of the land uses envisaged in the zone is such that offsite impacts or nuisance to surrounding land uses may occur (such as the creation of dust, noise, odour, over-spray or other forms of pollution). However it is envisaged that such impacts will be minimised wherever possible, principally through the siting and design of development.

Development will be self-sufficient in terms of water usage in order to limit demand on the township's mains water supply. To achieve this, the collection and re-use of stormwater and wastewater will be encouraged.

A landscaped vegetation buffer of suitable trees and shrubs will be established along the perimeter of the zone to define its boundary and screen development from public roads and adjoining land.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - land-based aquaculture and related infrastructure
 - dwelling in association with and ancillary to aquaculture-related development

- office in association with and ancillary to aquaculture
 - processing and packaging facility associated with and ancillary to aquaculture
 - shop in association with and ancillary to aquaculture having a gross leasable area not greater than 60 square metres
 - storage and warehousing associated with and ancillary to aquaculture.
- 2 Dwellings or tourism development should only occur where it is in association with and ancillary to aquaculture.
- 3 Development listed as non-complying is generally inappropriate.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Dwellings should be sited at the front of the allotment with buildings associated with aquaculture located behind the dwelling.
- 6 Sheds and associated outbuildings should have a total floor area not exceeding 500 square metres.
- 7 A landscaped buffer of at least 30 metres in width should be provided in accordance with the following:
- (a) along the road boundary
 - (b) along any boundary adjoining a living, tourist accommodation, rural living or rural land use.
- 8 Development should incorporate a stormwater management scheme that includes on-site water harvesting for the maintenance of landscaped areas.
- 9 Buildings and structures should be a maximum of 8 metres in height.
- 10 Development not capable of connection to a reticulated or similar water supply should provide water storage tanks with a total capacity of not less than 100 000 litres.
- 11 Adequate wash-down facilities established to enable the storage and cleaning of oyster racks, boats and other equipment should:
- (a) be sited and designed so as to minimise any potential impact from noise and odour generated from cleaning activities
 - (b) have a hard surface and bunded, with run off diverted to a water treatment system capable of removing biological wastes, litter, sediment, fuel and oil products
 - (c) be screened against the prevailing wind direction to minimise the potential for spray drift.

Land Division

- 12 Land division should create allotments that have an area not less than 5000 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	Except where all of the following apply: <ul style="list-style-type: none"> (a) it is ancillary and in association with aquaculture (b) it is on the same allotment as an aquaculture development.
Educational establishment	Except where all of the following apply: <ul style="list-style-type: none"> (a) it is ancillary and in association with aquaculture (b) it is on the same allotment as an aquaculture development.
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	Except in association with and ancillary or related to aquaculture.

Form of Development	Exceptions
Intensive animal keeping	Except for the purposes of: (a) land based aquaculture (b) inlet and outlet pipes in association with aquaculture.
Mining	
Motel	
Motor repair station	
Nursing home	
Office	Except where all of the following apply: (a) it is in association with and ancillary to aquaculture development (b) it is located on the same allotment as the aquaculture development.
Petrol filling station	
Place of worship	
Pre-school	
Primary School	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	Except where all of the following apply: (a) the gross leasable area is less than 60 square metres (b) it is in association with and ancillary to aquaculture (c) it is located on the same allotment as the aquaculture development.
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	Except in association with and ancillary to aquaculture.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Domestic outbuilding Dwelling where both of the following apply: (a) it is ancillary and in association with aquaculture (b) it is on the same allotment as an aquaculture development. Industry where it is associated with aquaculture Land division	Shop where all of the following apply: (a) the gross leasable area is less than 60 square metres (b) it is in association with and ancillary to aquaculture (c) it is located on the same allotment as the aquaculture development.

Bulk Handling Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone in which agricultural and other commodities are received, stored and dispatched in bulk.
- 2 Buildings and structures screened from adjoining areas by landscaping, using locally indigenous plant species where possible.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will accommodate essential infrastructure for the bulk handling and storage of agricultural and other commodities that needs to be protected from incompatible development in adjacent zones. Related development attracting employment and economic development will be developed in conjunction with the bulk handling activities within the zone.

Bulk handling facilities typically include silos and other highly visible structures. Landscaping will be established around the perimeter of development sites to provide a 'green setting' and to screen views from adjoining roads and residential areas.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - office and workers' amenities (operating as an adjunct to a bulk handling use of the site)
 - road transport terminal
 - value-adding industries associated with bulk commodities.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development unrelated to facilities associated with the reception, storage and dispatch of agricultural and other commodities in bulk, or value-adding industries processing such commodities should not occur.
- 4 Development should not impede the on-going operation of facilities associated with the handling and storage of bulk commodities.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/1 - Maitland Bulk Handling](#).
- 7 Development should incorporate a common stormwater detention system and promote the efficient re-use of storm water for purposes such as dust control and watering landscape areas.

- 8 Development associated with the handling and storage of bulk commodities, or value-adding processing, should be undertaken in a manner that minimises adverse off-site impacts on sensitive land uses.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Amusement machine centre	
Caravan park	
Community centre	
Consulting room	
Crematorium	
Dwelling	
Educational establishment	
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Motor repair station	
Nursing home	
Petrol filling station	
Place of worship	
Pre-school	
Residential flat building	
Shop or group of shops	
Special industry	
Stock sales yard	
Stock slaughter works	
Tourist accommodation	

Form of development	Exceptions
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Waste reception, storage, treatment or disposal

Wrecking yard

Public Notification

Categories of public notification are prescribed in Schedule 9 of the Development Regulations 2008.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
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Bulk handling and storage facilities

General industry

Fuel depot

Light industry

Road transport terminal

Store

Warehouse

Caravan and Tourist Park Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily for short-term tourist accommodation and associated facilities.
- 2 A zone accommodating a range of short-term tourist accommodation predominantly in the form of caravan and camping sites, cabins, serviced apartments and transportable dwellings surrounded by open landscaped areas.
- 3 Development that is designed to enhance the natural features of the local environment, including visual amenity, landforms, fauna and flora.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone primarily accommodates a range of tourist accommodation uses, including camping sites, caravans and cabins.

Dwellings and long-term accommodation will not lead to the displacement of existing tourist accommodation in high demand locations.

Circulation and movement within the park will be pedestrian friendly and promote low speed vehicle movement.

The land within the zone at Maitland has previously been used for horticulture purposes. This land should not be developed until it is demonstrated that the land is or will be suitable for its intended use.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - amenity block, including shower, toilet and laundry facilities
 - cabin
 - caravan park
 - caravan permanently fixed to land
 - camping ground
 - recreation area including tennis court, basketball court, playground
 - swimming pool/spa
 - tourist park and other forms of tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 Permanent buildings should be limited to a dwelling (manager's house), shop (in association with and ancillary to a caravan and tourist park), community or recreational facility and toilets/amenities.

- 5 Recreation facilities should be provided of a scale that is suitable to maintain the open natural character of the area and ancillary to the primary role and function of the park.
- 6 The total number of tourist accommodation sites in the park should be at least 60 per cent of the total number of sites available.
- 7 Every caravan, cabin and dwelling site should be greater than 81 square metres in area.
- 8 Landscaping should form an integral part of the design and be used to define spaces, reinforce internal networks, screen utility areas and enhance the visual amenity of the area.
- 9 Development should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/2 - Black Point](#).

Car Parking and Access

- 10 Every caravan, cabin or dwelling site should have parking for at least one vehicle, either located on the site or grouped within the park.
- 11 Internal road surfaces should be surfaced to prevent dust becoming a nuisance.

Street and Boundary Setbacks

- 12 Every dwelling, annex, caravan fixed to land, recreational facility or amenities building should be set back a minimum of:
 - (a) 1 metre from an internal road
 - (b) 6 metres from a public road
 - (c) 2 metres from the boundary of the caravan park or camping ground.

Natural Hazards

- 13 In areas prone to flooding, bushfire or other natural hazards, buildings and structures (including annexes attached to caravans or caravans fixed to land) should be designed and constructed so that they can be removed in the event of a hazard.

Land Division

- 14 No additional allotment(s) should be created wholly or partly within the zone except where a lease or license agreement is made, granted or accepted under the *Residential Parks Act 2007*.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Bus depot	

Form of Development	Exceptions
Cemetery	
Commercial forestry	
Community centre	Except where in association with and ancillary to tourist accommodation.
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except for a manager's residence in association with and ancillary to tourist accommodation.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	Except where in association with and ancillary to tourist accommodation.
Industry	
Intensive animal keeping	
Land division which results in the creation of additional allotment(s) either wholly or partly within the zone.	Except where a lease or licence agreement is made, granted or accepted under the <i>Residential Parks Act 2007</i> .
Marina	
Motor repair station	
Nursing home	
Office	Except where in association with and ancillary to tourist accommodation.
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	

Form of Development	Exceptions
Restaurant	Except where it is both: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where it is both: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Amenity block, including shower, toilet, laundry and kitchen facilities	Convention centre Community centre in the form of a clubroom
Cabin	
Camping ground	
Caravan park	
Caravan permanently fixed to land	
Recreation area	
Swimming pool	
Tourist park	

Coastal Conservation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 To enhance and conserve the natural features of the coast including visual amenity, landforms, fauna and flora.
- 2 Low-intensity recreational uses located where environmental impacts on the coast will be minimal.
- 3 Limited agricultural activity undertaken in such a manner so as to protect existing native vegetation and sensitive areas such as sand dunes and cliff tops.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The coastal areas either side of Yorke Peninsula fall into three distinct environments, comprising, along the east coast mangrove swamps, then clay and limestone cliffs rising steeply above narrow sand or shingle beaches. The west coast consists of broad, gently sloping beaches backed by a sand dune system of well vegetated parallel dunes between 3 and 10 metres high.

The coastal margins of the council area are an important and integral component of the ecosystem, providing a buffer between the active coastal process and the more stable terrestrial environment beyond. Moreover, because of the level of human intervention in clearing land for agriculture, the coastal areas, particularly the west coast dunes, remain in a largely natural state and provide an important source of habitat and plant diversity.

The zone is intended to promote the preservation and conservation of natural coastal features and Commercial and recreational fishing, farming and aquaculture opportunities where such uses are compatible with the natural features of the locality.

The coastal areas are sensitive to human activity and are subject to the impacts from sea level rise and coastal erosion. As such, the zone requires careful and strict management practices.

Agricultural use within the zone will be limited to free range grazing and cropping, aquaculture and water desalination plants accommodated in existing cleared areas.

Cliff tops and sand dunes will be excluded from agricultural activities and other development.

The siting of buildings associated with farming pursuits will be limited to existing cleared areas and the replanting of native vegetation common to the area will be a requirement of any development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - conservation work
 - interpretive signage and facility
 - small scale tourism/visitor facility (excluding accommodation).

- 2 Development listed as non-complying is generally inappropriate.
- 3 Residential development should be limited to the upgrading or replacement of existing detached dwellings where they are not vulnerable to coastal hazards and are compatible with the natural features of the locality.
- 4 Buildings and structures should mainly be for essential purposes, such as shelters and toilet facilities associated with public recreation, navigation purposes or necessary minor public works.
- 5 Development involving the removal of shell grit or sand, other than for coastal protection works purposes, or the disposal of domestic and industrial waste should not be undertaken.
- 6 Aquaculture inlet and outlet pipes should not be developed unless one or more of the following applies:
 - (a) the adjoining land is located in an aquaculture zone
 - (b) the environmental impacts will be minimal.

Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 8 Development should have regard to the design guidelines contained in [Table YoP/4 - Design Guidelines for Coastal Dwellings](#).
- 9 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 10 Development should:
 - (a) not adversely impact on the ability to maintain the coastal frontage in a stable and natural condition
 - (b) minimise vehicle access points to the area that is the subject of the development
 - (c) be landscaped with locally indigenous plant species to enhance the amenity of the area and to screen buildings from public view
 - (d) utilise external low reflective materials and finishes that will minimise glare and blend in with the features of the landscape.
- 11 Where public access is necessary in sensitive locations, walkways and fencing should be provided to effectively control access.
- 12 Car parking and access points to development should, wherever practicable, be:
 - (a) constructed of a permeable surface
 - (b) located on cleared land or along property boundaries to avoid the unnecessary removal of native vegetation.

Land Division

- 13 Land division should only occur where:
 - (a) no additional allotments are created wholly or partly within the zone
 - (b) there is no increase in the number of allotments with direct access to the coast or a reserve including by creation of land under rights of way or community titles.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

No other forms of development are complying in the zone.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Except in association with conservation works for tourist information purposes.
Aquaculture	Except where it is located on existing cleared farmland.
Amusement machine centre	
Building	Except where associated with a dwelling located on a freehold Certificate of Title and which does not exceed 4.5 metres in height (excluding any elevation necessary for hazard minimisation from sea level rise).
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except where it achieves one of the following: <ul style="list-style-type: none"> (a) it is used for the purposes of administering either or both of the: <ul style="list-style-type: none"> (i) <i>National Parks and Wildlife Act 1972</i> (ii) <i>Wilderness Protection Act 1992</i> (b) it will replace an existing dwelling located on a freehold Certificate of Title, provided it is not vulnerable to coastal hazards, and not exceed 4.5 metres in height above natural ground level (excluding any elevation necessary for hazard minimisation from sea level rise).
Educational establishment	
Farm building	Except where it is located on existing cleared farmland.
Farming	Except where it is located on existing cleared farmland.
Fuel depot	

Form of Development	Exceptions
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	Except inlet and outlet pipes in association with aquaculture.
Land division	<p>Except where</p> <ul style="list-style-type: none"> (a) there is no increase in the number of allotments with a frontage or direct access to the coast (b) no additional allotments are created wholly or partly within the zone other than for the purpose of creating a public reserve on Allotment 102, DP 34305, CT 5079/837.
Marina	
Motel	
Motor repair station	
Nursing home	
Office	Except where used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i> .
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	Except where undertaken within Ramsay Conservation Park or Wills Creek Conservation Park.
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	

Form of Development	Exceptions
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Filling of land that is necessary for hazard minimization from sea level rise, up to 1 metre above natural ground level.	Filling of land that is necessary for hazard minimization from sea level rise, over 1 metre above natural ground level.

Coastal Marina Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone that provides for a marina and maritime development.
- 2 Development designed and sited to complement the coastal setting and, in particular, the cliffs which form a backdrop to the Port Vincent marina.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Development in the zone will comprise a mixture of tourist accommodation and waterfront commercial uses. Tourist accommodation will be located above waterfront commercial uses.

Development will be designed to achieve a suitable visual relationship with the cliffs that form the backdrop to the marina, and to create a concentrated tourist activity focus.

Two storey contemporary styled development is preferred and buildings facing the marina will abut each other or have minimal side set-backs so as to achieve a cohesive frontage to the marina. Road access to waterfront development will be from the landward side with pedestrian access and activity located on the marina frontage.

Buildings and any associated signage will be in muted, natural colours suited to the foreshore, including shades of blue, grey, pale yellow, pale green and sand colours, and constructed of robust material suitable for the coastal environment. Buildings must be highly articulated to all elevations, with the use of verandas, sun hood, sun shades and similar architectural treatments to reduce the impact of vertical walls. Glass walls should be used extensively at ground level to create an active interface between the building and adjoining public spaces.

Outdoor eating areas are encouraged up to and over water frontages, without unreasonably limiting public access to the waterfront and given the exposed location; particular care is required for the screening of service areas.

Landscaping will be low, native grasses suitable to the coastal environment together with clear stem shade trees to the car park and landscape beds away from the building.

Roof stormwater will be captured for re-use in the building(s) and stormwater from paved areas will be disposed of via grassed swales and through a stormwater treatment system capable of removing litter, sediment and oil products before its off site discharge. Steps will be taken to prevent beach erosion from any stormwater discharge.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - boat berth, jetty, pier and pontoons
 - boat construction, maintenance, repair or sale

- boat servicing facility (including fuel supply, power, water, effluent pump, toilets and showers)
 - coastal protection work
 - clubroom in association with a marina
 - ferry landing
 - licensed premises in association with a hotel or restaurant
 - loading and unloading facility
 - marina
 - maritime structures
 - motel
 - office as associated with the administration of a marina
 - parking for vehicles and boats, including for the public
 - public boat ramp
 - restaurant
 - shop or group of shops where the gross leasable area is less than 50 square metres
 - small scale tourist development
 - tourist accommodation
 - storage
 - wastewater collection, storage and transfer facility.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should comprise a mixture of tourist accommodation and waterfront commercial activities with tourist accommodation being encouraged to locate above the waterfront commercial uses.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Development of a retail or commercial nature should:
- (a) relate directly to the operation of the marina
 - (b) be limited in scale and size so as to serve the day-to-day needs of marina users and residents only
 - (c) not exceed 50 square metres in gross leasable floor area.
- 6 Development including associated roads and parking areas should be protected from sea level rise by ensuring all of the following apply:
- (a) there are practical measures available to protect the development against an additional sea level rise of 0.7 metres
 - (b) there is an allowance to accommodate land subsidence until the year 2100 at the site
 - (c) site and building floor levels are in accordance with those outlined in following table:

Location of development	Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)
On land	3.5	3.7

- 7 Development near the zone boundary should be buffered from adjacent residential development by means of landscape plantings.
- 8 Overwater development should be limited to boat berthing, boat servicing facilities, walkways and channel markers.
- 9 Public access to the waterfront and breakwaters should be maintained.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Aquaculture	
Buildings having a site level below 3.5 metres Australian Height Datum or a building floor level below 3.7 metres Australian Height Datum	
Consulting room	
Dwelling	
Industry	Except for a light industry where it is directly associated with boat servicing, maintenance or repair.
Land division	
Office	Except where associated with the administration of a marina.
Residential flat building	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is less than 50 square metres.

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Advertisement for identification or directional purposes	
Clubroom	
Hotel	
Indoor recreation centre	
Light industry where it is ancillary to and in association with the marina	
Marina	
Motel	
Motor repair station where it is to be used for the repair and maintenance of water-borne craft	

Category 1

Category 2

Office

Petrol filling station for water-borne craft where it is ancillary to and in association with the marina

Recreation area

Restaurant

Store

Tourist accommodation

Coastal Open Space Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Coastal land protected from development other than that necessary for conservation, recreational activity and public facilities.
- 2 Preservation and upgrading of the scenic character of the coastal landscape and foreshore areas fronting urban areas, townships or settlements.
- 3 Development of foreshore areas for a range of passive and active outdoor recreation activities and open space development, conservation and revegetation, in a parkland setting.
- 4 Land subject to inundation or susceptible to erosion kept free of development.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Development in the zone will maintain the coastal areas in front of existing settlements as open space and will preserve public access to the coast and encourage uses that will enhance the communities' enjoyment of the coast.

Increasingly, the zone serve as a buffer to sea level rise and for this reason development should be sited to preserve land for future coast protection works as these are required, or to allow the natural evolution of the coast as may be appropriate.

Where sea level rise is an issue, new buildings will be of lightweight construction so that they can be easily removed from the land in the event of permanent inundation.

In some instances, significant elevation will be required to meet minimum flooding standards for hazard risk minimization from sea level rise. In situations such as this, it is Council's preference for the amount of site fill to be minimized with buildings to be elevated on stilts/poles to minimize the risk of flooding.

At Black Point, the gradual relocation of shacks from the zone will be achieved by the removal of the shacks but not the existing coast protection works which will be retained so as to protect adjoining shack sites from erosion. Once a group of shacks has been removed, and subject to appropriate measures being put in place to protect remaining shacks, the coast protection measures in front of the vacated sites will be removed in a co-ordinated manner.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection works
 - community recreation facility directly related to water activities (such as sailing clubs, boat ramps)
 - conservation works
 - jetty and boat ramp
 - recreation area
 - toilet blocks and barbeque facilities
 - public car parking.

- 2 Development listed as non-complying is generally inappropriate.
- 3 The provision of facilities should be related to the demand for such facilities so as to prevent oversupply and inappropriate siting.
- 4 Development should be for public purposes and use.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development, except where located in **Precinct 1 Black Point**, should have regard to the design guidelines contained in [Table YoP/4 - Design Guidelines for Coastal Dwellings](#).
- 7 Buildings and structures should not be erected unless they are in the form of public facilities that are:
 - (a) small-scale in nature and not more than one storey in height nor more than 100 square metres in total floor area
 - (b) required for the mooring, servicing, handling, fuelling or launching of boats and other water-borne craft
 - (c) associated with a community or recreational use.
- 8 Development should not diminish the ability of the public to use and enjoy the coast or to gain access to the foreshore.
- 9 Development should be of a high standard of co-ordinated design with an emphasis on the creation of pedestrian areas.
- 10 Community facilities including shelters, boat ramps, public conveniences and kiosks, should be sited in convenient and accessible locations linked to the surrounding vehicular and pedestrian movement networks.
- 11 Development should be designed and sited to be compatible with conservation and enhancement of the coastal environment and scenic beauty of the zone.
- 12 Development should be set back a minimum of 4 metres from the seaward allotment boundary to allow for future coast protection works if required.

Land Division

- 13 Land division should not be undertaken except where:
 - (a) it will facilitate an envisaged use within the zone
 - (b) no additional allotments are created
 - (c) it is for the purpose of creating a public road or a public reserve
 - (d) there is no increase in the number of allotments with frontage or direct access to the coast.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precinct.

Precinct 1 Black Point

- 14 Development should have regard to the design guidelines contained in [Table YoP/5 - Design Guidelines for Black Point](#).
- 15 The foreshore area should be retained and protected through the removal of existing shacks and restoration and preservation of the front dune system and through the co-ordinated removal of existing seawalls.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Building that exceeds 4.5 metres in height (excluding any elevation necessary for hazard minimisation from sea level rise)	
Bus depot	
Caravan park	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dam	
Domestic outbuilding	
Dwelling (including alterations and additions to an existing dwelling)	Except for an open-sided veranda or pergola addition to the non-seaward side or rear of an existing dwelling.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	

Form of Development	Exceptions
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Land division	Except where both of the following apply: (a) no additional allotments are created wholly or partly within the zone other than for the purpose of creating a public road or a public reserve (b) there is no increase in the number of allotments with frontage or direct access to the coast.
Motel	
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Water tank	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Alterations and additions to an existing dwelling where in the form of an open-sided veranda or pergola addition to the non-seaward side or rear of the dwelling.	Filling of land that is necessary for hazard minimization from sea level rise, over 1 metre above natural ground level.
Filling of land that is necessary for hazard minimization from sea level rise, up to 1 metre above natural ground level.	

Coastal Settlement Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The protection of the natural coastal environment from inappropriate development.
- 2 Existing dwellings upgraded to enhance amenity and incorporating environmental improvements.
- 3 Land subject to inundation or susceptible to erosion kept free of development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Development in the zone occupies highly visible foreshore areas, often with a dual frontage to the coast and a public road. The limited allotment areas restrict the extent to which land can be developed.

Site development will take into consideration the need to accommodate water storage tanks and effluent disposal infrastructure as well as the possible future location of coast protection works.

Development will be of single storey construction, of simple form and design, with low hipped or skillion roofs in order to reduce the visual impact of buildings. Verandas and pergola treatments will be used to provide shade and rain protection and to break up the mass of walls.

Garages and carports will be integrated into the design of the dwelling and landscaping will include species suitable for the coastal environment.

Buildings will be constructed of robust material that is suitable for the coastal environment.

Land in the zone is often low-lying and is likely to be subject to coastal flooding. Development will be constructed to minimise this risk. This will include building the land up to set minimum levels and, preferably, the construction of buildings that can be removed in the event that the land becomes at risk.

There are no plans for protection measures. When they are required, if they are to be constructed, they will be at the cost of the affected landowners and will be undertaken for the whole of the affected part of the coastline rather than for individual properties.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - coastal protection work
 - detached dwelling
 - outbuilding associated with a dwelling
 - tourist/visitor facility (other than accommodation).
- 2 Development listed as non-complying is generally inappropriate.

- 3 Dwellings should be upgraded to assist environmental improvements, including by the provision of approved waste control systems and effluent disposal, building setbacks and site coverage requirements, and reduction of the level of hazard risk.
- 4 Not more than one dwelling should be erected on an allotment.
- 5 Where there is an existing dwelling on an allotment, ancillary buildings should be limited to:
 - (a) one garage and one shed
 - (b) rainwater tank(s) and tank stand(s)
 - (c) open-sided garden structures, eg pergolas and gazebos.
- 6 **Garages and** outbuildings should only be constructed in association with an existing dwelling and should not exceed 20 square metres in total floor area or more than 15 per cent of the area of the allotment, whichever is the greater.
- 7 Water tanks and associated stands should only be erected in association with an existing dwelling.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 **Development should have regard to the design guidelines contained in [Table YoP/4 - Design Guidelines for Coastal Dwellings](#).**
- 10 Development should:
 - (a) minimise vehicle access points to the area that is the subject of the development
 - (b) ensure access to the coast is sited to avoid adverse impact on the environment
 - (c) be sited so that views to the coast are maintained where possible.
- 11 Additions or alterations to or replacement of an existing dwelling should:
 - (a) not exceed one-storey in height other than where required to increase the elevation to minimise the potential for personal or property damage as a result of inundation
 - (b) not be sited closer to the waterfront than any part of the existing dwelling
- 12 Development should be set back a minimum of 4 metres from the seaward allotment boundary to allow for future coast protection works if required.
- 13 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	5.5 metres
Minimum setback from secondary road frontage	1 metre
Minimum setback from side boundaries	Nil - where it involves an open-sided carport 1 metre - solid walls
Minimum setback from back boundary	4 metres
Maximum site coverage	50 per cent

Parameter	Value
Maximum wall height (one storey) For the purpose of this principle, the height of dwellings is not considered to include any elevation necessary to minimise the potential for personal or property damage as a result of flood.	3 metres
Maximum building height (from natural ground level)	4.5 metres
Minimum area of private open space	20 square metres per bedroom
Minimum number of on site car parking spaces (one of which should be covered)	2
Minimum setback from a Coastal Conservation or a Coastal Open Space Zone boundary (where applicable)	At least the average setback of the two adjoining buildings or 4 metres (whichever is the greater)

Land Division

14 Land should not be divided unless:

- (a) the resultant allotments are not less than 1200 square metres
- (b) for creating an allotment to accommodate an existing dwelling
- (c) for creating a public road or a public reserve
- (d) for a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	

Form of development	Exceptions
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Domestic outbuilding	Except where ancillary to and in association with an existing dwelling or with a dwelling that has received a Development Approval.
Dwelling	Except a detached dwelling that satisfies both of the following: <ul style="list-style-type: none"> (a) it will not result in more than one dwelling on an allotment (b) the building will not exceed 4.5 metres above natural ground level (excluding any elevation necessary for hazard minimisation from sea level rise).
Educational establishment	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	Except where the land division: <ul style="list-style-type: none"> (a) results in allotments of greater than 1200 square metres (b) is for one or more of the following purposes: <ul style="list-style-type: none"> (i) to accommodate an existing dwelling (ii) to create a road reserve or public reserve (iii) adjustment of allotment boundaries where no new allotments are created partly or wholly in the zone.
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	

Form of development	Exceptions
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
<p>Dwelling where the building will not exceed 4.5 metres above natural ground level (excluding any elevation necessary for hazard minimisation from sea level rise).</p> <p>Filling of land that is necessary for hazard minimization from sea level rise, up to 1 metre above natural ground level.</p>	<p>Filling of land that is necessary for hazard minimization from sea level rise, over 1 metre above natural ground level.</p>

Community Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating community, educational, recreational and health care facilities for the general public's benefit.
- 2 Development that is integrated in function and provides a co-ordinated base to promote efficient service delivery.
- 3 Development providing clubroom and associated administrative facilities and a range of sporting and spectator amenities as well as small-scale tourist-related accommodation.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone includes most of the open spaces and parkland adjoining the main towns and accommodates golf clubs along with other public open spaces such as ovals and playing fields.

Development in the zone will continue to primarily provide recreational and public open spaces which compliment the open character of the overall landscape.

The development of clubrooms and licensed facilities associated with sporting bodies will have regard the nature and proximity of adjoining development, particularly nearby houses. Where possible, shared driveway access, parking and service provision should be achieved to minimise the extent of development on the land.

Provision is to be made for passive recreational use of the land as well as for active recreational pursuits, and land in the zone will be available for stormwater ponding, storage and re-use.

Buildings should be landscaped but not so heavily screened that they become a security risk and should be treated to minimise the potential for vandalism.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - cemetery
 - child care centre
 - clubroom associated with a sports facility
 - community centre
 - consulting room
 - educational establishment
 - emergency services facility
 - entertainment venue
 - golf course
 - hall
 - health facility
 - hospital

- indoor recreation facility
 - library
 - lighting for night use of facilities
 - nursing home
 - office associated with community service or recreation facility
 - place of worship
 - playground
 - public administration office
 - recreation area/stadium
 - recreation centre
 - retirement village and supported accommodation
 - shop or groups of shops ancillary to community or recreation development
 - showground
 - spectator and administrative facilities ancillary to recreation development
 - swimming pool
 - theatre
 - tourist accommodation
 - tourist facilities
 - welfare institution.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken if it would inhibit or prejudice the integrated development of land within the zone for further community and institutional uses.
- 4 A shop or group of shops should only be developed where:
- (a) it is ancillary to community, recreation and sport development
 - (b) the total gross leasable area is less than 50 square metres.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.

Land Division

- 6 No additional allotments should be created wholly or partly within the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Fuel depot	
Horticulture	
Industry	
Intensive animal keeping	

Form of development	Exceptions
Land division	Except where no additional allotments are created partly or wholly within the zone.
Major public service depot	
Motor repair station	
Office	Except where associated with community or recreation facilities.
Petrol filling station	
Prescribed mining operation	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is less than 50 square metres
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Clubroom	Community centre
Recreation area	Education establishment
Tourist accommodation	Nursing home
	Place of worship
	Pre-school
	Retirement village

Deferred Urban Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a restricted range of rural uses that are not prejudicial to development of the land for urban purposes and maintain the rural appearance of the zone
- 2 A zone comprising land to be used primarily for broad-acre cropping and grazing purposes until required for future urban expansion, **when existing residential zoned land has been substantially developed.**
- 3 Prevention of development likely to be incompatible with long-term urban development, or likely to be detrimental to the orderly and efficient servicing and conversion of the land for urban use.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone has been established to enable future infrastructure requirements to be planned for in the advance of need to ensure a compact, orderly and economic urban expansion in the future.

In the interim it is desirable that the land continue to be used for broadacre agricultural and pastoral purposes and that development incompatible with the future residential development of the land concerned not be undertaken.

Residential development will not occur until infrastructure and utility services, particularly common wastewater disposal and treatment facilities, are available and existing residential land within the locality has been substantially developed.

Development will only occur when a masterplan for the whole zone has been approved by the Council taking into consideration the topography of the land, provision of open space, stormwater and traffic management and linkages to adjoining land.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - broad-acre cropping
 - grazing.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken if it will be prejudicial to the orderly and economic development of future urban land uses within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

- 5 Development should be provided with a reticulated mains water supply and should not be reliant on on-site wastewater disposal but be provided with and connected to a common wastewater management system.

Land Division

- 6 Land division should not occur unless it is in the form of an alteration to the boundaries of an allotment and no additional allotments are created in the zone.
- 7 The alteration of allotment boundaries should only occur in order to achieve one or more of the following:
- (a) correct an anomaly in the placement of allotment boundaries with respect to the location of existing buildings or structures
 - (b) improve the management of the land for the purpose of primary production
 - (c) enable the provision of public infrastructure.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Cemetery	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Domestic outbuilding	Except where ancillary to and in association with an existing dwelling or with a dwelling that has received a Development Approval.
Dwelling	Except a detached dwelling that does not result in more than one dwelling on an allotment.
Educational establishment	
Fuel depot	
Horticulture	

Form of development	Exceptions
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Motel	
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the Development Regulations 2008.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1

Category 2

Dwelling

Filling of land that is necessary for hazard minimization from sea level rise, up to 1 metre above natural ground level

Land division

Recreation area

Industry Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating a wide range of industrial, warehouse, storage and transport land uses.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Industrial growth in the Council area has been strong with demand particularly from service industries such as builders, cabinet makers as well as from small-scale manufacturers. A lack of available and suitably sited industrial land has resulted in some industrial land uses locating away from the towns and in the rural area.

Whilst some large-scale industries such as hay processing may be appropriate within the **Primary Production Zone**, it is desirable that smaller scale industrial activities be located in dedicated industrial zones.

This zone will accommodate a full range of industrial, warehousing, storage, transport and related activities with minimal restrictions on hours of operation other than where the zone has an interface with an adjoining residential zone.

Where land within the zone is in close proximity to sensitive land uses located within adjacent zones, such as residential areas and schools, particular attention will be required to minimise any adverse impacts on the amenity and function of those areas. Issues requiring attention will include, but not necessarily limited to, the visual bulk and external design and appearance of buildings, vehicular access arrangements, setbacks and the provision of landscaped buffers, hours of operation, and the amelioration of noise and other emissions.

Landscaping is desirable, particularly the use of trees to screen buildings and to provide shade to parking areas, particularly for long term parking by employees.

Stormwater management is a significant issue in the region as a result of the flat terrain. Development will ensure stormwater can be managed to avoid overloading the downstream stormwater systems, this will include disposal, retention or detention of stormwater on site.

Development will provide for the maximum on site re-use of stormwater.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - industry
 - office in association with and ancillary to industry
 - transport distribution
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 In areas where a uniform street setback pattern has not been established, buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and landscaping between buildings and the road):
 - (a) buildings up to a height of 6 metres should be sited at least 8 metres from the primary street alignment
 - (b) buildings having a height greater than 6 metres and up to 10 metres should be sited at least 10 metres from the primary street alignment
 - (c) buildings exceeding a height of 10 metres should be sited at least 12 metres from the primary street alignment
 - (d) where an allotment has two street frontages, no building should be erected within 4 metres of the secondary street alignment.
- 5 Building facades facing land zoned for residential purposes should not contain openings or entrance ways that would result in the transmission of noise that would adversely affect the residential amenity.
- 6 Any plant or equipment with potential to cause an environmental nuisance (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.
- 7 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.
- 8 Development within Sections 57 and 189, Hundred of Cunningham, at Ardrossan should be limited to light industry, service industry, warehouse and depot uses only.
- 9 Development should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/1 - Maitland Bulk Handling](#).

Land Division

- 10 Land division should create allotments that:
 - (a) are of a size and shape suitable for the intended use
 - (b) have an area of not less than 2500 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated
 - (c) have a frontage to a public road of at least 15 metres
 - (d) have an average width of at least 20 metres.

Infrastructure Policy Area 1

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Primarily, a policy area for the provision of infrastructure.
- 2 Infrastructure facilities and land required for infrastructure facilities preserved from the encroachment of incompatible land uses.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This policy area will accommodate electricity substations and Council's works depots and wastewater treatment and storage lagoons and associated infrastructure which form part of the Community Wastewater Management Scheme servicing the townships.

Expansion of the existing wastewater treatment and storage lagoons will maintain appropriate separation distances to existing residential development in adjoining zones.

Development will be sited to minimise clearance of existing vegetation and will be screened by landscaping, utilising native species endemic to the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - drainage system, including stormwater retention basin
 - electricity substation
 - landfill
 - methane extraction plant
 - public service depot
 - rail infrastructure
 - sewerage infrastructure
 - waste transfer depot.

Land Use

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisements and / or Advertising hoarding where it is located in the Infrastructure Policy Area 1	
Amusement machine centre	
Caravan park	
Community centre	
Consulting room	
Crematorium	
Dairy where it is located in the Infrastructure Policy Area 1	
Dwelling	
Educational establishment	Except where: <ul style="list-style-type: none"> (a) located outside the Infrastructure Policy Area 1 (b) (ancillary to and in association with industrial development (c) located on the same allotment.
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Nursing home	
Office	Except where: <ul style="list-style-type: none"> (a) ancillary to and in association with industrial development (b) located on the same allotment.
Pre-school	
Place of worship	
Residential flat building	
Service trade premises where it is located in the Infrastructure Policy Area 1	

Form of development	Exceptions
Shop or group of shops	
Stock sales yard where it is located in the Infrastructure Policy Area 1	
Stock slaughter works	
Tourist accommodation	
Waste reception, storage, treatment or disposal where it is located outside of the Infrastructure Policy Area 1	Except where in the form of a recycling collection depot
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Industry (excluding special industry)	Fuel depot
Land division	Road transport terminal
Motor repair station	Sewerage infrastructure where it is located within the Infrastructure Policy Area 1
Public service depot	Wastewater treatment and storage lagoons where it is located within the Infrastructure Policy Area 1
Store	
Warehouse	

Light Industry Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of light industrial, storage and warehouse land uses, including service trade premises and other activities involving the repair and servicing of consumer items.
- 2 Manufacturing industries and wholesale activities having a direct contact with the public through the display or retail sale of goods manufactured on the site.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone has extensive common boundaries with the adjoining residential zones or abuts existing housing and, as such, it is imperative that industries locating in this area are small-scale in nature, produce minimal noise and traffic and have hours of operation limited to normal waking hours for adjoining residents.

Development will be designed to locate any activity that might give rise to noise or emissions that may affect residential amenity as far away as possible from sensitive land uses and, to this end, offices should be located at the front of the development.

Fencing and landscaping are an important part of providing screening to industrial land uses and landscaping should incorporate significant tree planting, both as a means of screening industrial activity and providing shade to buildings and car parking areas.

Stormwater management is a significant issue in the region as a result of the flat terrain. Development will ensure stormwater can be managed to avoid overloading the downstream stormwater systems, this will include disposal, retention or detention of stormwater on site.

Development will provide for the maximum on site re-use of stormwater.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - light industry
 - office in association with and ancillary to industry
 - service industry
 - store
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development in the form of manufacturing industries, service trade premises or service industries should be small-scale in nature and provide consumer access to the premises upon which the manufacturing, sale or servicing takes place.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

- 5 Development at Marion Bay should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/3 - Marion Bay](#) and, in particular, should not have or facilitate direct access from individual allotments onto the Corny Point to Point Turton Road.
- 6 Development at Port Vincent should be carried out in accordance with [Concept Plan YoP/6 – Port Vincent](#) and, in particular:
 - (a) should not have or facilitate direct access from individual allotments onto Main Road; and
 - (b) should not occur unless the land is, or will be connected to an approved effluent scheme.
- 7 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, wind vanes and similar
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 8 Land division should create allotments that:
 - (a) are of a size and shape suitable for the intended use
 - (b) have an area of not less than 1500 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated
 - (c) have a frontage to a public road of at least 15 metres
 - (d) have an average width of at least 20 metres.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Amusement machine centre	
Community centre	
Consulting room	
Dairy	
Dwelling	
Educational establishment	

Form of development	Exceptions
General industry	
Horticulture	
Hospital	
Hotel	
Intensive animal keeping	
Motel	
Nursing home	
Office	Except where: (a) ancillary to and in association with industrial development (b) located on the same allotment.
Place of worship	
Pre-school	
Residential flat building	
Restaurant	
Road transport terminal	
Shop or group of shops	
Special industry	
Stock sales yard	
Stock slaughter works	
Tourist accommodation	
Waste reception, storage, treatment or disposal	Except where in the form of a recycling collection depot
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Land division	
Light industry	
Motor repair station	
Public service depot	
Service industry	
Store	
Warehouse	

Local Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating small-scale convenience shopping, **restaurants, take away food outlets, tourist accommodation**, office, medical and community facilities to serve the local community.
- 2 A centre characterised by traditional corner stores or small groups of shops located within easy walking distance of the population they serve.
- 3 A centre accommodating residential development in conjunction with non-residential development.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will cater for small-scale and convenient mixed use facilities located to meet the day-to-day needs of the local community.

The centres will consist of relatively small 7-day mini-marts, take away food and fuel outlets with a limited range of other retail uses.

Development within the zone will not be higher than one storey, and where the zone abuts residential land, consideration will be given to minimising the impact of service functions such as deliveries, waste storage bins, rubbish removal and the like as well as a restricted range of land uses.

There should be suitable screening and landscaping of parking areas and service areas/access ways should be shielded to minimise noise impacts on adjoining development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - advertisement
 - community facility
 - consulting room
 - office
 - office and dwelling
 - **petrol filling station**
 - shop
 - shop and dwelling
 - **tourist accommodation.**
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development comprising a variety of residential and non-residential uses should only be undertaken if such development does not prejudice the operation of existing or future non-residential activity within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Dwellings should be located only behind or above non-residential uses on the same allotment.
- 6 Buildings and structures should be designed and constructed:
 - (a) using materials that have low light reflective qualities and have a muted, natural colour which blend with the setting of the site
 - (b) with veranda and pergola treatments which reduce the impact of vertical external walls
 - (c) with landscape buffers to provide separation from adjoining residential and natural areas.
- 7 Advertisements should be limited in size in scale and designed to be unobtrusive and discrete in terms of location, colours used and degree of illumination.

Land Division

- 8 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Amusement machine centre	
Dwelling	Except where in conjunction with a non-residential development.
Fuel depot	
Horticulture	
Industry	
Motor repair station	
Public service depot	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is less than 450 square metres.
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
All forms of development	

Mineral Extraction Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone comprising land intended for the mining and quarrying of minerals in a sustainable manner.
- 2 Mining operations planned and undertaken in a co-ordinated manner to ensure the maximum recovery of resources.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone contains mineral resources which represent a significant economic activity. They also represent important deposits of value to the State as a whole. It is therefore vital that the resources be protected and that any development that may occur does not sterilise or prejudice the future extraction of these reserves. However, the extractive operations have the potential to disfigure the landscape and damage the environment. Care needs to be taken to ensure that the working of deposits, or extensions to them, is undertaken with minimal disturbance to the environmental qualities of the area. Moreover, it is important that rehabilitation plans that provide for an acceptable form and after-use of sites are prepared to properly deal with the closure of extractive operations.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - activities ancillary to mineral extraction, including excavation and/or fill associated with rehabilitation work
 - mineral extraction
 - mineral processing.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development, other than development indicated as envisaged in the zone, should not be undertaken if:
 - (a) significant mineral deposits are present
 - (b) mineral extraction on adjacent land is prejudiced
 - (c) the use is not in association with the mining operations
 - (d) the establishment of an appropriate after-use is impeded.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Areas designated or set aside for stock piles should be of low profile when viewed from public roadways or residential areas.

- 6 Screen planting, using locally indigenous plant species where possible, or mounding should be established along public road frontages and within the mineral extractive area to screen mining operations, buildings and plant from public view.

Land Division

- 7 Land division should not result in an additional number of allotments partly or wholly within the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	
Amusement machine centre	
Cemetery	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	
Educational establishment	
Fuel depot	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Intensive animal keeping	
Land division	Except where no additional allotments are created wholly or partly within the zone.
Motel	
Motor repair station	
Nursing home	

Form of development	Exceptions
Office	Except where: <ul style="list-style-type: none"> (a) ancillary to an in association with the operation of the associated mine (b) located on the same allotment (c) has a floor area of less than 150 square metres.
Petrol filling station	
Place of worship	
Pre-school	
Residential flat building	
Road transport terminal	
Service industry	
Service trade premises	
Shop	
Special industry	
Stock sales yard	
Stock slaughter works	
Tourist accommodation	
Warehouse	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Mixed Use Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A functional and diverse zone accommodating a mix of commercial, community, light industrial, residential, office, and small-scale shop land uses.
- 2 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Maitland and Minlaton

This zone comprises mainly residential properties interspersed with existing community, commercial or light industrial premises.

Non-residential buildings will be carefully sited to minimise their visual or overshadowing impact on neighbouring residential development, and landscaping will be used to assist in screening such buildings from neighbouring land uses.

Larger scale land uses or land uses that generate high volumes of traffic, heavy vehicle traffic or create noise, odour or other impacts that might adversely impact on residential amenity will not occur.

Development will be sympathetic and consistent in street setback, building height and bulk, character and appearance with existing development in the zone and to complement development in adjoining zones. To this end, new development will have a residential building form and character.

Landscaping will retain the front garden character of the area and existing front fences where appropriate.

Advertising should be in the form of small-scale signage that does not impair the amenity, or dominate the character of the locality.

Edithburgh

Land at Edithburgh will be developed primarily for commercial and light industry purposes. Residential development will only occur in association with a non-residential land use on the same allotment.

The land fronts Yorketown Road which is an arterial road and the main road access to the town from the west. Development fronting Yorketown Road will establish a well designed character and form that creates an attractive entrance to the township which includes landscaping along the road boundary and car parking areas at the rear of buildings.

The division of land will occur in a coordinated manner with access to be provided primarily from Wilkey Road in preference to direct access from the Yorketown Road.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facility
 - consulting room
 - detached dwelling
 - institutional facility
 - light industry
 - motor repair station
 - office
 - recycling collection depot
 - service trade premises
 - shop or group of shops where the gross leasable area is less than 150 square metres
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 The bulk and scale of development should be compatible with adjoining land uses.
- 5 Car parking areas should be provided at the rear or side of premises.
- 6 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline
 - (d) parapet-mounted advertisements projecting above the top of the parapet.

Land Division

- 7 Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
 - (a) an area of not less than 1200 square metres
 - (b) an average width of at least 15 metres.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Dwelling	Except a detached dwelling in association with a non-residential land use on the same allotment.
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Prescribed mining operations	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area is less than 150 square metres.
Special industry	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	Except where in the form of a recycling collection depot.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Community facility	Light industry
Consulting room	Motor repair station
Office	Service industry
	Service trade premises
	Shop or groups of shops where the gross leasable area is less than 150 square metres.
	Warehouse

Primary Production Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 The long term continuation of primary production.
- 2 Economically productive, efficient and environmentally sustainable primary production.
- 3 Allotments of a size and configuration that promote the efficient use of land for primary production.
- 4 Protection of primary production from encroachment by incompatible land uses and protection of scenic qualities of rural landscapes.
- 5 Accommodation of wind farms and ancillary development.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone comprises the bulk of the Council area and is used principally for agricultural production and the grazing of stock on relatively large holdings.

The climate, soil and landform characteristics of this zone favour the continuance of agricultural production and livestock grazing and it is desirable not only that these activities continue, but also that good land management techniques be encouraged to control proclaimed pest plants, vermin, and soil erosion.

Little intensification of the present extent of settlement will occur. In many ways, a proliferation of intensive development and occupation of the zone would threaten its proper function and render the rural landscape susceptible to competing demands and undesirable change.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines
- visible from scenic routes and valuable scenic and environmental areas
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

To maintain the agricultural importance and stability of the zone, it is vital that existing small holdings are not converted to rural living use and the size of land holdings is not significantly reduced, unless specifically required for the more intensive agricultural use of the land and that future pressures for development in the zone will not result in the conversion of agricultural land to less productive uses or land use conflict.

It may be expected that some development such as host farms or mining will occur from time to time in rural areas. Development of this nature is acceptable within the zone where located and developed appropriately.

Productive agricultural land will not be converted for use for carbon credit forestry.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - commercial forestry
 - dairy farming
 - farming
 - horticulture
 - intensive animal keeping
 - tourist accommodation (including through the diversification of existing farming activities and conversion of farm buildings)
 - wind farm and ancillary development
 - wind monitoring mast and ancillary development.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.
- 4 Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
 - (a) it has a direct relationship with primary production
 - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
 - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
 - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
 - (e) the use would be inappropriate within a township
 - (f) the capacity of the infrastructure, including roads, is capable of supporting the use without detriment to existing users.
- 5 A dwelling should only be developed if:
 - (a) there is a demonstrated connection with farming or other primary production
 - (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the zone
 - (c) it is located more than 500 metres from an existing intensive animal keeping operation, **or other noise or odour generating activity**, unless used in association with that activity
 - (d) it does not result in more than one dwelling per allotment.
- 6 Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and/or shared parking.

- 7 A shop should be:
- (a) ancillary to primary production or processing uses or tourist accommodation or other tourist development
 - (b) located on the same site as the primary use.
- 8 Development within land held at Point Pearce by the Aboriginal Lands Trust should meet the needs of the local aboriginal population and is restricted to the existing or planned expansion areas of the Point Pearce settlement.

Form and Character

- 9 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 10 Development should not occur within 500 metres of a National Park, Conservation Park, Wilderness Protection Area or significant stands of native vegetation if it will increase the potential for, or result in, the spread of pest plants.
- 11 Development should provide an access way of at least 3 metres wide that provides access for emergency vehicles to the rear of the allotment.
- 12 Buildings should primarily be limited to farm buildings, a detached dwelling associated with primary production on the allotment and residential outbuildings that are:
- (a) grouped together on the allotment and set back from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads
 - (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.
- 13 Workers accommodation should only occur if it achieves all of the following:
- (a) it is located on an allotment that has an area of 40 hectares or greater and is currently being used for primary production purposes as part of a farm operation
 - (b) the accommodation is:
 - (i) to be erected within 50 metres of an existing dwelling located on the same allotment
 - (ii) necessary for the accommodation of a person such as a manager, worker or relative who is in full-time employment on the farm
 - (iii) sited on the same title as the dwelling and shares a common power and water supply (where a reticulated mains water supply is connected)
 - (iv) in the form of a transportable or temporary structure that is able to be readily removed from the allotment when its function as workers accommodation is no longer required.

Land Division

- 14 Land division, including boundary realignments, should only occur where it achieves one of the following:
- (a) it will promote economically productive, efficient and sustainable primary production and not create any allotment less than 40 hectares in area
 - (b) it is required to create a separate allotment to contain an habitable dwelling on the property which existed on 21 January 1982 where the allotment will be at least 1 hectare but will otherwise minimise the amount of land to be retained with that dwelling

- (c) the land division is for the express purpose of promoting the primary production use of the land
- (d) the land division is for the creation of the allotment for an approved industrial use
- (e) the land division involves land held at Point Pearce by the Aboriginal Lands Trust where the allotments will meet the needs of the local aboriginal population, provided it is restricted to the existing or planned expansion areas of the Point Pearce settlement.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Caravan park	
Community centre	
Consulting room	
Dwelling	Except for a dwelling that satisfies one of the following: <ul style="list-style-type: none"> (a) it is located on land held at Point Pearce by the Aboriginal Lands Trust and the dwelling will meet the needs of the local aboriginal population, provided it is restricted to the existing or planned expansion areas of the Point Pearce settlement (b) it is in the form of workers accommodation (c) it is for the replacement of an existing freehold dwelling.
Educational establishment	
Horticulture involving the growing of olives	Except where the location for the growing of olives achieves (a) and (b): <ul style="list-style-type: none"> (a) at least 500 metres from all of the following: <ul style="list-style-type: none"> (i) a National Park (ii) a Conservation Park (iii) a Wilderness Protection Area (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area (b) 50 metres from the edge of a substantially intact stratum of native vegetation 5 hectares or less in area.
Hospital	

Form of Development	Exceptions
Hotel	
Indoor recreation centre	
Motel	
Motor repair station	
Nursing home	
Office	Except where ancillary to and in association with primary production, aquaculture or tourism development.
Place of worship	
Pre-school	
Primary school	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where both of the following apply: (a) ancillary to and in association with primary production or tourism development (b) the gross leasable area is less than 40 square metres.
Stadium	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Aquaculture	Horticulture involving the growing of olives
Commercial forestry	Renewable energy facilities
Farm building	Tourist accommodation
Horticulture (other than the growing of olives)	Water desalination plant
Land division	Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from: (a) an existing dwelling or tourist accommodation that is not associated with the wind farm (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists

Category 1

Category 2

- (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan).

Wind monitoring mast and ancillary development.

Residential Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A residential zone comprising a range of dwelling types including a minimum of 15 percent affordable housing.
- 2 Increased dwelling densities in close proximity to centres, public transport routes and public open spaces.
- 3 A zone accommodating community facilities such as schools, child minding facilities and retirement housing in close proximity to services and public or community transport.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will provide pleasant, safe and convenient living environments for residents together with an appropriate range of recreation, education, community and aged care facilities.

Residential development has traditionally been developed at low densities on generally large allotments, comprising in the main single storey detached dwellings. This trend is expected to continue but there will be pressure to increase the density of development recognizing a need for more compact allotments to meet the demands of the ageing population and holiday makers.

The character of development in the zone varies greatly from streetscapes dominated by pre 1940s housing to more contemporary development and large areas of transportable or lightweight development in the coastal towns and settlements.

New development in established residential areas will complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists. This will require that new development has regard to elements such as siting, mass and proportion, building materials, ground floor height above natural ground level, roof form and pitch, facade articulation and detailing, verandas, eaves and parapets, fence styles and alignment, and landscaping.

Infill development at higher density will occur throughout the zone but will conform to existing character by maintaining street and side setbacks, and building form and scale evident within the locality. Buildings fronting a public road will address the street by providing a legible entry to the street, use of windows, verandas and other features, rather than presenting side walls or blank walls to the street frontage.

Properties that have dual frontages to a road and the coast or open space should address both of these frontages. This will require consideration being given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not appear as a 'back yard') and incorporation of garaging into the dwelling design rather than as freestanding structures.

Garages throughout the zone will be sited and be of a scale to ensure that they do not dominate the dwelling or the streetscape to which they relate.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development.

Land division within the zone will provide public road links to adjoining undeveloped land where necessary, and for this purpose community title division of land will not be appropriate where public road links are preferred.

At Edithburgh, residential development involving broadacre land will only occur when infrastructure and utility services, particularly common wastewater disposal and treatment facilities, are available and existing residential land within the locality has been substantially developed. Further, Development of such broadacre land will only occur when a masterplan for the whole of the subject land has been approved by the Council taking into consideration the topography of the land, provision of open space, stormwater and traffic management and linkages to adjoining land.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - affordable housing
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - small scale non-residential use that serves the local community, for example:
 - child care facility
 - health and welfare service
 - open space
 - primary and secondary school
 - recreation area
 - shop, office or consulting room
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.
- 4 Non-residential development such as shops, schools and consulting rooms should be of a nature and scale that:
 - (a) serves the local community
 - (b) is consistent with the character of the locality
 - (c) does not detrimentally impact on the amenity of nearby residents.
- 5 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 33 per cent of the allotment or building site frontage width, whichever is the lesser distance.

8 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage –	
within Port Vincent Marina Policy Area 2	6 metres - single storey 8 metres - two storey
elsewhere within the zone	At least the average setback of the two adjoining dwellings or 6 metres where there are no adjoining dwellings - single storey 8 metres – two storey
Minimum setback from secondary road frontage	1.5 metres - single storey 2.5 metres – two storey
Minimum setback from side boundaries –	
within Port Vincent Marina Policy Area 2	1 metre - single storey 1.5 metres - two storey
elsewhere within the zone	1 metre
Minimum setback from rear boundary	6 metres
Average setback from the outer edge of the retaining wall of the marina basin within Port Vincent Marina Policy Area 2	8 metres
Maximum site coverage	35 per cent
Maximum building height –	
within Port Vincent Marina Policy Area 2 (from the lowest floor level)	7 metres
elsewhere within the zone (from natural ground level)	8 metres
Minimum area of private open space	25 square metres per bedroom or room that may be used as a bedroom
Minimum number of on site car parking spaces (one of which should be covered)	2

9 Development should be setback 30 metres from the boundaries of Section 714, HP 130900, CT 5760/647, Beach Road, Edithburgh.

10 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area –	
within Port Vincent Marina Policy Area 2	40 square metres
elsewhere within the zone	75 square metres or 10 per cent of the allotment area (whichever is the greater)
Maximum building height (from natural ground level)	4.5 metres

Parameter	Value
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries –	
where it involves a solid wall	One third of the wall height
where it is of open construction	Nil or 600 millimetres
Average setback from the outer edge of the retaining wall of the marina basin within Port Vincent Marina Policy Area 2	8 metres
Minimum setback from a public road or public open space area	No closer than the dwelling with which it is associated or 5.5 metres (whichever is the greater)

- 11 Sheds, garages and similar outbuildings should not have, collectively, a site coverage greater than 15 per cent.
- 12 A dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)
All dwelling types –		
where not connected to a community waste water management system	1200 minimum	15
where connected to a community waste water management system	450 minimum	15

- 13 Development in the area west of Lime Kiln Road, Correll Street and Talbot Road at Port Vincent should comply with the [Concept Plan YoP/6 – Port Vincent](#).
- 14 Development of land within [Concept Plan YoP/6 – Port Vincent](#) should not occur unless the land is, or will be connected to an approved effluent scheme.

Affordable Housing

- 15 Affordable housing should be distributed throughout the zone to avoid overconcentration of similar types of housing in a particular area.
- 16 Dwellings constituting affordable housing should **only occur on land that is able to be connected to a community waste water management system** and have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)
All dwelling types –	450 minimum	12

17 Affordable housing should be designed within the parameters:

Parameter	All dwelling types
Minimum area of private open space for ground level dwellings	25 square metres
Minimum area of private open space in the form of a balcony for dwellings above ground level	9 square metres
Minimum number of on site car parking spaces	1

Land Division

18 Land division should not create a vacant allotment with an area less than 450 square metres, or less than 1200 square metres where not connected to a community wastewater management system.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precinct.

Precinct 2 Port Victoria Residential

19 Development should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/4 - Port Victoria Residential](#) and, in particular, should not occur until services and infrastructure, especially a suitable wastewater management system, are made available.

Port Vincent Marina Policy Area 2

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A zone primarily accommodating detached dwellings on individual allotments.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The Port Vincent Marina is a key development within the township. It provides a high quality waterfront residential environment developed around the marina facilities.

The policy area will primarily accommodate detached dwellings on large allotments fronting the marina, with a limited number of other dwelling types located on the northern and western side of Marina Drive.

Dwellings will have generous set backs from the road, be well landscaped and minimise the amount of land required to accommodate driveways.

All of the allotments within the zone are subject to a Land Management Agreement, and development should comply with the additional design requirements in this document.

The character of buildings will reflect a contemporary design with a strong emphasis on ensuring visual interest in the building form. Buildings, particularly two storey development, will be highly articulated.

Properties that have dual frontages to a road and the marina or open space will address both of these frontages. This will require that consideration be given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not look like the back of the building). The incorporation of garaging into the dwelling design will be required.

Landscaping and fencing is a particular feature of development in the marina. Fencing must not project forward of the dwelling (to the street) and landscaping will be established for all development with lawn being carried through to the road pavement.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - affordable housing
 - detached dwelling
 - domestic outbuilding in association with a dwelling
 - semi-detached or row dwelling north and west of Marina Drive.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.

- 3 Dwellings that abut or overlook the water or public open space should be designed so that living areas face onto those waterways or open spaces, with the rear of such dwellings that abut a public road being designed to preserve and enhance the character and amenity of the streetscape.
- 4 Development should be designed and sited to minimise its visual impact on the coastal cliffs as viewed from Port Vincent or the sea and, in particular:
 - (a) the filling of land on the northern and western side of Marine Parade should be kept to a minimum in order to reduce the vertical profile of buildings
 - (b) buildings should incorporate and exhibit the following characteristics:
 - (i) a low profile design with roof lines having a pitch of not less than 15 degrees
 - (ii) floor plans that complement the contours of the land
 - (iii) a design that contains the roof space and mezzanine floors within the building envelope in order to reduce the vertical profile of buildings
 - (iv) variations in wall and roof lines and the use of large eaves, verandas and pergolas to create shadowed areas and to minimise the bulk and mass of buildings
 - (v) the upper floor area of a two storey building being not more than 75 per cent of the ground floor area
 - (vi) building materials which have low light reflective qualities with finishes having muted, natural colours which blend with the natural setting of the site
 - (vii) external walls of masonry, brick or glass comprising at least 70 per cent of the building facades with roof materials comprising only colour coated metal, cement or clay tiles, slate or shingles.
- 5 Only one driveway should be constructed per dwelling site and have a:
 - (a) hard paved surface comprising either concrete, concrete block or clay brick
 - (b) minimum width of 3 metres
 - (c) width not greater than 5.5 metres.
- 6 Carports, garages and other outbuildings should:
 - (a) be limited to one such building per allotment
 - (b) be architecturally compatible and integrated with the associated dwelling
 - (c) be sited unobtrusively
 - (d) have external walls composed of either rendered concrete, clay bricks, brick veneer or a composite construction of such materials.
- 7 Where an allotment does not have a frontage to the marina, an outbuilding may be constructed with pre-coated steel material of a light, neutral colour and being of a low light reflective nature.
- 8 Pontoons or jetties associated with an allotment should be designed to accommodate the safe and secure mooring of a single boat and should not project beyond the boundary of that allotment.
- 9 Stormwater should not be discharged directly into the marina basin.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions				
Advertisement and /or advertising hoarding					
Amusement machine centre					
Building located within Port Vincent Marina Policy Area 2	Except where the site and building floor levels are in accordance with those outlined in following table:				
	<table border="1"> <thead> <tr> <th>Minimum site level (metres Australian Height Datum)</th> <th>Minimum floor level (metres Australian Height Datum)</th> </tr> </thead> <tbody> <tr> <td>3.5</td> <td>3.7</td> </tr> </tbody> </table>	Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)	3.5	3.7
Minimum site level (metres Australian Height Datum)	Minimum floor level (metres Australian Height Datum)				
3.5	3.7				
Cemetery					
Consulting room	Except where: <ul style="list-style-type: none"> (a) the total floor area is less than 100 square metres (b) the site does not front an arterial road. 				
Crematorium					
Dairy					
Domestic outbuilding	Except where ancillary to and in association with an existing dwelling or with a dwelling that has received a Development Approval.				
Dwelling located within Port Vincent Marina Policy Area 2	Except for a: <ul style="list-style-type: none"> (a) detached dwelling (b) semi-detached or row dwelling where located north and west of Marina Drive. 				
Farming					
Fuel depot					
Horse keeping					
Horticulture					
Hospital					
Hotel					
Industry					
Intensive animal keeping					
Land division located within Port Vincent Marina Policy Area 2	Except on land located north and west of Marina Drive.				

Form of Development	Exceptions
Motel located within Port Vincent Marina Policy Area 2	
Motor repair station	
Office	Except where all of the following apply: (a) it is located outside of Port Vincent Marina Policy Area 2 (b) the total floor area is less than 100 square metres (c) the site does not front an arterial road.
Petrol filling station	
Public service depot	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where all of the following apply: (a) it is located outside of Port Vincent Marina Policy Area 2 (b) the total floor area is less than 150 square metres (c) the site does not front an arterial road.
Stock sales yard	
Stock slaughter works	
Store	
Transportable building located within Port Vincent Marina Policy Area 2	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the Development Regulations 2008.

Further, the following forms of development (except where the development is classified as non-complying) are designated:

Category 1	Category 2
Dwelling	Community centre
Land division	Education establishment
Pontoons and jetties where located within Port Vincent Marina Policy Area 2	Place of worship
Recreation area	Pre-school
	Nursing home
	Retirement village

Residential Park Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone that primarily provides affordable housing opportunities in a landscaped village setting.
- 2 A zone accommodating low to medium-scale accommodation predominantly in the form of caravan and camping sites, cabins and transportable dwellings, surrounded by open landscaped areas.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

A zone accommodating a range of affordable housing options, within a landscaped setting, that promotes community interaction through its permeable layout, the orientation of buildings, range of shared facilities and quality communal open space.

The zone accommodates a range of low to medium-scale, long-term and short-term accommodation, including camping sites, caravans, relocatable dwellings and cabins.

Buildings, including dwellings, are designed and constructed to enable their relocation, are a maximum of two-storey in height and generously set back from boundaries to allow for landscaped edges of the park. A landscaped village environment will be created.

New development will be sympathetic to the scale, shape, materials and colours of existing adjoining development and landscapes. Vegetation buffers and landscaping will be important in integrating the residential park into the landscape and adjoining urban areas, providing screening from surrounding land uses, as well as reducing visual and noise impacts and providing privacy for park users. The soft landscaping should dominate over buildings and hard surfaces, with caravans only glimpsed in a leafy environment. The park will be enhanced through the further planting of street trees to provide a more leafy and attractive setting and to conceal the built form when viewed from the approaches to the park.

Pedestrian and vehicle linkages provide safe access to employment, shops, public transport facilities, medical services, education facilities, child care and other community facilities. Circulation and movement within the park should be pedestrian friendly and promote low speed vehicle movement.

The land within the zone at Maitland has previously been used for horticulture purposes. This land should not be developed until it is demonstrated that the land is or will be suitable for its intended use.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - amenity block, including shower, toilet, laundry and kitchen facilities
 - cabin
 - camping ground
 - caravan permanently fixed to land
 - outbuilding ancillary to a dwelling
 - recreation area
 - residential park

- resident workshop
- storage area for recreation vehicle
- swimming pool
- transportable dwelling.

2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 Permanent buildings should be limited to a dwelling (manager's house), shop (in association with and ancillary to a residential park), community or recreational facility and toilets/amenities.
- 5 Recreation facilities should be provided of a scale that is suitable to maintain the open natural character of the area and ancillary to the primary role and function of the park.
- 6 At least 16 square metres of contiguous private space, which may be used as a second car parking space, should be provided on each site intended for residential accommodation.
- 7 Caravan, cabin and dwelling sites should be greater than 100 square metres in area.
- 8 Landscaping should form an integral part of the design and be used to define spaces, reinforce internal networks, screen utility areas and enhance the visual amenity of the area.

Car Parking and Access

- 9 Every caravan, cabin or dwelling site should have parking for at least one vehicle, either located on the site or grouped within the park.
- 10 Internal road surfaces should be surfaced to prevent dust becoming a nuisance.

Street and Boundary Setbacks

- 11 Every dwelling, annex or caravan fixed to land should be set back a minimum of:
- (a) 1 metre from an internal road
 - (b) 6 metres from a public road
 - (c) 2 metres from the boundary of the caravan park or camping ground.

Natural Hazards

- 12 In areas prone to flooding, bushfire or other natural hazards, buildings and structures (including annexes attached to caravans or caravans fixed to land) should be designed and constructed so they can be removed in the event of a hazard.

Land Division

- 13 No additional allotments should be created wholly or partly within the zone except where a lease or license agreement is made, granted or accepted under the *Residential Parks Act 2007*.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Bus depot	
Cemetery	
Commercial forestry	
Community centre	Except where in association with and ancillary to tourist accommodation.
Consulting room	
Crematorium	
Dairy	
Dam	
Dwelling	Except where it achieves either (a) or (b): (a) it is a managers' residence in association with and ancillary to tourist accommodation (b) it is a group dwelling.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	Except where in association with and ancillary to tourist accommodation.
Industry	
Intensive animal keeping	
Land division which results in the creation of additional allotment(s) either wholly or partly within the zone.	Except where a lease or licence agreement is made, granted or accepted under the <i>Residential Park Act 2007</i> .
Marina	
Motor repair station	
Nursing home	
Office	Except where in association with and ancillary to tourist accommodation.
Petrol filling station	
Place of worship	

Form of Development	Exceptions
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	
Restaurant	Except where it is both: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where it is both: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	Except where in association with and ancillary to a residential park.
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the Development Regulations 2008.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Amenity block, including shower, toilet, laundry and kitchen facilities	
Cabin	
Camping ground	
Caravan permanently fixed to land	
Outbuilding	
Recreation area	
Residential park	
Resident workshop	
Storage area for recreation vehicle	
Swimming pool	
Transportable dwelling	

Rural Living Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone consisting of large allotments, detached dwellings and rural activities that do not adversely impact the amenity of the locality.
- 2 Dwellings designed and sited to minimise their impact on views from public roads and places.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone provides for low density residential living consisting of detached dwellings on large allotments and associated small-scale, non-intensive rural activities.

It is envisaged that properties will be well landscaped with indigenous plant species to help maintain a pleasant rural environment, as well as to promote privacy and the screening of buildings and structures from neighbouring properties and public roads and spaces. To help maintain the rural setting, fencing will be of an open construction nature, such as open mesh or post and wire, that is capable of being seen through.

Allotments will have generous road or property frontages and widths to enable development to have a reasonable degree of separation from development on adjoining land. Dwellings will be located as far as practically possible, and at least 40 metres from the adjoining Primary Production Zone boundary in order to minimise potential land use conflict. Ancillary land uses, such as small scale animal keeping, will be of a scale and type that will not interfere with the residential function of the land or adjoining land, or the semi-rural character desired for the zone.

Where existing properties have relatively narrow frontages but ample depth and land division is an option, consideration should be given to shared access by community title to achieve adequate allotment widths. Shared access with neighbouring properties to maximize development opportunity and minimise the number of separate access points onto roads should also be considered.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition
 - farming
 - farm building
 - stable.
- 2 Development listed as non-complying is generally inappropriate.
- 3 There should be no more than one dwelling per allotment.
- 4 The keeping of animals should be ancillary to and in association with the residential use of the land.

- 5 The keeping of horses should only be undertaken if the horses are accommodated within a stable or shelter with supplementary feeding to maintain pasture cover.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development at Marion Bay should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/3 - Marion Bay](#).
- 8 Dwellings and other habitable buildings should be setback a minimum of 100 metres from the Community Wastewater Management System plant at Bluff Beach.
- 9 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	20 metres
Minimum setback from secondary road frontage	20 metres
Minimum setback from a Primary Production Zone boundary	40 metres
Minimum setback from a Coastal Conservation Zone boundary	50 metres
Minimum setback from side boundaries	10 metres
Minimum setback from rear boundary	10 metres
Maximum site coverage	20 per cent
Maximum building height (from natural ground level)	One storey
Minimum number of on site car parking spaces (One of which should be covered)	2

- 10 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	100 square metres
Maximum building height (from natural ground level)	4.5 metres
Maximum wall height (from natural ground level)	3.6 metres
Minimum setback from side and rear boundaries	10 metres
Minimum setback from a public road or public open space area	No closer than the dwelling with which it is associated
Minimum setback from a Coastal Conservation Zone boundary	50 metres

Land Division

- 11 Except where located within a precinct, land division should create allotments with an area not less than 1 hectare.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 3 Limited Subdivision

12 Land division should not create an additional allotment.

Precinct 4 Edithburgh / Marion Bay Rural Living

13 Land division should not create an additional allotment with an area less than 0.5 hectares.

Precinct 5 Ardrossan Rural Living

14 Land division should not create an additional allotment with an area less than 2 hectares.

Precinct 6 Port Victoria Rural Living

15 Land division should not create an additional allotment where the depth of an allotment exceeds three times its average width, other than where shared access is provided by way of community title.

16 Land division should not create an additional allotment with an area less than 1 hectare.

Precinct 7 Bluff Beach Rural Living

17 Land division should not create an additional allotment with an area less than 0.8 hectares.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Caravan park	
Crematorium	
Dairy	
Dwelling	Except a detached dwelling

Form of development	Exceptions
Fuel depot	
Hotel	
Industry	
Intensive animal keeping	
Land division	<p>Except where it achieves either (a) or (b):</p> <ul style="list-style-type: none"> (a) it is located within Precinct 3 Limited Subdivision and no additional allotment is created wholly or partly within the precinct (b) it results in the creation of an additional allotment either wholly or partly within: <ul style="list-style-type: none"> (i) Precinct 4 Edithburgh/Marion Bay Rural Living and all allotments resulting from the division are at least 0.5 hectares (ii) Precinct 5 Ardrossan Rural Living and all allotments resulting from the division are at least 2 hectares (iii) Precinct 6 Port Victoria Rural Living and all allotments resulting from the division have a depth that does not exceed three times the average width of the allotment, other than where shared access is provided by way of community title, and all allotments resulting from the division are at least 1 hectare (iv) land not covered by a precinct and all allotments resulting from the division are at least 1 hectare (v) Precinct 7 Bluff Beach Rural Living and all allotments resulting from the division are at least 0.8 hectares.
Major public service depot	
Motel	
Motor repair station	
Office	
Petrol filling station	
Residential flat building	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the Development Regulations 2008.

Further, the following forms of development (except where the development is classified as non-complying) are designated:

Category 1	Category 2
Detached dwelling	
Land division	

Settlement Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A mixed use village environment with small collection of low-density dwellings, holiday accommodation, recreation and community facilities.
- 2 Small-scale services and facilities grouped together to service the requirements of the local community and the visiting public.
- 3 Low density residential development contained within the boundaries of the settlement.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will accommodate predominantly detached dwellings at low density together with tourist accommodation and retail facilities to service the local community.

Development will complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists. This will require that new development has regard to elements such as siting, mass and proportion, building materials, ground floor height above natural ground level, a simple roof form with low pitch, facade articulation and detailing, verandas, eaves and parapets, fence styles and alignment, and landscaping. Additionally, the extent of earthworks necessary to contain a building or in providing access to it must be minimised to avoid adverse disruption to the existing landform.

Infill development at higher density will occur throughout the zone but will conform to existing character by maintaining street and side setbacks, and building form and scale evident within the locality. Buildings fronting a public road will address the street by providing a legible entry to the street, use of windows, verandas and other features, rather than presenting side walls or blank walls to the street frontage.

Properties that have dual frontages to a road and the coast or open space have to address both of these frontages in order to achieve a pleasant visual presentation to both frontages. This will require consideration being given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not appear as a 'back yard') and incorporation of garaging into the dwelling design rather than as freestanding structures.

Garages throughout the zone will be sited and be of a scale to ensure that they do not dominate the dwelling or the streetscape to which they relate.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design will be reflected in the presentation of development. At Balgowan, new development on allotments 503 and 504 in DP 40742, as contained within Certificate of Title Volume 5259 Folio 719 will have a reduced connection to the existing power network therefore development will need to rely upon an on-site microgrid for on-site energy generation including photovoltaic cells, wind power, energy storage batteries and solar hot water systems.

Land division within the zone will provide public road links to adjoining undeveloped land where necessary, and for this purpose community title division of land will not be appropriate where public road links are preferred.

Allotments will be of sufficient size to comfortably accommodate the requirements of on-site effluent treatment and disposal where this is required.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facility
 - dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition
 - local community facility
 - recreation area
 - restaurant
 - shop or group of shops under 250 square metres in size
 - supported accommodation
 - tourist accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Business and commercial development should be limited in scale and function to service the local requirements of the settlement and travellers using the main road.
- 4 Industry uses should be restricted to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.
- 5 No development should occur within 10 metres of the banks of the creek on Allotment 500 in Deposited Plan 76729.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development should have regard to the design guidelines contained in [Table YoP/4 - Design Guidelines for Coastal Dwellings](#).
- 8 Development should be carried out in accordance with the concepts shown on [Concept Plan Map YoP/5 - Corny Point](#) and, in particular, should:
 - (a) proceed in accordance with the staging shown, with each subsequent stage not commencing until 75 per cent of the proceeding stage has been completed
 - (b) not have or facilitate direct access from Corny Point Road or from that portion of Burford Road identified for closure.
- 9 Dwellings and other habitable buildings should be setback a minimum of 100 metres from the Community Wastewater Management System plant at Bluff Beach.
- 10 Local service facilities should be grouped together in proximity to existing facilities.
- 11 Public access along the foreshore should be provided.
- 12 Development should be set back the average of the adjoining buildings or a minimum of 4 metres, whichever is the greater, from the seaward allotment boundary to allow for future coast protection works if required.

- 13 Land should not be filled in a way that blocks views from an existing dwelling or public open space to the coast.
- 14 Building height should be graduated away from the coast and foreshore.
- 15 Roof forms for dwellings should be simple in form and exclude Dutch gable, Mansard or Cape Cod styles, and should be designed within the following parameters:

Roof span or type	Maximum roof pitch
Between 5 metres and 6 metres	25 degrees maximum
Between 6 metres and 8 metres	15 degrees maximum
Curved roof form	Between 15 degrees to 25 degrees

- 16 Outside of **Black Point Policy Area 3**, dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	At least the average setback of the two adjoining buildings or 6 metres (whichever is the greater)
Minimum setback from secondary road frontage	1.5 metres - single storey 2.5 metres - two storey
Minimum setback from side boundaries	1 metre
Minimum setback from rear boundary	6 metres
Minimum setback from a Coastal Open Space Zone boundary (where applicable)	4 metres
Maximum site coverage	50 per cent
Maximum building height (from natural ground level)	8 metres
Minimum area of private open space	20 square metres per bedroom or room that may be used as a bedroom
Minimum number of on site car parking spaces (one of which should be covered)	2

- 17 Outside of **Black Point Policy Area 3**, sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	75 square metres or 10 per cent of the area of the allotment (whichever is the greater)
Maximum building height	4.5 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	1 metre or one third of the wall height for a wall greater than 3 metres in height

Parameter	Value
Minimum setback from a public road or public open space area	No closer than the dwelling with which it is associated or 5.5 metres (whichever is the greater)

18 Sheds, garages and similar outbuildings should not have, collectively, a site coverage greater than 15 per cent.

19 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)
Detached dwelling –		
where not connected to a community waste water management system	1200 minimum	15
where connected to a community waste water management system	450 minimum	15
All other dwelling types –		
where not connected to a community waste water management system	1200 minimum	10
where connected to a community waste water management system	450 minimum	10

Land Division

20 Allotments should vary in size and be suitable to facilitate a use of land consistent with the objectives for the zone and should not create a vacant allotment with an:

- (a) area less than 450 square metres, or less than 1200 square metres where not connected to a community wastewater management system
- (b) average width less than 15 metres.

On-site Energy Generation

21 At Balgowan, an on-site microgrid should be established for on-site energy generation including, photovoltaic cells, wind power, energy storage batteries and solar hot water systems, for all new development on allotments 503 and 504 in DP 40742, as contained within Certificate of Title Volume 5259 Folio 719.

22 In the event on-site microgrid energy generation is not provided in accordance with Principle of Development Control 21, then development shall be connected to suitable power infrastructure for energy provision.

Black Point Policy Area 3

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A sea-side built form, comprising primarily dwellings fronting the coast that complements the compact nature of the existing residential development, is consistent with the recreational use and amenity of the locality, and is of a bulk, scale and intensity that minimises visual impact on the coastal environment.
- 2 Retention of a sandy beach through the restoration, preservation, management and revegetation of the coastal dunes rather than through the use of seawalls or other coast protection works.
- 3 Protection of native vegetation and the encouragement of revegetation through the planting of indigenous native species.
- 4 To facilitate the relocation of vulnerable shacks from Crown lease foreshore allotments located in **Precinct 1 Black Point** in the **Coastal Open Space Zone**.
- 5 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The zone will accommodate detached dwellings on large allotments as limited water supply will limit development to not more than one dwelling per allotment.

The character of buildings will reflect a contemporary design with a strong emphasis on ensuring visual interest in the building form. Buildings, particularly two storey development, will be highly articulated and will include the use of verandas, varied roof pitch and form, limits on building heights, and use of materials appropriate to the coastal environment.

Properties that have dual frontages to a road or open space should address both of these frontages. This will require that consideration be given to service areas for clothes drying, ensuring that the building addresses the street (legible entry from the street, use of windows, verandas and other features to ensure that the street frontage does not look like the back of the building). Garages will be screened from the road with landscaping.

Environmentally sustainable development practices including the installation of rainwater tanks, solar systems, and building orientation and design must be reflected in the presentation of development.

New development will protect the narrow foredune fronting the beach. This will include restricting pedestrian access to this area and its revegetation with suitable, endemic vegetation.

Relocation of shacks from the beach will be undertaken so as to minimise the likelihood of erosion and subsequent property loss.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling
 - outbuilding associated with a dwelling
 - recreation facilities.

- 2 Development should not result in more than one dwelling on an allotment.
- 3 Development intended for recreation and leisure use, including associated access and vehicle parking facilities, should be limited in scale and number to minimise the impact on the coastal environment and to discourage the generation of large volumes of traffic.
- 4 Development should ensure that a water supply of 5 litres per minute is available for each connection (existing and proposed) so as to avoid further draw down on the pressure from the Pine Point tank.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 6 Development should have regard to the design guidelines contained in [Table YoP/5 - Design Guidelines for Black Point](#).
- 7 Dwellings abutting the **Coastal Open Space Zone** should be sited and designed to face the foreshore and, where there is also a frontage to a public road, to achieve a pleasant visual presentation to both frontages through the adoption of veranda, deck and similar architectural treatment.
- 8 Buildings should be sited square to and aligned with allotment boundaries.
- 9 Seawalls or other coast protection works should not be developed or located on private land.
- 10 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage –	
allotments directly fronting the foreshore	6 metres
allotments located south of the public road	9 metres
Minimum setback from secondary road frontage	1 metre - single storey 2.5 metres - two storey
Minimum setback from side boundaries	1 metre
Minimum setback from rear boundary	1 metre
Minimum setback from a Coastal Open Space Zone boundary (where applicable)	3 metres
Maximum site coverage	35 per cent
Maximum building height (from natural ground level) –	
land located at the eastern end of the policy area	6 metres
land elsewhere in the policy area	9 metres
Minimum area of private open space	25 square metres per bedroom or room that may be used as a bedroom
Minimum number of on site car parking spaces (One of which should be covered)	2

- 11 The upper storey of a two storey dwelling should not exceed 60 per cent of the:
 - (a) floor area of the ground floor

(b) width of the ground floor frontage.

- 12 Roof forms for dwellings should not include half-hipped, Dutch gable, Mansard or Cape Cod styles, and should be designed within the following parameters:

Roof Span	Maximum roof pitch
Less than 4 metres	35 degrees
Between 4 metres and 6 metres	25 degrees
Between 6 metres and 8 metres	15 degrees

- 13 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area -	
for a carport	36 square metres
for all other types of outbuilding	55 square metres
Maximum building height (from natural ground level)	3.5 metres
Maximum wall height (from natural ground level)	3 metres
Maximum roof span	6 metres
Pitch of roof	Between 15 degrees and 25 degrees
Minimum setback from side and rear boundaries	Nil
Minimum setback from a public road or public open space area –	8 metres
allotments 140 to 149 inclusive	3 metres
allotments directly fronting the foreshore	6 metres
allotments located south of the public road	9 metres

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Crematorium	
Dairy	
Domestic outbuilding	Except where ancillary to and in association with an existing dwelling or with a dwelling that has received a Development Approval
Dwelling within Black Point Policy Area 3	Except a detached dwelling.
Dwelling where it is located outside of Black Point Policy Area 3 and where both (a) and (b) apply:	
(a) the allotment on which the dwelling is to be located achieves both of the following:	
(i) it shares a common boundary with land zoned as coastal (land with the term 'coastal' in its name)	
(ii) it is separated from other land also located within the Settlement Zone by a public road	
(b) the building will exceed 4.5 metres above natural ground level (excluding any elevation necessary for hazard minimisation from sea level rise).	
Education establishment within Black Point Policy Area 3	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Hotel within Black Point Policy Area 3	
Industry within Black Point Policy Area 3	
Intensive animal keeping	
Motor repair station within Black Point Policy Area 3	

Form of Development	Exceptions
Residential flat building	
Road transport terminal	
Shop or group of shops	Except where it achieves (a) or (b): (a) it is located within Black Point Policy Area 3 and has a gross leasable area of less than 150 square metres (b) has a gross leasable area of less than 250 square metres elsewhere in the zone.
Special industry	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
Dwelling	Community centre
Filling of land that is located outside of Black Point Policy Area 3 and necessary for hazard minimization from sea level rise, up to 1 metre above natural ground level.	Domestic outbuilding having an area exceeding 75 square metres
Land division	Education establishment
Recreation area	Filling of land that is located outside of Black Point Policy Area 3 and necessary for hazard minimization from sea level rise, over 1 metre above natural ground level.
Retirement village	Place of worship
	Pre-school

Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating a wide range of retail, office, administrative, community, cultural and entertainment facilities to serve residents of the town and the surrounding rural community.
- 2 Conservation and upgrading of buildings of historic character.
- 3 Rationalisation of vehicular access, car parking and major pedestrian movement paths to provide a safer, more efficient and more attractive environment.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Town centre development varies from town to town and includes turn of the century commercial buildings with more contemporary retail/commercial development and housing. Much of the established commercial development is located on the street alignment with car parking limited to the street.

New development will involve the siting of new buildings square to and on the street alignment with minimal breaks between buildings other than where there has been an existing access to the rear of the site.

Verandas should continue to be provided over the footpath and outdoor dining facilities developed on the footpath where conditions such as footpath width, pedestrian safety and accessibility are adequate.

Buildings should generally be single storey other than where adjoining existing two storey development and where located adjacent to Victorian or Edwardian buildings should respect the form, scale detailing and siting of these buildings.

Service access, service functions and car parking will be located at the rear of each property and will be shared, where achievable, to maximise the common use of car parking, minimise the amount of sealed area and to minimise the number of individual access points.

New residential development is discouraged unless it is located in a locality that is already substantially residential in nature and is adjoined at its street frontage by existing residential development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulky goods outlet
 - café
 - consulting room
 - cultural centre
 - entertainment facility
 - fitness studio
 - hotel
 - meeting room

- motor repair station
- office
- petrol filling station
- restaurant
- service trade premises
- shop
- tourist facility.

- 2 Development listed as non-complying is generally inappropriate.
- 3 A dwelling should be established only where it is associated with and ancillary to an existing, or part of a proposed use envisaged for the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Buildings should not exceed two storeys in height.
- 6 Service and storage areas should be screened from public view by uniform colour coated steel, timber or masonry fencing not less than 1.8 metres high or by suitably established landscape barriers.
- 7 Landscaping should be provided to:
- (a) visually screen storage, service and other unattractive areas from public view
 - (b) screen and shade vehicle parking and manoeuvring areas
 - (c) separate large paved surfaces into smaller and more visually appealing areas
 - (d) screen and soften the appearance of buildings and structures.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Dairy	
Electricity substation	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Major public service depot	

Form of development	Exceptions
Residential flat building	
Road transport terminal	
Special industry	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
All forms of development	

Water Protection Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Protection of surface and underground water resources from pollution, contamination or unsustainable use.
- 2 Development excluded from the zone where it is liable to contribute to the contamination or pollution of surface and underground water resources or the reduction of aquifer recharge.
- 3 Extensive areas of locally indigenous plant species established and retained in order to safeguard the catchment and recharge characteristics of the water resource.
- 4 Accommodation of wind farms and ancillary development.
- 5 Promotion of general agricultural activities on large land holdings consistent with the protection of groundwater resources from pollution.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone embraces the Carribie, Para Wurlie and Marion Basins which contain groundwater at shallow depth and represent significant regional water resources. Long term protection of these sensitive basins from contamination is essential. Further development within the recharge areas of the basins will therefore be restricted and efforts are to be made to minimise any polluting effects from existing development in the zone. Activities liable to cause further deterioration in water quality within the recharge areas are not to be established within the zone. The security of existing and future supplies cannot be guaranteed without effective, unambiguous controls over development.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines
- visible from scenic routes and valuable scenic and environmental areas
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

Although some of the land has long been cleared for agricultural production and grazing, significant tracts of native vegetation remain. The areas of bushland scattered throughout the district and along road reserves are important features that require protection.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - broadacre cropping
 - grazing
 - wind farm and ancillary development
 - wind monitoring mast and ancillary development.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.
- 4 Development should not:
 - (a) prejudice the protection of the water catchment
 - (b) affect the quality and quantity of the catchment's water resources
 - (c) inhibit the potential of the aquifer to recharge
 - (d) involve the storage or disposal of hazardous substances
 - (e) involve the storage of chemicals in quantities that require a licence under the *Environment Protection Act 1993*
 - (f) generate waste of a quantity that affects surface or underground water resources.
- 5 Land should not be used for farming or horticulture unless the depth to the watertable is greater than 2 metres from the ground surface.
- 6 Land should not be used for farming or horticulture unless the following issues are considered and addressed:
 - (a) the risk of pollution or adverse impacts on dependent ecosystems
 - (b) the risk of any increase in salinity levels of either surface or groundwater supplies
 - (c) the avoidance of adverse impacts on downstream properties in terms of water flow and discharge of pollutants
 - (d) the availability of surface and/or sub-surface water required to sustain the proposed activity
 - (e) the capability of the soil structure and the land to support the proposed activity
 - (f) avoiding any land prone to water logging or subject to flooding through irrigation
 - (g) compatibility with land uses on adjacent land
 - (h) the risk of the watertable falling or rising significantly as a result of excessive irrigation.

- 7 Tourist and visitor accommodation should be limited to that in the form of a farm hosting facility only and provided that:
- (a) it is of a minor nature and ancillary to the rural function of the land
 - (b) it is developed as an integral part of the farm complex
 - (c) its siting, design and appearance is compatible with the rural features and character of the landscape
 - (d) wastewater can be properly and safely disposed of without risk to the groundwater resources.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Irrigated areas should not be sited where they may impact upon a watercourse, lake or well.

Land Division

- 10 Land should not be divided unless to alter the boundaries of an allotment for the purpose of increased primary production efficiency or productivity.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Bus depot	
Caravan Park	
Cemetery	
Commercial forestry	
Community centre	

Form of development	Exceptions
Consulting room	
Crematorium	
Dairy	
Dwelling	Except where used for the purposes of administering the: (a) <i>National Parks and Wildlife Act 1972</i> (b) <i>Wilderness Protection Act 1992</i> .
Educational establishment	
Fuel depot	
Horticulture	
Horse keeping	
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	Except where either of the following apply: (a) it is required to create a separate allotment to contain an habitable dwelling on the property which existed on 21 January 1982 and which minimises the amount of land to be retained with that dwelling (b) no additional allotments are created and the number of resulting allotments of less than 40 hectares is not more than the number that existed prior to rationalisation.
Motel	
Motor repair station	
Nursing home	
Office	Except where it achieves at least one of the following: (a) in association with and ancillary to primary production activities (b) used for the purposes of administering the <i>National Parks and Wildlife Act 1972</i> .
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Residential flat building	

Form of development	Exceptions
Road transport terminal	
Service trade premises	
Shop	
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
	<p>Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:</p> <ul style="list-style-type: none"> (a) an existing dwelling or tourist accommodation that is not associated with the wind farm (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan). <p>Wind monitoring mast and ancillary development.</p>

Table Section

Table YoP/1 - Coastal Areas: Site/Building Floor Levels

Location of development	Minimum site level (metres Australian Height Datum)	Minimum building floor level (metres Australian Height Datum)
Ardrossan	3.5	3.75
Balgowan	3.35	3.6
Black Point	3.3	3.55
Bluff Beach	3.75	4
Chinamans Well	2.95	3.2
Clinton	3.7	3.95
Cockle Beach	3.75	4
Coobowie	2.5	2.65
Corny Point	3.25	3.5
Dunn Point	3.15	3.4
Edithburgh	2.7	2.95
Foul Bay	2.9	3.15
Hardwicke Bay	3.55	3.8
James Well and Rogues Point	3.6	3.85
Marion Bay	2.9	3.15
Parsons Beach	3.75	4
Pine Point	3.35	3.6
Point Souttar	3.15	3.4
Point Turton	2.45	2.7
Port Julia	3.45	3.7
Port Moorowie	2.3	2.55
Port Rickaby	3.8	4.04
Port Victoria	3.1	3.35
Port Vincent (not including the Coastal Marina Zone or Port Vincent Marina Policy Area 2)	3.3	3.55
Price	3.4	3.65
Sheaoak Flat	3.2	3.45
Stansbury	2.65	2.9
Sultana Point	2.9	3.15

Location of development	Minimum site level (metres Australian Height Datum)	Minimum building floor level (metres Australian Height Datum)
The Dipper	3.4	3.65
The Pines	3.05	3.3
Tiddy Widdy Beach	3.55	3.8
Wool Bay	2.85	3.1

Table YoP/2 - Building Setbacks from Road Boundaries

Road Boundary	Setback distance from road boundary (metres)
Within the following zones –	
Aquaculture Zone	30 metres
Bulk Handling Zone	
Coastal Conservation Zone	
Deferred Urban Zone	
Mineral Extraction Zone	
Primary Production Zone	
Water Protection Zone	
Within the following zones –	
Coastal Open Space Zone	8 metres
Coastal Marina Zone	
Community Zone	
Local Centre Zone	
Within the Light Industry Zone	8 metres for buildings having a height of up to 6 metres 10 metres for buildings having a height between 6 and 10 metres 12 metres for buildings having a height exceeding 10 metres 4 metres from a secondary road boundary in the case of a corner allotment
Within the Town Centre Zone	Nil

Table YoP/3 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Accommodation	
Aged care retirement home	1 per unit
Display home	Assess on needs basis
Dwelling	
Detached Semi-detached Row	2 per dwelling containing up to 3 bedrooms one of which is to be covered. 3 per dwelling containing 4 or more bedrooms one of which is to be covered.
Group Residential flat building	1.5 per dwelling one of which is to be covered plus 1 visitor space per 3 dwellings.
Guesthouse or hostel	1 per 3 beds
Nursing home	1 per 4 beds
Serviced apartment	1 per room plus 1 per employee
Tourist accommodation in the form of a bed and breakfast establishment	1 per guest room plus 1 per employee
Commercial	
Auction depot	1 per 100 square metres plus 2 spaces
Bank	5 per 100 square metres
Call centre	Assess on needs basis
Hardware/retail showroom	4 per 100 square metres
Motor repair station	2 per 100 square metres or 4 per service bay (whichever provides the greater number of spaces).
Motor showroom	2 per 100 square metres
Office	4 per 100 square metres
Petrol filling station	6 per service bay plus 5 per 100 square metres retail floor area
Post office	7 per 100 square metres
Retail showroom in the form of a bulky goods establishment	4 per 100 square metres
Service trade premise	4 per 100 square metres
Shop	5 per 100 square metres (where located within a centre). 7 per 100 square metres (where not located within a centre).
Used car lot or vehicle sales yard	2 per 100 square metres of total site area
Video store	6 per 100 square metres

Form of Development	Number of Required Car Parking Spaces
Community and Civic	
Child care centre	1 per 4 children
Civic administration office	4 per 100 square metres
Community centre	10 per 100 square metres
Educational institution –	
pre-school, primary school and secondary school	1 per full time employee plus 1 space for wheelchair users plus an additional 10 per cent of the total for visitors.
tertiary institution	0.6 per full time student plus 0.2 per part time student.
Library	4 per 100 square metres
Meeting hall	1 per 5 seats
Place of worship	1 per 3 seats
Industry	
Industry (exclusive of office component) –	
up to 200 square metres total floor area	2 per 100 square metres
plus between 200 and 2000 square metres total floor area	additional 1.33 per 100 square metres
plus greater than 2000 square metres total floor area	additional 0.67 per 100 square metres
Labour intensive industry (inclusive of office component)	0.75 per employee
Office component	3.3 per 100 square metres
Medical	
Consulting room	10 per 100 square metres
Hospital	2.5 per bed
Medical centre or day surgery	10 per 100 square metres
Recreation	
Amusement machine centre	7 per 100 square metres
Bowling club	10 per bowling green
Cinema complex	1 per 3 seats
Concert hall or theatre	1 per 3 seats
Conference facility	Assess on needs basis
Entertainment multiplex	Assess on needs basis
Exhibition hall	Assess on needs basis

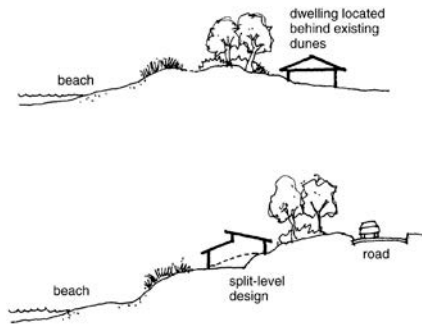
Yorke Peninsula Council
Table Section
Table YoP/3 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Squash or tennis court	4 per court (Additional spaces may be required if spectator seating is proposed.)
Hotel or tavern	
Public bar	1 per 2 square metres
lounge or beer garden	1 per 6 square metres
Dining room	1 per 3 seats
Gaming room	1 per 2 machines
Accommodation	Assess on needs basis
Indoor recreation centre or gymnasium	Assess on needs basis
Night club or late night venue	Assess on needs basis
Restaurant	1 per 3 seats or 1 per 15 square metres (whichever provides the greater number of spaces).
Restaurant in the form of a fast food/ family restaurant	
Without dine-in and drive through facilities only	12 per 100 square metres
With dine-in facilities only but no drive through	1 per 5 square metres (internal and external seating) or 1 per 2 seats (internal seating)— (whichever provides the greater number of spaces).
With dine-in and drive through facilities	1 per 3 square metres (internal and external seating) or 1 per 2 seats (internal seating)— (whichever provides the greater number of spaces). (A car queuing area for a maximum of 12 cars is also required, to be assessed on a needs basis; there should also be at least 4 car spaces back from the ordering point.)
TAB facility	8 per 100 square metres
Other	
Funeral parlour	4 per 100 square metres plus 1 per 4 seats where a chapel is also involved
Interchange/transport station	Assess on needs basis
Marina	25 per lane of public boat ramp
Radio and TV studio	5 per 100 square metres

Table YoP/4 - Design Guidelines for Coastal Dwellings

Component / Aspect / Issue	Guidelines for Development
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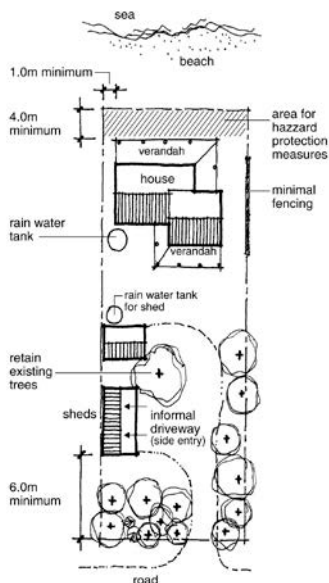
1. Siting



GENERAL SITING REQUIREMENTS

- 1.1 Dwellings should be sited in unobtrusive locations, have a low profile and complement the natural contours of the land.
- 1.2 On sloping sites, dwellings should generally be of single storey or split level design to maintain a low profile.

2. Site layout

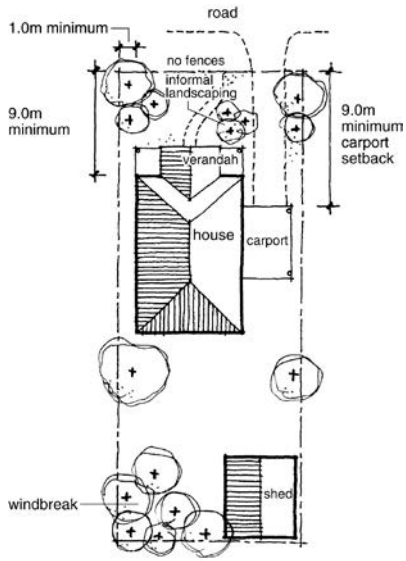


SITE LAYOUT FOR ALLOTMENTS WITH A DIRECT FRONTAGE TO THE COAST

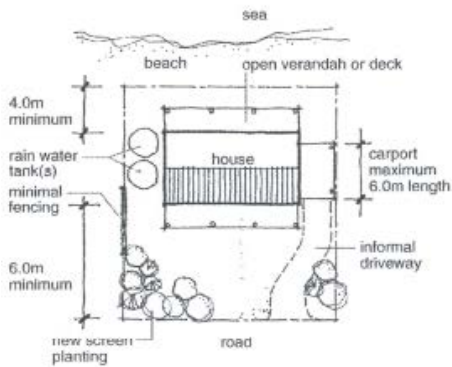
- 2.1 Not more than one dwelling should be erected on an allotment.
- 2.2 The number of ancillary buildings should be limited to:
 - (a) 1 garage, shed or carport
 - (b) rainwater tank(s) and tank stand(s).
- 2.3 Dwellings and outbuildings on sites having a direct frontage to the coast should be:
 - (a) wholly contained within the agreed building or development envelope of an executed Land Management Agreement
 - (b) setback behind the agreed development line of an executed Land Management Agreement
 - (c) set back no less than 4 metres from the seaward allotment boundary

whichever results in the greater setback from the seaward allotment boundary.
- 2.4 Dwellings and outbuildings on sites having a direct frontage to the coast should be setback no less than:
 - (a) 1 metre from side boundaries (excluding sheds carports, outbuildings and rainwater tanks)
 - (b) 6 metres from the road boundary.
- 2.5 Dwellings and outbuildings on sites which do not have direct frontage to the coast should be:
 - (a) wholly contained within the agreed building or development envelope of an executed Land Management Agreement
 - (b) setback behind the agreed development line of an executed Land Management Agreement

Component / Aspect / Issue	Guidelines for Development
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SITE LAYOUT FOR ALLOTMENTS WITH NO DIRECT FRONTAGE TO THE COAST



SITE LAYOUT FOR ALLOTMENTS LESS THAN 450m² (DIRECT FRONTAGE TO THE COAST)

(c) no less than 9 metres from the road to allow a forward extension with a veranda at a later time
 whichever results in the greater setback from the roadway.

- 2.6 Dwellings and outbuildings on sites which do not have direct frontage to the coast should be setback no less than 1 metre from side boundaries (excluding sheds, carports, other outbuildings and rainwater tanks).
- 2.7 Sheds, carports, other outbuildings and rainwater tanks may be located on side boundaries where the impact on the appearance and amenity of adjoining land is not unreasonably compromised.
- 2.8 Dwellings having a frontage to both the foreshore and a public road or common driveway should achieve presentation to both frontages. The use of verandas, decks and other similar treatments are encouraged.
- 2.9 Buildings should generally be square to the allotment and aligned with allotment boundaries.
- 2.10 Vehicular access to garages and sheds that are located between a dwelling and a public road or common driveway should be side entry from within the site to enable the establishment of landscaping between the building and the adjacent public road.
- 2.11 Development on existing allotments of less than 450 square metres should be limited to:
 - (a) a single dwelling
 - (b) a single carport or garage of not more than 20 square metres in area
 - (c) rainwater tank(s) and tank stand(s) as necessary.

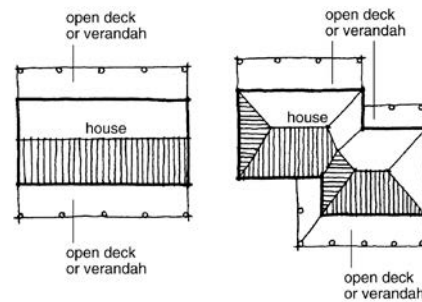
3. Site coverage

- 3.1 Dwellings (exclusive of verandas, garages and carports) should not cover more than 35 per cent of the site upon which they are located.
- 3.2 Domestic outbuildings, including carports, verandas and garages should not cover more than 15 per cent of the site.

Component / Aspect / Issue	Guidelines for Development
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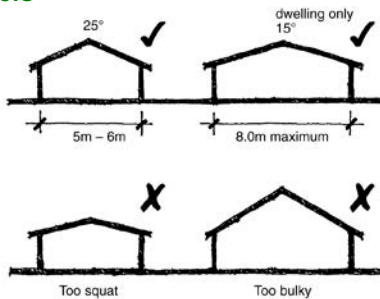
4. Height, scale and design

- 4.1 Buildings and structures should be of simple, single storey, low hipped roof construction.
- 4.2 Buildings should not generally exceed 4.5 metres in height above any elevation necessary for hazard risk minimisation from sea level rise.
- 4.3 The bulk and scale of buildings should be minimised through articulated floor plan layouts and roof forms.
- 4.4 Building styles which should be avoided include A-Frame, Federation, Cape Cod, Quaker and American Barn. These dwellings exhibit a suburban character which is not consistent with a coastal setting.

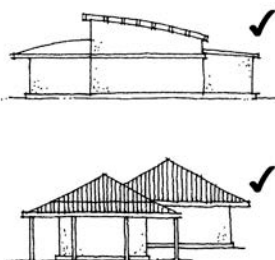


APPROPRIATE FLOOR PLANS

5. Roofs


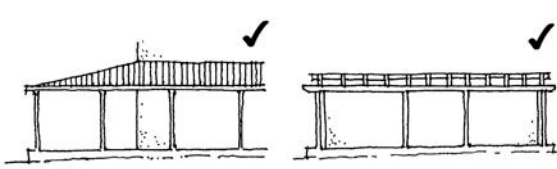


ROOF SPAN AND PITCH



APPROPRIATE ROOF FORMS

- 5.1 Roofs should be of simple, hip construction with a pitch of not less than 15 degrees or no greater than 25 degrees. Small span roofs should have a steeper pitch and large span roofs having a lesser pitch.
- 5.2 Roof spans should be no greater than 8 metres.
- 5.3 Roof styles which should be avoided include skillion or flat, hipped gable, louvre roof, Dutch gable and Mansard or Cape Cod.
- 5.4 Curved roofs are appropriate provided they are within the pitch range of 15 degrees to 25 degrees.

Component / Aspect / Issue	Guidelines for Development
<p>6. Two storey dwellings</p>  <p>TWO STOREY DWELLINGS</p>	<p>6.1 Two storey dwellings should only be established where:</p> <ul style="list-style-type: none"> (a) coastal views would not be unreasonably interrupted by the dwelling (b) the dwelling would be unobtrusive in the context of its surrounds (c) the site is greater than 350 square metres. <p>6.2 Two storey dwellings should not be established in the Conservation, Coastal Conservation or Coastal Open Space Zones, other than at Port Julia and the Dipper.</p> <p>6.3 Under house storage or garaging, but no other use or activity, may be appropriate for two storey dwellings located at Port Julia and the Dipper, to minimise the risk of inundation from sea level rise.</p> <p>6.4 The floor area of the second-storey should not exceed 50 per cent of the floor area of the ground floor, other than at Port Julia and the Dipper.</p> <p>6.5 The frontage of the second storey should not exceed 50 per cent of the frontage of the ground floor, other than at Port Julia and the Dipper.</p> <p>6.6 The maximum building height to the ridge of the roof is 8 metres.</p>
<p>7. Verandas and decks</p>  <p>SIMPLE LIGHTWEIGHT STRUCTURES</p>	<p>7.1 New buildings along the beach frontage should incorporate verandas or pergolas facing the beach.</p> <p>7.2 Decks, verandas or pergolas should be simple lightweight structures of steel or timber framing.</p> <p>7.3 Solid or masonry walls, piers, columns or beams should not be used.</p> <p>7.4 Verandas should remain as outdoor spaces and should not be enclosed or glassed in.</p> <p>7.5 Where balustrades, railings or wind protection are needed, open railings or lattice should be used.</p> <p>7.6 Bull-nose and concave 'heritage style' verandas and lacework should not be used.</p> <p>7.7 Balconies and first floor decks on two storey dwellings should not exceed 15 square metres</p>
<p>8. Carports</p>	<p>8.1 Carports may be attached to the side or rear of the dwelling.</p> <p>8.2 Carports should not be more than:</p> <ul style="list-style-type: none"> (a) 6 metres by 6 metres for allotments greater than 350 square metres (b) 6 metres by 3 metres for allotments less than 350 square metres. <p>8.3 Carport roofs should be separate from the main roof to minimise building bulk.</p>

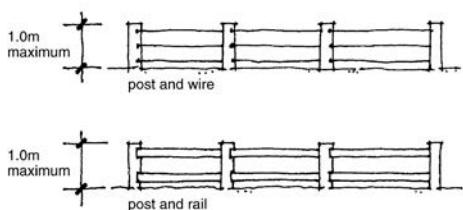
Component / Aspect / Issue	Guidelines for Development
9. Access and vehicle parking	<p>9.1 Dwellings should be provided with a minimum of one undercover parking space and one visitor parking space.</p> <p>9.2 Driveways should be informal and constructed of permeable material.</p>
10. Colours	<p>10.1 Buildings and structures should be of soft, muted tones which blend with the natural landscape.</p>
11. Roof and wall materials	<p>11.1 Buildings and structures should generally be of lightweight construction to maintain a coastal, seaside character. Preferred materials include corrugated galvanised iron (unpainted), corrugated pre-coated/painted steel and weatherboards of not more than 200 millimetres in width.</p> <p>11.2 Construction materials should be suitable for harsh, coastal environments.</p> <p>11.3 Highly reflective materials such as Zinalume should not be used.</p> <p>11.4 Tiled or shingle roofing should not be used.</p>
12. Windows and doors	<p>12.1 Windows and doors, including garage doors should be of simple design and complement the form and materials of the building to which they are associated.</p> <p>12.2 Reflective glass and films should not be used.</p>
13. Architectural detailing	<p>13.1 Detailing should be simple.</p> <p>13.2 Lacework, finials, heritage/federation detailing, quoining etc are inappropriate.</p>
14. Outbuildings	<p>14.1 Outbuildings should be substantially smaller in plan, form, height and scale than its associated dwelling.</p> <p>14.2 Individual outbuildings should not exceed 40 square metres in area.</p> <p>14.3 Outbuildings should not exceed 6 metres in length and should have a maximum wall height of not more than 3 metres.</p> <p>14.4 Outbuildings should not be established on an allotment where there is no dwelling constructed or having Development Approval.</p>
15. Rainwater tanks	<p>15.1 Rainwater tanks should be located as follows:</p> <ul style="list-style-type: none"> (a) wholly contained within the agreed building or development envelope of an executed Land Management Agreement (b) setback behind the agreed development line of an executed Land Management Agreement (c) located as close as practical to existing or proposed buildings where no such Land Management Agreement exists.

Component / Aspect / Issue	Guidelines for Development
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16. Stormwater disposal

- 16.1 Residential development should include, where practicable, on-site stormwater retention and re-use or detention systems to reduce stormwater discharge off-site.
- 16.2 Stormwater from downpipes and tank overflows should be directed away from buildings in a manner that does not result in any erosion of natural dune or sandy areas.
- 16.3 Stormwater disposal should minimise the potential for site erosion and water pollution both during and after construction.
- 16.4 The concentration of stormwater from a large catchment area into a single outlet should be avoided.

17. Fences



FENCING STYLES

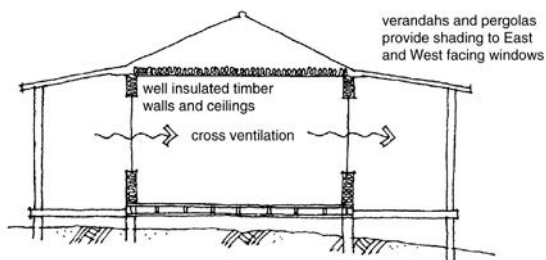
- 17.1 Properties with a direct frontage to the coast should not be fenced to either the front (coastal reserve) or rear (access road) boundary.
- 17.2 Fencing of side boundaries should generally be minimised.
- 17.3 Fences, where necessary, should be of post and wire, post and rail or open mesh construction and should not be more than 1 metre high.
- 17.4 High solid fencing which creates a visual barrier should be avoided.

18. Aerials

- 18.1 Aerials, antennas, towers and the like should not be visually prominent.

19. Energy efficiency

- 19.1 Dwellings should be designed and orientated to maximise energy efficiency.



ENERGY EFFICIENCY

20. Vegetation

- 20.1 Development should be located to minimise the removal of existing mature vegetation, and in particular, areas of remaining native vegetation.
- 20.2 Sites should be landscaped with a full range of local native species, from groundcovers to larger shrubs and trees.
- 20.3 Landscaping should have regard to bushfire management and prevention.
- 20.4 Appropriate landscaping should be provided for dune stabilisation and to minimise erosion from stormwater runoff.

Table YoP/5 - Design Guidelines for Black Point

Component / Aspect / Issue	Guidelines for Development
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1. Removal of Existing Structures

1.1 Existing shacks and structures must be removed from leasehold sites within 12 months of approval of building work of a holiday house on a corresponding freehold allotment.

2. Site layout

2.1 Holiday homes on foreshore allotments should be setback:

- (a) no less than 3 metres from seaward allotment boundary with allowance for forward extension with a veranda or deck up to the allotment boundary
- (b) no less than 1 metre from side boundaries
- (c) no less than 6 metres from the road boundary.

2.2 On the southern side of the public road holiday houses without a pergola should be setback:

- (a) no less than 9 metres from the road to allow forward extension with a veranda at a later time
- (b) no less than 1 metre from side boundaries.

2.3 Dwellings must face the foreshore.

2.4 Buildings should generally be square to the allotment and aligned with allotment boundaries.

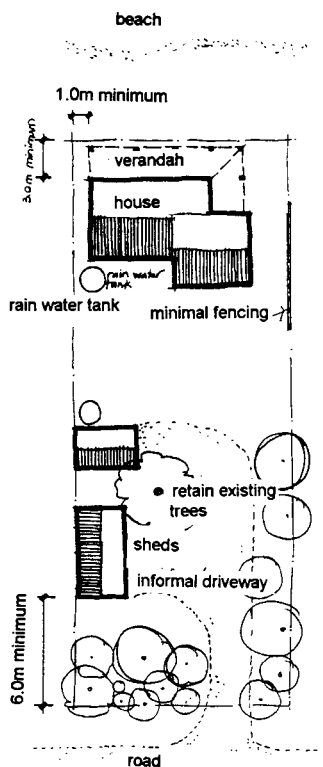
2.5 Sheds, carports, other outbuildings and rainwater tanks may be located on side boundaries.

2.6 For the beach frontage allotments, the setback from the public road should be a minimum 3 metres for Lots 140 to 149 inclusive and minimum of 6 metres for all other beach frontage allotments. For allotments south of the public road, the setback should be a minimum of 9 metres.

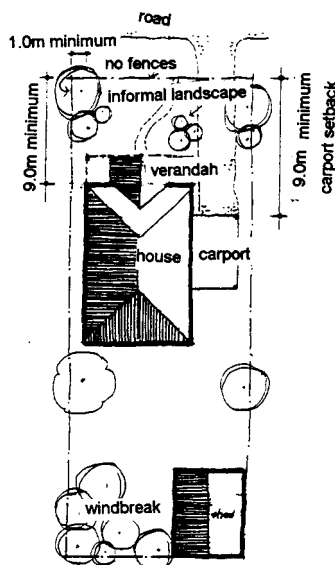
2.7 Vehicular access to a garage or shed should be side entry to enable the establishment of landscape edge adjoining the public road. If not practicable, the setback of the garage or shed from the public road should be increased by 6 metres for all beach frontage allotments, except for Lots 1 to 5 inclusive, Lots 151 to 157 inclusive and Lots 140 to 149 inclusive.

2.8 Energy efficiency principles should be taken into consideration in site layout (see below - section 17).

2.9 Vehicle storage including boats, trailers and caravans may be in outbuildings or in small carports.



Site layout for allotments north of the public road

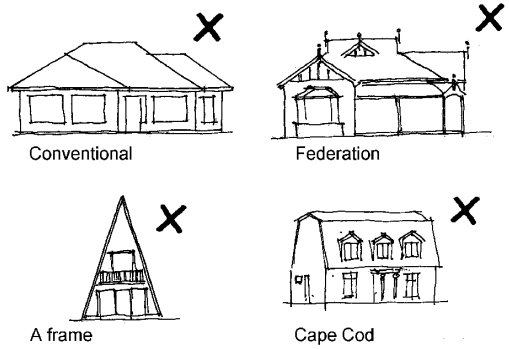


Site layout for allotments south of the public road

Component / Aspect / Issue	Guidelines for Development
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3. Scale

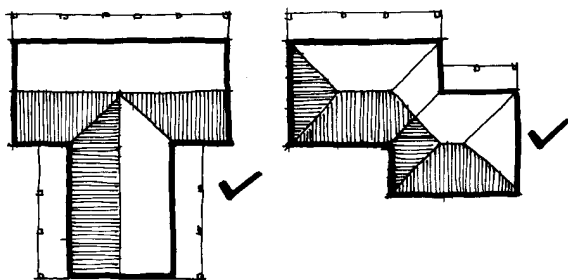
- 3.1 Articulation of plan and roof forms should be used to ensure that buildings are not bulky and massive.
- 3.2 Although there is no upper limit to the size of a dwelling, modules should be around 100 square metres in size.
- 3.3 The floor plan and roof-form of buildings over 100 square metres should be articulated to reduce the scale and bulk of building.



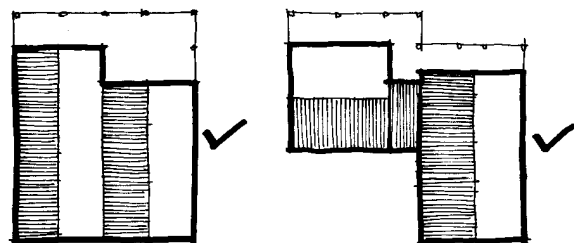
Inappropriate roof forms



100 square metres floor area for simple roof



Articulated roof forms

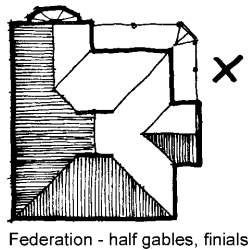
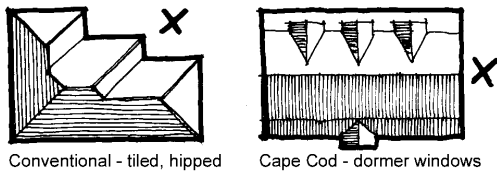


Linked roof forms

Building modules less than 100 square metres –

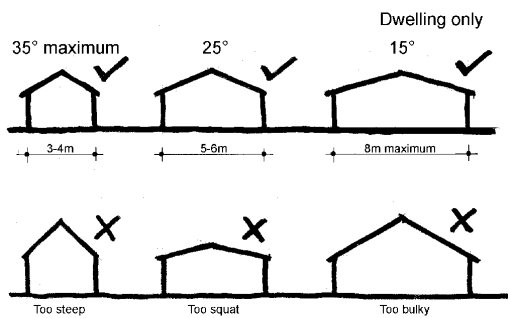
Articulation of plan size and roofs to achieve appropriate mass and scale

Component / Aspect / Issue	Guidelines for Development
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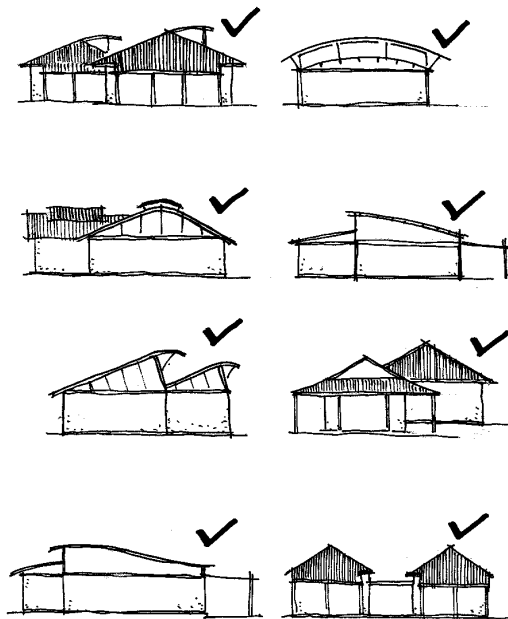


**Building modules greater than 100 square metres –
 Inappropriate plan size and roof styles**

4. Roofs



Roof pitch and span

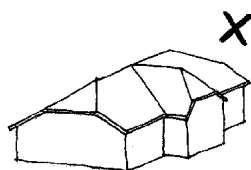


Articulation of buildings and roofs

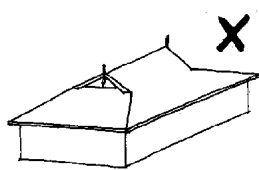
- 4.1 Where pitched roofs are used they should have a pitch of 15 degrees to 35 degrees. Small span roofs should have a steeper pitch and large span roofs having a lesser pitch.
- 4.2 Roof spans should be no greater than 8 metres.
- 4.3 Other than pitched roofs are acceptable providing they are articulated.
- 4.4 Roof styles which should be avoided include flat, half-hipped gable, Dutch gable and Mansard or Cape Cod.

Component / Aspect / Issue

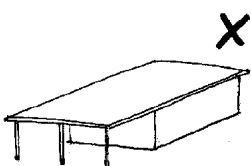
Guidelines for Development



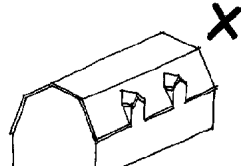
Half Hipped



Dutch Gable



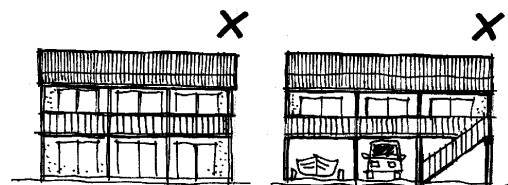
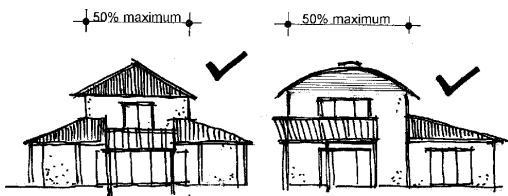
Flat



Cape Cod

Inappropriate roof styles

5. Two storey dwellings



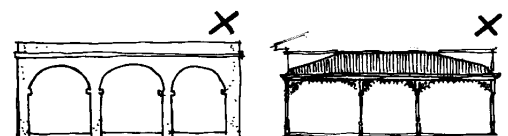
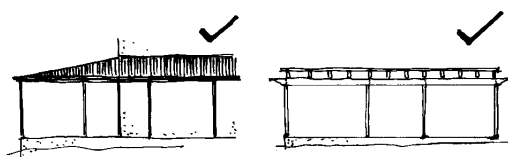
Full first storey

Open storage under house

Two storey dwelling forms

- 5.1 The floor area of the second storey should not exceed 60 per cent of the floor area of the ground floor.
- 5.2 The frontage of the second storey should not exceed 60 per cent of the frontage of the ground floor.
- 5.3 The maximum building height to the ridge of the roof is 9 metres, and 6 metres at the eastern end of Black Point.
- 5.4 The ground floor of a two storey dwelling should not be used for vehicular, boat or caravan storage.

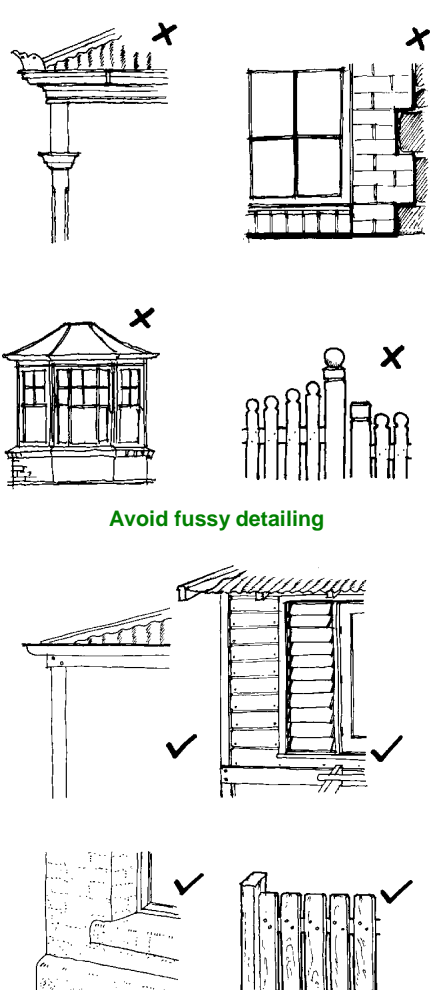
6. Verandas and Decks



Use of simple and light weight structures for verandas

- 6.1 New buildings along the beach frontage should incorporate verandas or pergolas facing the beach.
- 6.2 Decks, verandas or pergolas should be simple lightweight structures of steel or timber framing.
- 6.3 Solid or masonry walls, piers, columns or beams should not be used.
- 6.4 Verandas should remain as outdoor spaces and should not be enclosed or glassed in.
- 6.5 Where balustrades, railings or wind protection are needed, open railings or lattice should be used.
- 6.6 Verandas may be raised to maintain views of the beach when shacks are built further back. The dwelling and veranda floor level should not be more than 1200 millimetres above natural ground level.
- 6.7 The floor of verandas on adjoining allotments may be linked to provide direct access and communication if desired.

Component / Aspect / Issue	Guidelines for Development
	<p>6.8 Bull-nose and concave 'heritage style' verandas and lacework should not be used.</p> <p>6.9 Balconies and first floor decks on two storey dwellings should not exceed 15 square metres.</p>
7. Carports	<p>7.1 Carports may be attached to the side or rear of the dwelling.</p> <p>7.2 Carports should not be more than 6 metres by 6 metres.</p> <p>7.3 Carport roofs should be separate from the main roof to minimise building bulk.</p>
8. Colours	<p>8.1 The external walls of dwellings should be painted light or off-white colours.</p> <p>8.2 Visible roofs should be natural galvanized or painted with traditional red, grey or green roof colours.</p> <p>8.3 Roofs should not be white in colour or any variation of white.</p> <p>8.4 Building trims may be painted with stronger, complementary colours.</p>
9. Roof and wall materials	<p>9.1 Buildings and structures should generally be of lightweight construction to maintain a coastal, seaside character. Preferred materials include:</p> <ul style="list-style-type: none"> (a) unpainted corrugated galvanised iron (b) pre-coated/painted steel (c) flat cement sheet with cover battens and corner stops (d) weatherboards, not more than 200 millimetres in width, of timber, steel, cement sheet or compressed hardboard with timber corner stops. <p>9.2 Highly reflective materials such as Zinalume should not be used.</p> <p>9.3 Wall cladding may be either vertical or horizontal.</p> <p>9.4 Masonry walling should be bagged or rendered.</p> <p>9.5 Timber corner stops and architraves to windows and doors are to be used to provide a traditional finish to weatherboards.</p> <p>9.6 The base perimeter of dwellings on stumps or piers should be enclosed with suitable materials that blend with the appearance or style of the building.</p>
10. Unsuitable materials	<p>10.1 Face brick, block or masonry external walls should not be used for external finishes.</p> <p>10.2 V-crimp or other square steel or aluminium profiles or unpainted Zinalume should not be used.</p> <p>10.3 Tiled or shingled roofing should not be used.</p> <p>10.4 Electroplated fastenings should not be used.</p>

Component / Aspect / Issue	Guidelines for Development
<p>11. Windows and doors</p>	<p>11.1 Windows may be of painted timber, powder-coated or natural anodized aluminium.</p> <p>11.2 Reflective glass and films should not be used.</p> <p>11.3 Shed doors, boatshed doors and shutters over doors or windows may be hinged or tilting types or roller doors with materials to match or complement the walls.</p>
<p>12. Other materials</p>	<p>12.1 The following materials may be used for or on external structures:</p> <ul style="list-style-type: none"> (a) unpainted durable hardwood (b) unpainted or painted galvanized steel (c) fastenings comprising hot-dipped galvanized or other non-corrosive material. <p>12.2 Hardwood can be used in buildings for veranda posts, decks, handrails and steps as well as a landscape material for fencing, boardwalks and retaining walls.</p> <p>12.3 CCA treated pine, ie permapine, may be used for building or landscaping purposes.</p>
<p>13. Architectural detailing</p>  <p>Avoid fussy detailing</p> <p>Clean, simple detailing and materials</p>	<p>13.1 Detailing should be simple.</p> <p>13.2 Lacework, finials, heritage/federation detailing, quoining etc are inappropriate.</p>

Component / Aspect / Issue	Guidelines for Development
<p>14. Outbuildings</p>	<p>14.1 Outbuildings should be substantially smaller in plan, form, height and scale than its associated dwelling.</p> <p>14.2 Individual outbuildings should not exceed 55 square metres in area. Larger floor areas are best achieved by joining smaller sheds or by using lean-to additions.</p> <p>14.3 Garages should have a:</p> <ul style="list-style-type: none"> (a) pitch between 15 degrees to 25 degrees (b) maximum roof span of 6 metres (c) maximum wall height of 3 metres.
<p>15. Rainwater tanks</p>	<p>15.1 Rainwater tanks should be in the form of:</p> <ul style="list-style-type: none"> (a) for larger storage, traditional corrugated iron tanks located close to buildings (b) for smaller storage, modular tanks. <p>15.2 Plastic, fibreglass and concrete tanks may be used.</p> <p>15.3 Stormwater from downpipes and tank overflows should be directed away from buildings to soak into the sand.</p>
<p>16. Fences</p>	<p>16.1 Properties with a direct frontage to the coast should not be fenced to either the front (coastal reserve) or rear (access road) boundary.</p> <p>16.2 Fencing of side boundaries should generally be minimised.</p> <p>16.3 Fences, where necessary, should be of post and wire, post and rail or open mesh construction and should not be more than 1 metre high.</p> <p>16.4 Unpainted hardwood is a suitable fencing material.</p> <p>16.5 High solid fencing which creates a visual barrier should be avoided.</p>
<p>17. Energy efficiency</p> <div data-bbox="188 1496 813 1859"> </div> <p>Passive solar design principles for north facing rooms</p>	<p>17.1 Buildings should be orientated to take into account energy efficiency, and be of a design to incorporate:</p> <ul style="list-style-type: none"> (a) rectangular buildings having a long side facing north that is ideal for passive solar design (b) living spaces being adjacent the long northern wall so that they are shaded in summer and let in winter sun (c) eastern and western walls, which get the most summer sun, being smaller to reducing heat loads. <p>17.2 Building design should incorporate north facing windows, wide eaves or a veranda to exclude most of the summer sun.</p> <p>17.3 East and west facing windows should be kept small in area to reduce morning and afternoon heat loads in summer.</p>

Component / Aspect / Issue	Guidelines for Development
18. Vegetation	<p>18.1 Development should be located to minimise the removal of existing mature vegetation, and in particular, areas of remaining native vegetation.</p> <p>18.2 Backyards of beachfront allotments, as well as road verges and reserves, should be landscaped with a full range of local native species, from groundcovers to larger shrubs and trees.</p> <p>18.3 Landmark seaside trees such as Norfolk Island Pines, Moreton Bay Figs and Canary Island Palms should not be planted at Black Point.</p>

Table YoP/6 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Lighthouse Road CORNYPPOINT	Cornypoint Lighthouse	S19	H130100	CT 5640/810		10110
CURRAMULKA	Corra Lynn Cave (designated as a place of palaeontological and speleological significance)	A171		CT 5678/905	b c	22798
DOWLINGVILLE VIA KADINA	Dowlingville Post Office	S378	H130300	CR 5757/145	b	17071
Coobowie Road EDITHBURGH	Clan Ranald Graves, Edithburgh Cemetery	S713	H130900	CT 5793/917	a g	16675
Honiton- Edithburgh Road HONITON VIA YORKETOWN	Dry Stone Walling	A2 A601	D21860 D25390	CT 5446/21 CT 5946/209	a b e	16676
Lake Fowler Road HONITON VIA YORKETOWN	Lake Fowler Salt Works Site	Q94 A93	F200073 F204190	CT 5404/152 CT 5423/805	a d	16677
West Terrace MINLATON	Minlaton Showground Pavilion/Grandstand	S279	H131000	CT 5727/38		10186
Main Road PINE POINT	Former Grain Shed and associated Enclosed Yard with Stone Wall	A1	D21054	CT 5071/141	a b f	16682
POINT PEARCE	Former Point Pearce Aboriginal Mission	S297	H130600	CT 6023/159		12723
Jetty Road PORT JULIA VIA MINLATON	Port Julia Jetty and Cargo Shed	A10 S325	D48119 H130400	CT 5833/258 CR 5757/441	a	16681
Victoria Terrace PORT VICTORIA	Port Victoria Jetty and Cargo Shed	B1 A10 A10	H131600 D48117 D48117	CR 5858/744 CT 5600/28 CT 5600/28	a b f	11104
5 Main Street PORT VINCENT	The Grainstore Galleries	A50	D38876	CT 5179/418		12536
Stansbury- Yorketown Road STANSBURY	Lime Kiln (designated place of archaeological significance)	A8	D37219	CT 5946/241	a d g	16680

Yorke Peninsula Council
Table Section
Table YoP/6 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Pondalowie Bay Road, near STENHOUSE BAY	Inneston Gypsum Mining Precinct, comprising lake bed, cottages (including Gatehouse Lodge), stores, stables, Manager's & Engineer's residences, ruins of crushing plant, factory, processing areas, tramway & explosives magazine, Innes National Park	S101, 125 & 131	H131500	CR 5778/26		12835
Pondalowie Bay Road, near STENHOUSE BAY	Inneston Lake and Deep Lake Geological Sites, Innes National Park (designated places of geological and palaeontological significance)	S101 & 131	H131500	CR 5778/26	b c	16678
STENHOUSE BAY	Marion Lake Geological Site, Innes National Park (designated place of geological significance)	S177	H131500	CR 5769/587	b c	14417
STENHOUSE BAY	Stenhouse Bay Jetty and Loading Plant (including ruins of gypsum and salt storage bins, the cutting through the cliff and the conveyor footings), Innes National Park	S107, 132 SEABED SEABED	H131500 H131500 H131500	CR 5778/26 N/A N/A N/A	a b e	16679
Corny Point Road WAROOKA	Orrie Cowie Homestead (main house and overseer's cottage)	A102	D37335	CT 5154/349		14515
The Esplanade WOOL BAY	Wool Bay Lime Kiln & Jetty	A176 A10	T130502 D48120	CR 5757/460 CT 5824/62		10112

Note: this table was last updated on 19 August 2011 and is an extract from the South Australian Heritage Register established under Section 13 (1) of the *Heritage Places Act 1993*. In the event of a discrepancy between this extract and the South Australian Heritage Register, the South Australian Heritage Register shall prevail.

Mapping Section

Map Reference Tables
Spatial Extent Maps
Bushfire Risk Maps
Concept Plan Maps

Map Reference Tables

Index Maps

Map Reference

[Council Index Map](#)

Zone Maps

Zone Name	Map Numbers
Aquaculture Zone	YoP/56
Bulk Handling Zone	YoP/20, YoP/28, YoP/33, YoP/65
Caravan and Tourist Park Zone	YoP/33, YoP/35, YoP/40, YoP/41, YoP/47, YoP/49, YoP/51, YoP/53, YoP/54, YoP/56, YoP/57, YoP/58, YoP/62, YoP/65, YoP/66
Coastal Conservation Zone	YoP/1, YoP/2, YoP/3, YoP/4, YoP/4a, YoP/5, YoP/6, YoP/7, YoP/8, YoP/9, YoP/9a, YoP/10, YoP/10a, YoP/11, YoP/12, YoP/13, YoP/14, YoP/15, YoP/15a, YoP/16, YoP/17, YoP/18, YoP/19, YoP/19a, YoP/20, YoP/21, YoP/22, YoP/23, YoP/24, YoP/25, YoP/25a, YoP/26, YoP/27, YoP/28, YoP/29, YoP/30, YoP/31, YoP/31a, YoP/39, YoP/40, YoP/41, YoP/42, YoP/43, YoP/44, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/53, YoP/54, YoP/55, YoP/56, YoP/57, YoP/58, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/66, YoP/67, YoP/68
Coastal Open Space Zone	YoP/5, YoP/11, YoP/21, YoP/29, YoP/39, YoP/40, YoP/41, YoP/42, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/53, YoP/54, YoP/55, YoP/56, YoP/57, YoP/58, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/65, YoP/66, YoP/68
Coastal Marina Zone	YoP/58
Coastal Settlement Zone	YoP/4, YoP/4a, YoP/9, YoP/9a, YoP/10, YoP/10a, YoP/15, YoP/15a, YoP/19, YoP/19a, YoP/25, YoP/25a, YoP/31, YoP/31a, YoP/39, YoP/44, YoP/46, YoP/47, YoP/50, YoP/51, YoP/54, YoP/60
Community Zone	YoP/5, YoP/24, YoP/32, YoP/33, YoP/34, YoP/35, YoP/36, YoP/37, YoP/38, YoP/40, YoP/53, YoP/55, YoP/56, YoP/65, YoP/66, YoP/67
Deferred Urban Zone	YoP/19, YoP/33, YoP/40, YoP/47, YoP/53, YoP/56, YoP/64
Industry Zone	YoP/28, YoP/33, YoP/35, YoP/37, YoP/38, YoP/40, YoP/56, YoP/57, YoP/65, YoP/68
Light Industry Zone	YoP/9, YoP/14, YoP/33, YoP/35, YoP/57, YoP/65
Local Centre Zone	YoP/47, YoP/51
Mineral Extraction Zone	YoP/13, YoP/14, YoP/21, YoP/22, YoP/28, YoP/30, YoP/67
Mixed Use Zone	YoP/19, YoP/33, YoP/35, YoP/53

Zone Name	Map Numbers
Primary Production Zone	YoP/1, YoP/2, YoP/3, YoP/4, YoP/5, YoP/6, YoP/7, YoP/8, YoP/9, YoP/9a, YoP/10, YoP/10a, YoP/11, YoP/12, YoP/13, YoP/14, YoP/15, YoP/15a, YoP/16, YoP/17, YoP/18, YoP/19, YoP/19a, YoP/20, YoP/21, YoP/22, YoP/23, YoP/24, YoP/25, YoP/25a, YoP/26, YoP/27, YoP/28, YoP/29, YoP/30, YoP/31, YoP/32, YoP/33, YoP/34, YoP/35, YoP/36, YoP/37, YoP/38, YoP/39, YoP/40, YoP/41, YoP/42, YoP/43, YoP/44, YoP/45, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/53, YoP/54, YoP/55, YoP/56, YoP/57, YoP/58, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/65, YoP/66, YoP/68
Residential Zone	YoP/5, YoP/19, YoP/22, YoP/33, YoP/35, YoP/36, YoP/37, YoP/38, YoP/40, YoP/53, YoP/56, YoP/57, YoP/58, YoP/65, YoP/66
Residential Park Zone	YoP/33
Rural Living Zone	YoP/5, YoP/7, YoP/14, YoP/19, YoP/22, YoP/24, YoP/25, YoP/25a, YoP/26, YoP/28, YoP/30, YoP/33, YoP/35, YoP/36, YoP/37, YoP/40, YoP/42, YoP/43, YoP/53, YoP/55, YoP/56, YoP/59, YoP/66, YoP/67, YoP/68
Settlement Zone	YoP/11, YoP/14, YoP/19, YoP/19a, YoP/29, YoP/32, YoP/34, YoP/39, YoP/41, YoP/42, YoP/43, YoP/45, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/54, YoP/55, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/67, YoP/68
Town Centre Zone	YoP/33, YoP/35, YoP/36, YoP/37, YoP/38, YoP/40, YoP/53, YoP/56, YoP/57, YoP/58, YoP/65
Water Protection Zone	YoP/10, YoP/11, YoP/12, YoP/14, YoP/15

Policy Area Maps

Policy Area Name	Map Numbers
Infrastructure Policy Area 1	YoP/33, YoP/35, YoP/37, YoP/38
Port Vincent Marina Policy Area 2	YoP/58
Black Point Policy Area 3	YoP/61, YoP/62

Precinct Maps

Precinct Name	Map Numbers
Precinct 1 Black Point	YoP/61, YoP/62
Precinct 2 Port Victoria Residential	YoP/5
Precinct 3 Limited Subdivision	YoP/5, YoP/7, YoP/24, YoP/25, YoP/25a, YoP/26, YoP/35, YoP/36, YoP/40, YoP/42, YoP/43, YoP/59, YoP/68
Precinct 4 Edithburgh / Marion Bay Rural Living	YoP/14, YoP/19
Precinct 5 Ardrossan Rural Living	YoP/19, YoP/28, YoP/66
Precinct 6 Port Victoria Rural Living	YoP/40
Precinct 7 Bluff Beach Rural Living	YoP/7, YoP/42

Overlay Maps

Issue	Map Numbers
Location	YoP/1, YoP/2, YoP/3, YoP/4, YoP/5, YoP/6, YoP/7, YoP/8, YoP/9, YoP/10, YoP/11, YoP/12, YoP/13, YoP/14, YoP/15, YoP/16, YoP/17, YoP/18, YoP/19, YoP/20, YoP/21, YoP/22, YoP/23, YoP/24, YoP/25, YoP/26, YoP/27, YoP/28, YoP/29, YoP/30, YoP/31, YoP/32, YoP/33, YoP/34, YoP/35, YoP/36, YoP/37, YoP/38, YoP/39, YoP/40, YoP/41, YoP/42, YoP/43, YoP/44, YoP/45, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/53, YoP/54, YoP/55, YoP/56, YoP/57, YoP/58, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/65, YoP/66, YoP/67, YoP/68
Transport	YoP/1, YoP/4, YoP/5, YoP/8, YoP/17, YoP/18, YoP/19, YoP/20, YoP/21, YoP/22, YoP/23, YoP/24, YoP/25, YoP/26, YoP/27, YoP/28, YoP/30, YoP/31, YoP/32, YoP/33, YoP/34, YoP/35, YoP/36, YoP/37, YoP/38, YoP/40, YoP/45, YoP/46, YoP/53, YoP/54, YoP/56, YoP/63, YoP/64, YoP/65, YoP/66, YoP/68
Development Constraints	YoP/53
Heritage	YoP/1, YoP/4, YoP/9, YoP/11, YoP/13, YoP/18, YoP/22, YoP/30, YoP/36, YoP/40, YoP/53, YoP/55, YoP/58, YoP/60, YoP/63
Natural Resources	YoP/1, YoP/30, YoP/31, YoP/67, YoP/68

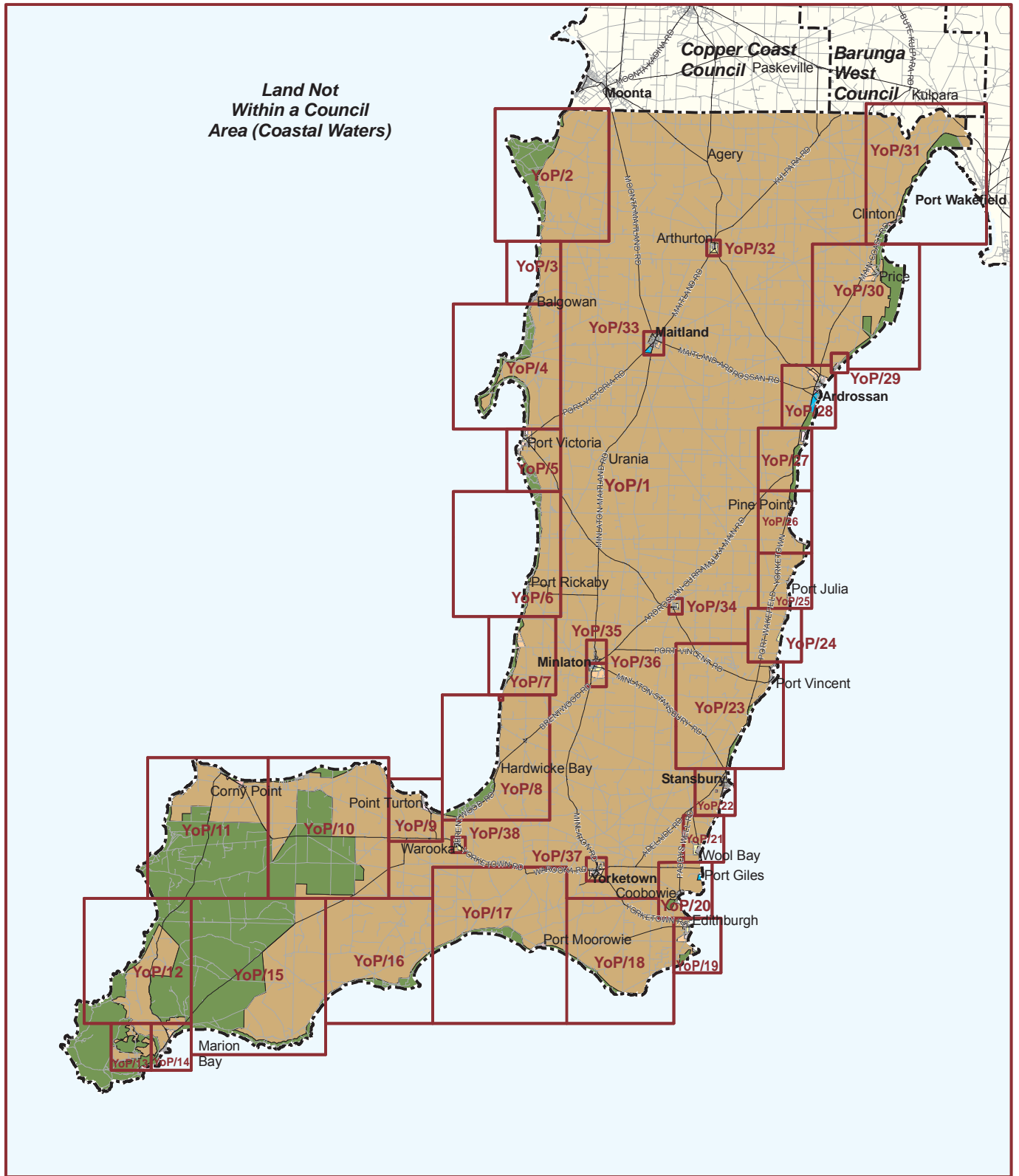
Bushfire Protection Overlay Maps

Bushfire Map Type	BPA Map Numbers
Bushfire Protection - Bushfire Risk	YoP/1, YoP/2, YoP/3, YoP/4, YoP/5, YoP/6, YoP/7, YoP/8, YoP/9, YoP/10, YoP/11, YoP/12, YoP/13, YoP/14, YoP/15, YoP/16, YoP/17, YoP/18, YoP/19, YoP/20, YoP/21, YoP/22, YoP/23, YoP/24, YoP/25, YoP/26, YoP/27, YoP/28, YoP/29, YoP/30, YoP/31, YoP/32, YoP/33, YoP/34, YoP/35, YoP/36, YoP/37, YoP/38, YoP/39, YoP/40, YoP/41, YoP/42, YoP/43, YoP/44, YoP/45, YoP/46, YoP/47, YoP/48, YoP/49, YoP/50, YoP/51, YoP/52, YoP/53, YoP/54, YoP/55, YoP/56, YoP/56, YoP/58, YoP/59, YoP/60, YoP/61, YoP/62, YoP/63, YoP/64, YoP/65, YoP/66, YoP/67, YoP/68

Concept Plan Maps

Concept Plan Title	Concept Plan Map Numbers
Maitland Bulk Handling	YoP/1
Black Point	YoP/2
Marion Bay	YoP/3
Port Victoria Residential	YoP/4
Corny Point	YoP/5
Port Vincent	YoP/6

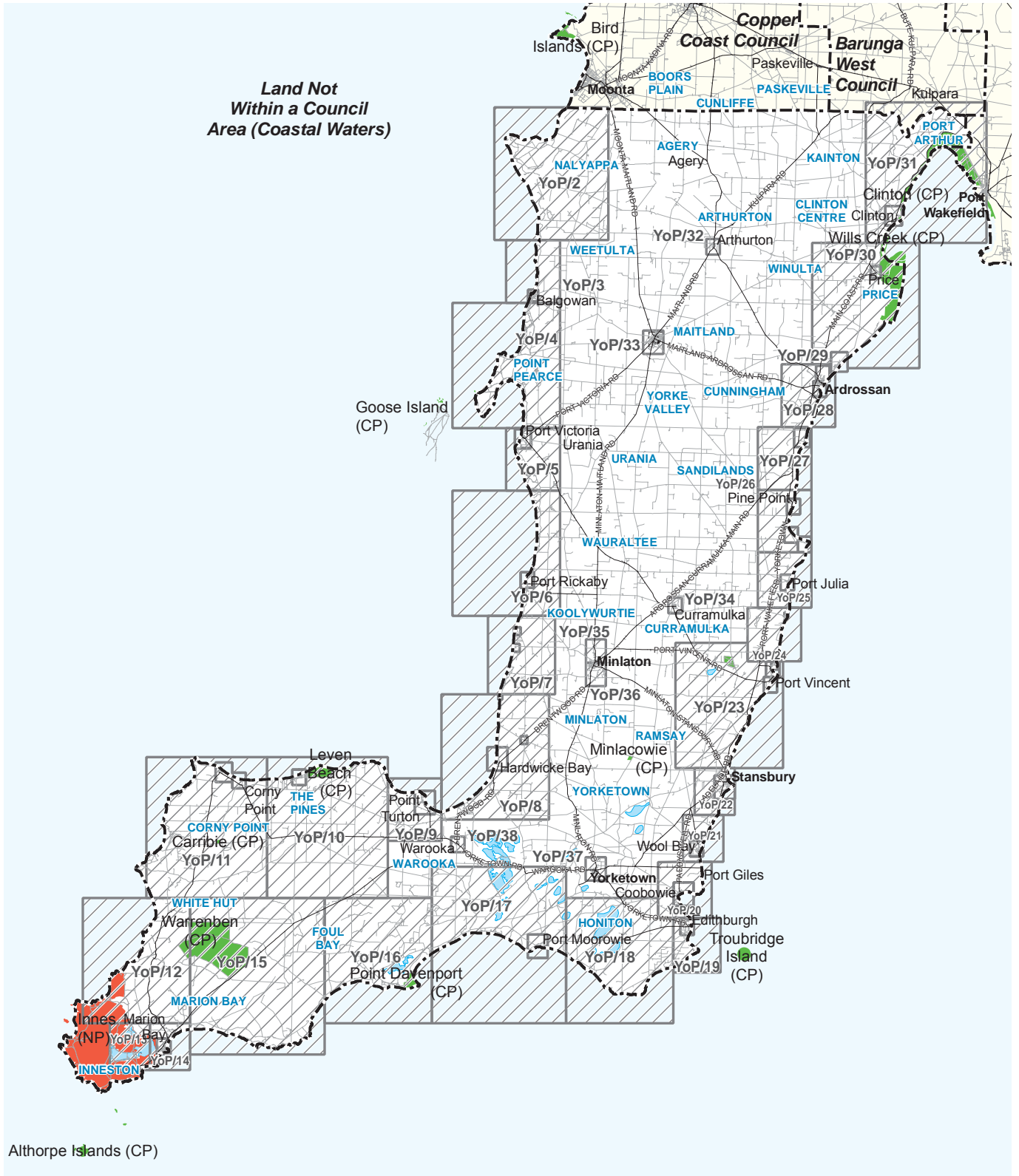
Spatial Extent Maps





For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps YoP/1 to Map YoP/68 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.

Council Index Map

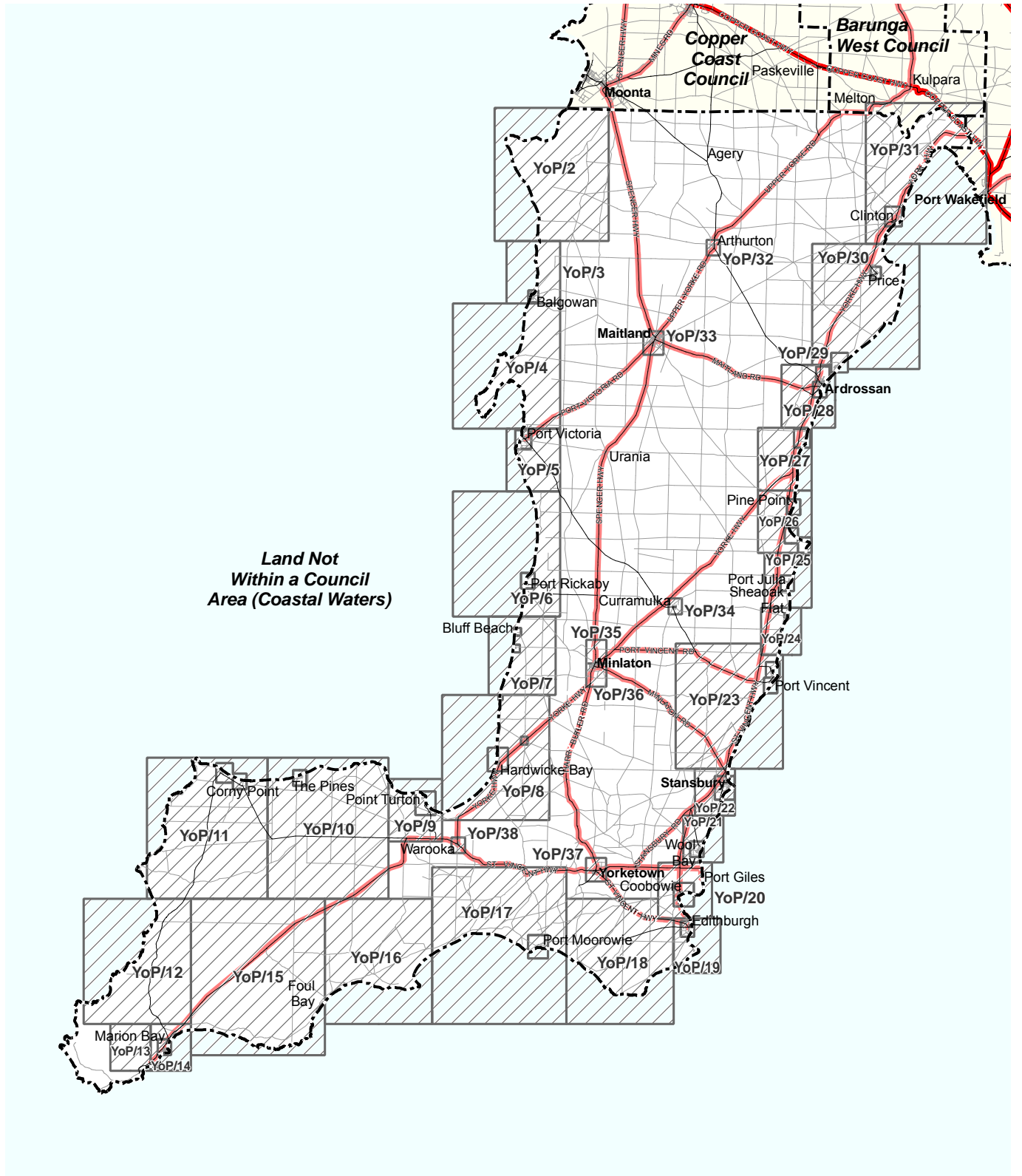
Land Not
Within a Council
Area (Coastal Waters)



Althorpe Islands (CP)

-  Council Office
-  Railways
-  National Park
-  Conservation Park
-  Waterbodies
-  Development Plan Boundary

Location Map YoP/1



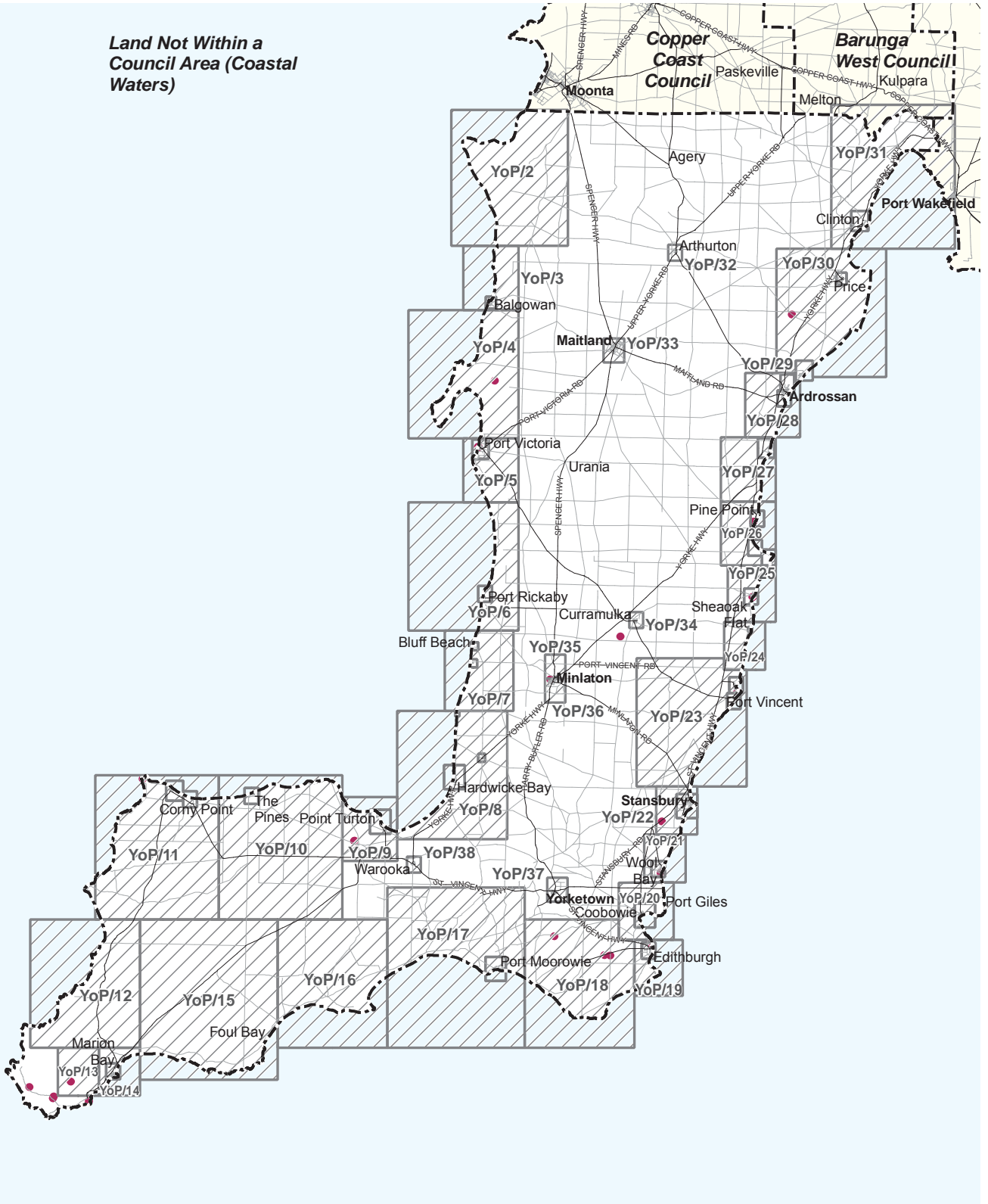
Overlay Map YoP/1

TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary



Land Not Within a Council Area (Coastal Waters)



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory items please refer to the relevant tables within this document.

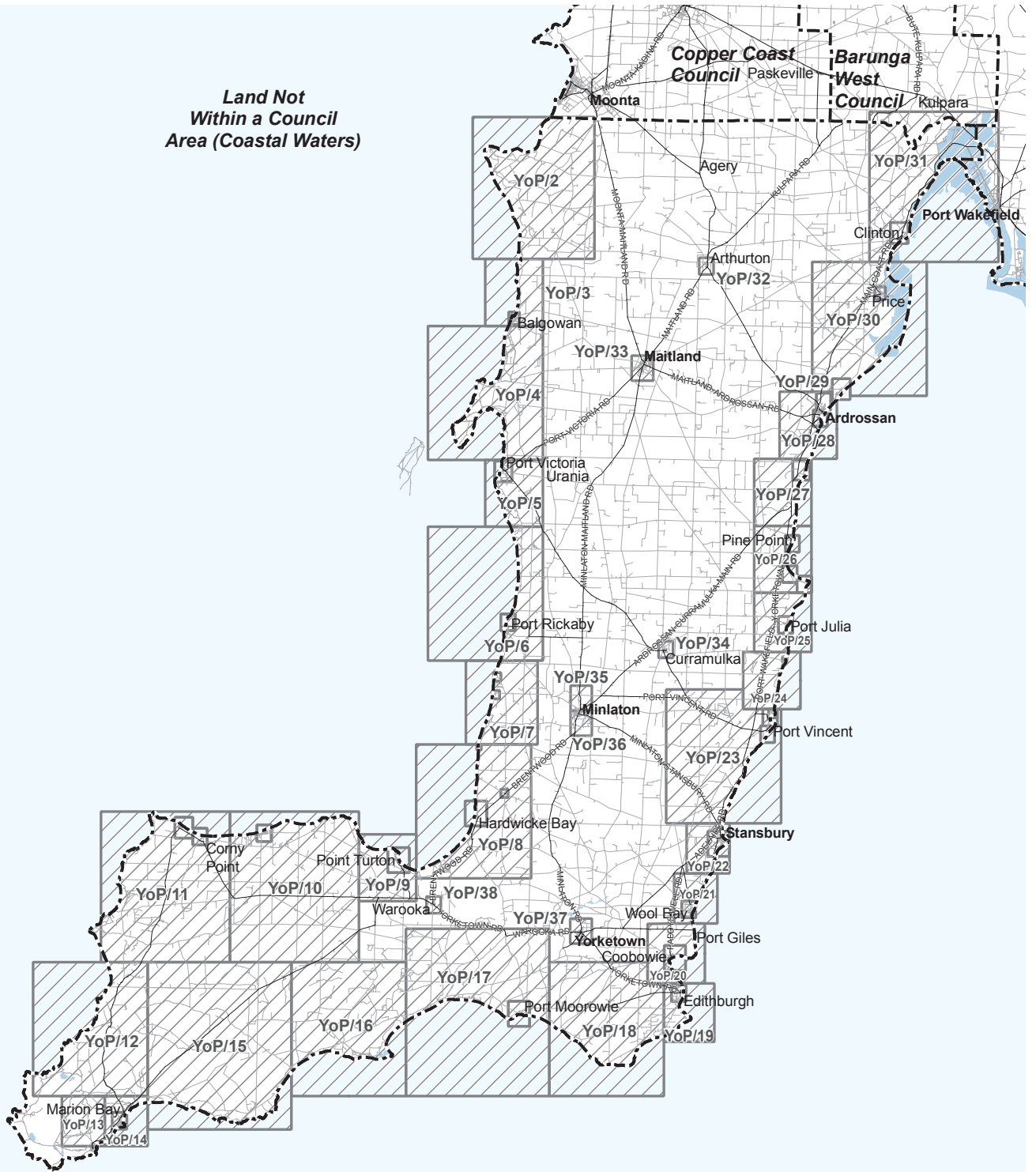


Overlay Map YoP/1

HERITAGE

- State heritage place
- Development Plan Boundary

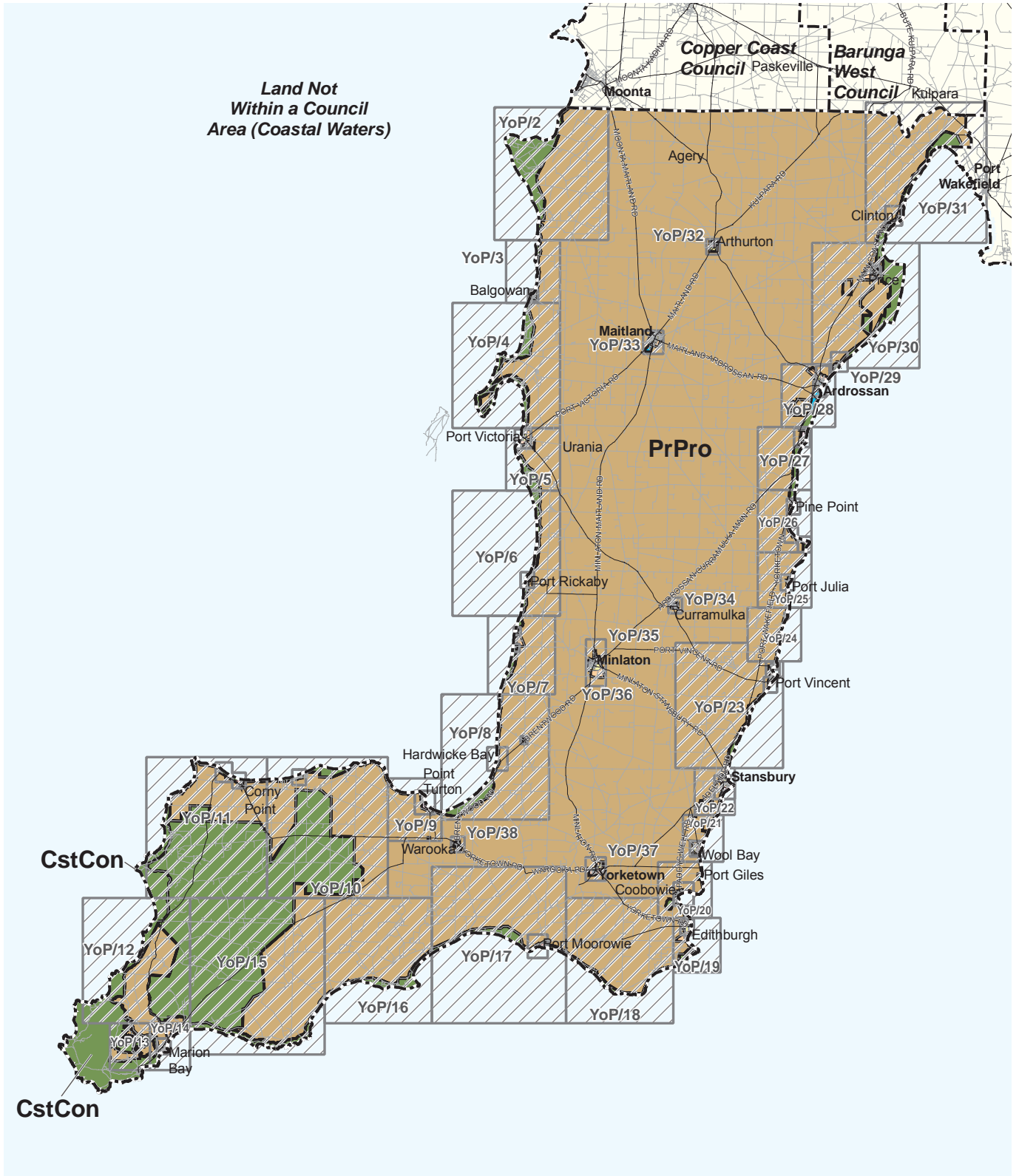
**Land Not
Within a Council
Area (Coastal Waters)**



Overlay Map YoP/1 NATURAL RESOURCES

- Wetlands of National Importance
- Development Plan Boundary

Land Not
Within a Council
Area (Coastal Waters)



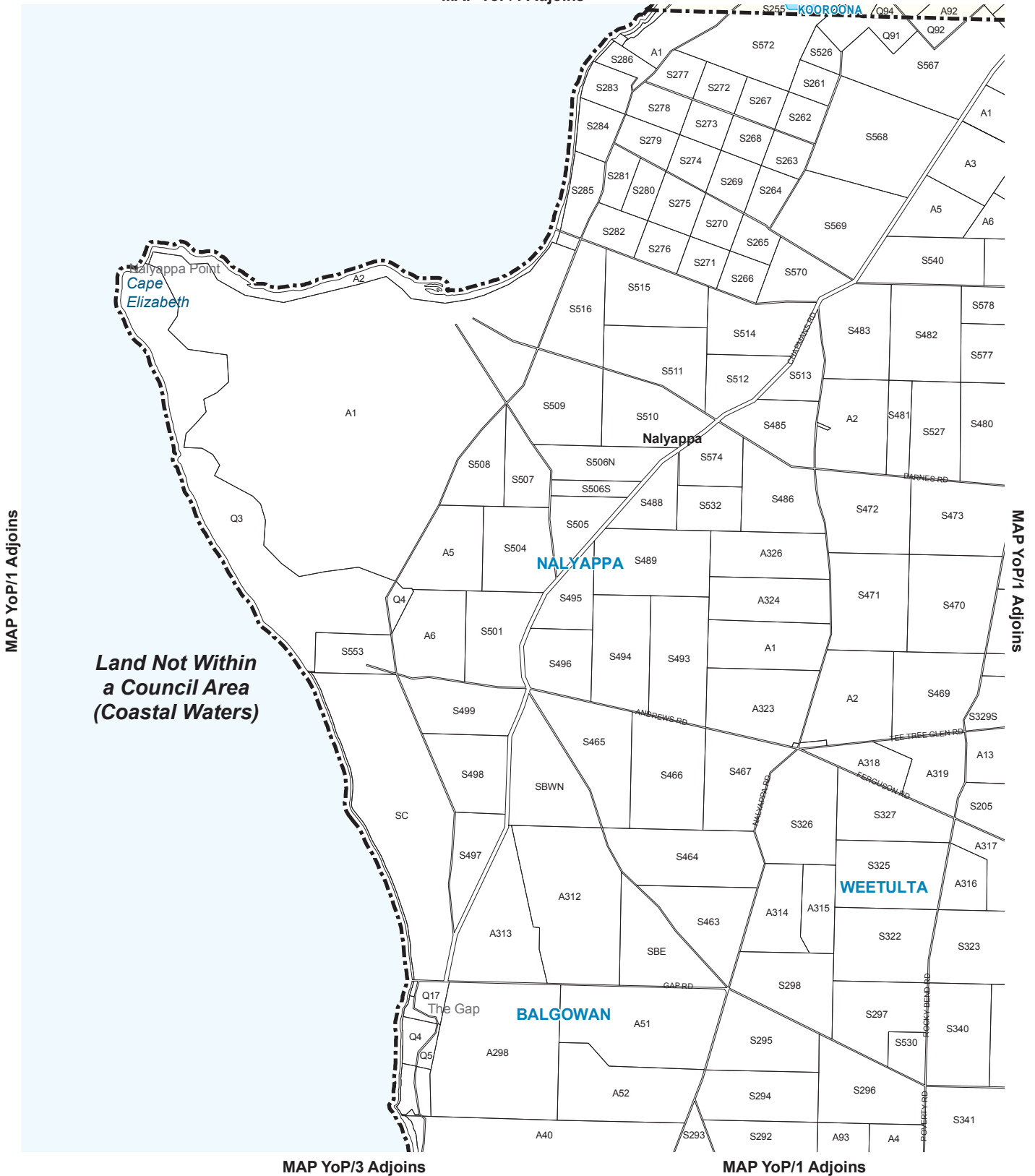
See enlargement map for accurate representation.



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/1

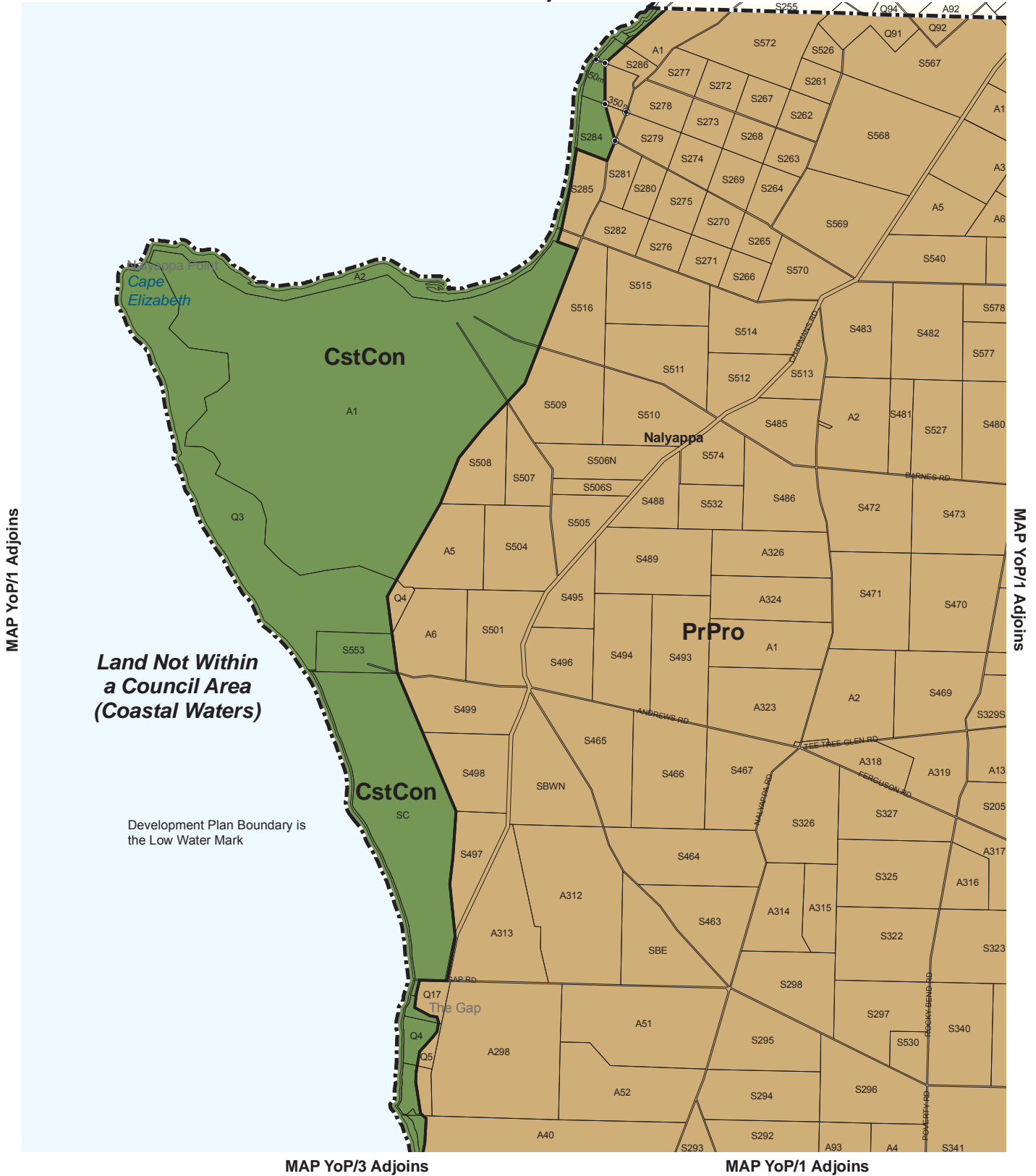
MAP YoP/1 Adjoins



Land Not Within a Council Area (Coastal Waters)

Location Map YoP/2

- Waterbodies
- Development Plan Boundary



Land Not Within a Council Area (Coastal Waters)

Development Plan Boundary is the Low Water Mark

MAP YoP/3 Adjoins

MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

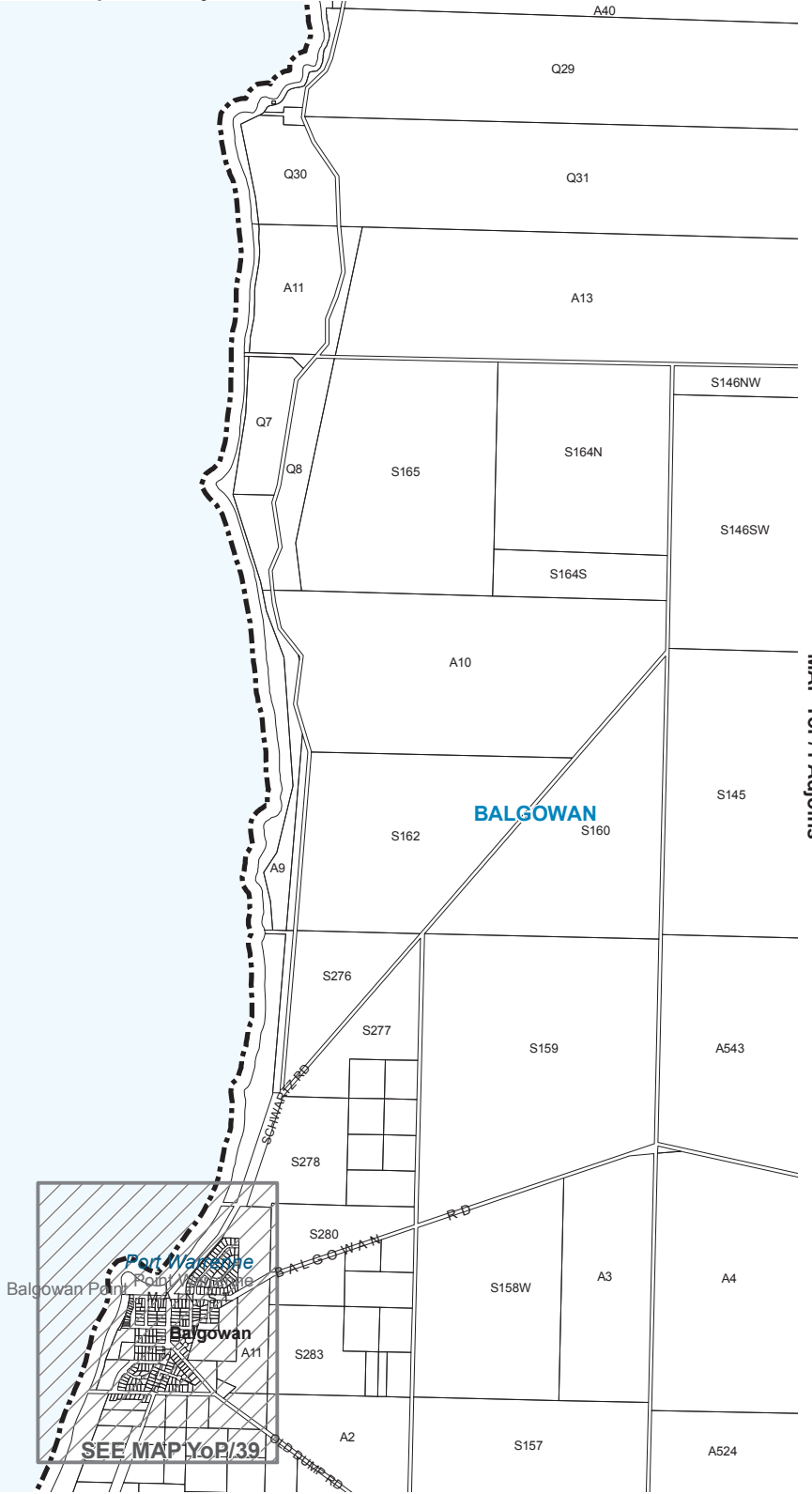
Zone Map YoP/2

Map YoP/2 Adjoins

MAP YoP/1 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/1 Adjoins



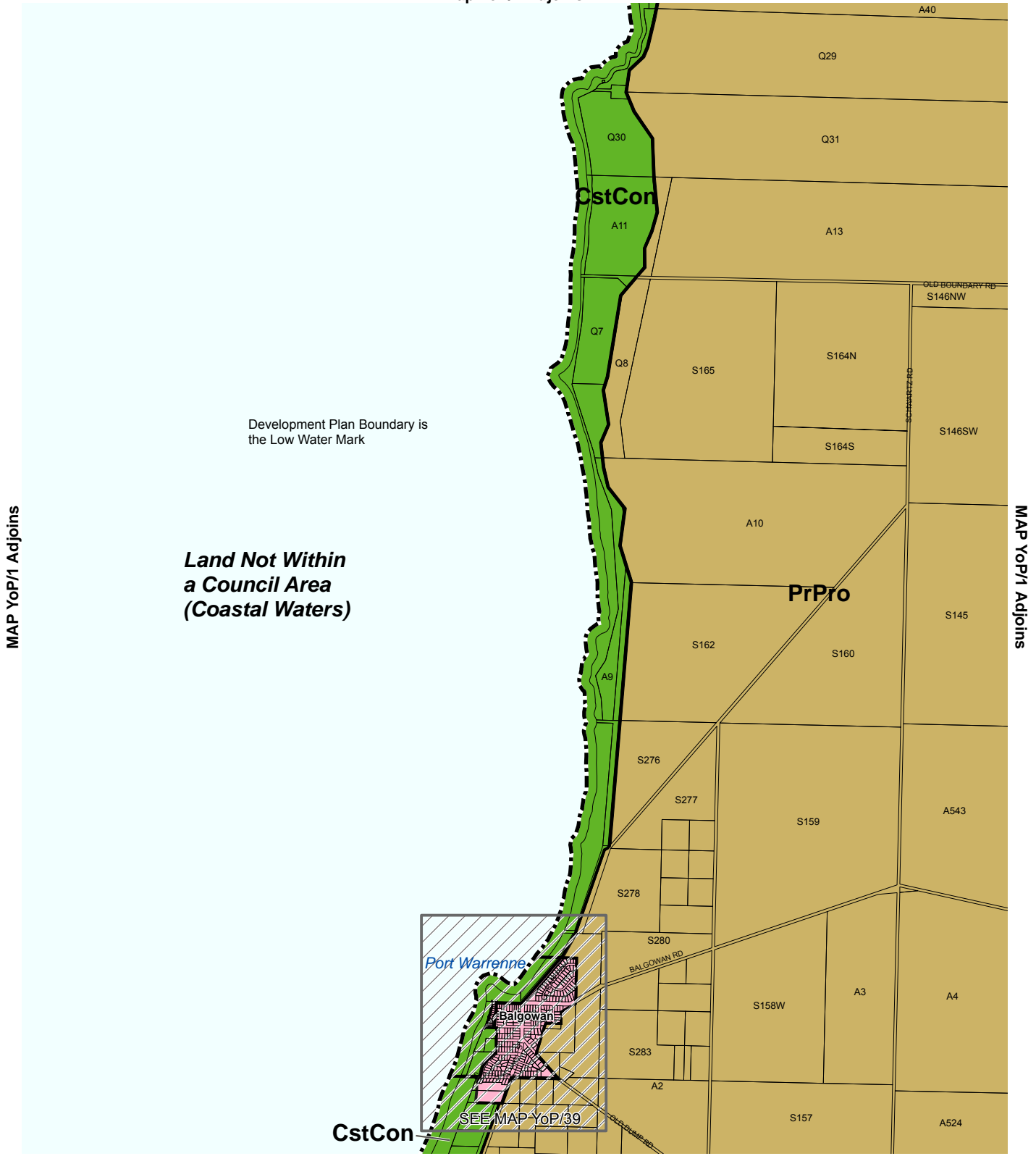
MAP YoP/4 Adjoins



Location Map YoP/3

----- Development Plan Boundary

Map YoP/2 Adjoins



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/3

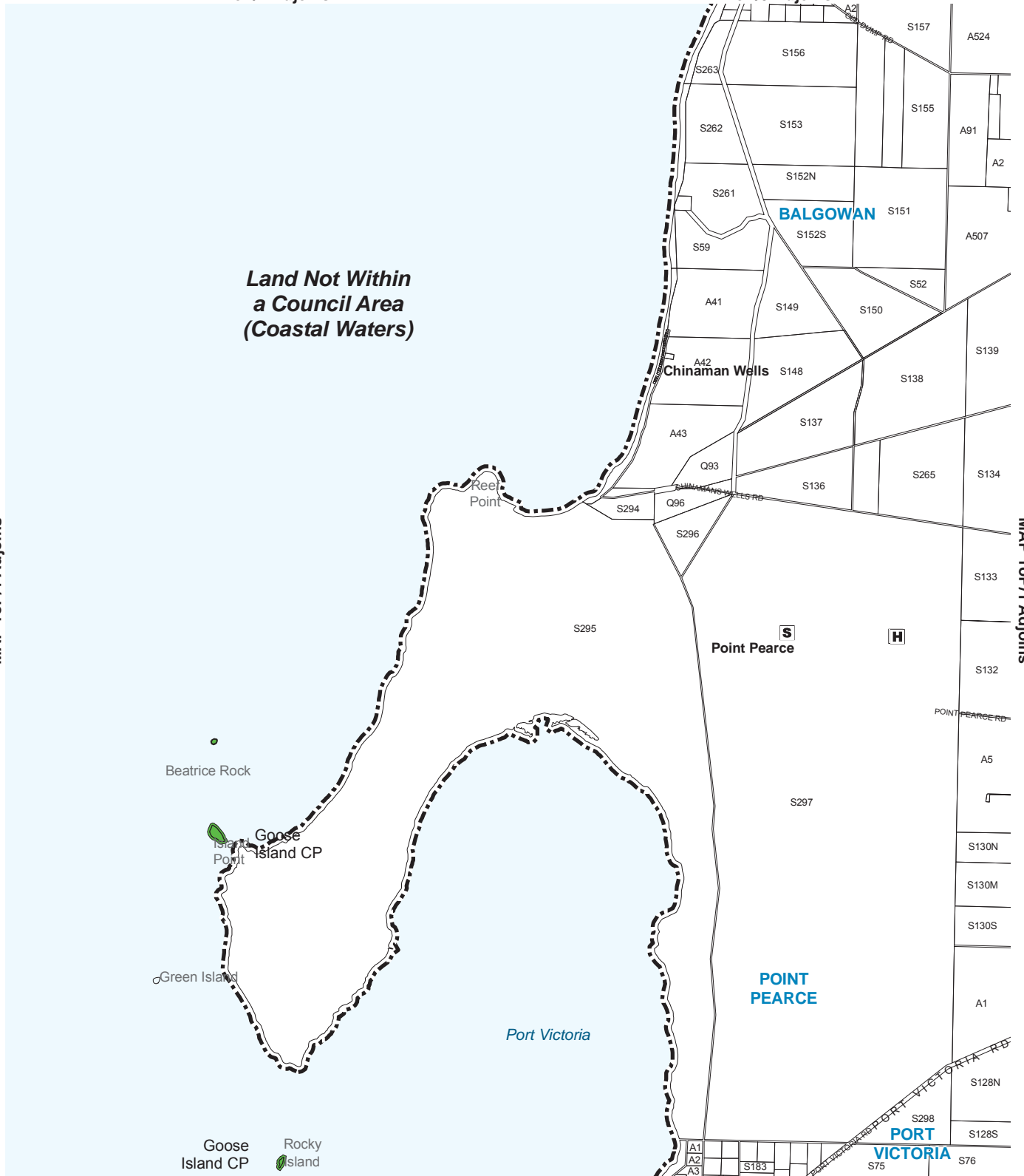
MAP YoP/1 Adjoins

MAP YoP/3 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/5 Adjoins



Location Map YoP/4

- S School
- H Other Health Services
- Conservation Park
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/3 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/5 Adjoins



Overlay Map YoP/4 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

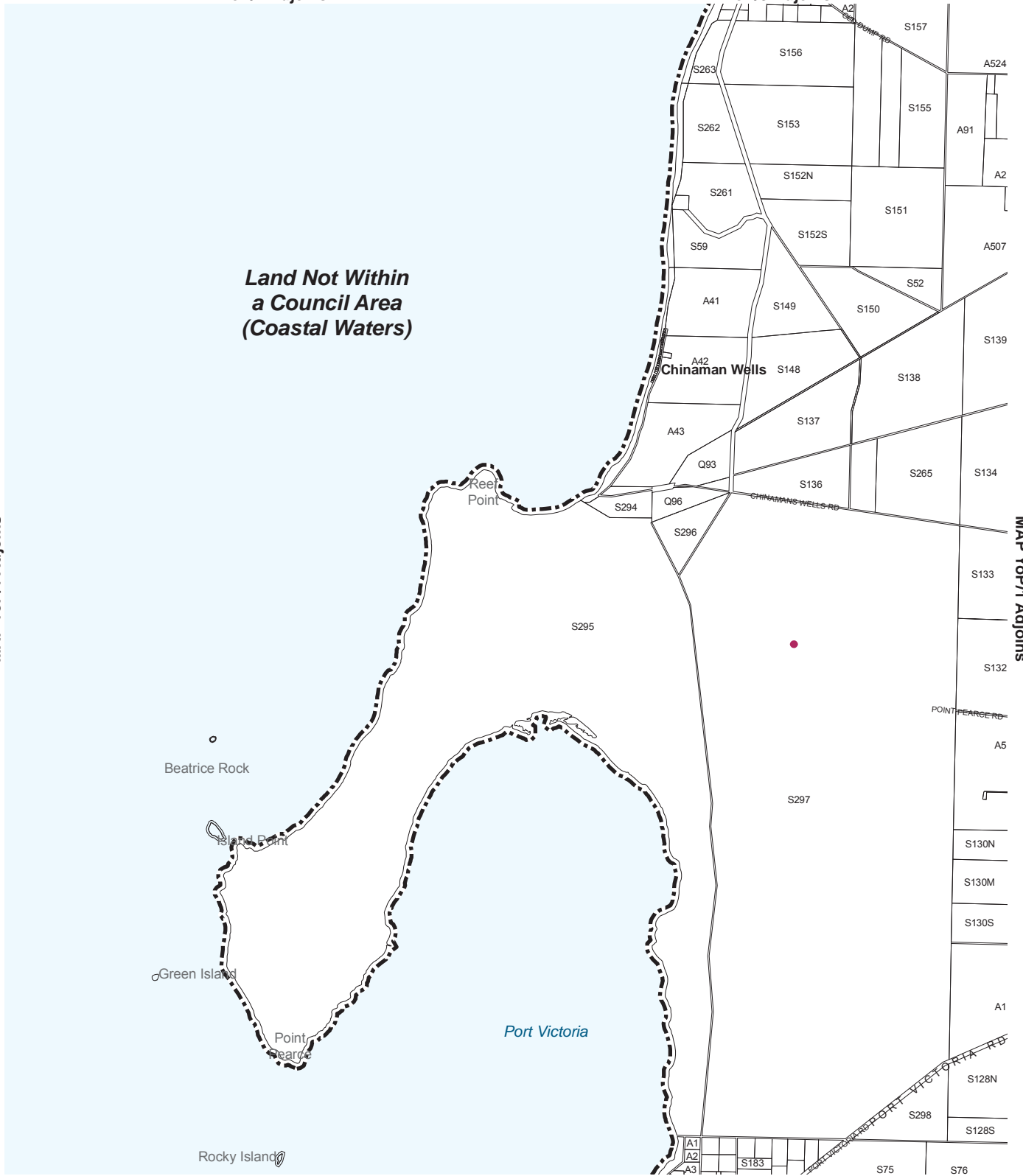
MAP YoP/1 Adjoins

MAP YoP/3 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



Overlay Map YoP/4 HERITAGE

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/3 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

Development Plan Boundary is
the Low Water Mark

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/5 Adjoins

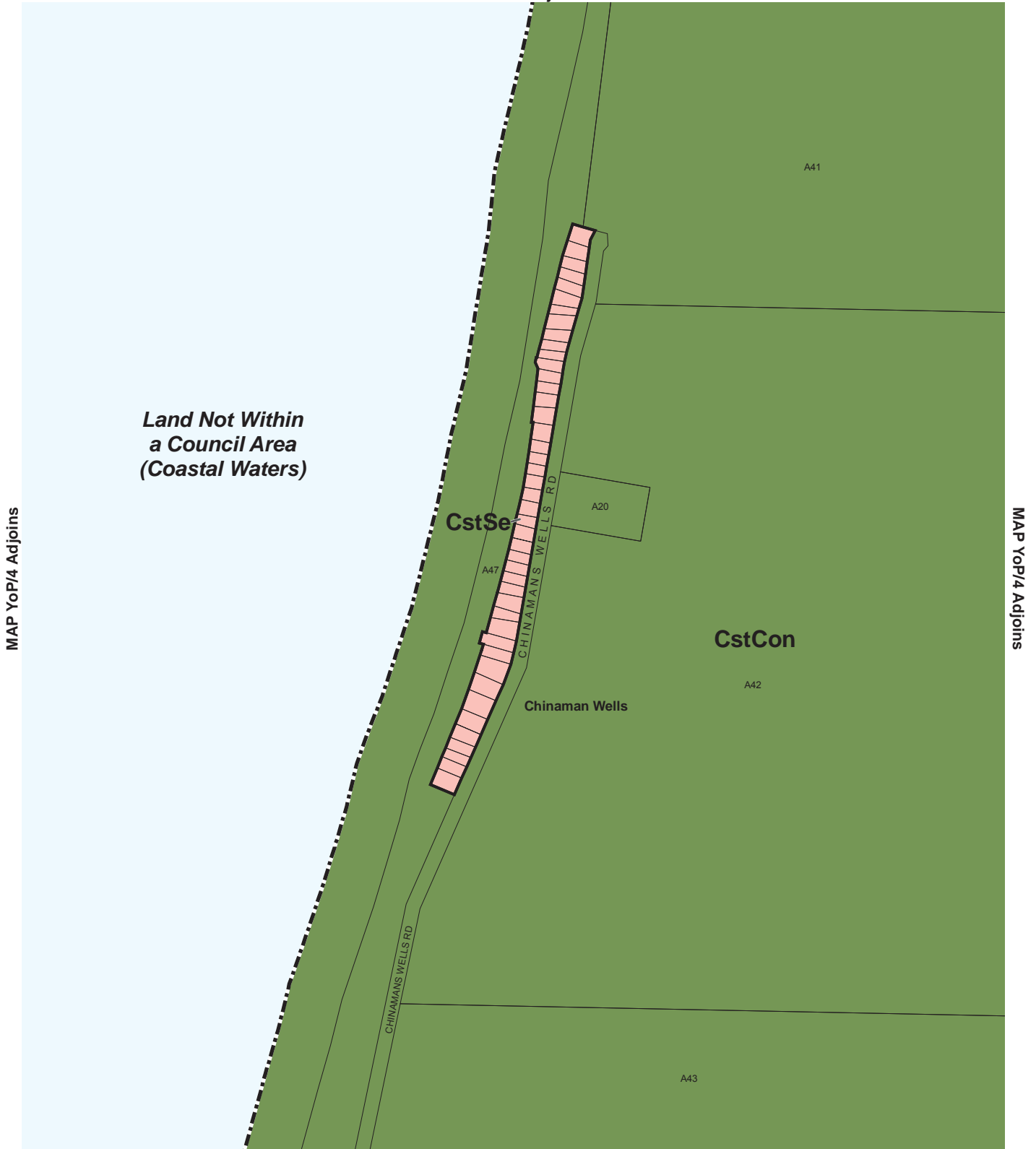
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/4

MAP YoP/4 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/4 Adjoins

MAP YoP/4 Adjoins

MAP YoP/4 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



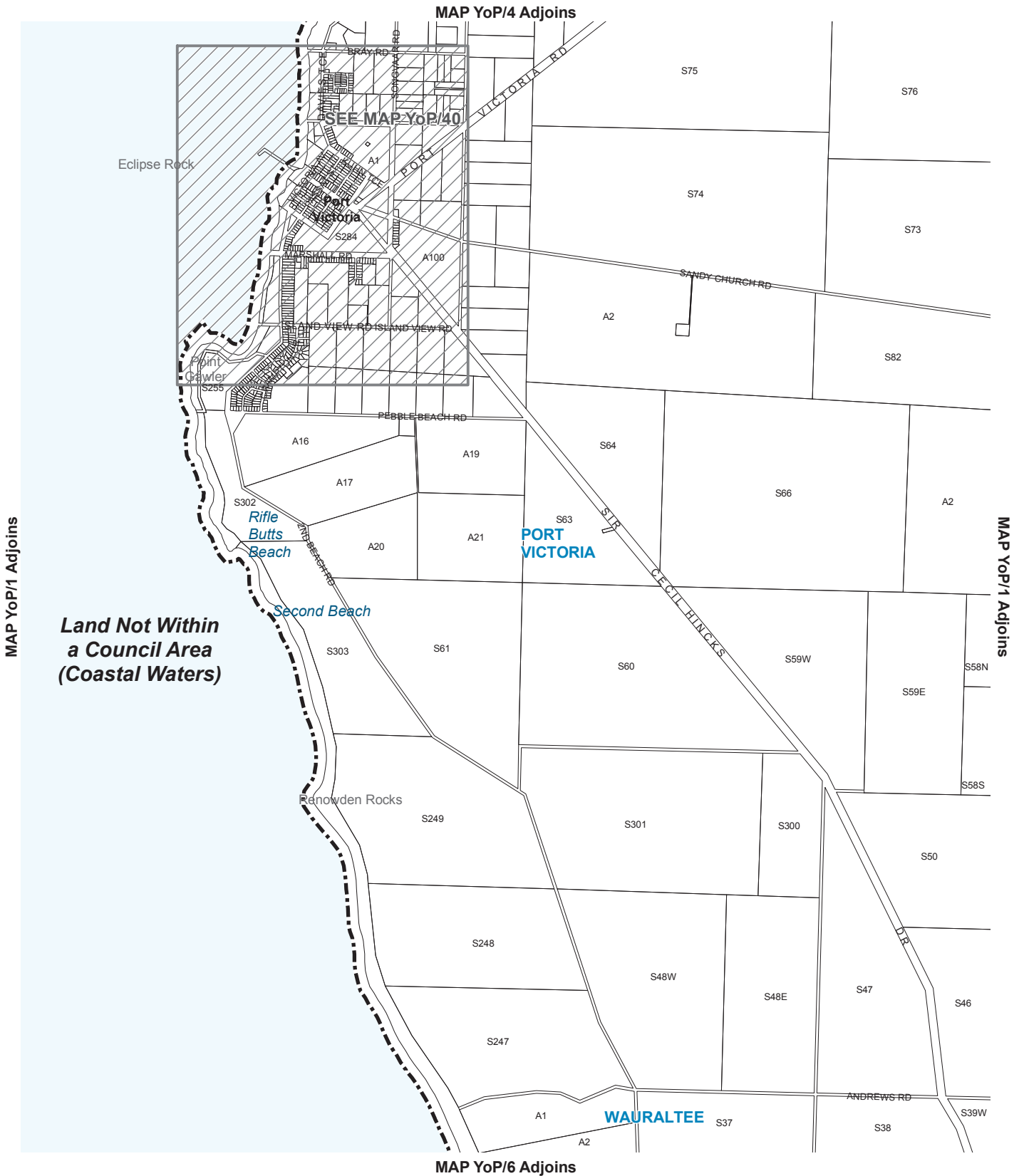
CHINAMAN'S WELLS

Zone Map YoP/4a ENLARGEMENT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Zones

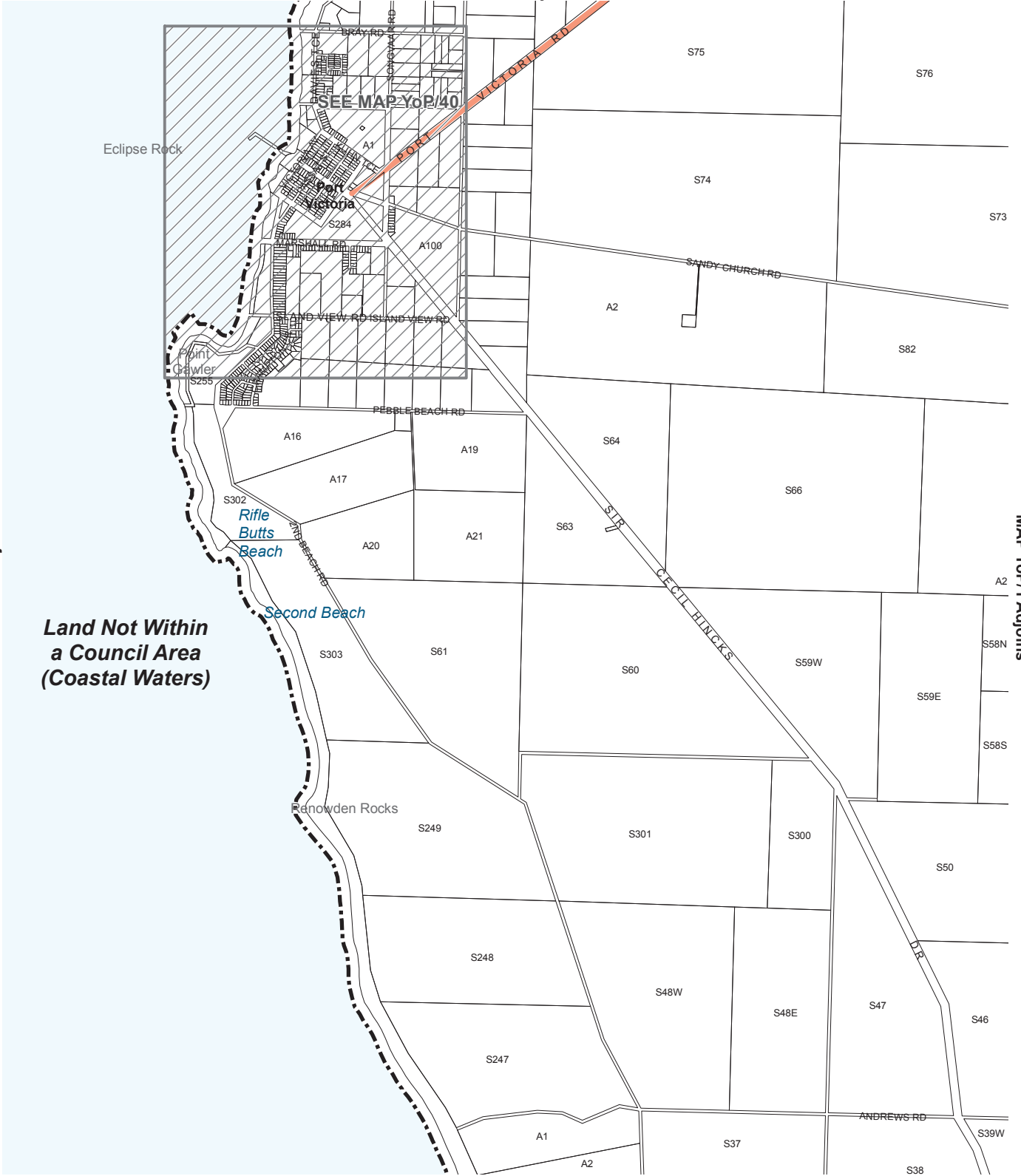
- CstCon Coastal Conservation
- CstSe Coastal Settlement
- Zone Boundary
- Development Plan Boundary



Location Map YoP/5

----- Development Plan Boundary

MAP YoP/4 Adjoins



MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/6 Adjoins

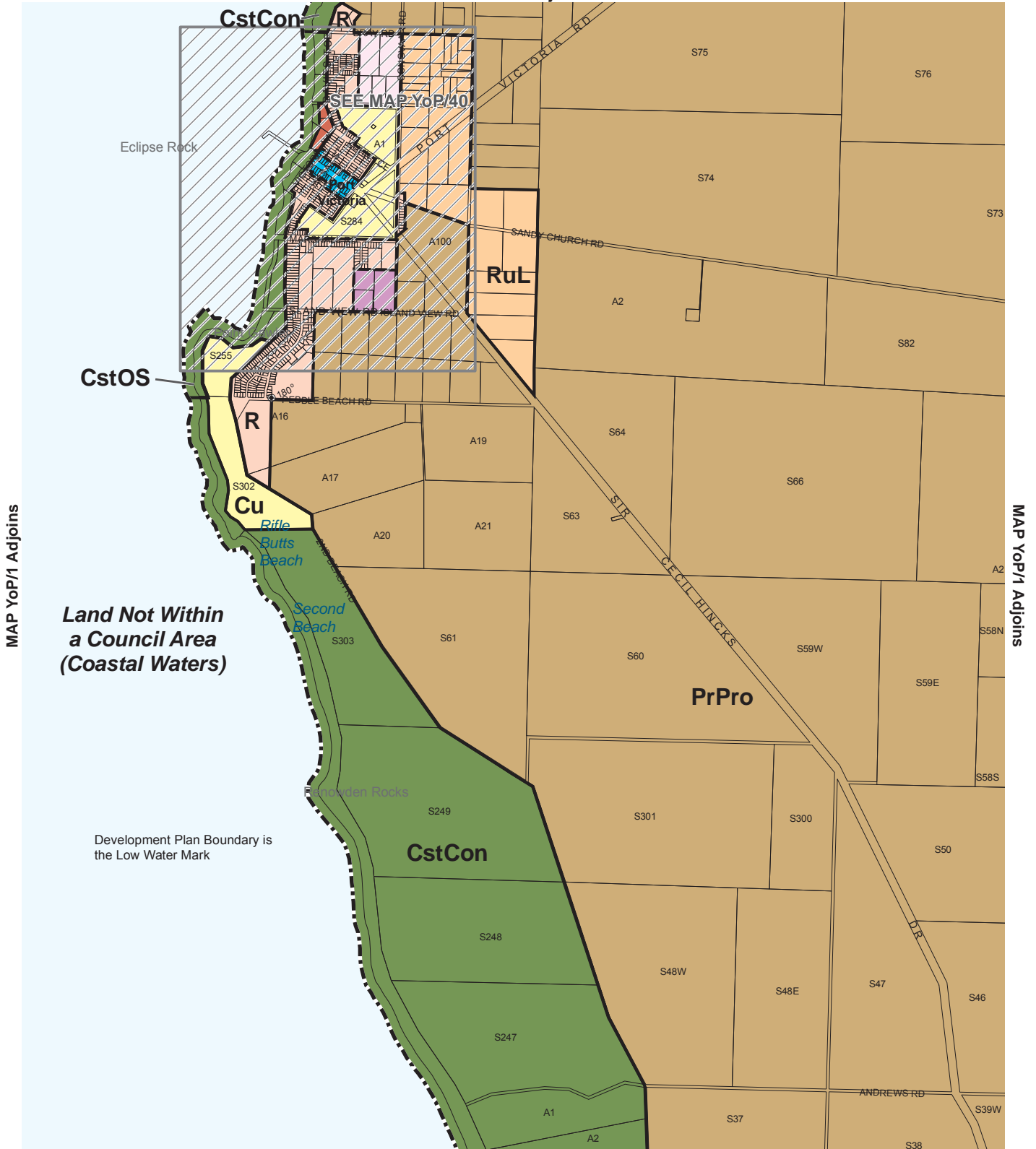


Overlay Map YoP/5

TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/4 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

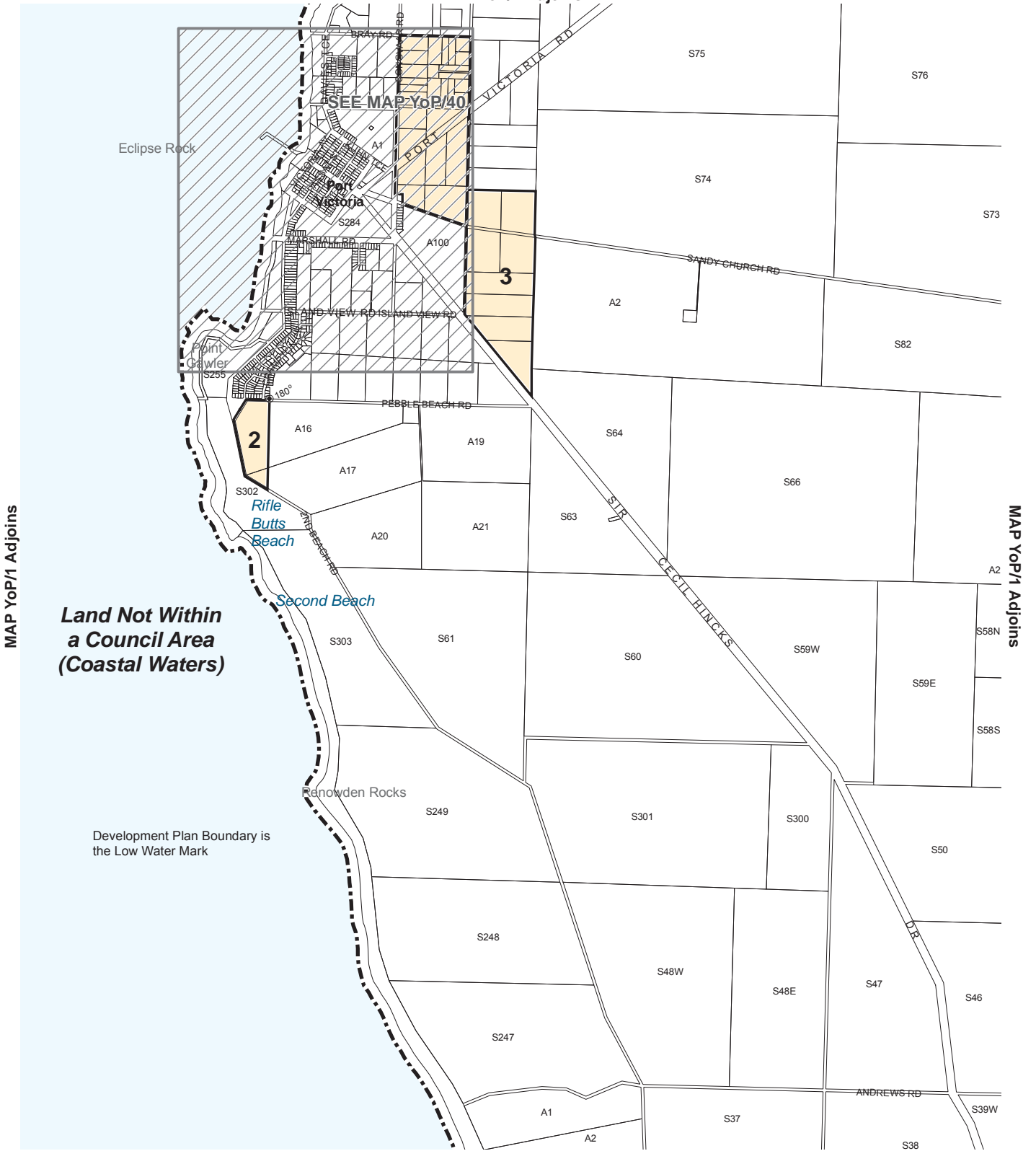
Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- Cu Community
- PrPro Primary Production
- R Residential
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary



Zone Map YoP/5

MAP YoP/4 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

Development Plan Boundary is
the Low Water Mark

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

- Precinct**
- 2 Port Victoria Residential
 - 3 Limited Subdivision



Precinct Map YoP/5

- Precinct Boundary
- Development Plan Boundary

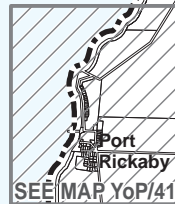
MAP YoP/1 Adjoins

MAP YoP/5 Adjoins

MAP YoP/1 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

Port
Rickaby



SEE MAP YoP/41

Port
Rickaby

PORT
RICKABY

KOOLYWURTIE

BLUFF
BEACH

MAP YoP/1 Adjoins

MAP YoP/7 Adjoins

MAP YoP/1 Adjoins



0 5 km

Location Map YoP/6

--- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/5 Adjoins

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

Development Plan Boundary is the Low Water Mark

Land Not Within a Council Area (Coastal Waters)

Port Rickaby

SEE MAP YoP/41

Port Rickaby

CstCon

PrPro

MAP YoP/1 Adjoins

MAP YoP/7 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



0

5 km



Zones

CstCon Coastal Conservation

PrPro Primary Production

 Zone Boundary

 Development Plan Boundary

Zone Map YoP/6

MAP YoP/6 Adjoins

KOOLYWURTIE

SEE MAP YoP/42

BLUFF BEACH

SEE MAP YoP/43

Parsons Beach

MINLATON

Land Not Within a Council Area (Coastal Waters)

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/8 Adjoins

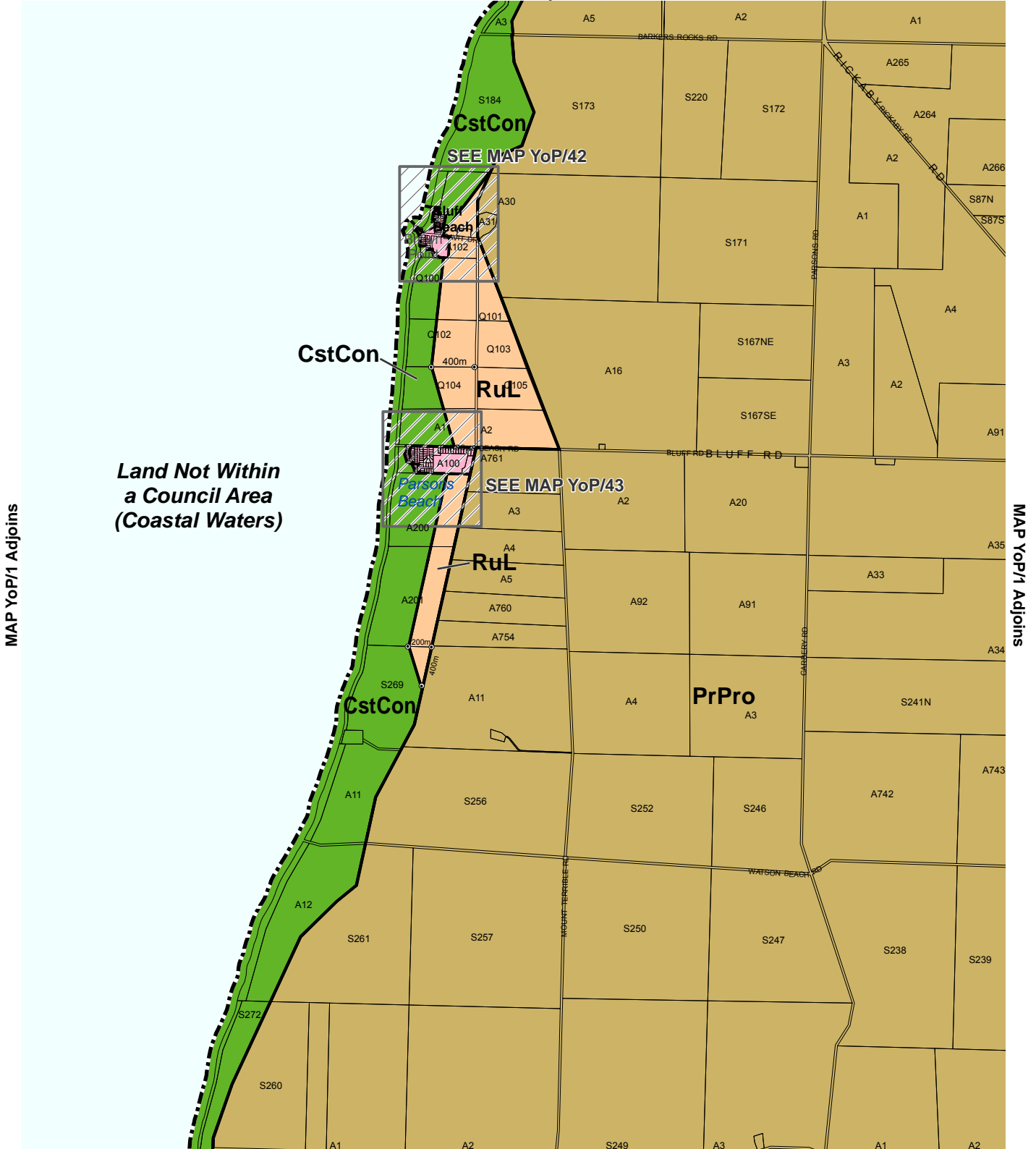
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Location Map YoP/7

----- Development Plan Boundary

MAP YoP/6 Adjoins



Land Not Within a Council Area (Coastal Waters)

MAP YoP/8 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/7

MAP YoP/6 Adjoins

SEE MAP YoP/42

SEE MAP YoP/43

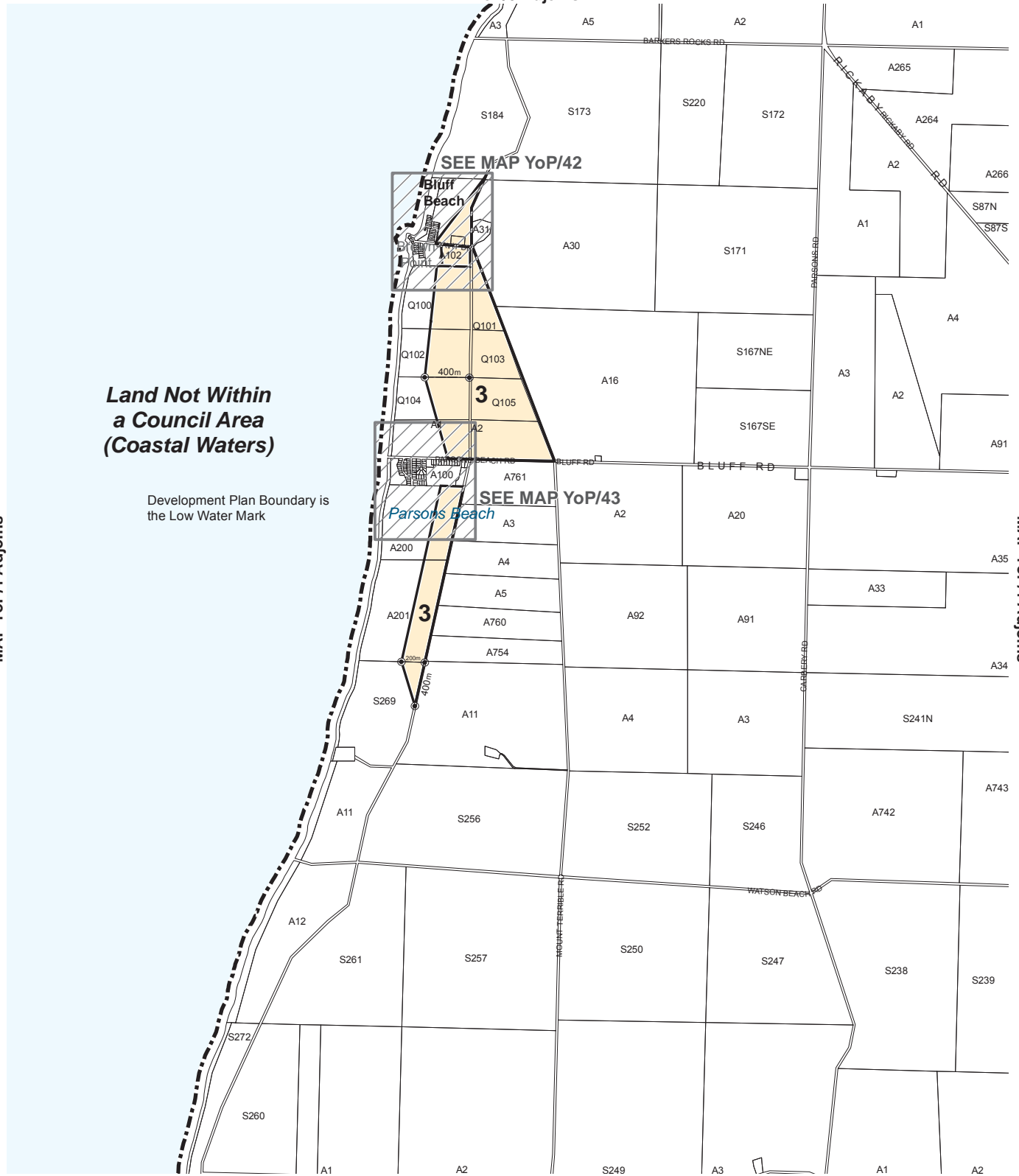
MAP YoP/8 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

Development Plan Boundary is
the Low Water Mark

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision



Precinct Map YoP/7

- Precinct Boundary
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/7 Adjoins

MAP YoP/1 Adjoins

MAP YoP/9 Adjoins

MAP YoP/1 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



MAP YoP/1 Adjoins

Location Map YoP/8

----- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/7 Adjoins

MAP YoP/1 Adjoins

MAP YoP/9 Adjoins

MAP YoP/1 Adjoins

Port Minlacowie

Land Not Within
a Council Area
(Coastal Waters)

SEE MAP YoP/44

SEE MAP YoP/45

SEE MAP YoP/46





MAP YoP/1 Adjoins



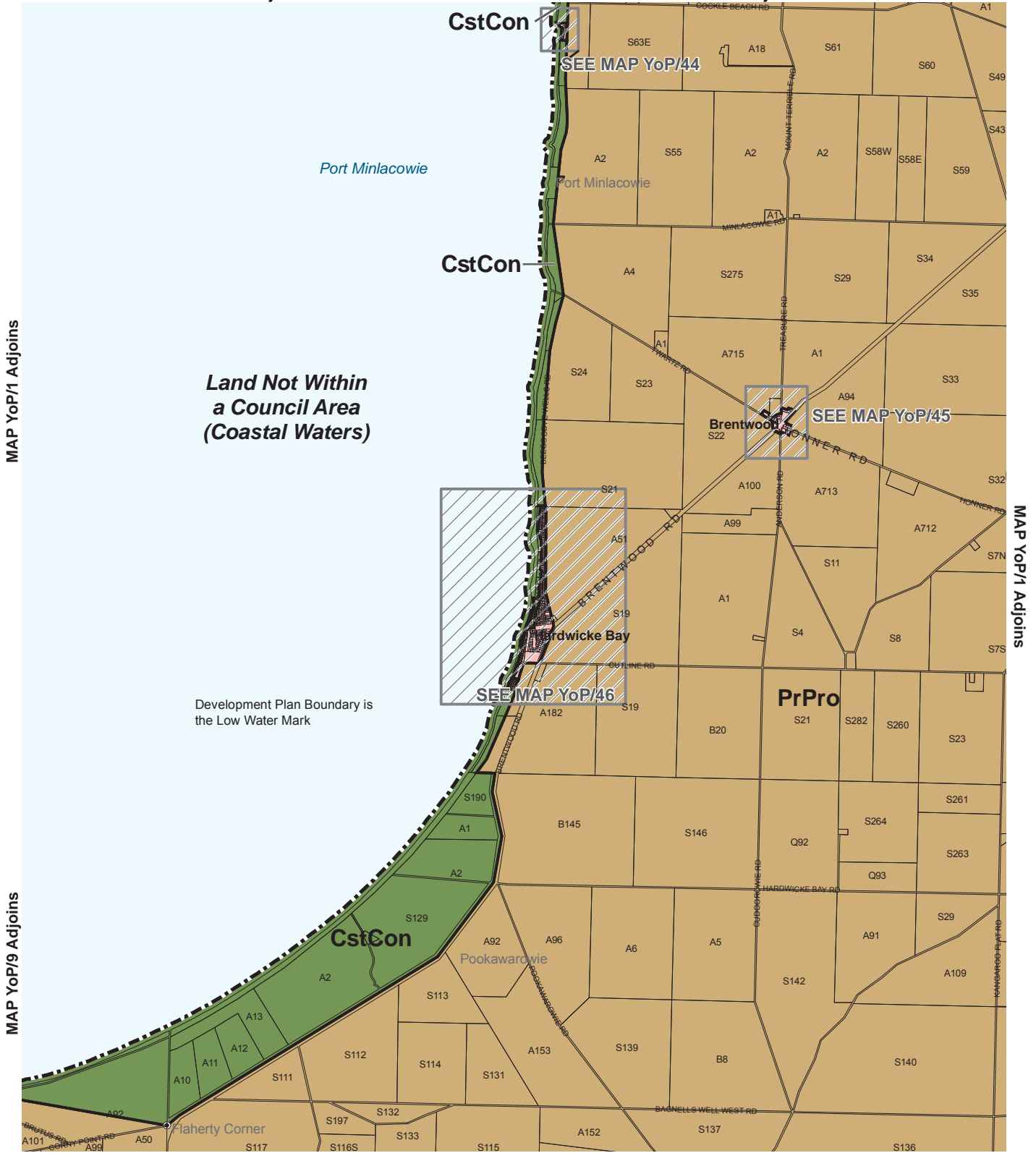
0 5 km

Overlay Map YoP/8 TRANSPORT

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/7 Adjoins



Land Not Within a Council Area (Coastal Waters)

Development Plan Boundary is the Low Water Mark

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

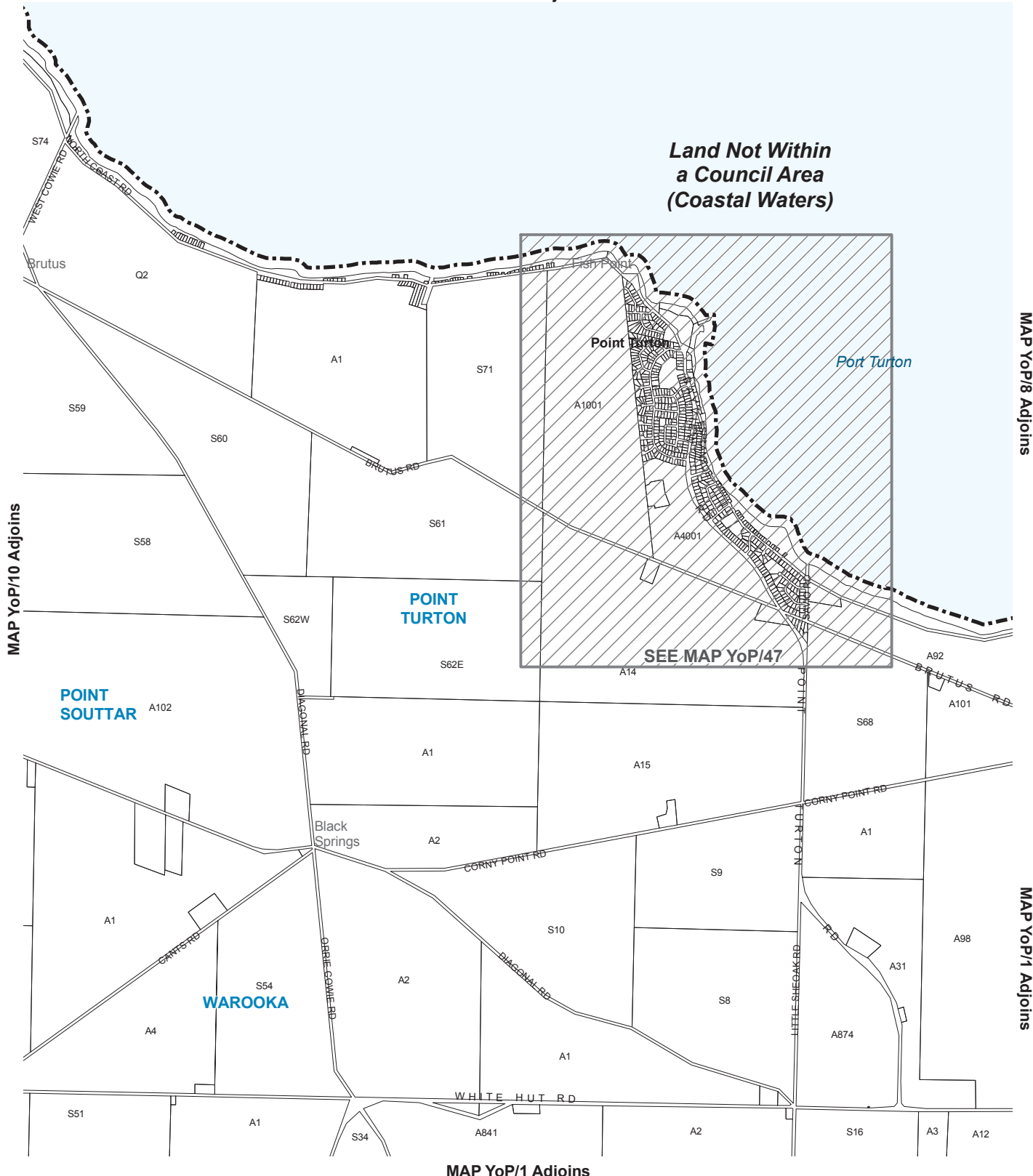
MAP YoP/1 Adjoins



Zone Map YoP/8

Zones

- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary



Land Not Within a Council Area (Coastal Waters)

MAP YoP/10 Adjoins

MAP YoP/8 Adjoins

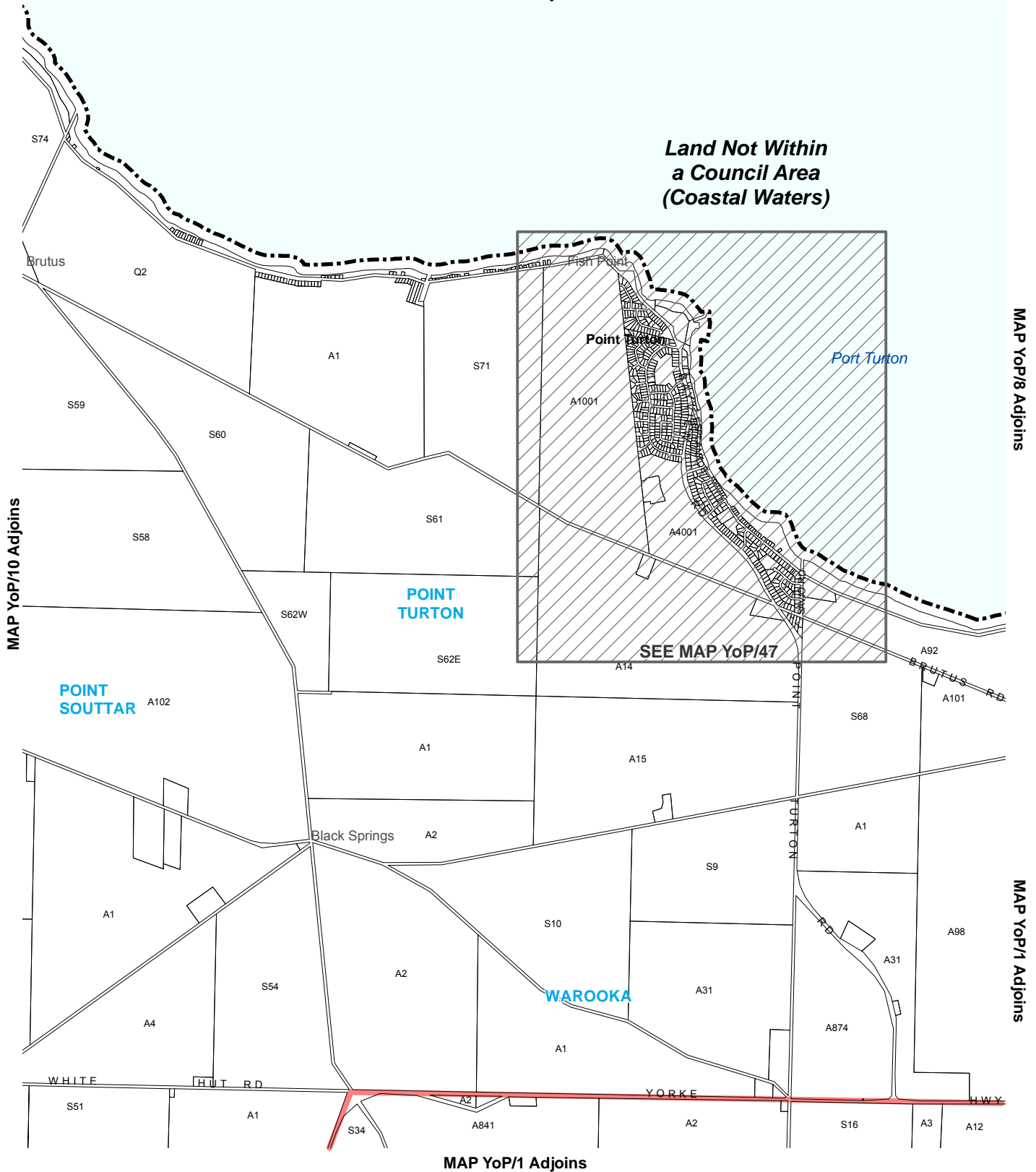
MAP YoP/1 Adjoins



Location Map YoP/9

----- Development Plan Boundary

MAP YoP/1 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

MAP YoP/10 Adjoins

MAP YoP/8 Adjoins

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

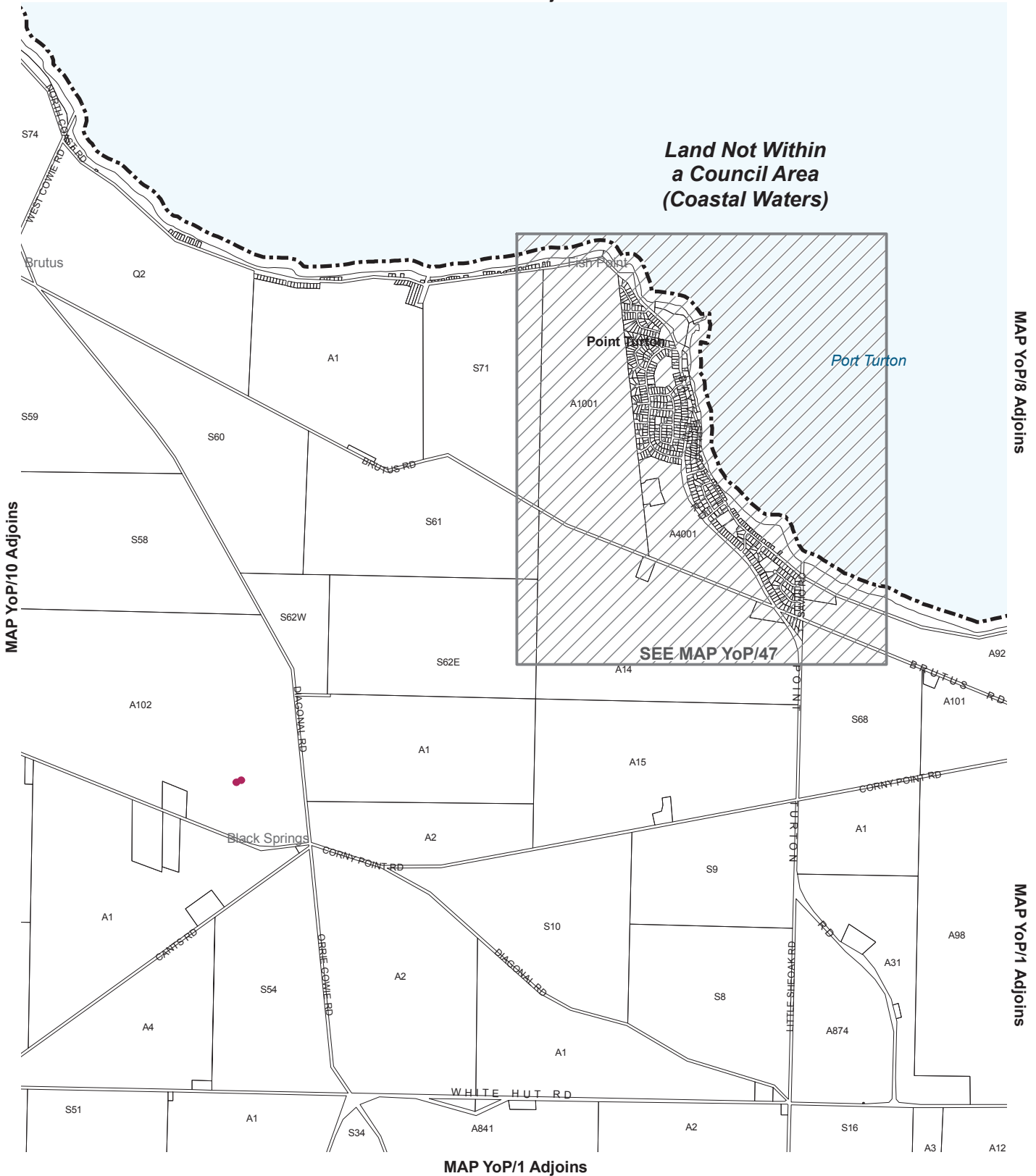


Overlay Map YoP/9 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/1 Adjoins



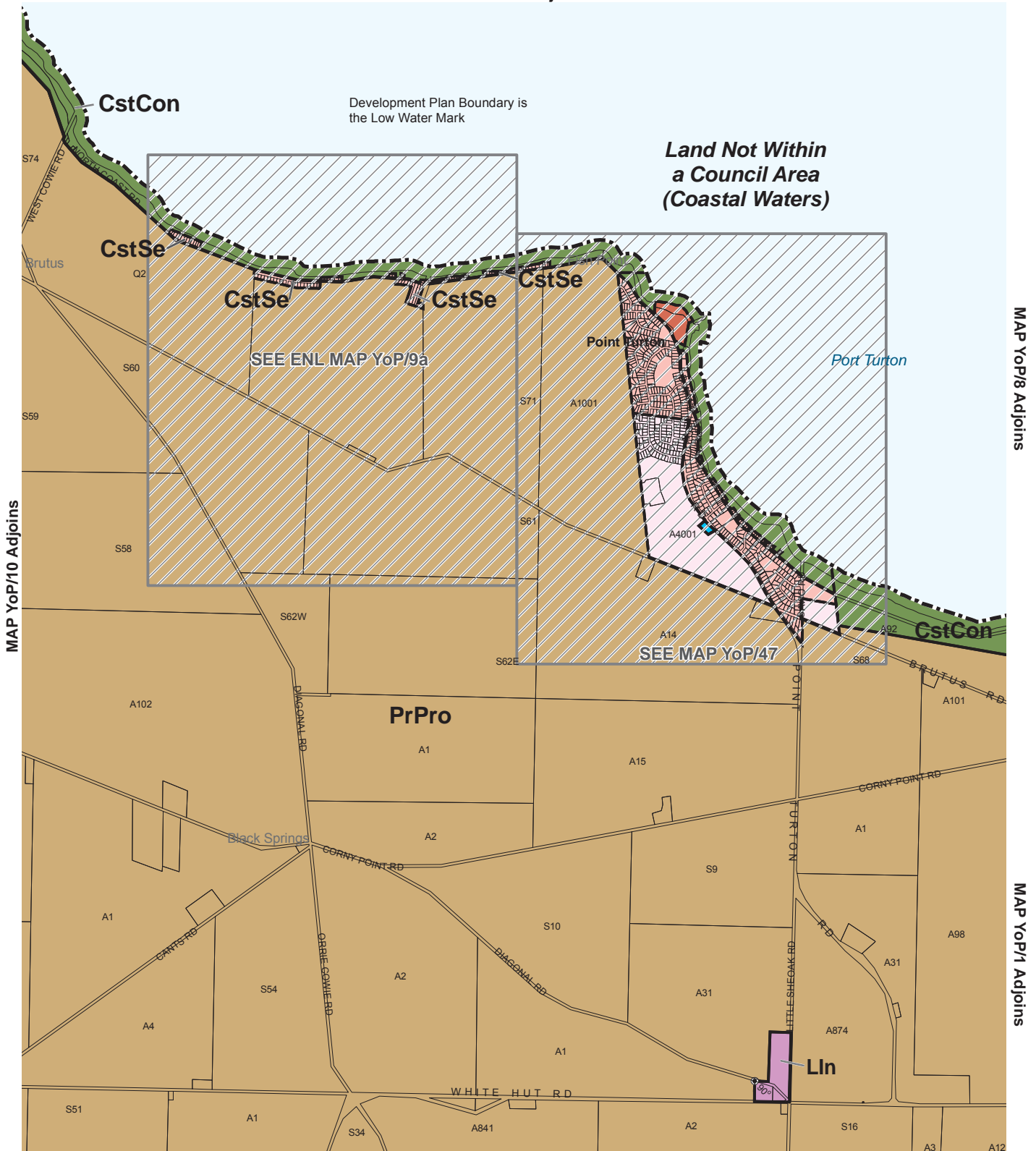
Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



- State heritage place
- Development Plan Boundary

Overlay Map YoP/9 HERITAGE

MAP YoP/1 Adjoins



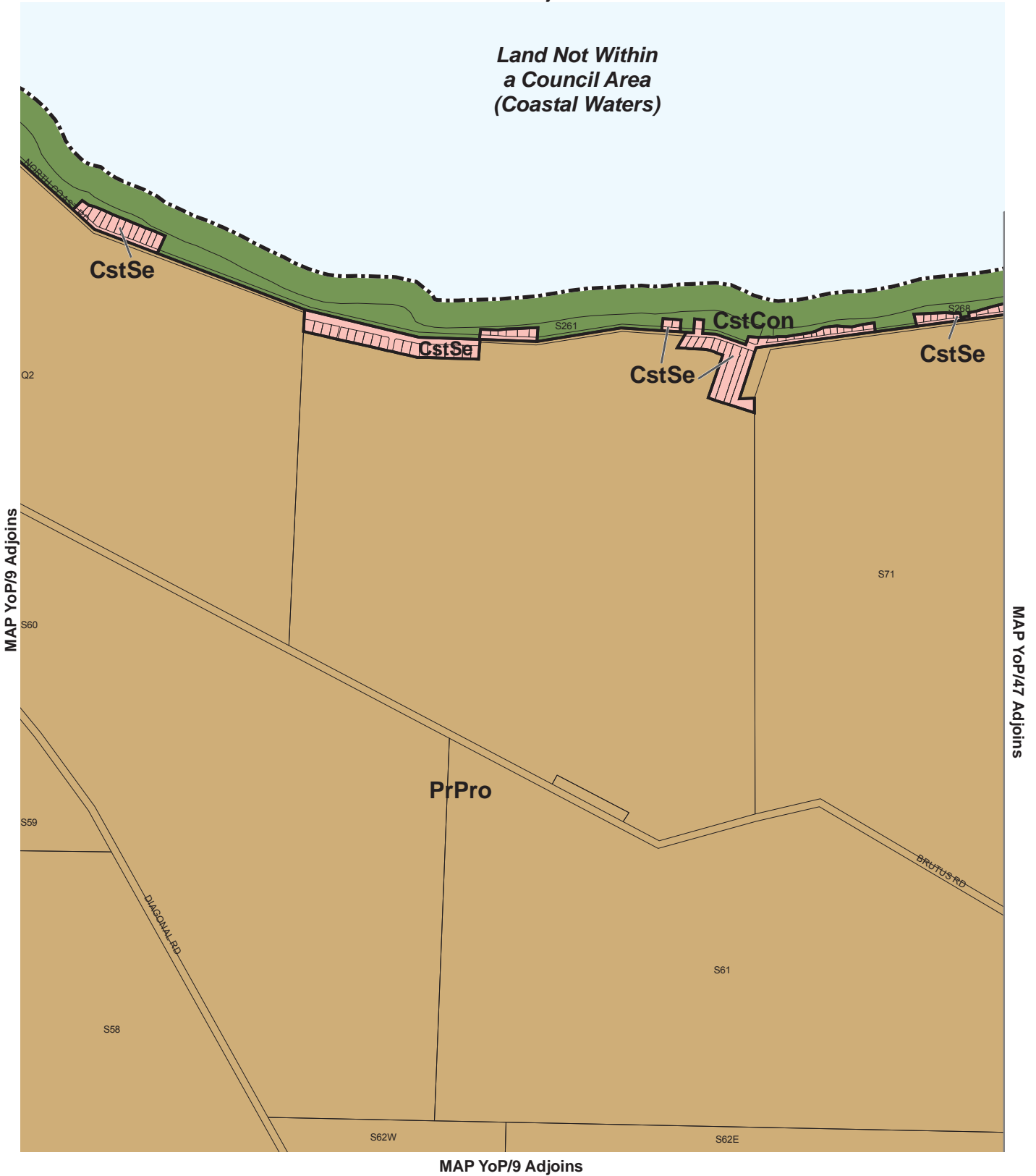
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - LIn Light Industry
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/9

Land Not Within
a Council Area
(Coastal Waters)



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



POINT SOUTTAR

Zone Map YoP/9a ENLARGEMENT

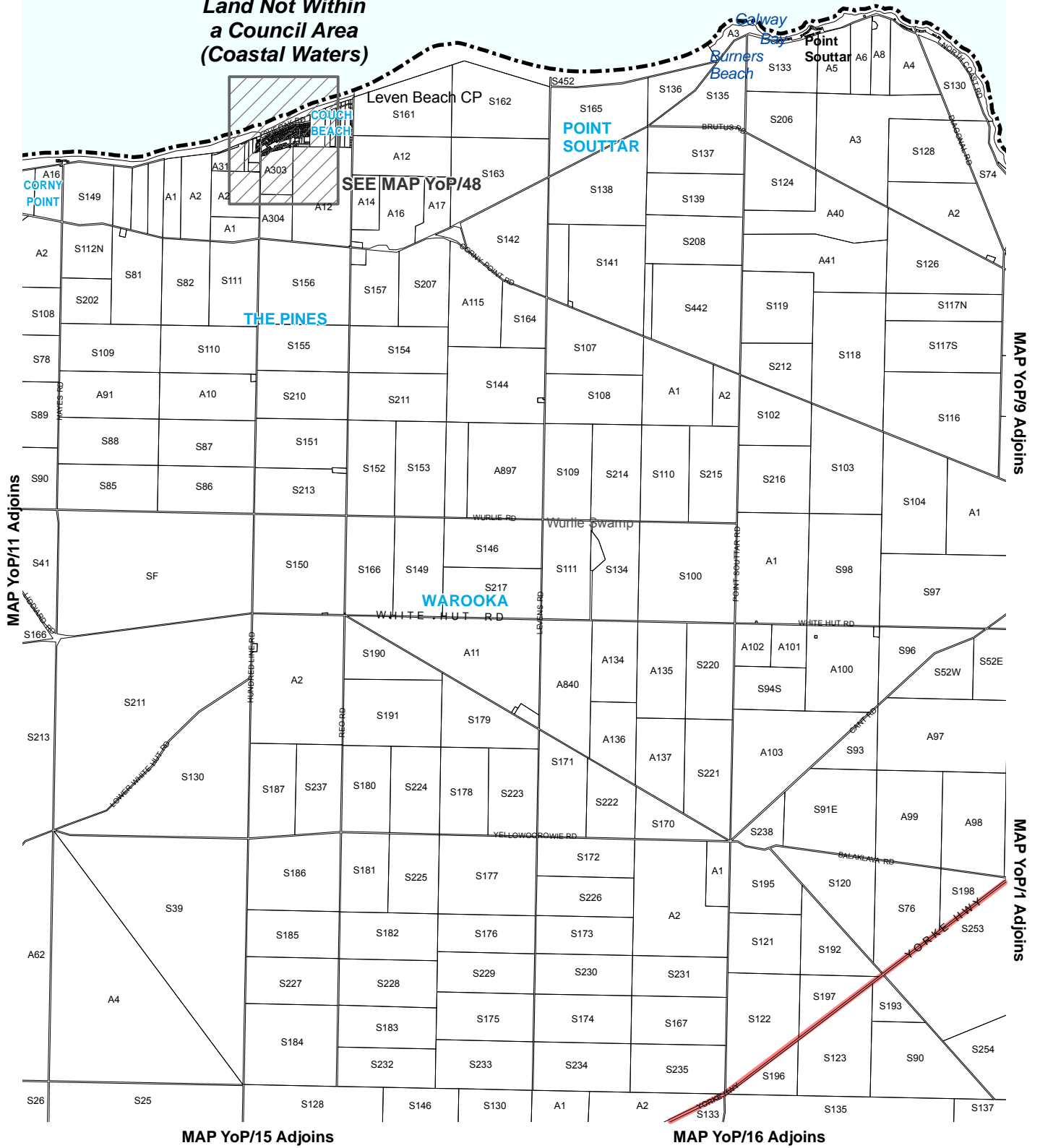
YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

MAP YoP/1 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

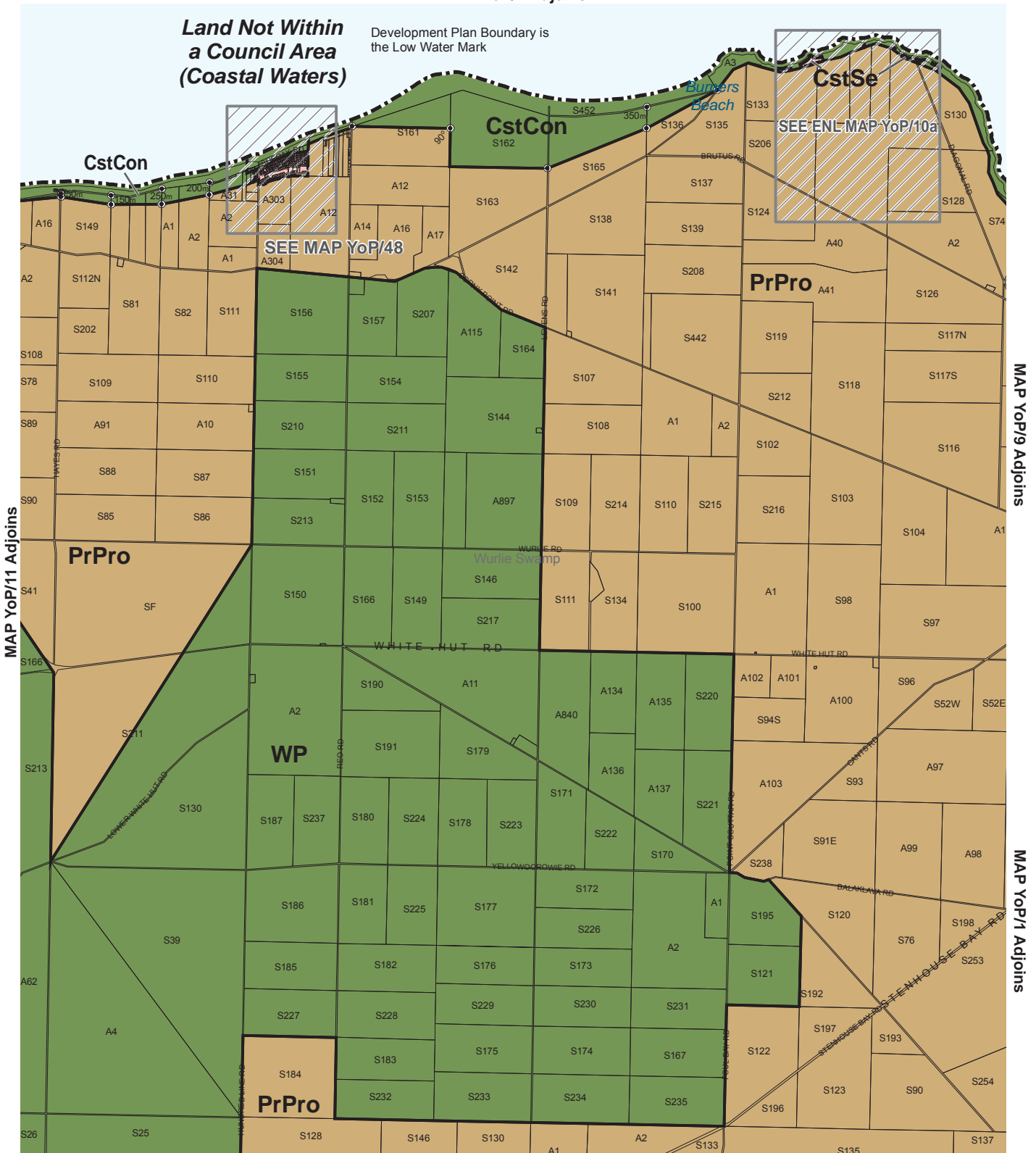


Overlay Map YoP/10

TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- - - Development Plan Boundary

MAP YoP/1 Adjoints

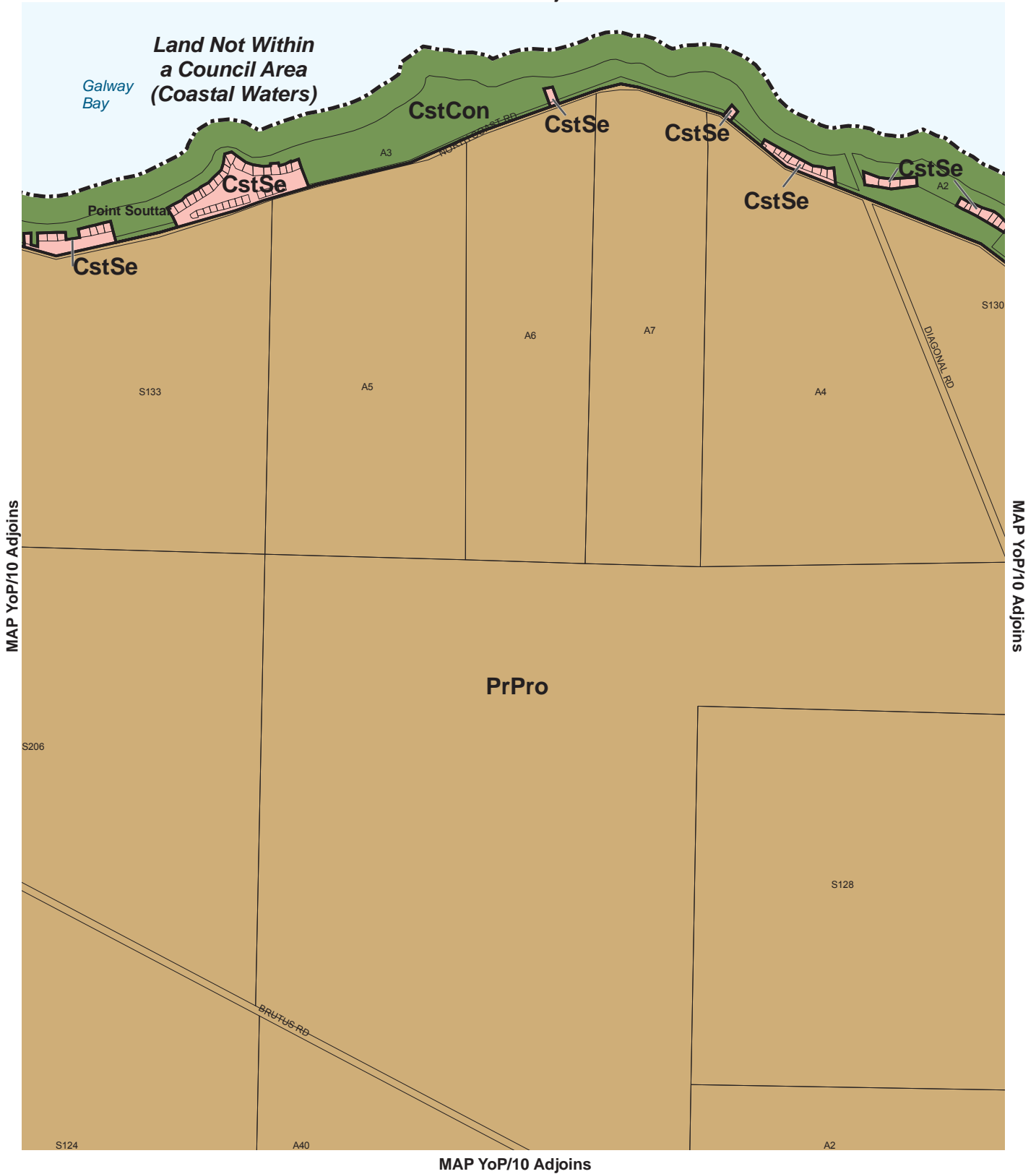


See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - WP Water Protection
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/10



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



GALWAY BAY / POINT SOUTTAR

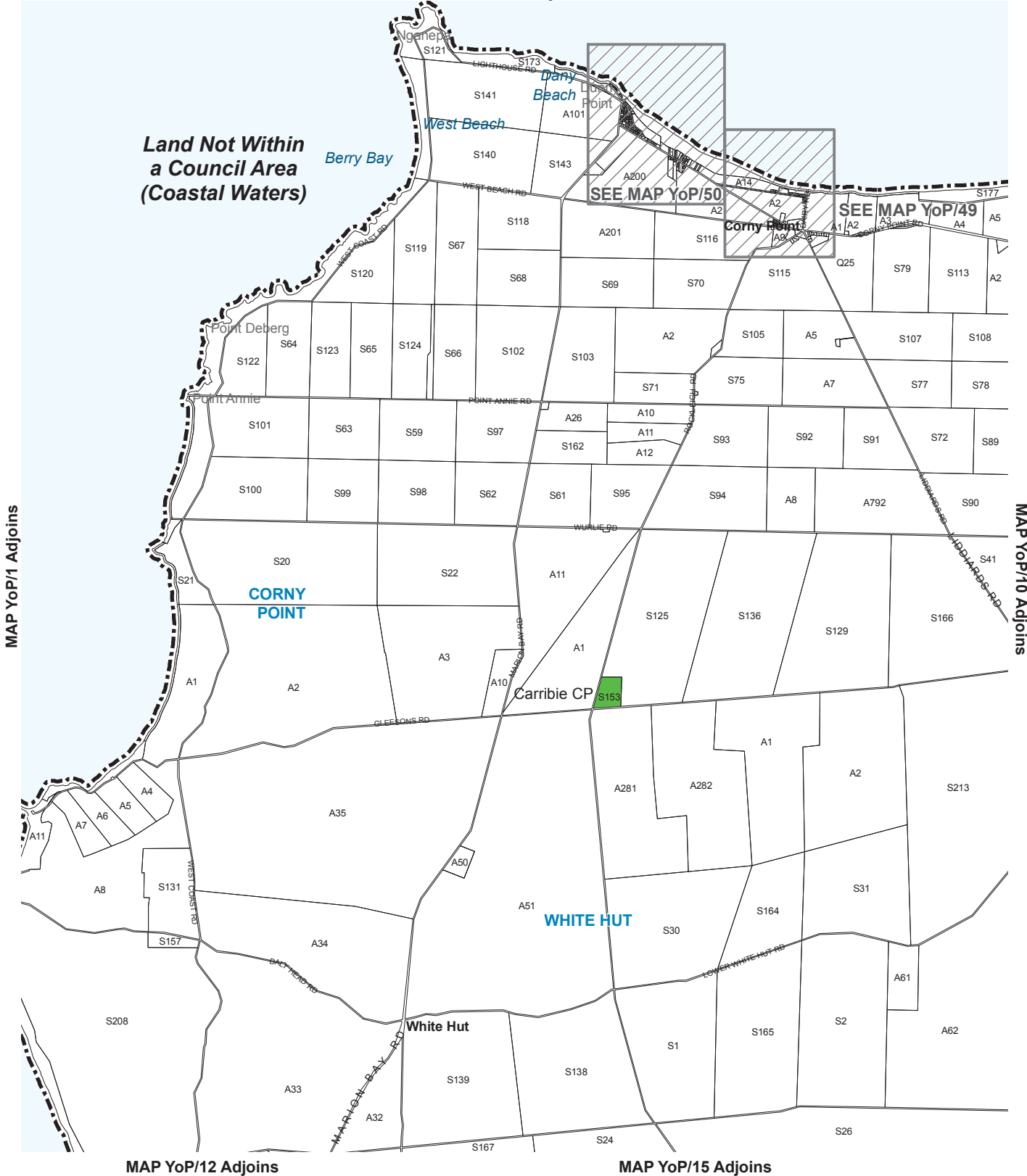
Zone Map YoP/10a ENLARGEMENT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

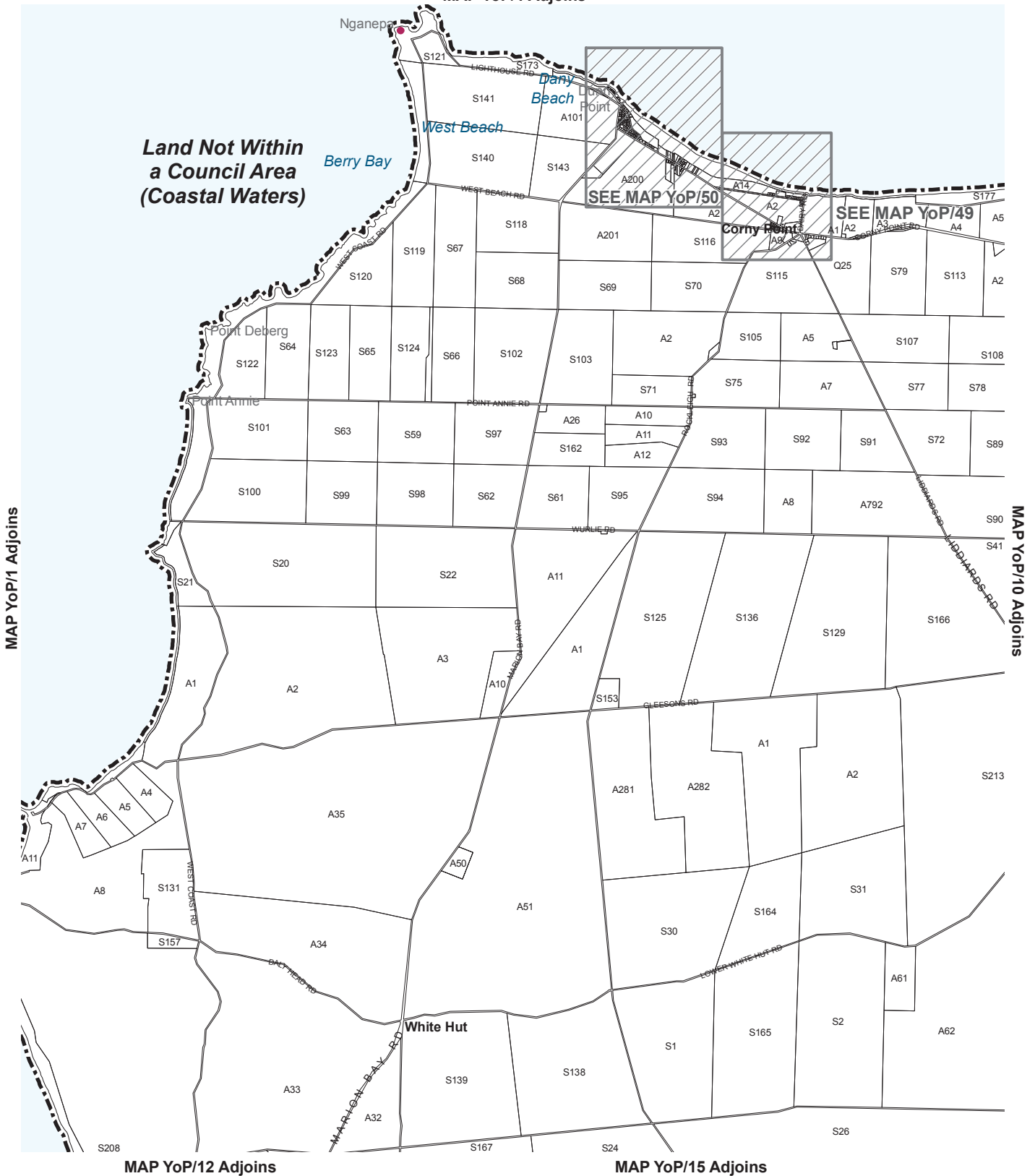
MAP YoP/1 Adjoins



Location Map YoP/11

- Conservation Park
- Development Plan Boundary

MAP YoP/1 Adjoins



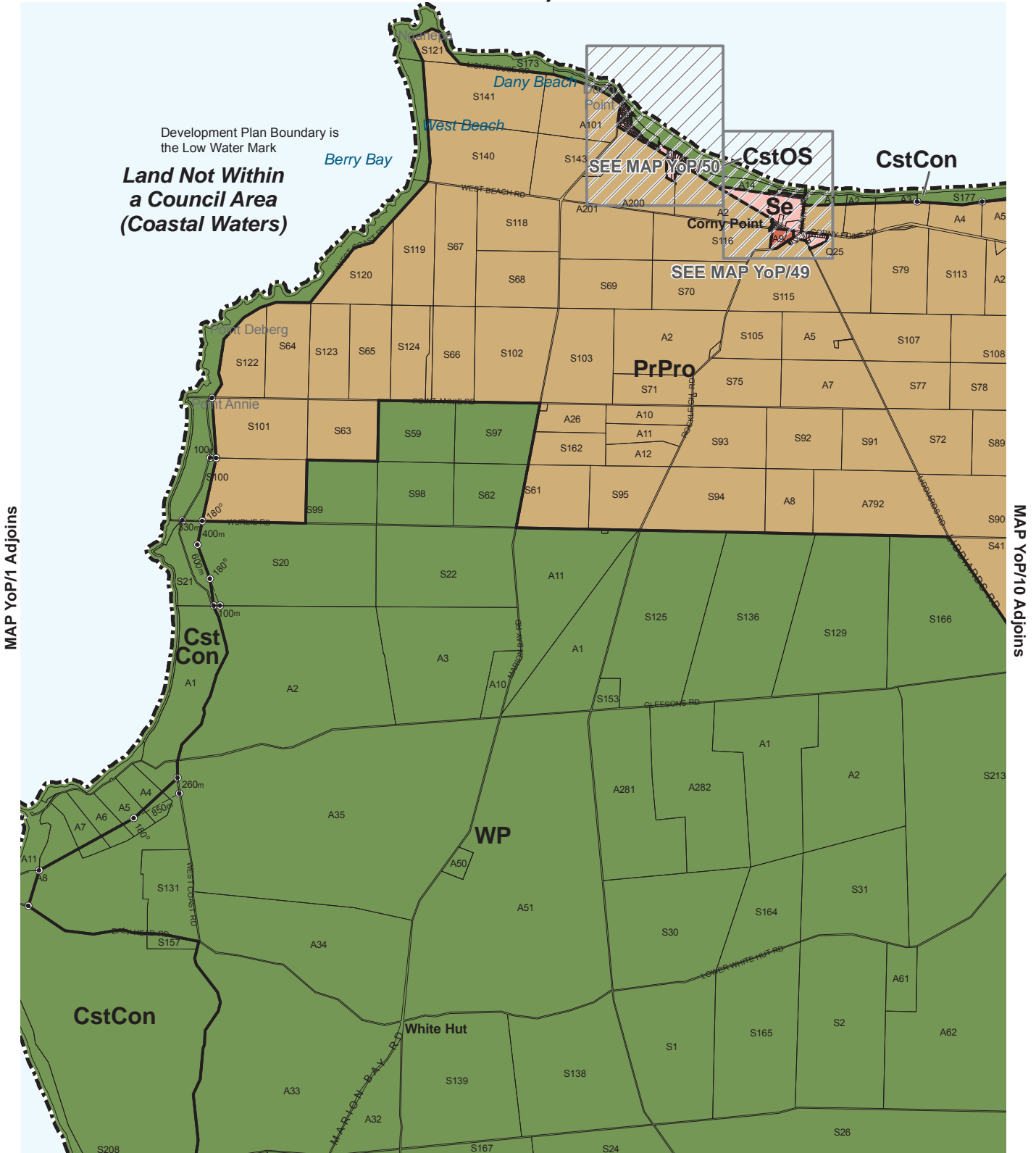
Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



Overlay Map YoP/11 HERITAGE

- State heritage place
- Development Plan Boundary

MAP YoP/1 Adjoins



Development Plan Boundary is the Low Water Mark

Land Not Within a Council Area (Coastal Waters)

MAP YoP/12 Adjoins

MAP YoP/15 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



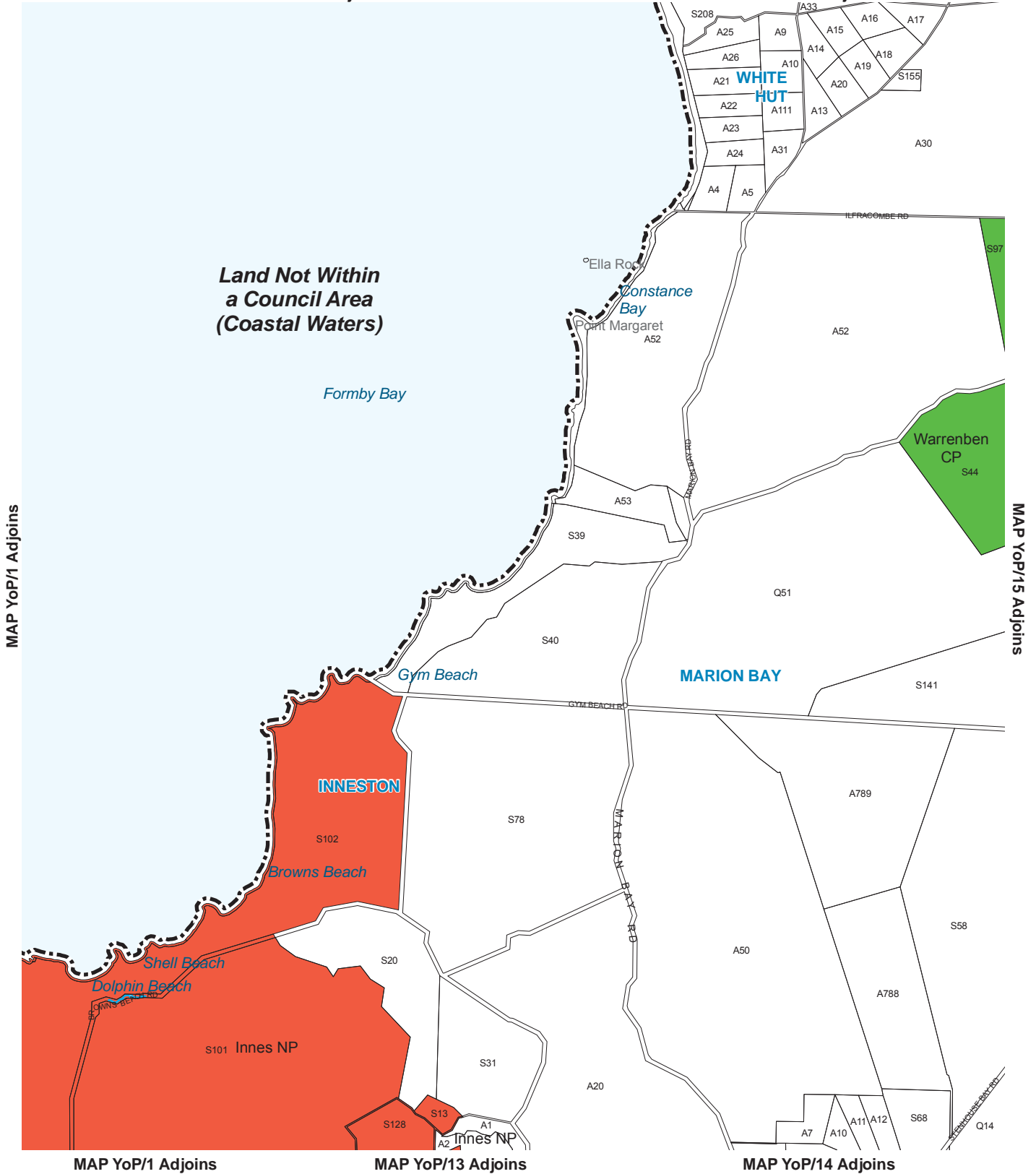
Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- PrPro Primary Production
- Se Settlement
- WP Water Protection
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/11

MAP YoP/1 Adjoins

MAP YoP/11 Adjoins



Land Not Within a Council Area (Coastal Waters)

MAP YoP/1 Adjoins

MAP YoP/15 Adjoins

MAP YoP/1 Adjoins

MAP YoP/13 Adjoins

MAP YoP/14 Adjoins

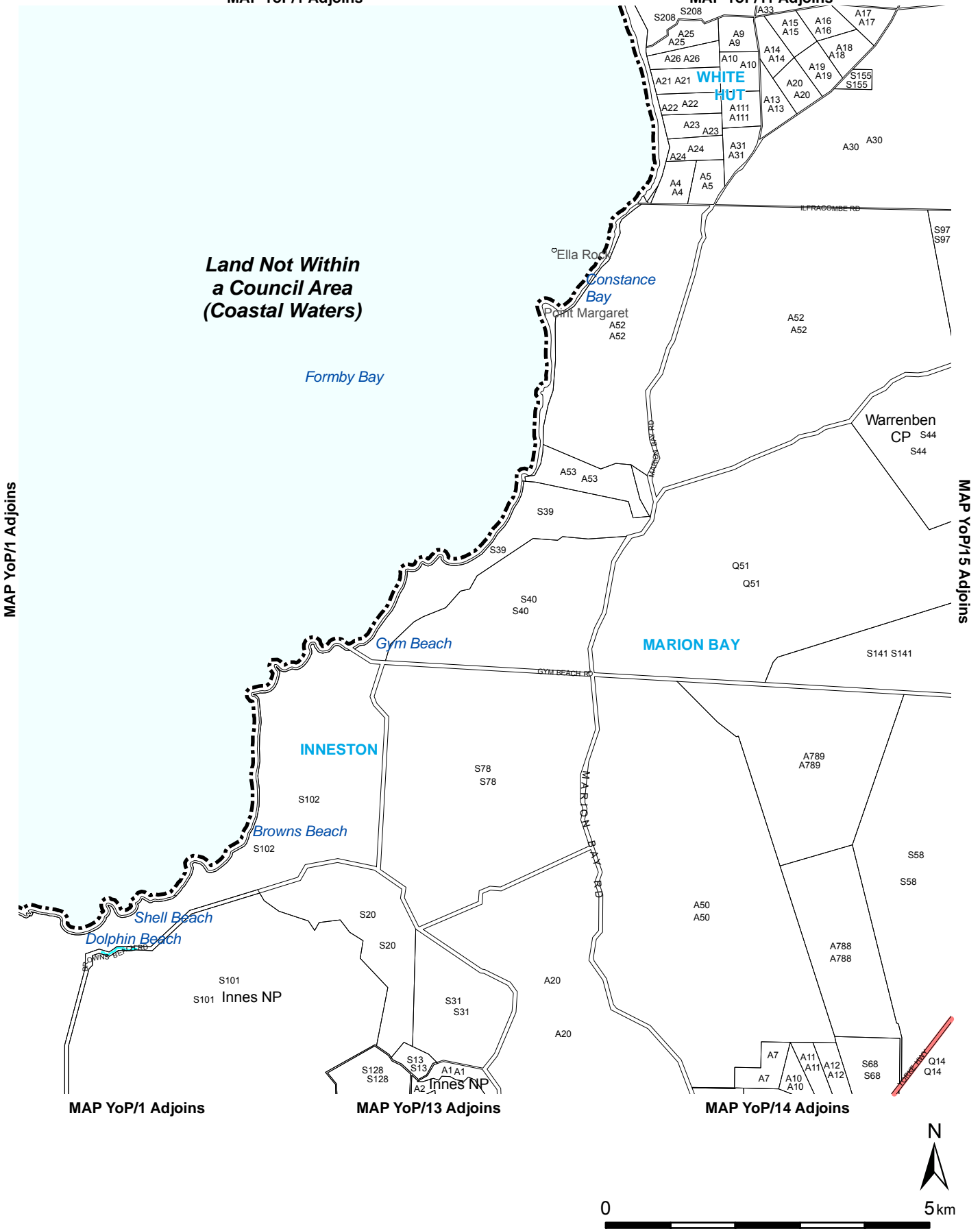


Location Map YoP/12

- National Park
- Conservation Park
- Waterbodies
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/11 Adjoins



Overlay Map YoP/12

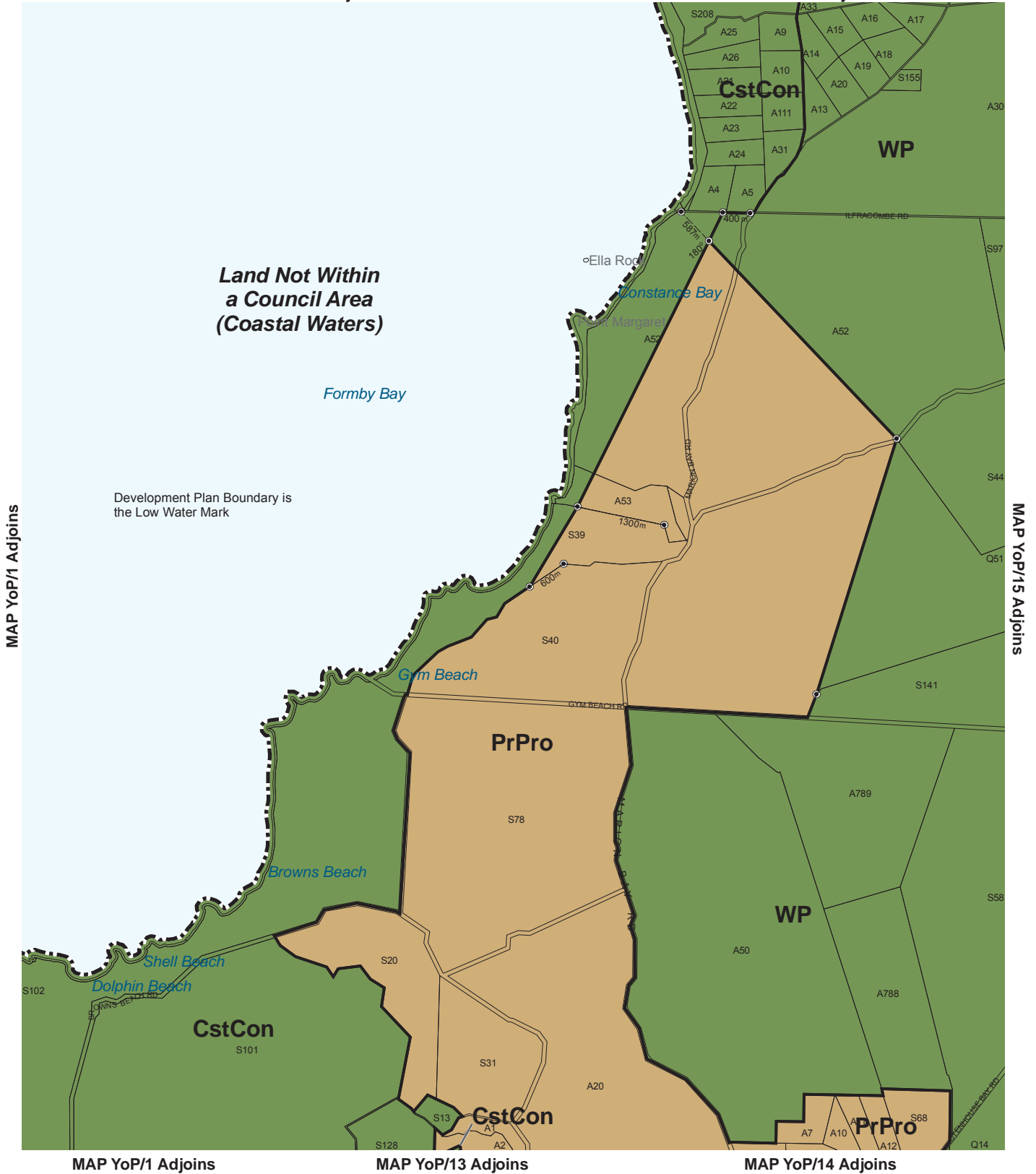
TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/11 Adjoins

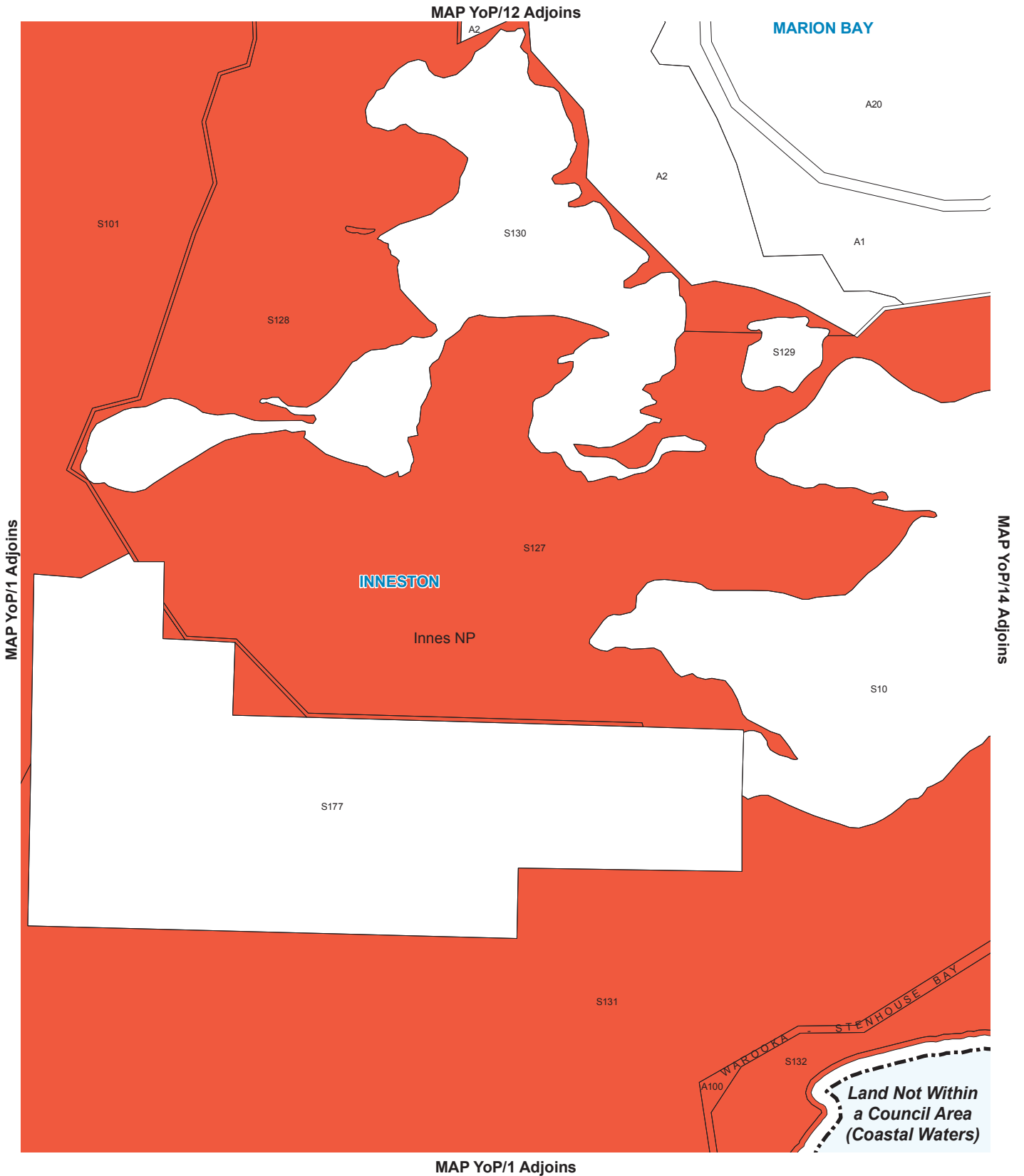


Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - WP Water Protection
 - Zone Boundary
 - Development Plan Boundary

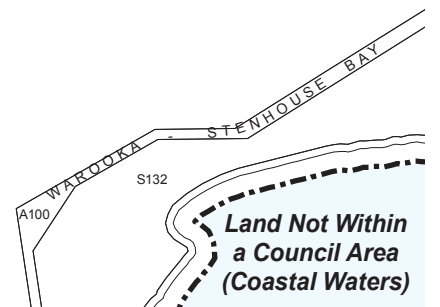
Zone Map YoP/12



Location Map YoP/13

- National Park
- Development Plan Boundary

MAP YoP/12 Adjoins



MAP YoP/1 Adjoins

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

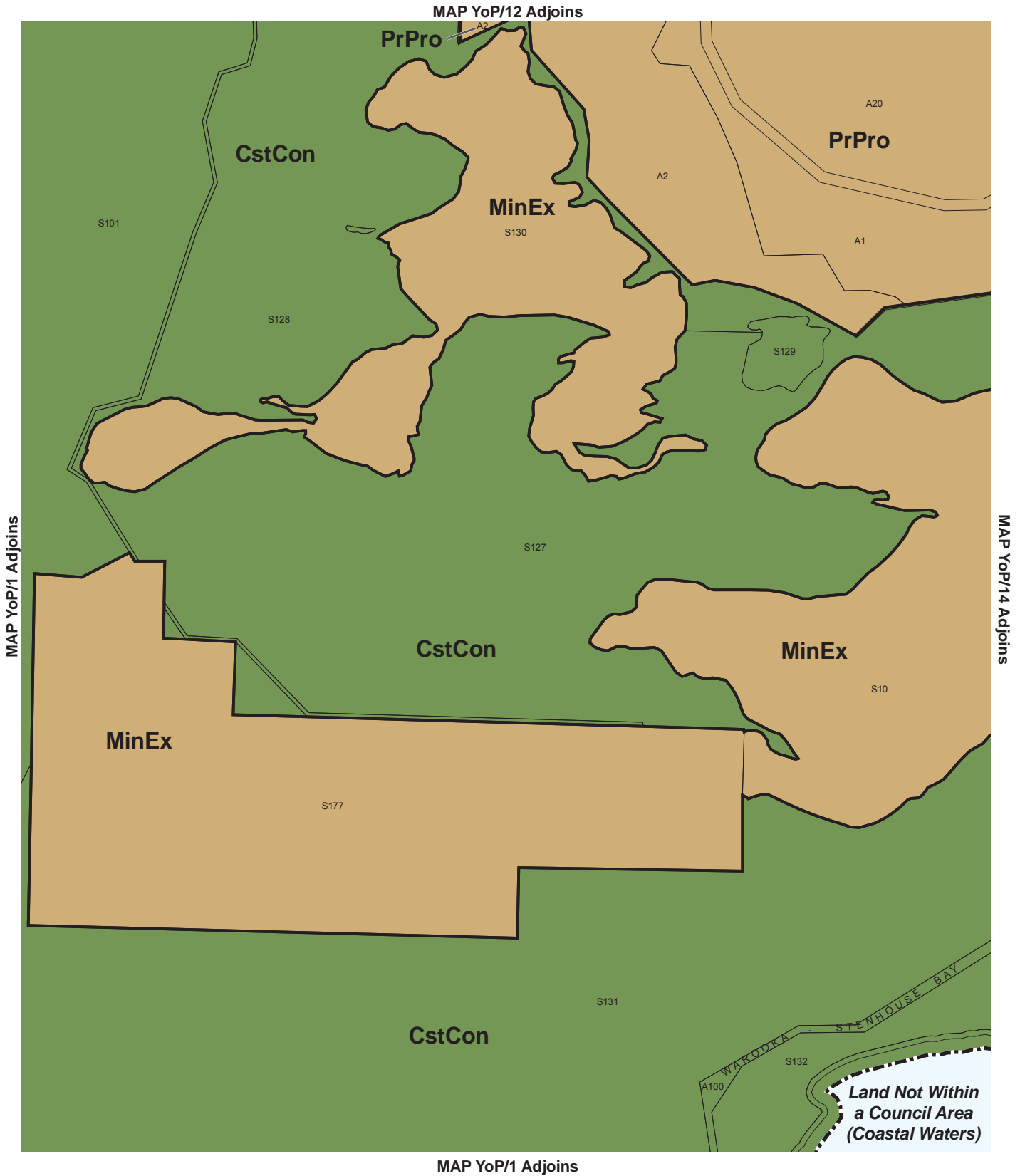


Overlay Map YoP/13

HERITAGE

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

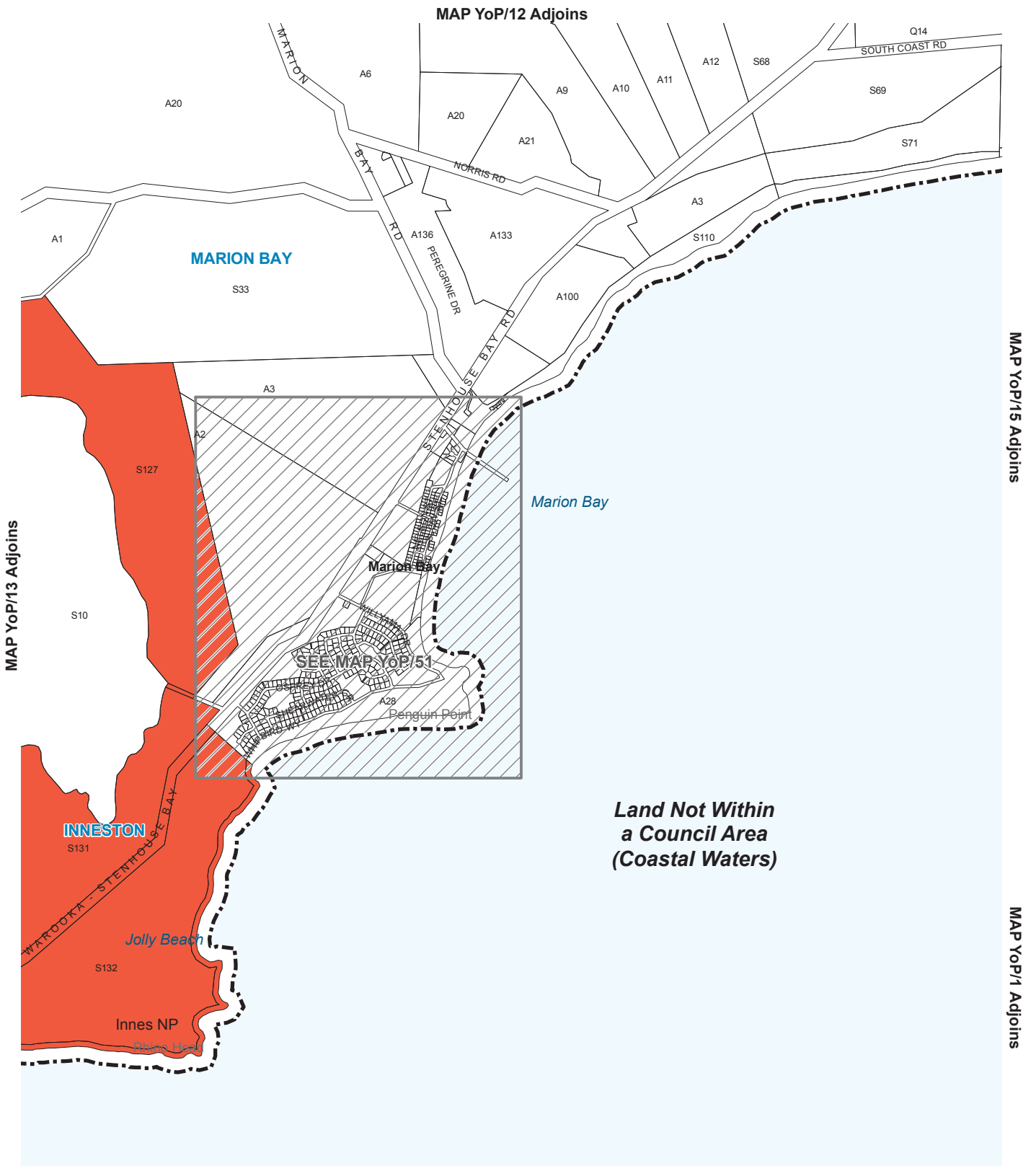


Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - MinEx Mineral Extraction
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/13



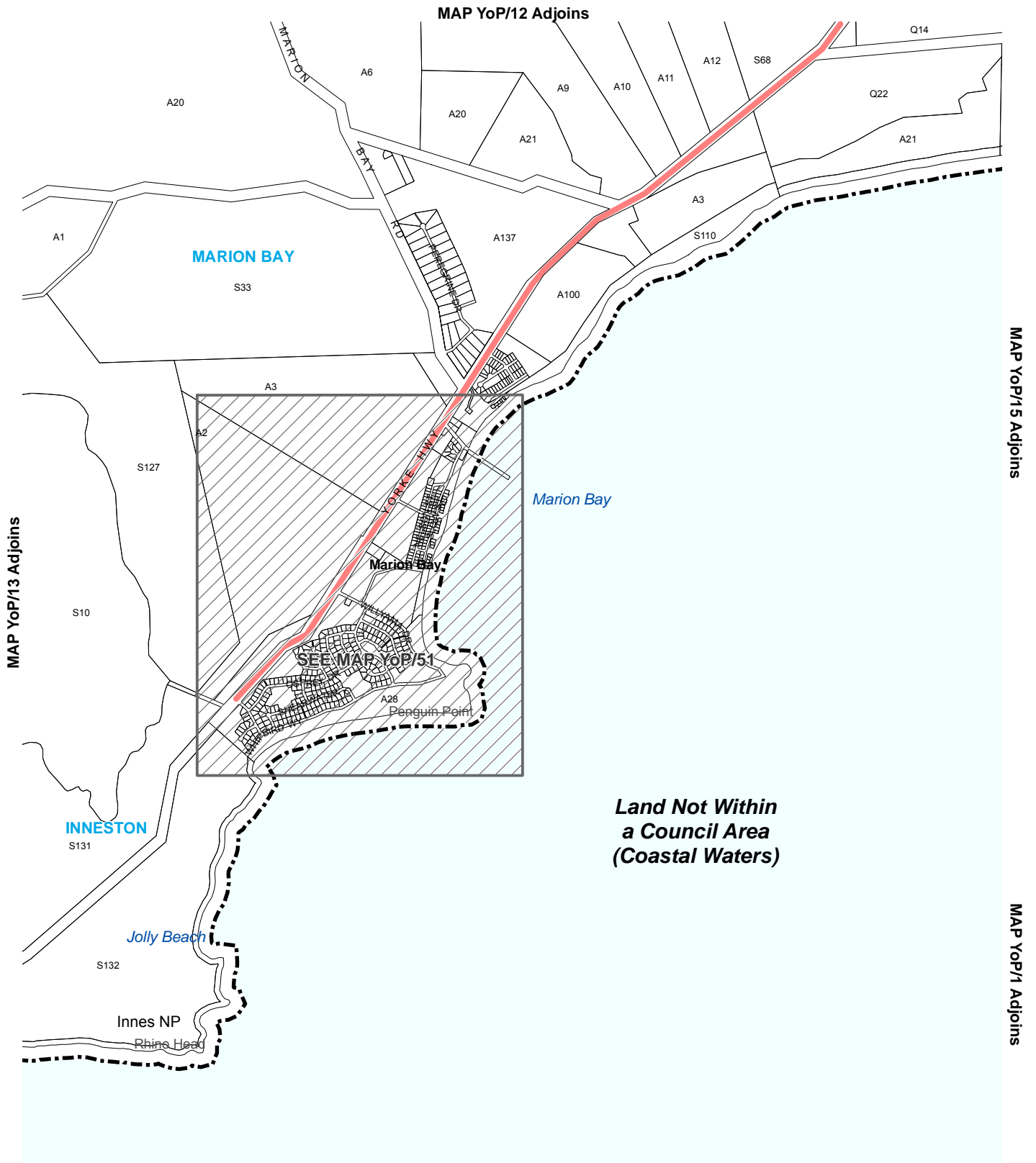
**Land Not Within
a Council Area
(Coastal Waters)**

MAP YoP/1 Adjoins



Location Map YoP/14

- National Park
- Development Plan Boundary



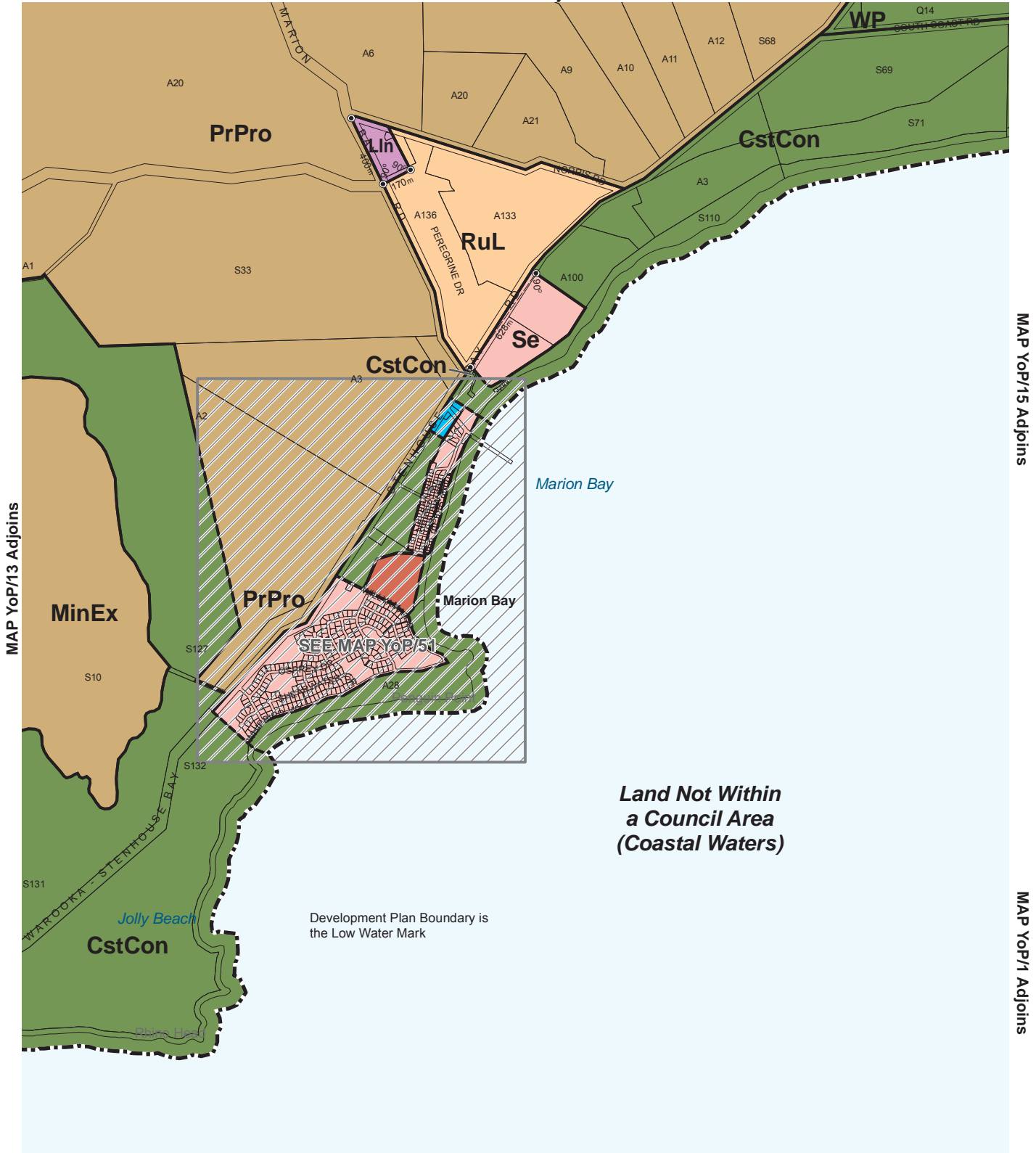
Overlay Map YoP/14

TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/12 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

MAP YoP/1 Adjoins

Zones

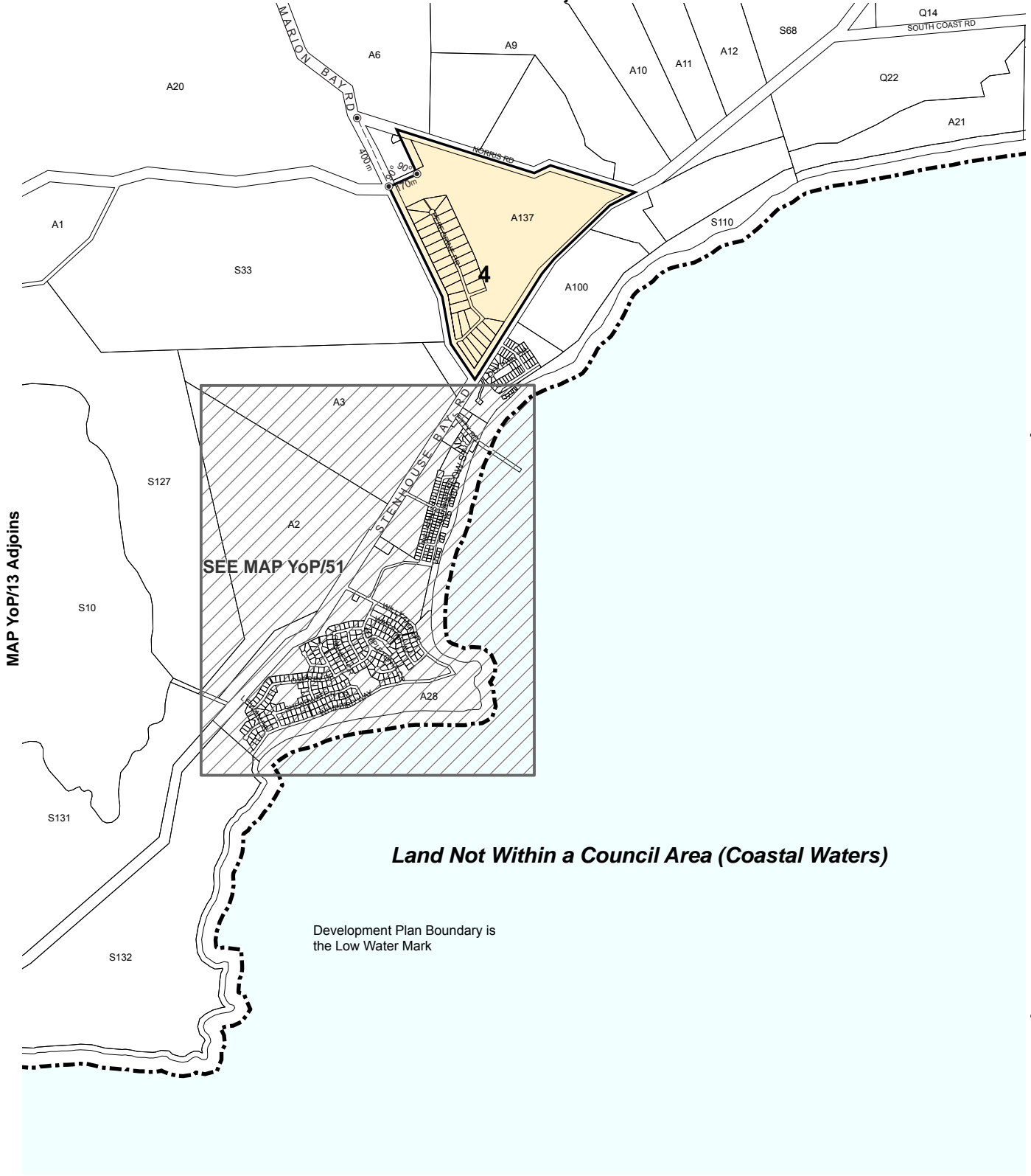
- CstCon Coastal Conservation
- LIn Light Industry
- MinEx Mineral Extraction
- PrPro Primary Production
- RuL Rural Living
- Se Settlement
- WP Water Protection

- Zone Boundary
- Development Plan Boundary



Zone Map YoP/14

MAP YoP/12 Adjoins



Land Not Within a Council Area (Coastal Waters)

Development Plan Boundary is the Low Water Mark

MAP YoP/1 Adjoins

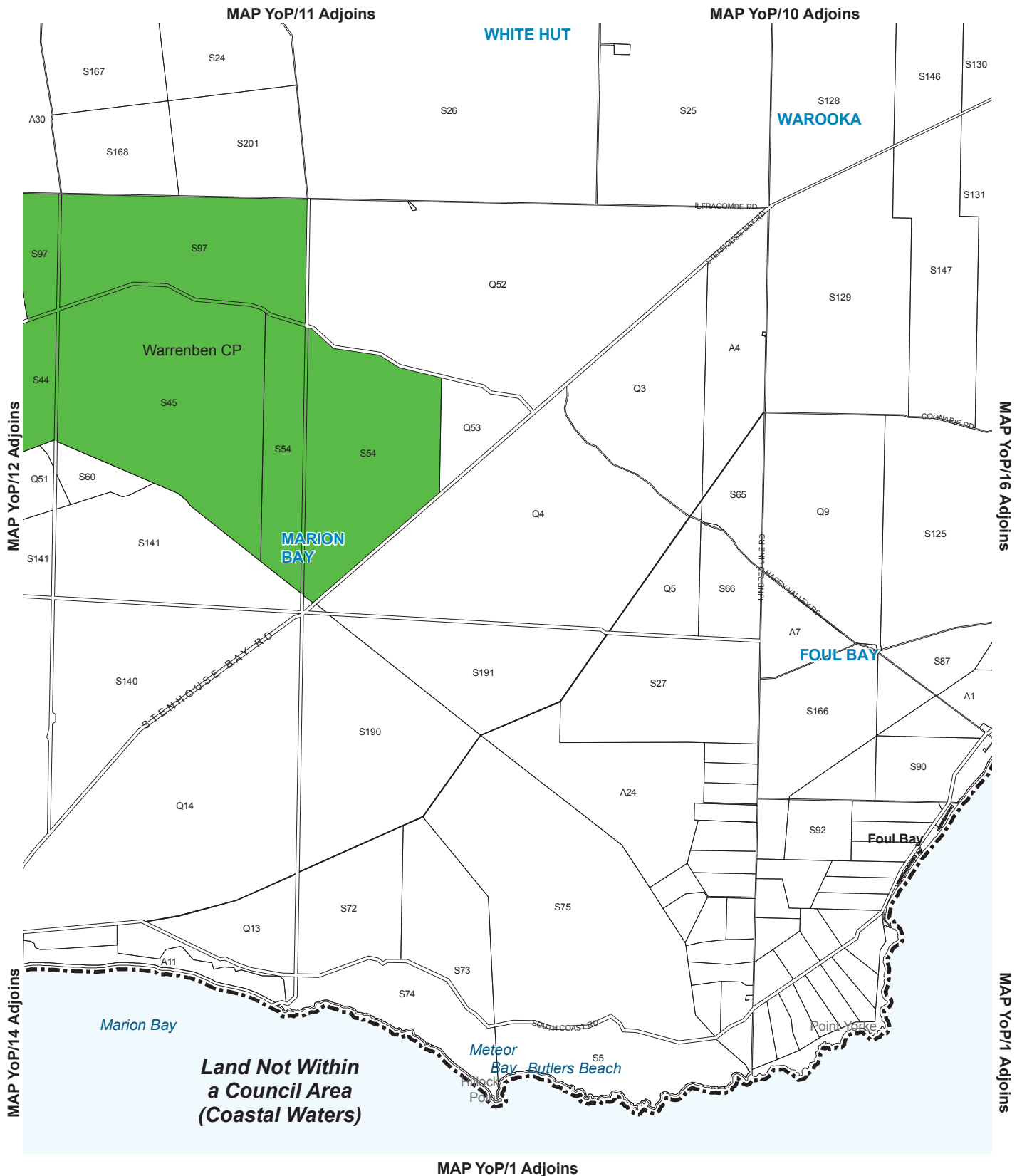
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
4 Edithburgh/Marion Bay Rural Living



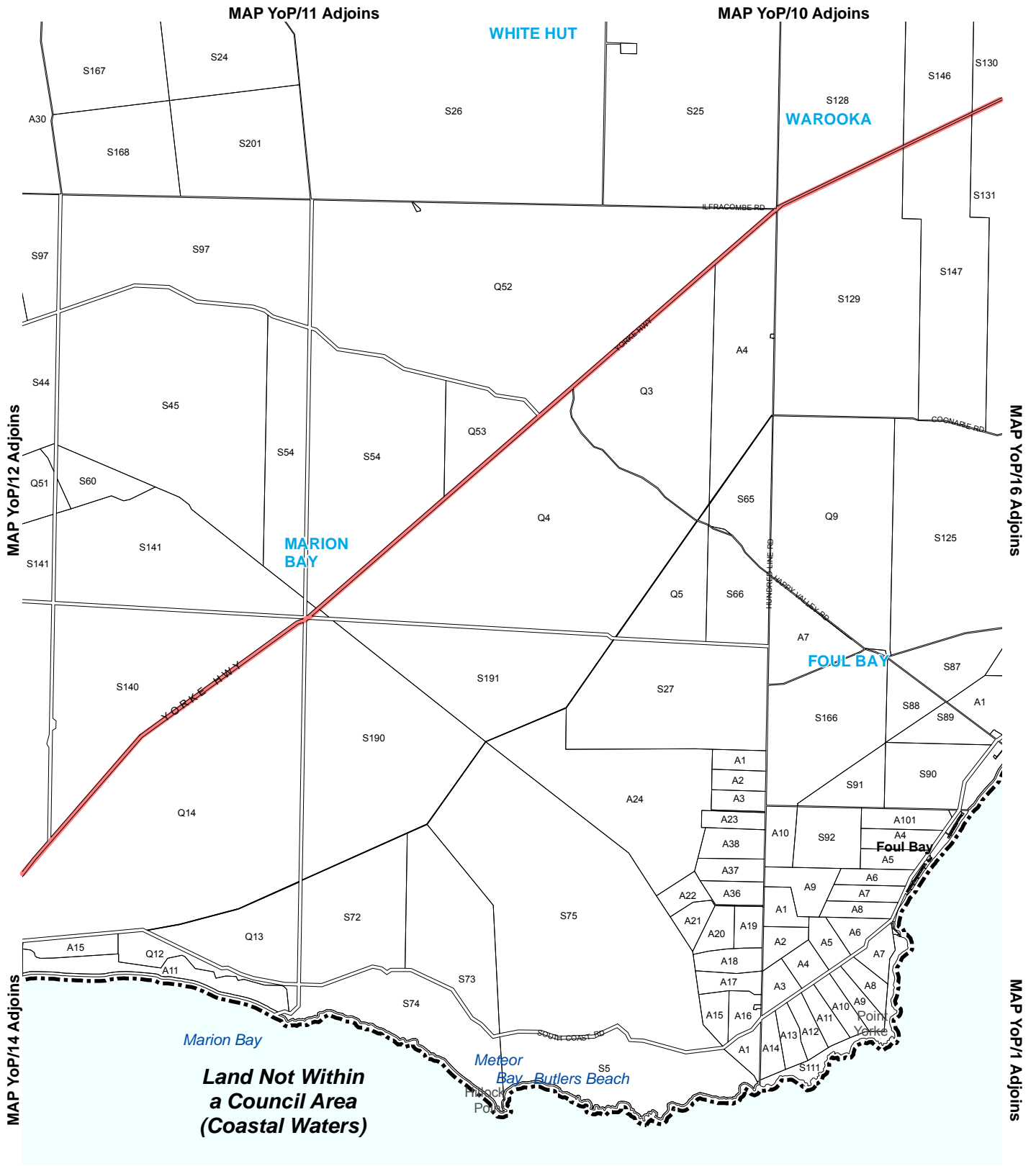
Precinct Map YoP/14

- Precinct Boundary
- Development Plan Boundary



Location Map YoP/15

- Conservation Park
- Development Plan Boundary

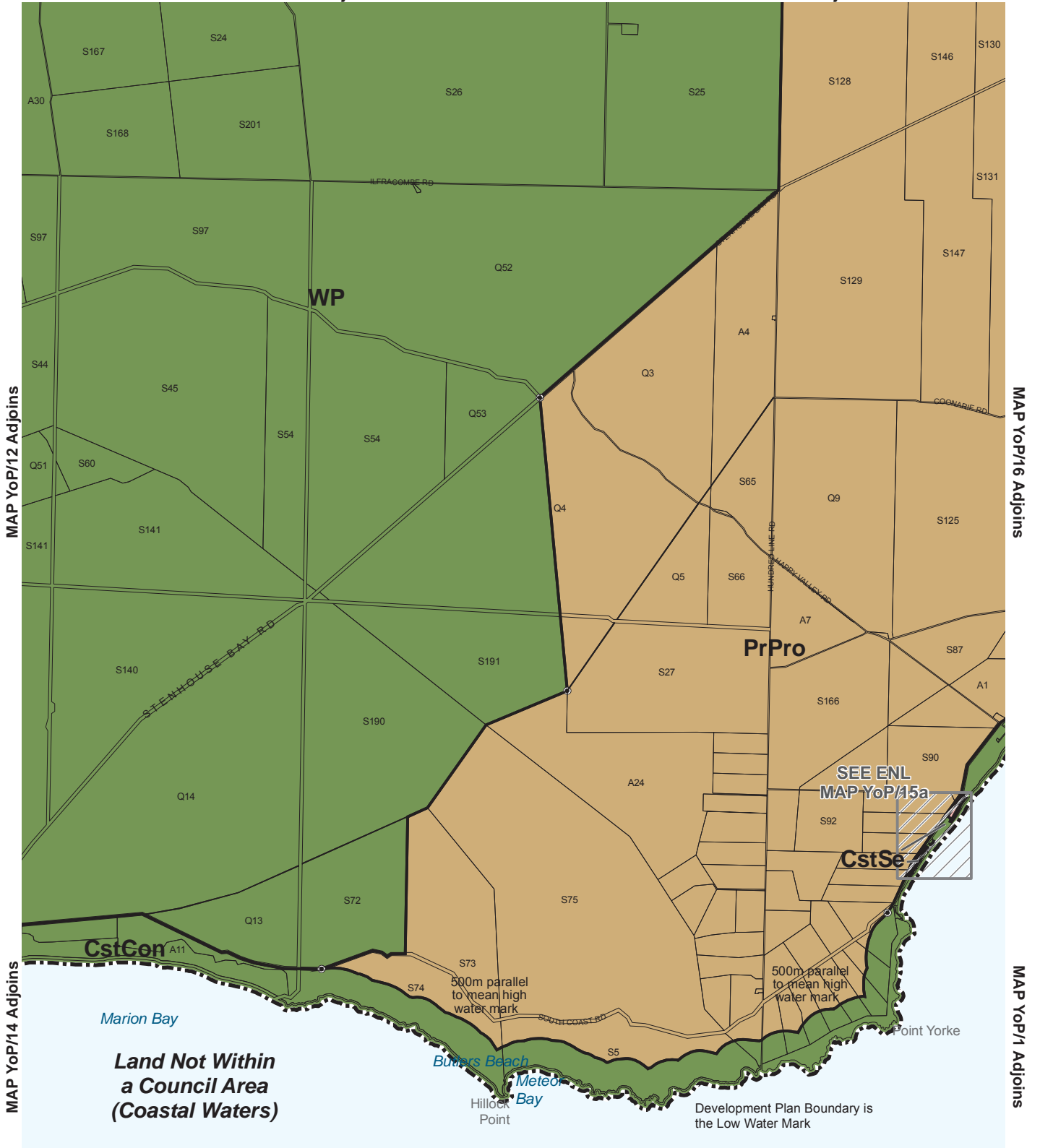


Overlay Map YoP/15

TRANSPORT

MAP YoP/11 Adjoins

MAP YoP/10 Adjoins



Land Not Within a Council Area (Coastal Waters)

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

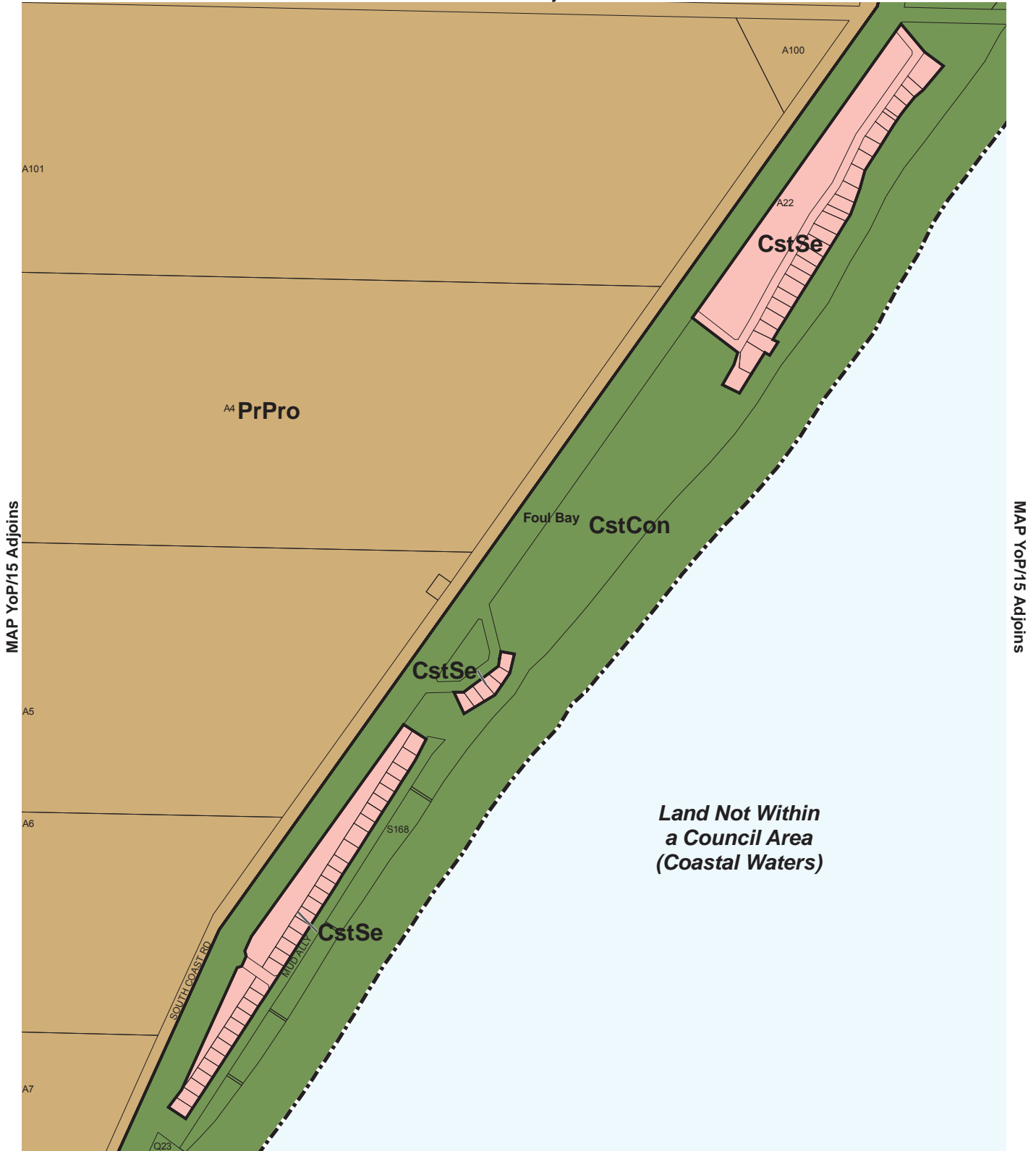
MAP YoP/1 Adjoins



Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- WP Water Protection
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/15



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



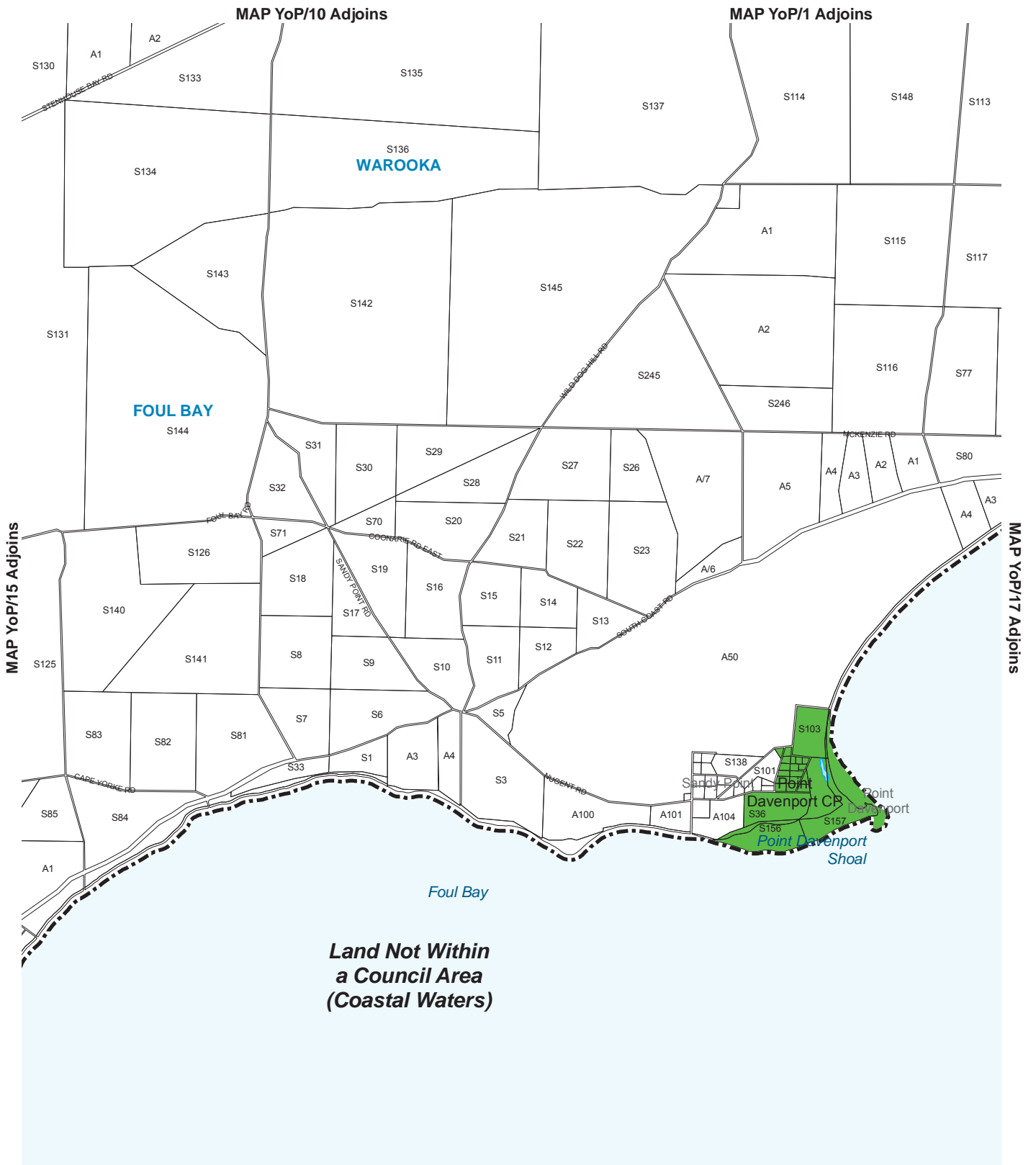
FOUL BAY

Zone Map YoP/15a ENLARGEMENT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary



MAP YoP/1 Adjoins



Location Map YoP/16

- Conservation Park
- Waterbodies
- Development Plan Boundary

MAP YoP/10 Adjoins

MAP YoP/1 Adjoins



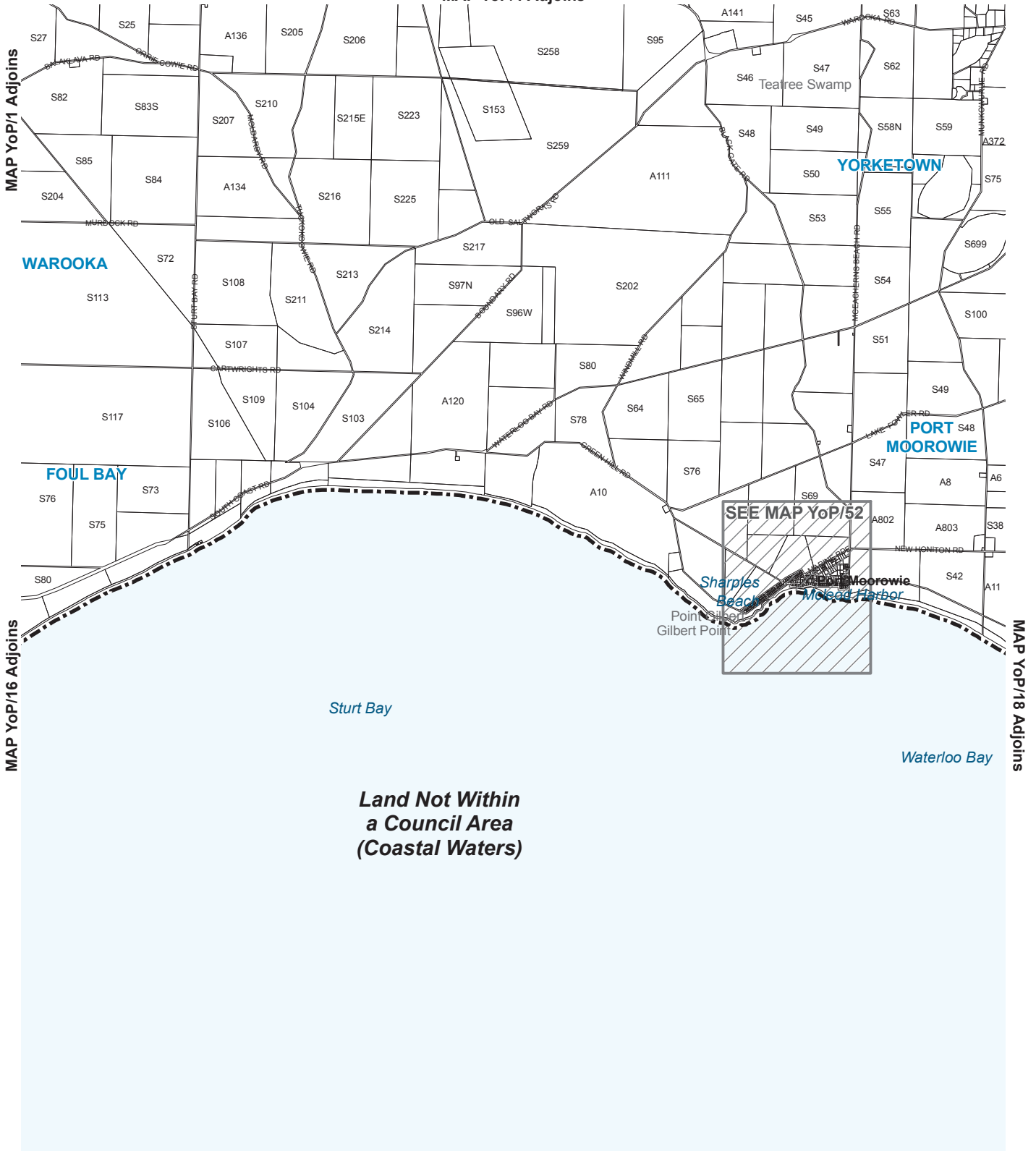
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/16

MAP YoP/1 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

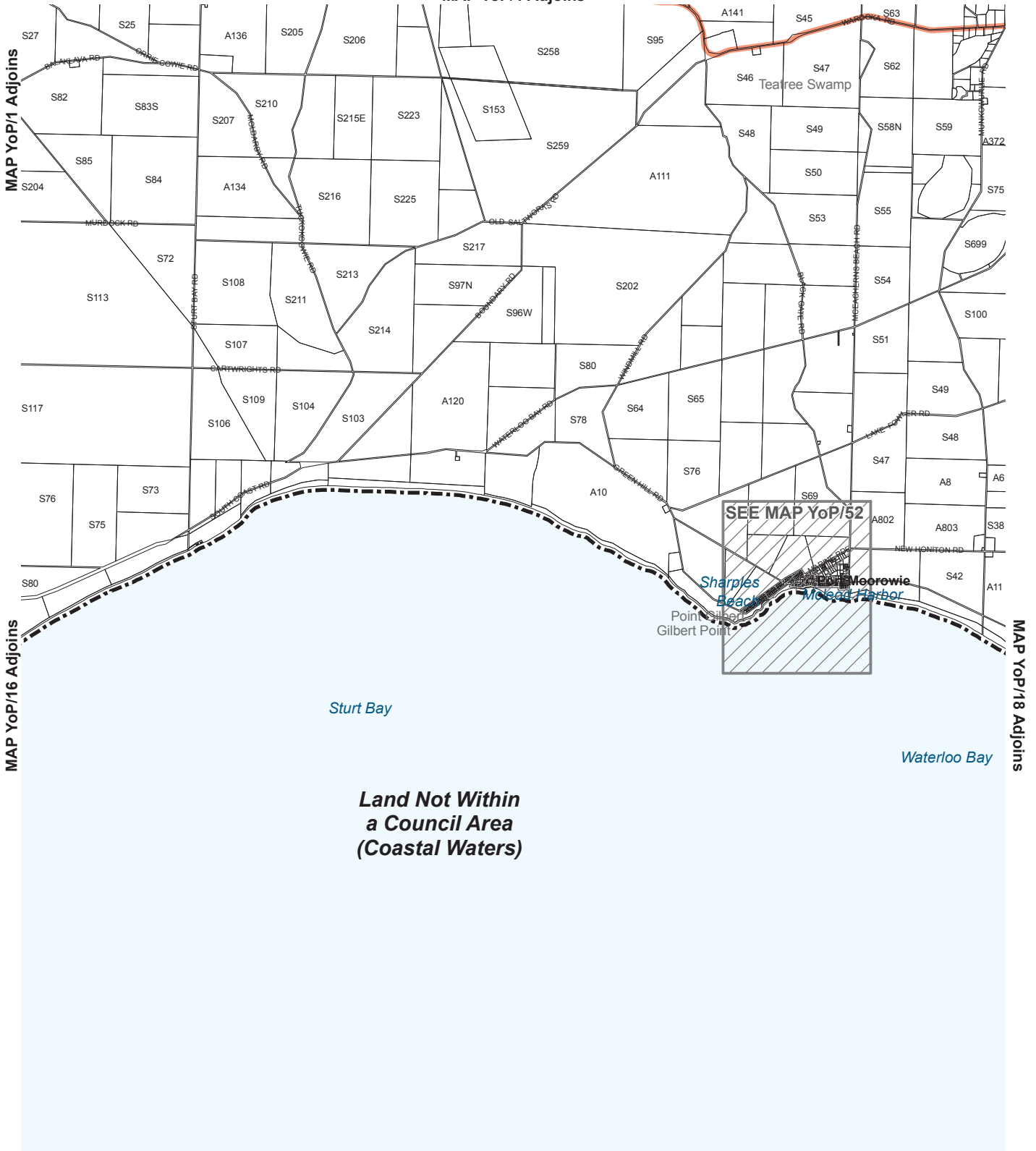
MAP YoP/1 Adjoins





Location Map YoP/17

----- Development Plan Boundary

MAP YoP/1 Adjoins



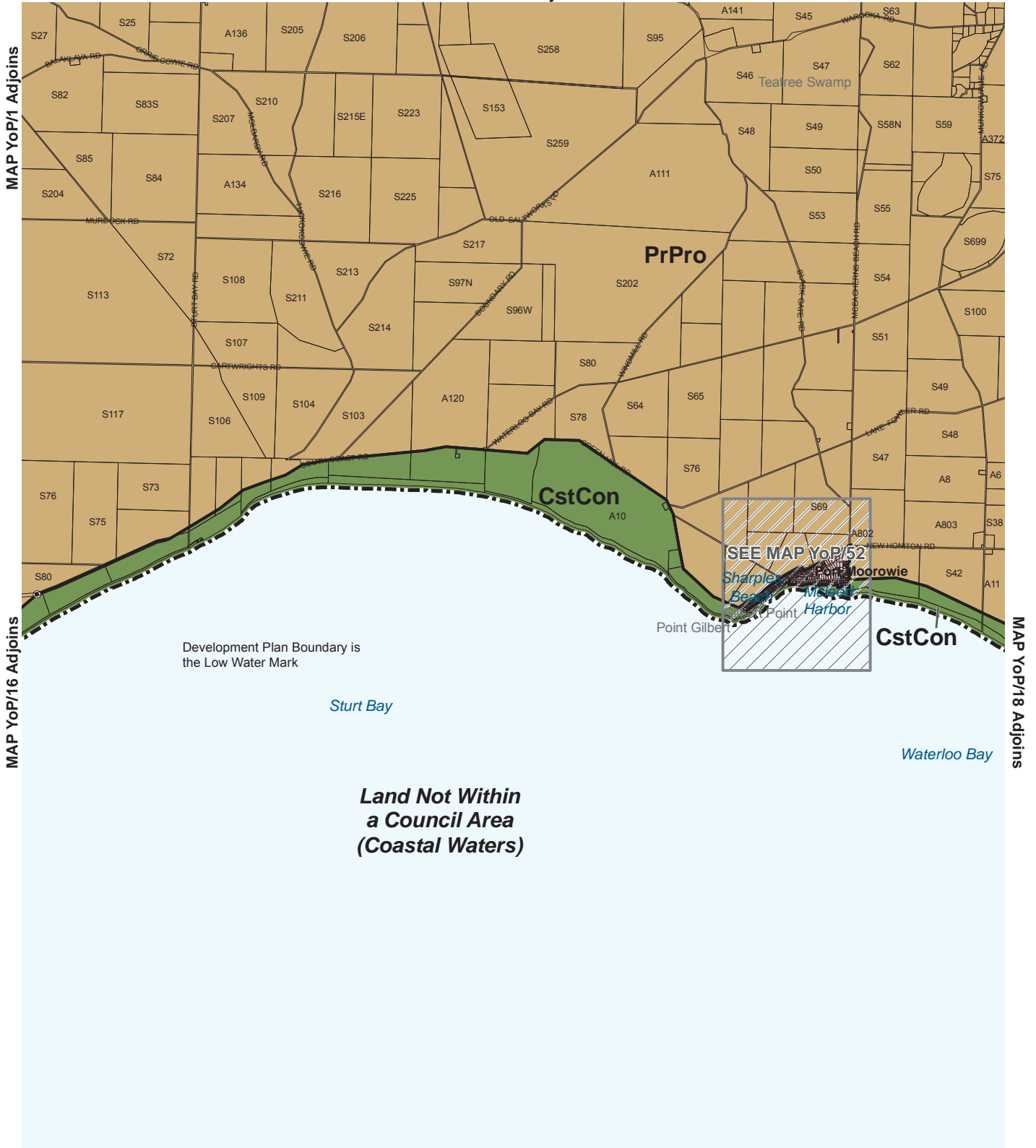
MAP YoP/1 Adjoins

-  Secondary Arterial Roads
-  Development Plan Boundary

Overlay Map YoP/17 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

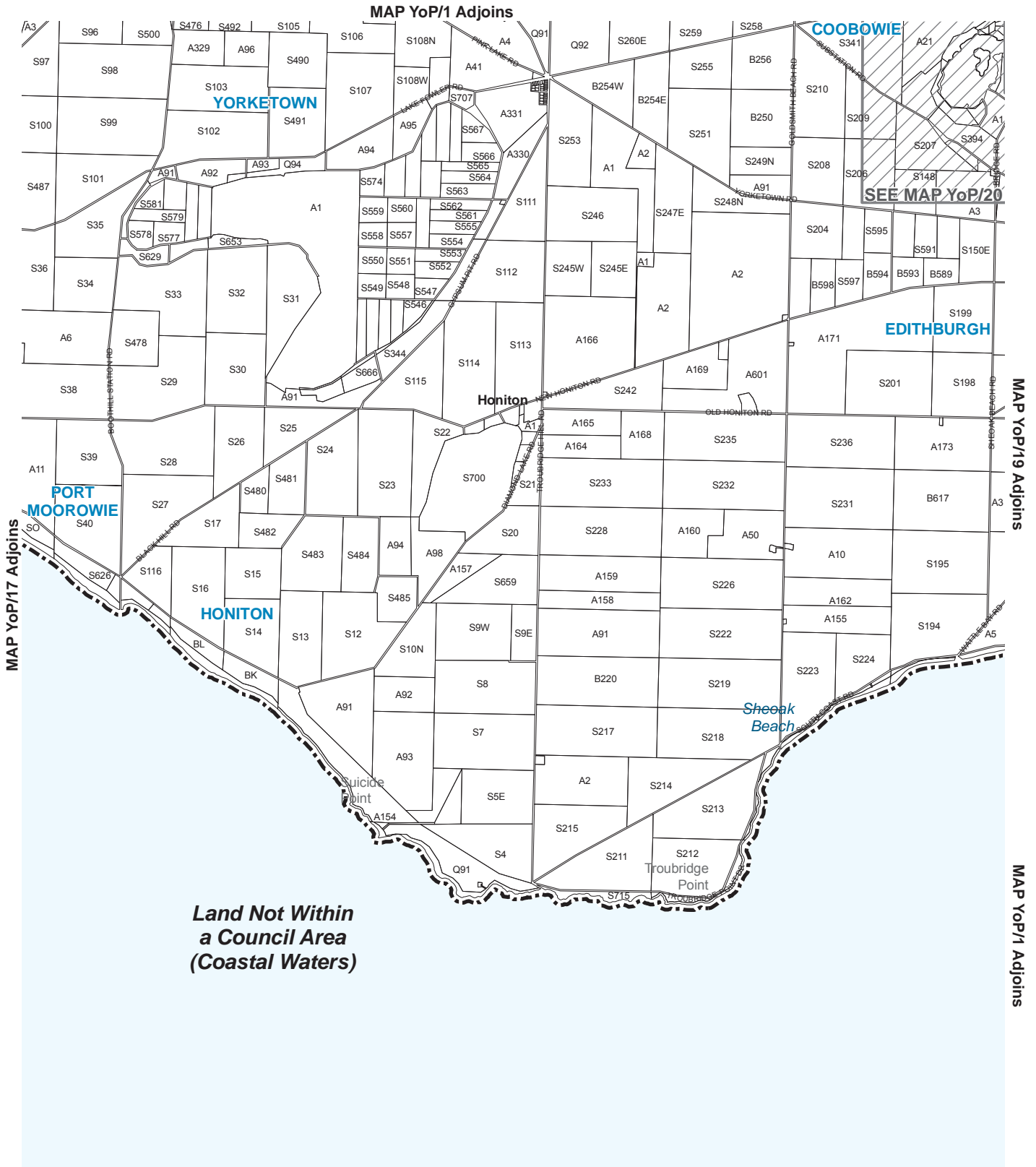
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

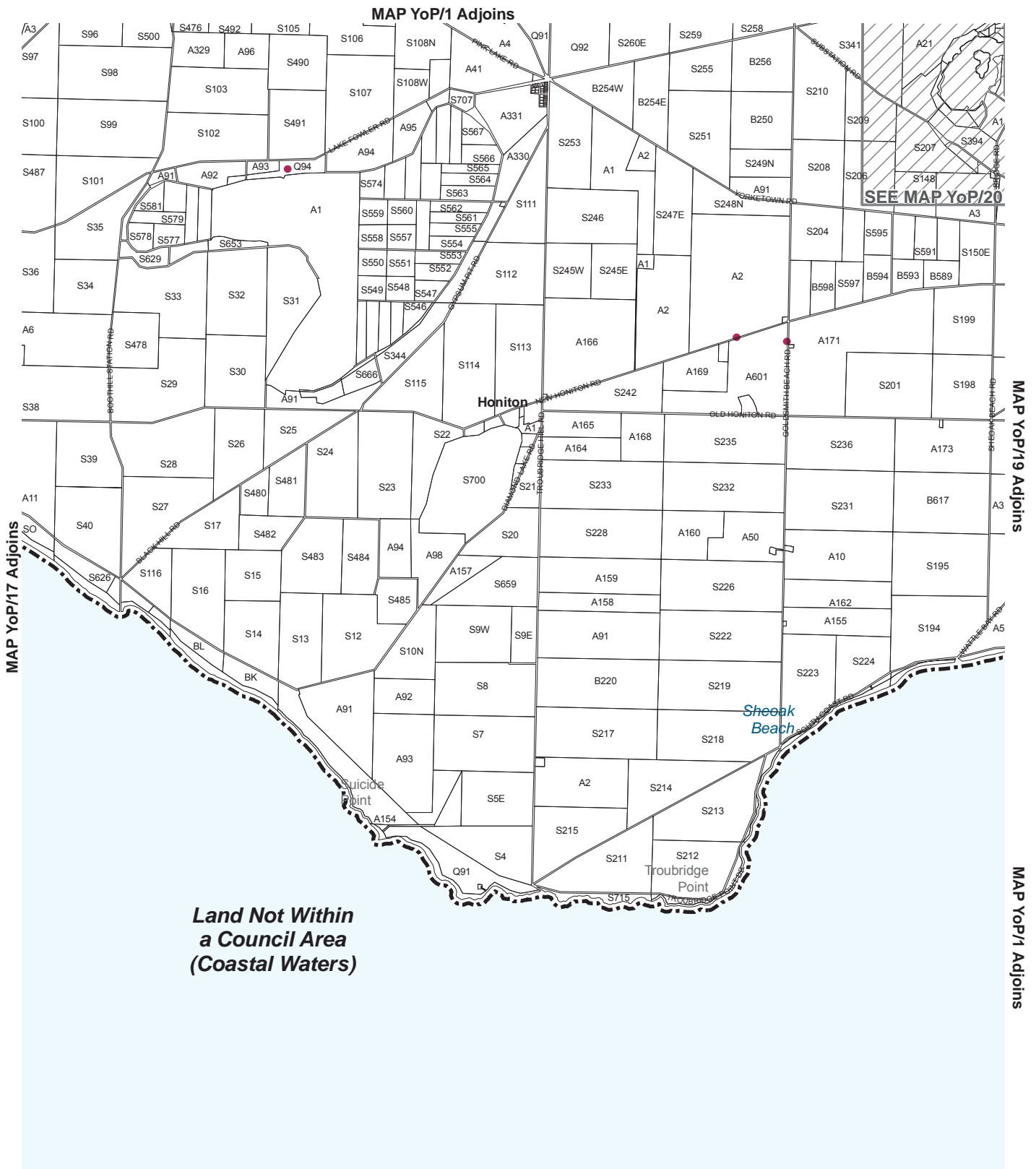
Zone Map YoP/17



MAP YoP/1 Adjoints

Location Map YoP/18

----- Development Plan Boundary



MAP YoP/1 Adjoins

Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



Overlay Map YoP/18 HERITAGE

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/1 Adjoints



Land Not Within
a Council Area
(Coastal Waters)

Development Plan Boundary is
the Low Water Mark

MAP YoP/1 Adjoints

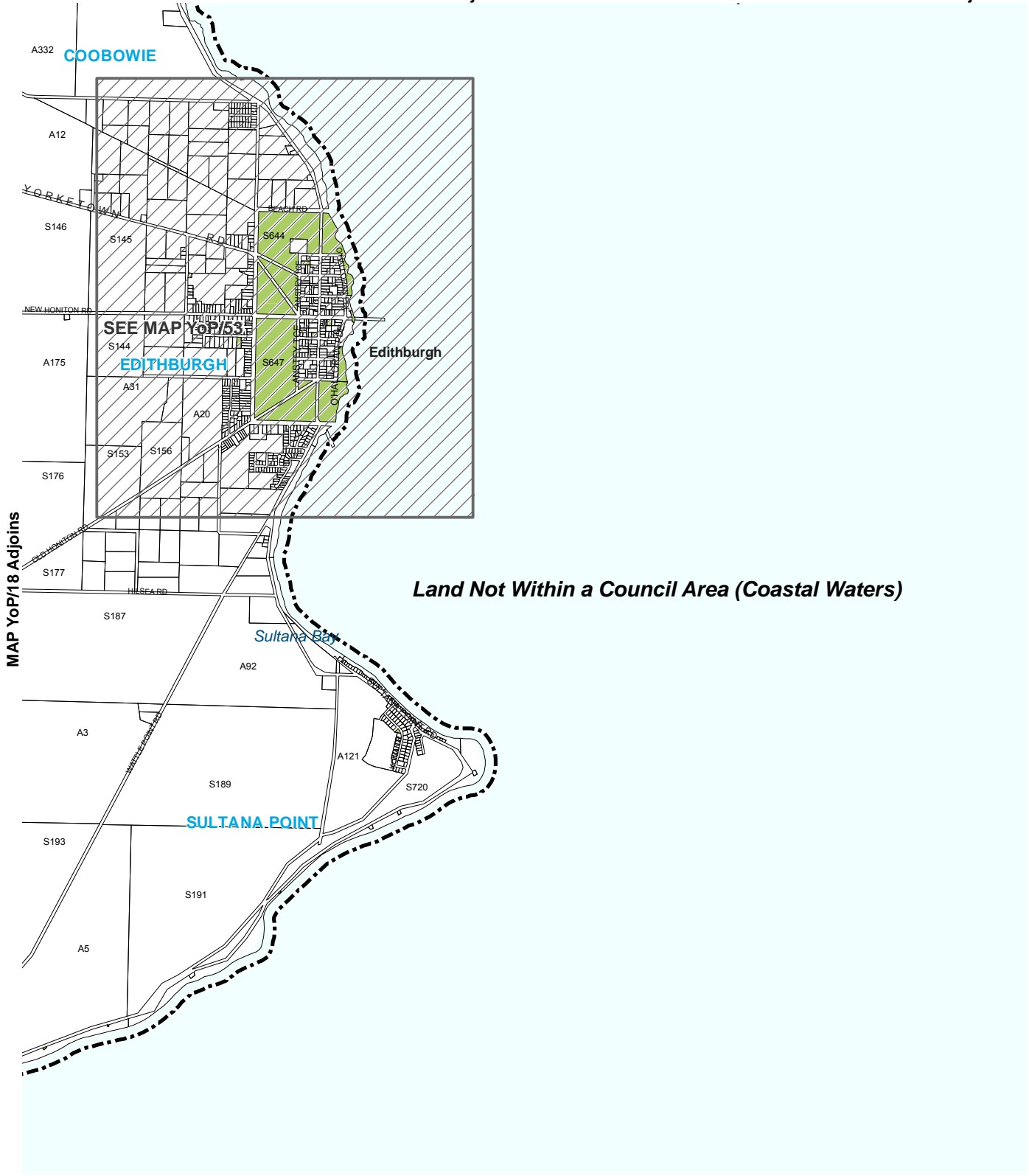
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

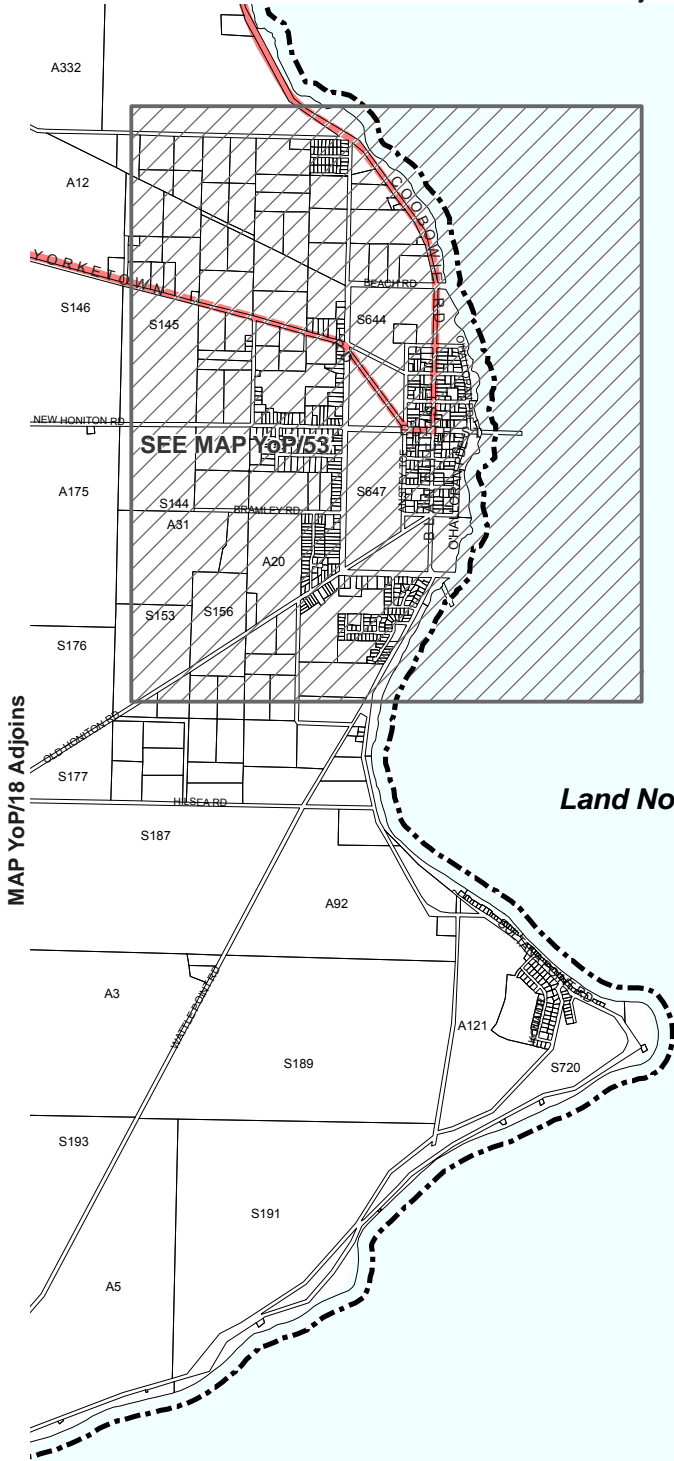
- CstCon Coastal Conservation
- PrPro Primary Production
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/18



Location Map YoP/19

- Local Reserves
- Development Plan Boundary

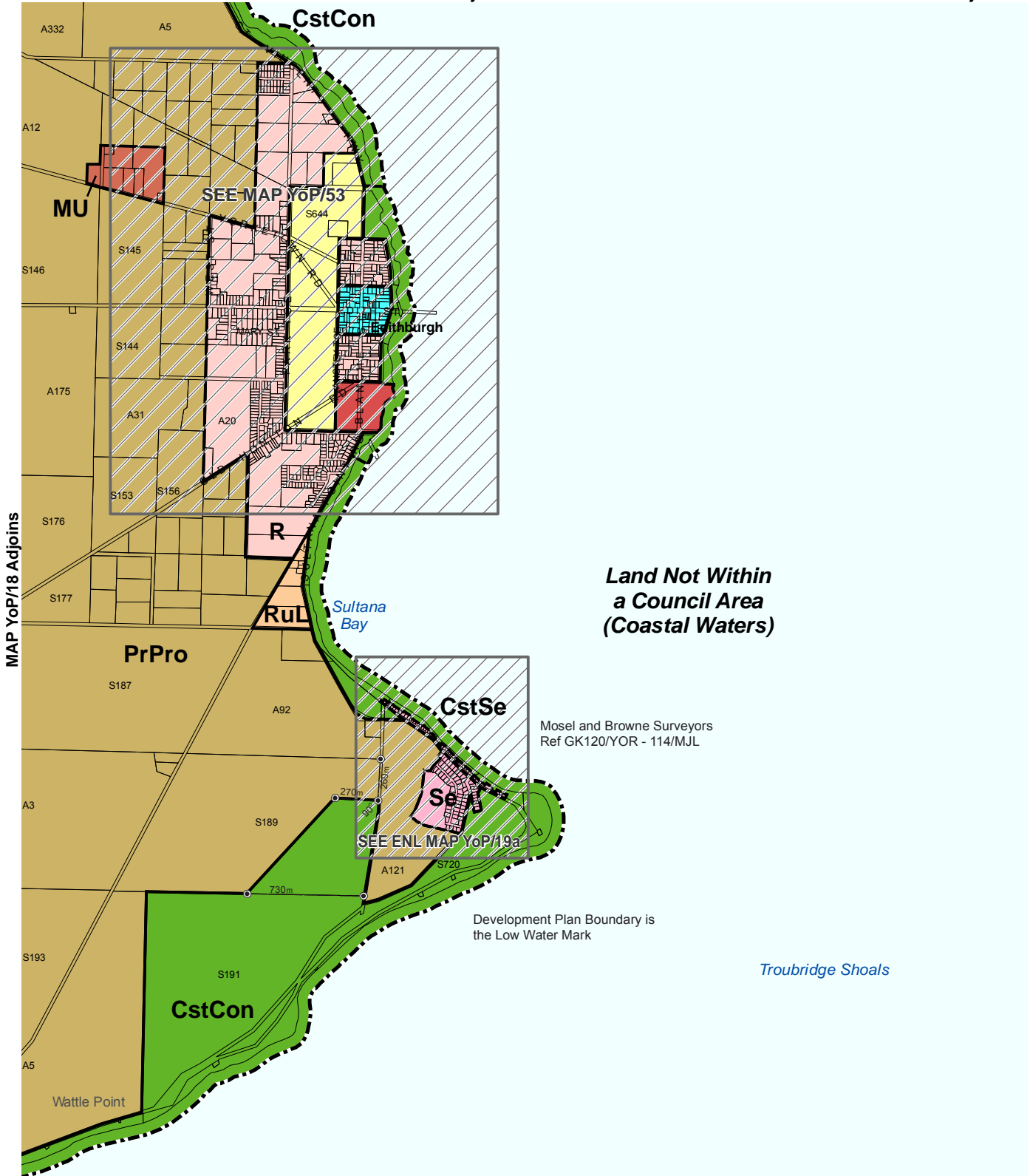


Land Not Within a Council Area (Coastal Waters)



Overlay Map YoP/19 TRANSPORT

- Secondary Arterial Roads
- - - - - Development Plan Boundary



MAP YoP/18 Adjoins

MAP YoP/1 Adjoins

Land Not Within a Council Area (Coastal Waters)

Mosel and Browne Surveyors Ref GK120/YOR - 114/MJL

Development Plan Boundary is the Low Water Mark

Troubridge Shoals

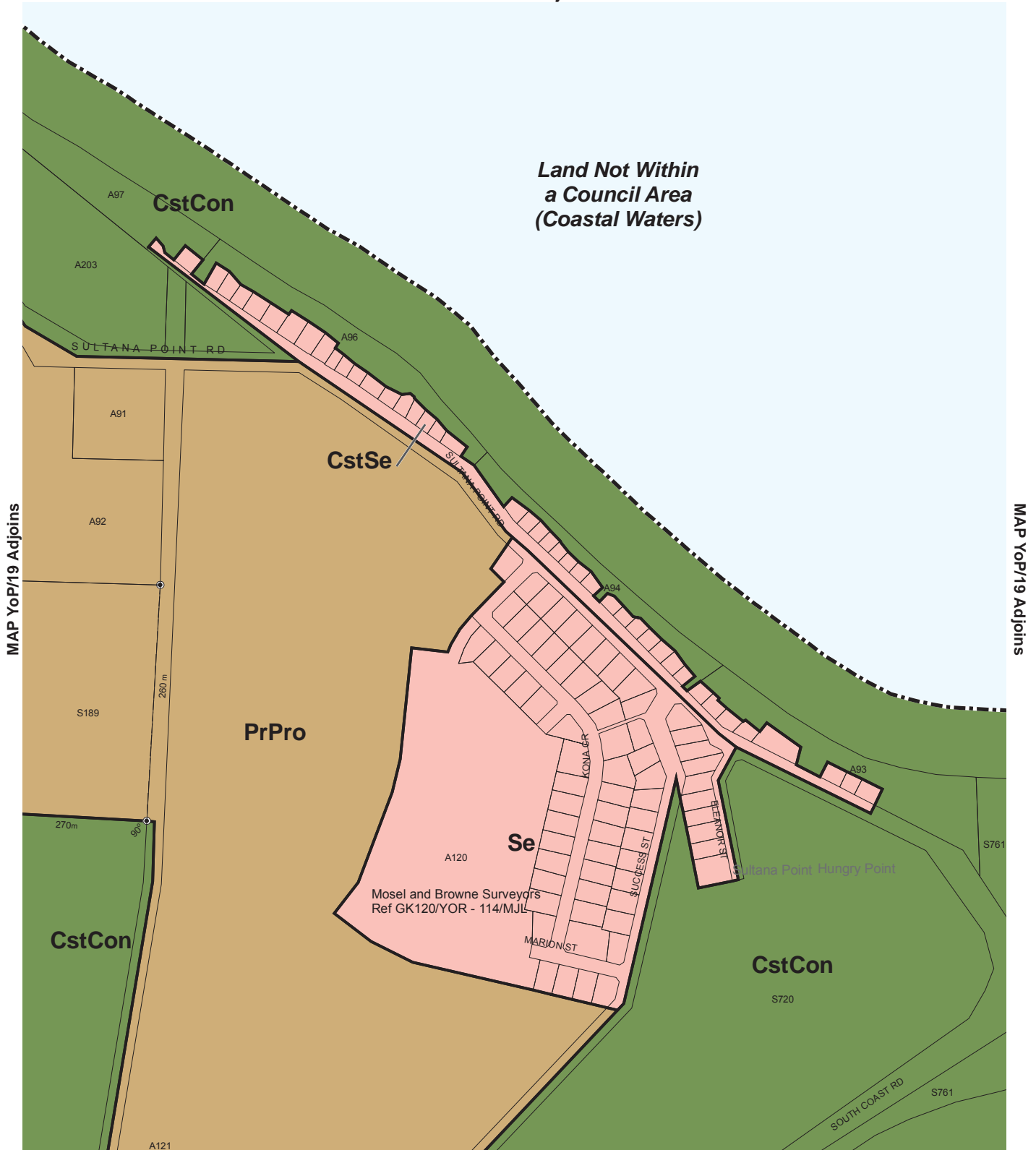
MAP YoP/1 Adjoins

See enlargement map for accurate representation. Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - MU Mixed Use
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/19



MAP YoP/19 Adjoins

See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

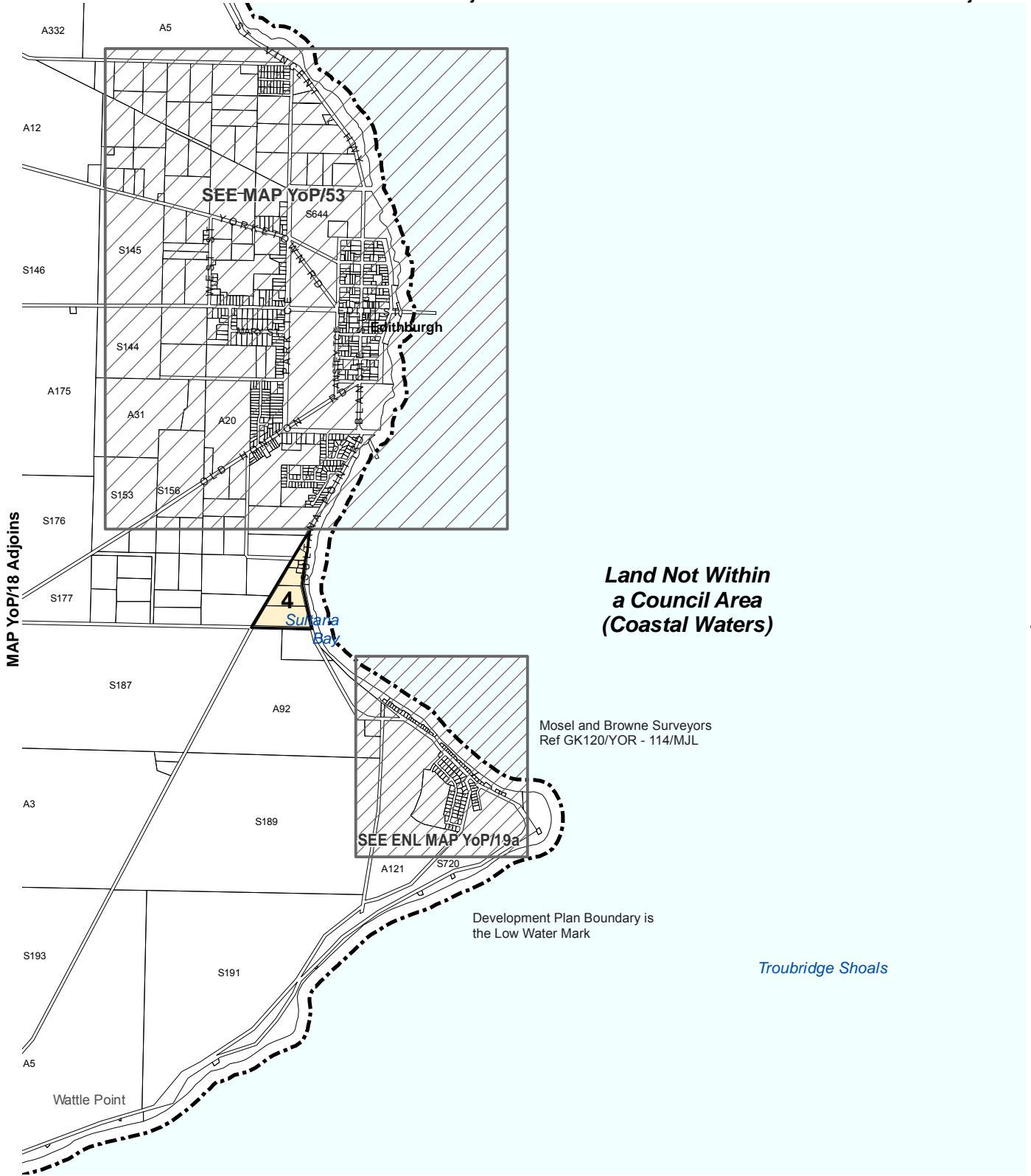


SULTANA POINT

Zone Map YoP/19a ENLARGEMENT

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

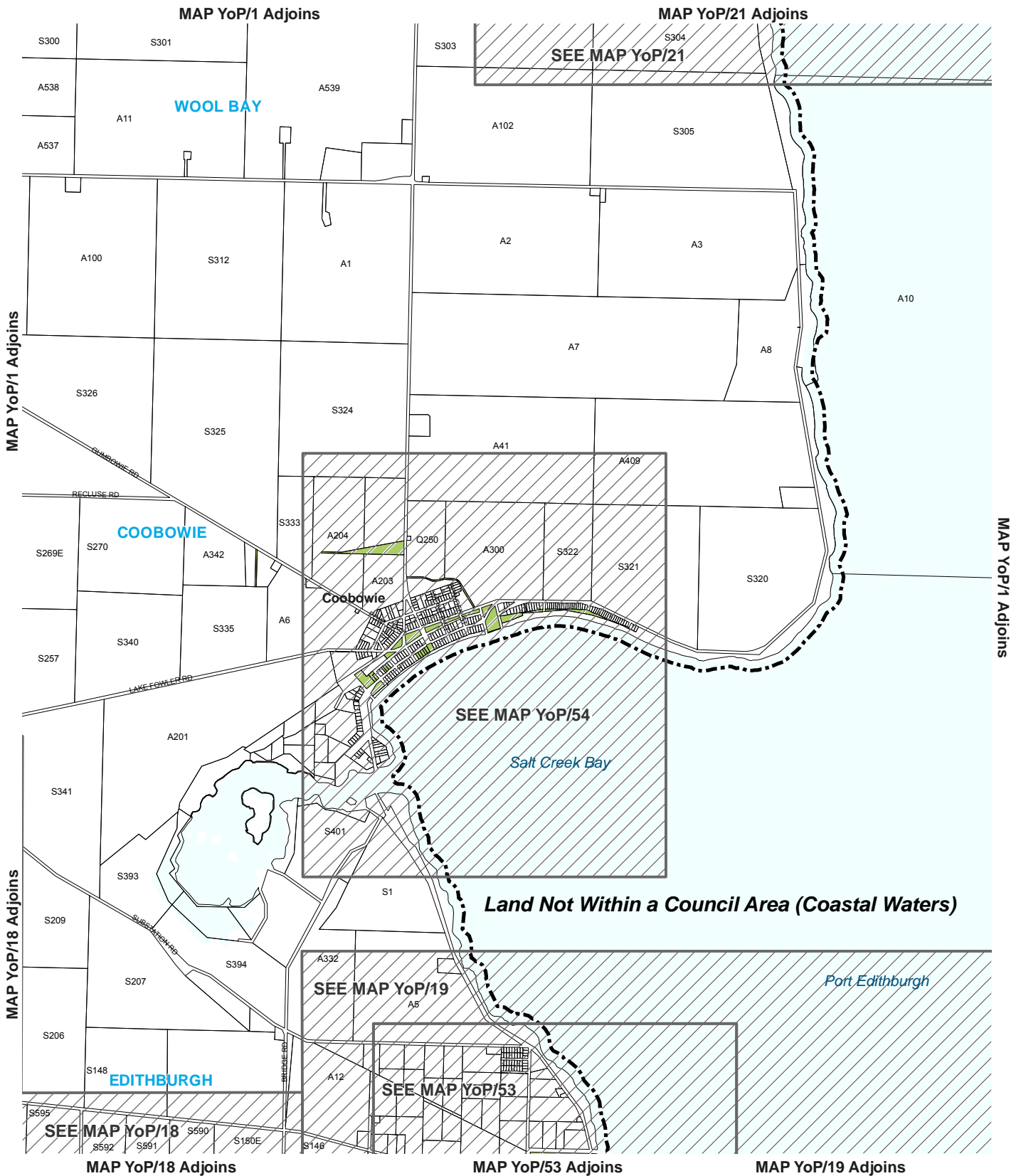
Precinct
 4 Edithburgh/Marion Bay Rural Living

MAP YoP/1 Adjoins



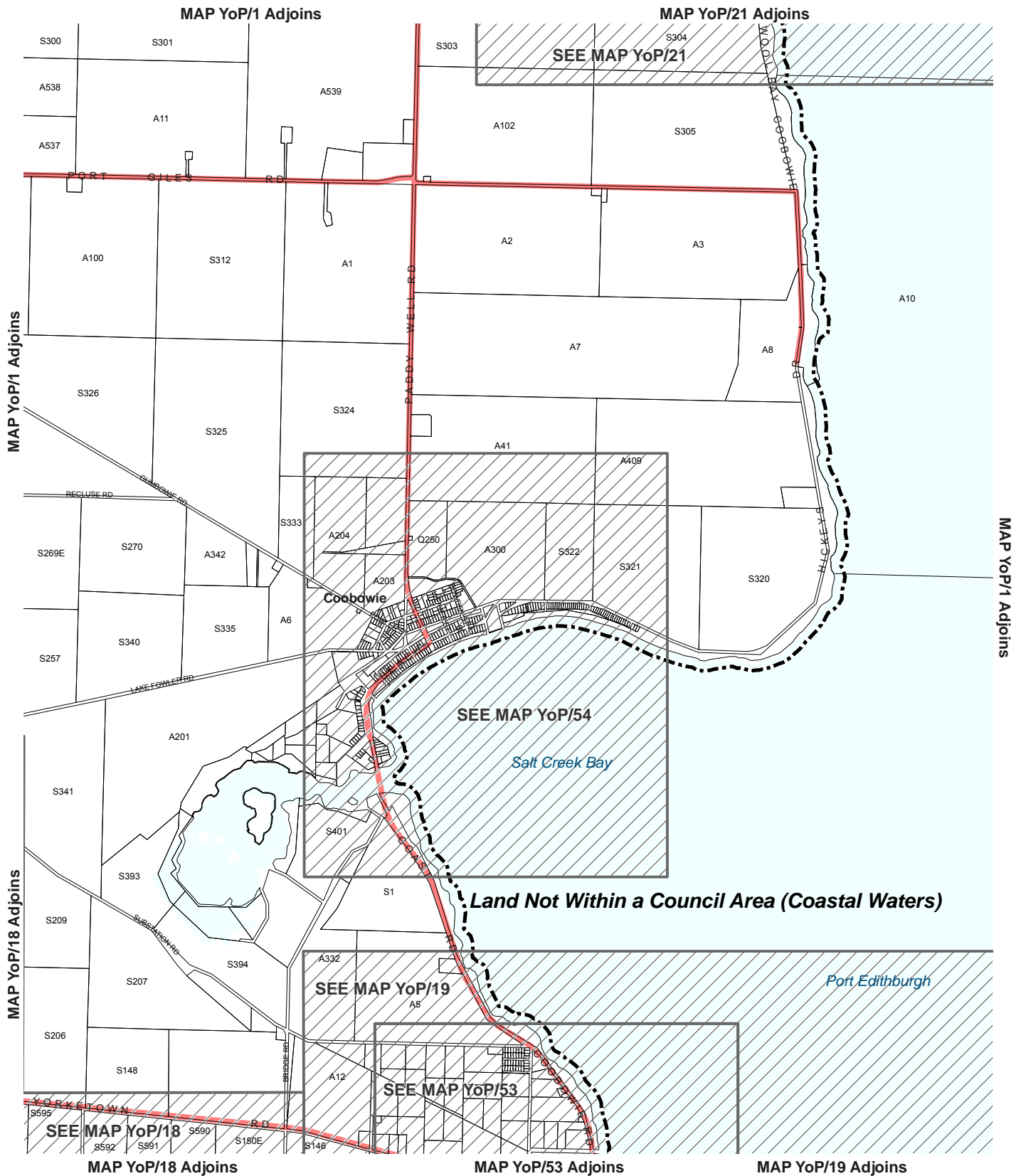
Precinct Map YoP/19

- Precinct Boundary
- Development Plan Boundary



Location Map YoP/20

- Local Reserves
- Development Plan Boundary

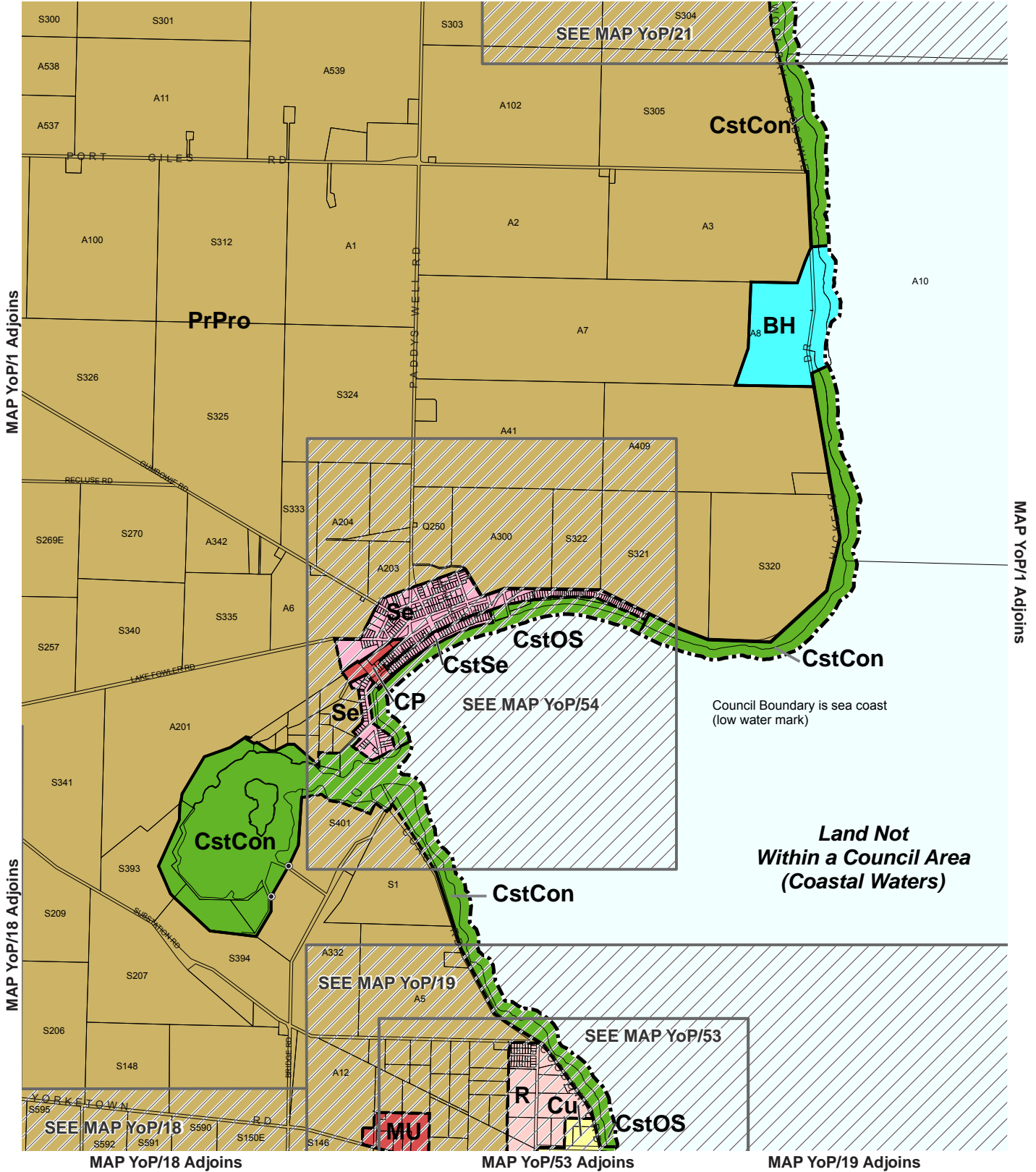


Overlay Map YoP/20 TRANSPORT

- Secondary Arterial Roads
- - - - - Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/21 Adjoins



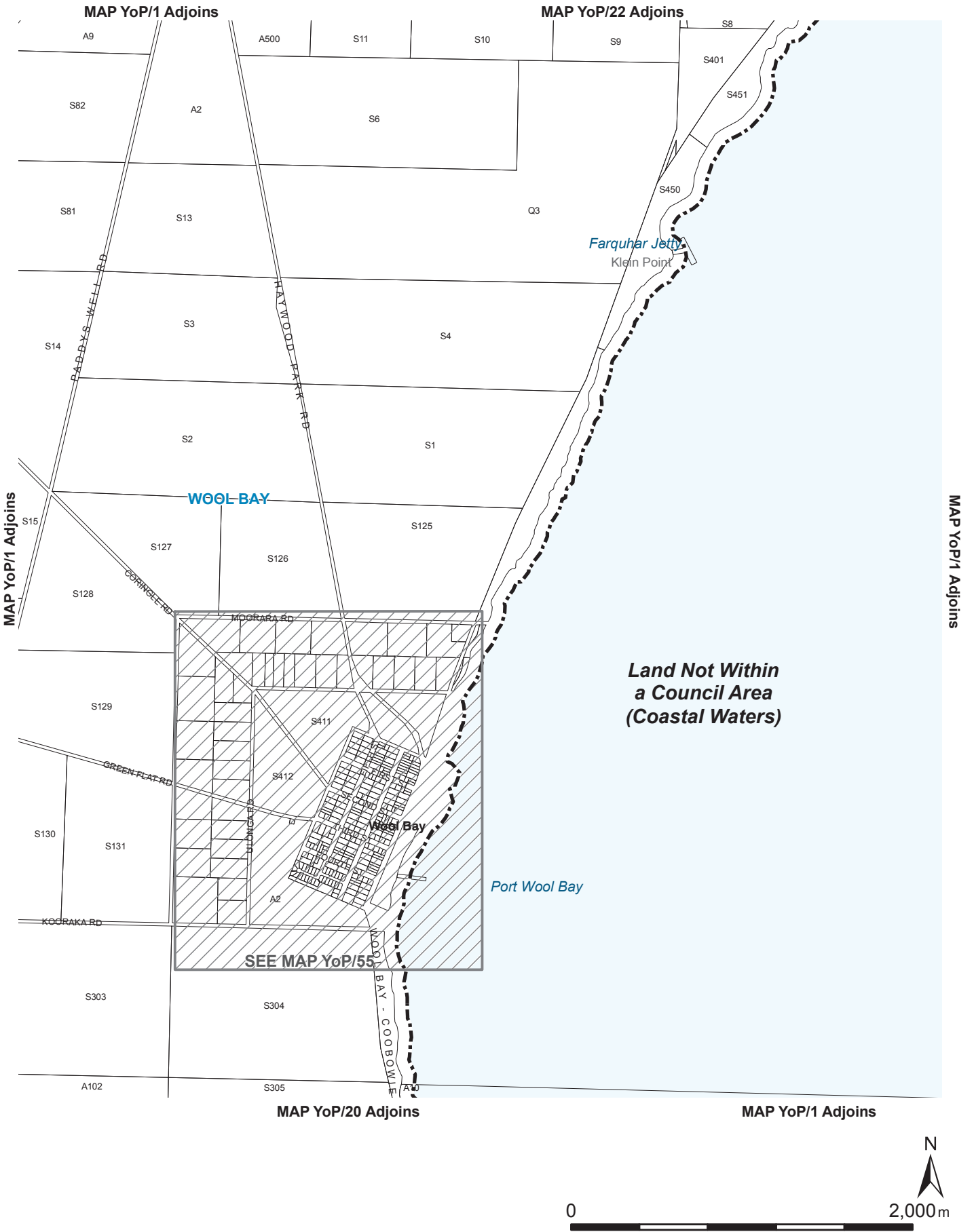
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

- Bulk Handling
- Coastal Conservation
- Primary Production
- Zone Boundary
- Development Plan Boundary

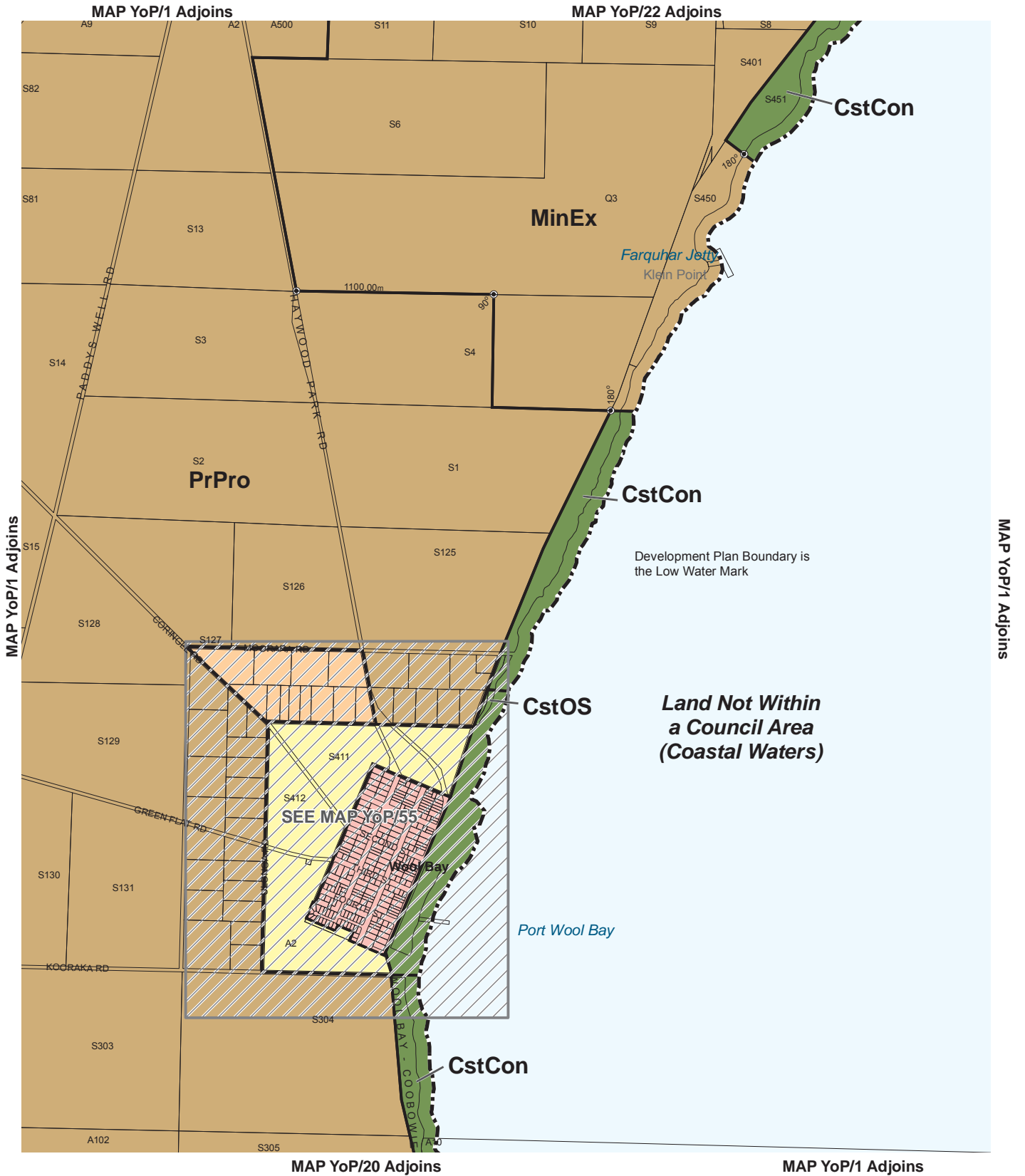
Zone Map YoP/20



Location Map YoP/21



Overlay Map YoP/21 TRANSPORT

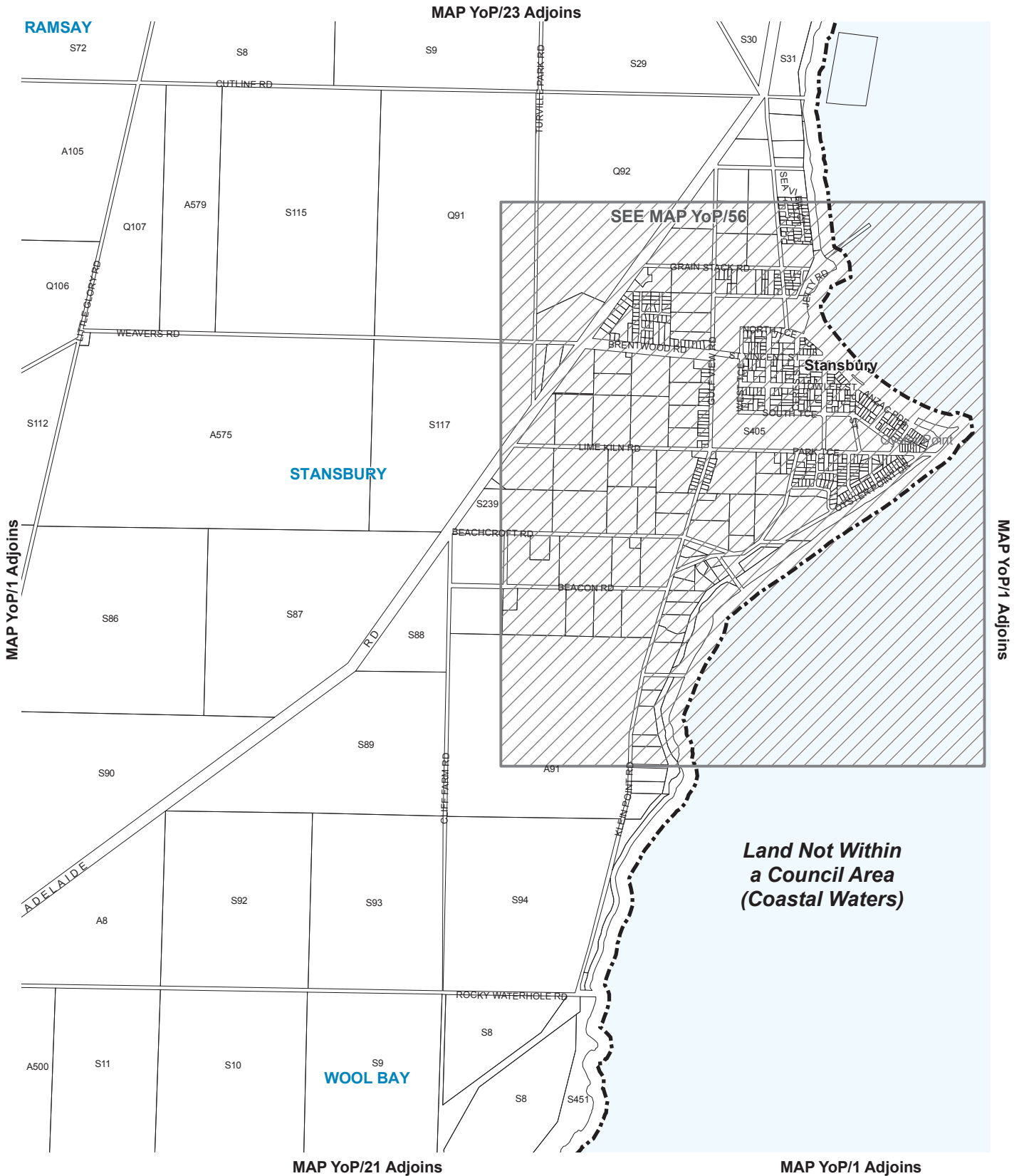


See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - MinEx Mineral Extraction
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

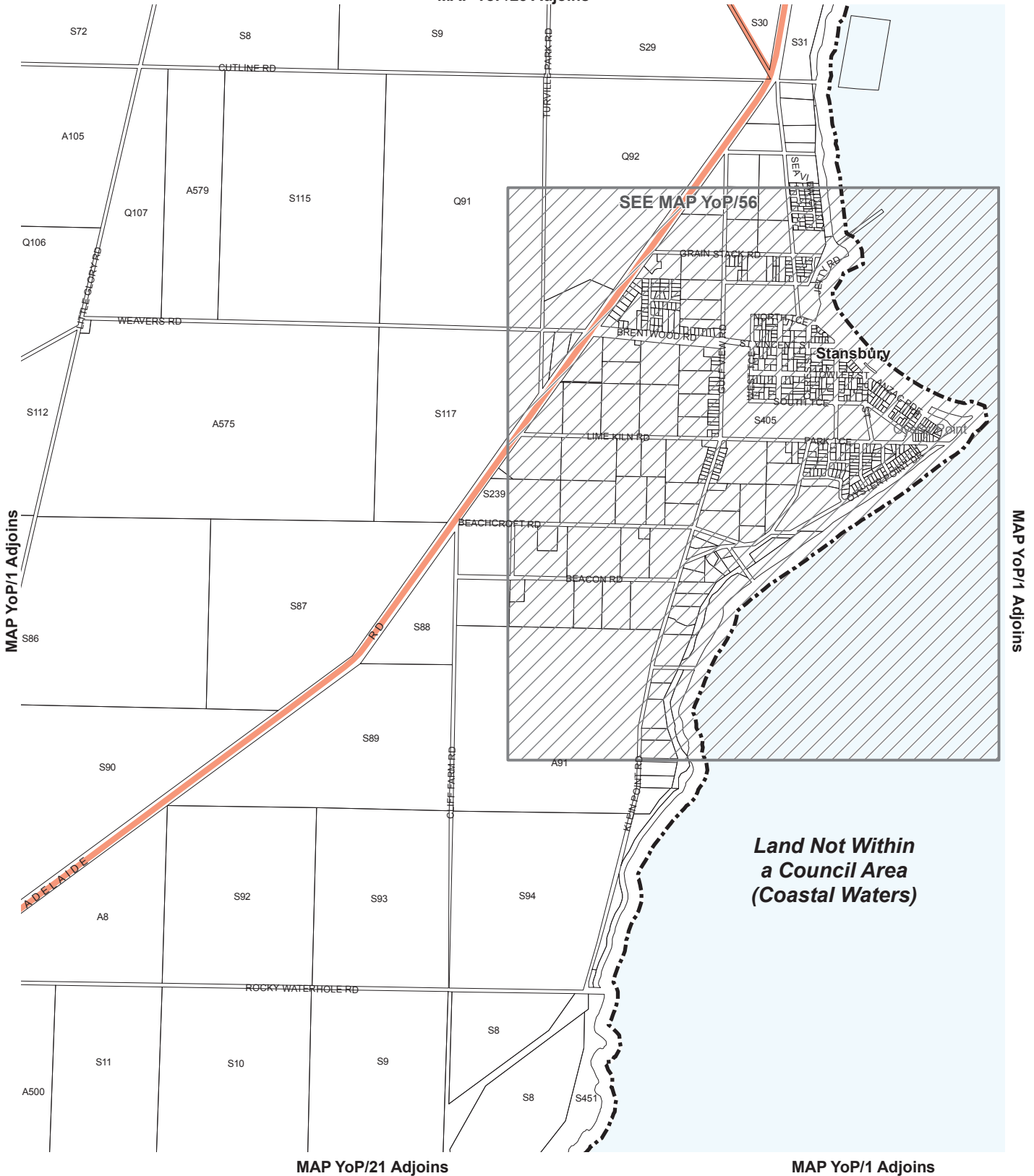
Zone Map YoP/21



Location Map YoP/22

----- Development Plan Boundary

MAP YoP/23 Adjoins



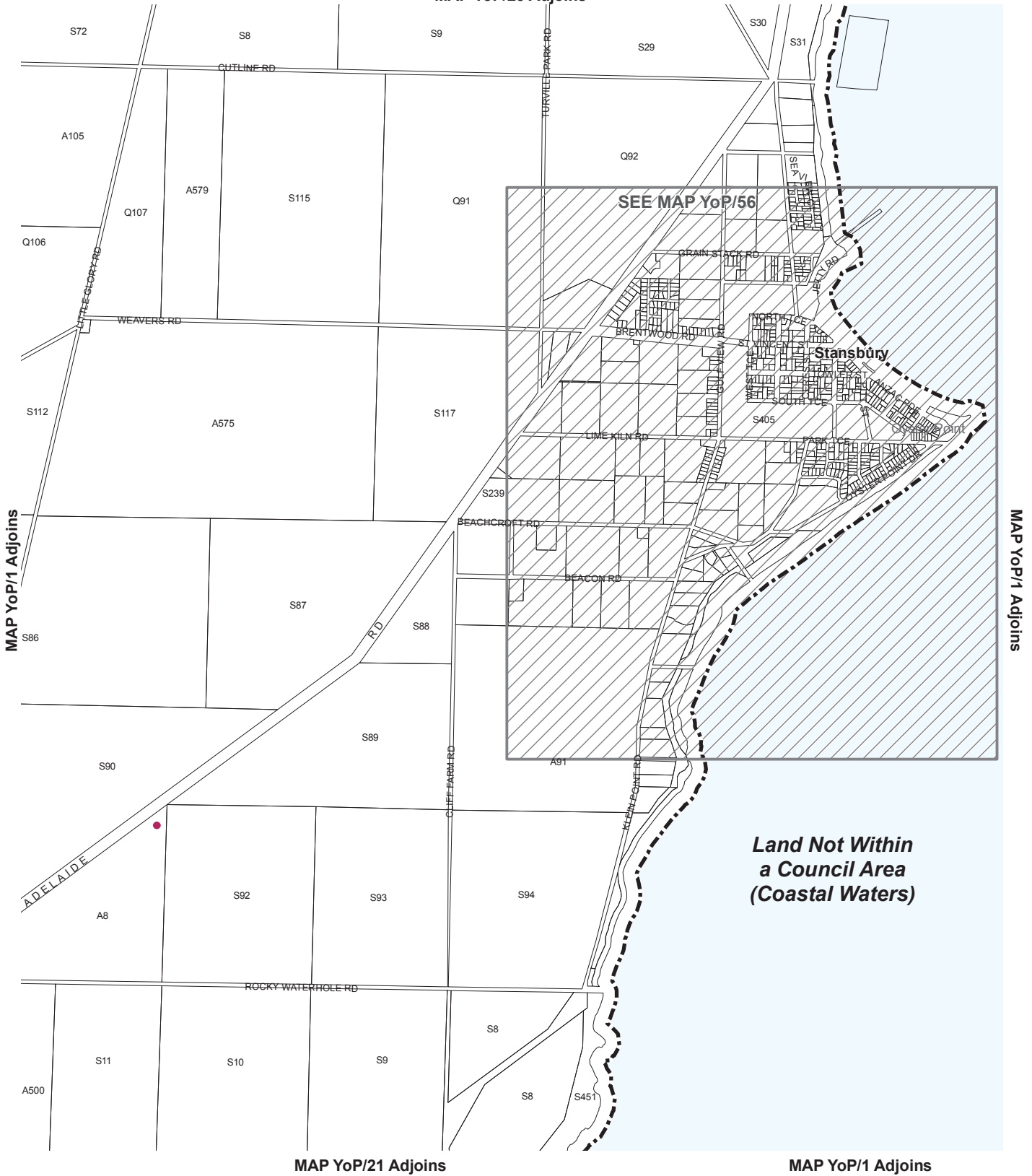
*Land Not Within
a Council Area
(Coastal Waters)*



Overlay Map YoP/22 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/23 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



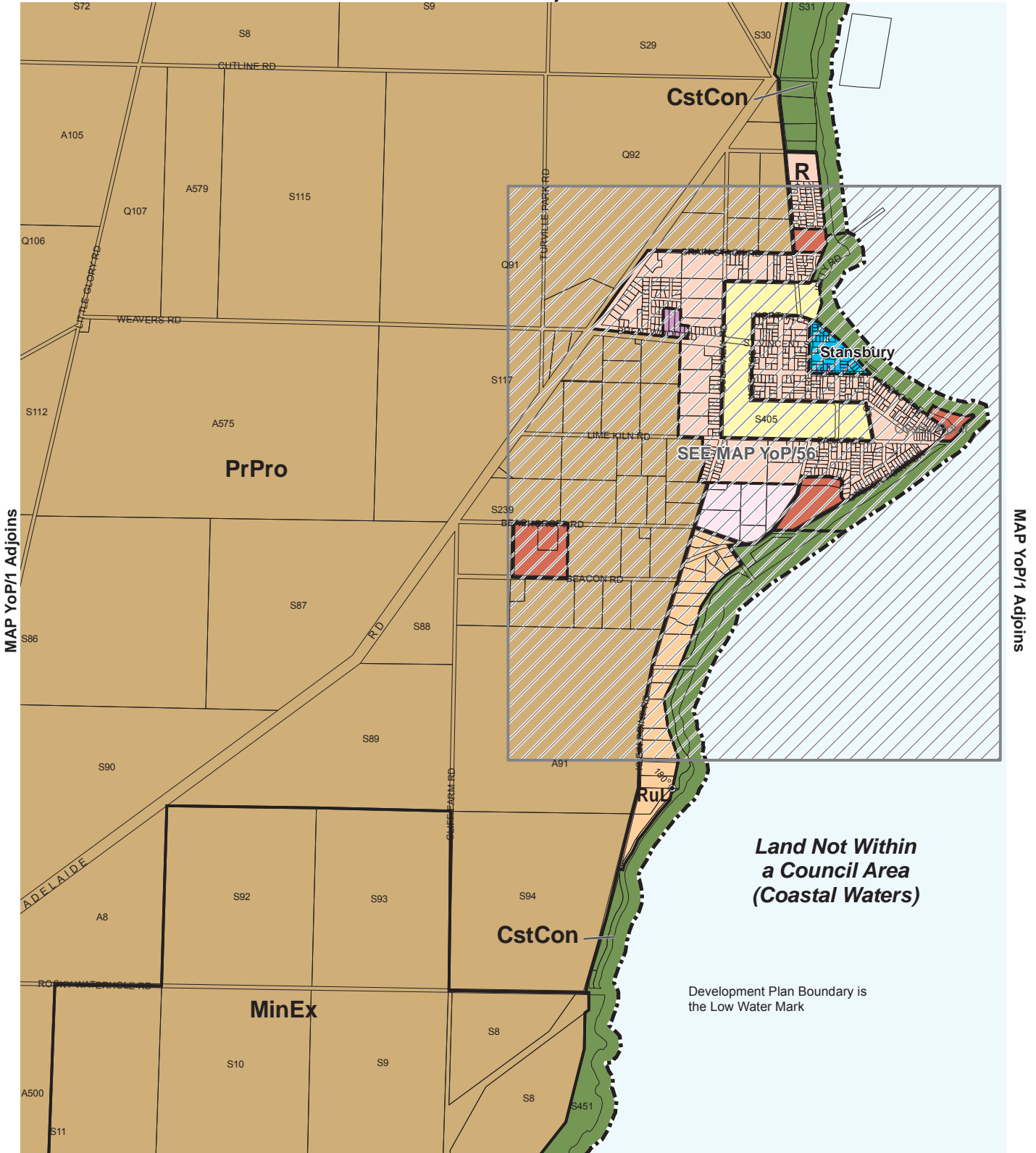
Overlay Map YoP/22

HERITAGE

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/23 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

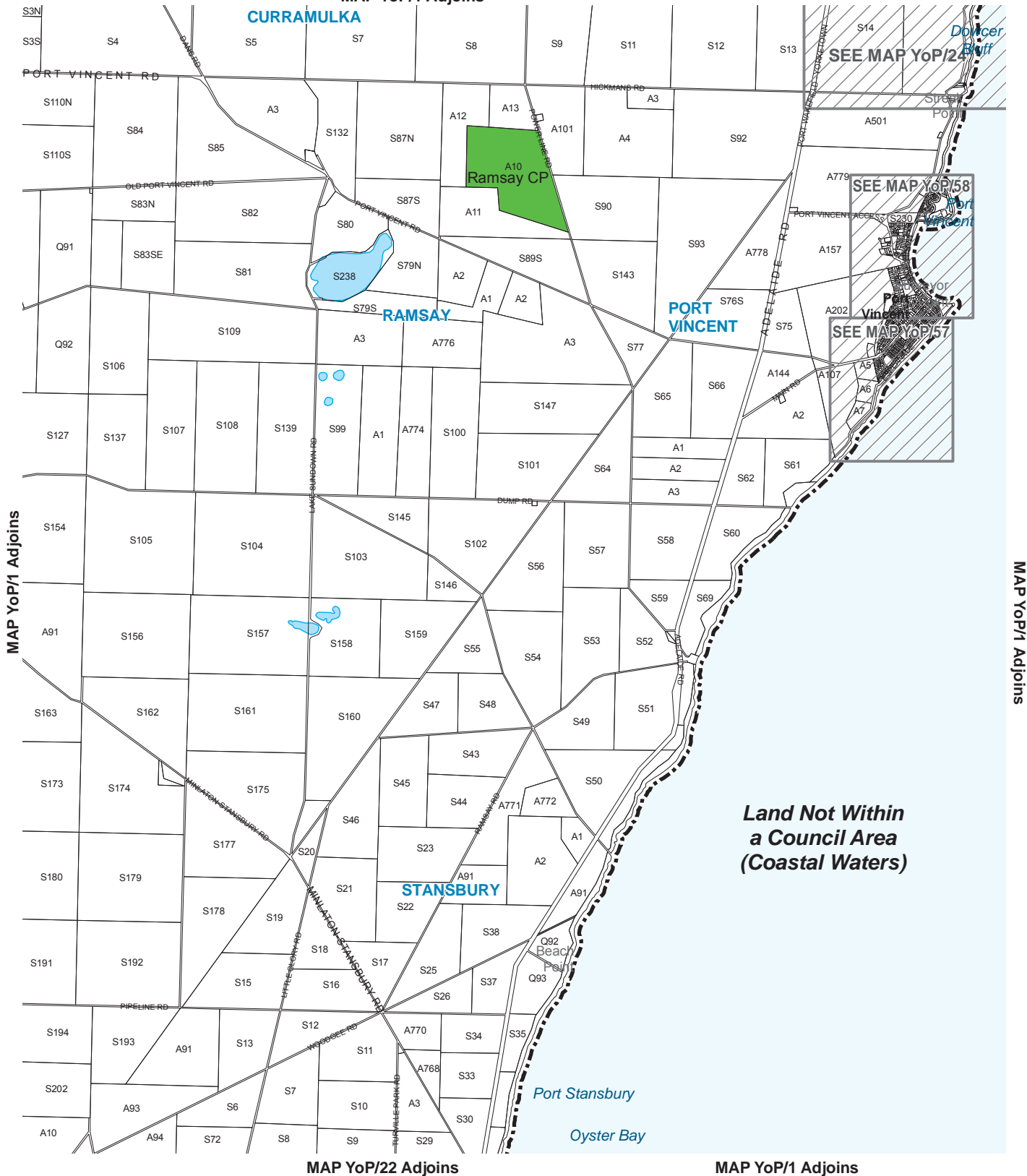


Zones

- CstCon Coastal Conservation
- MinEx Mineral Extraction
- PrPro Primary Production
- R Residential
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/22

MAP YoP/1 Adjoins

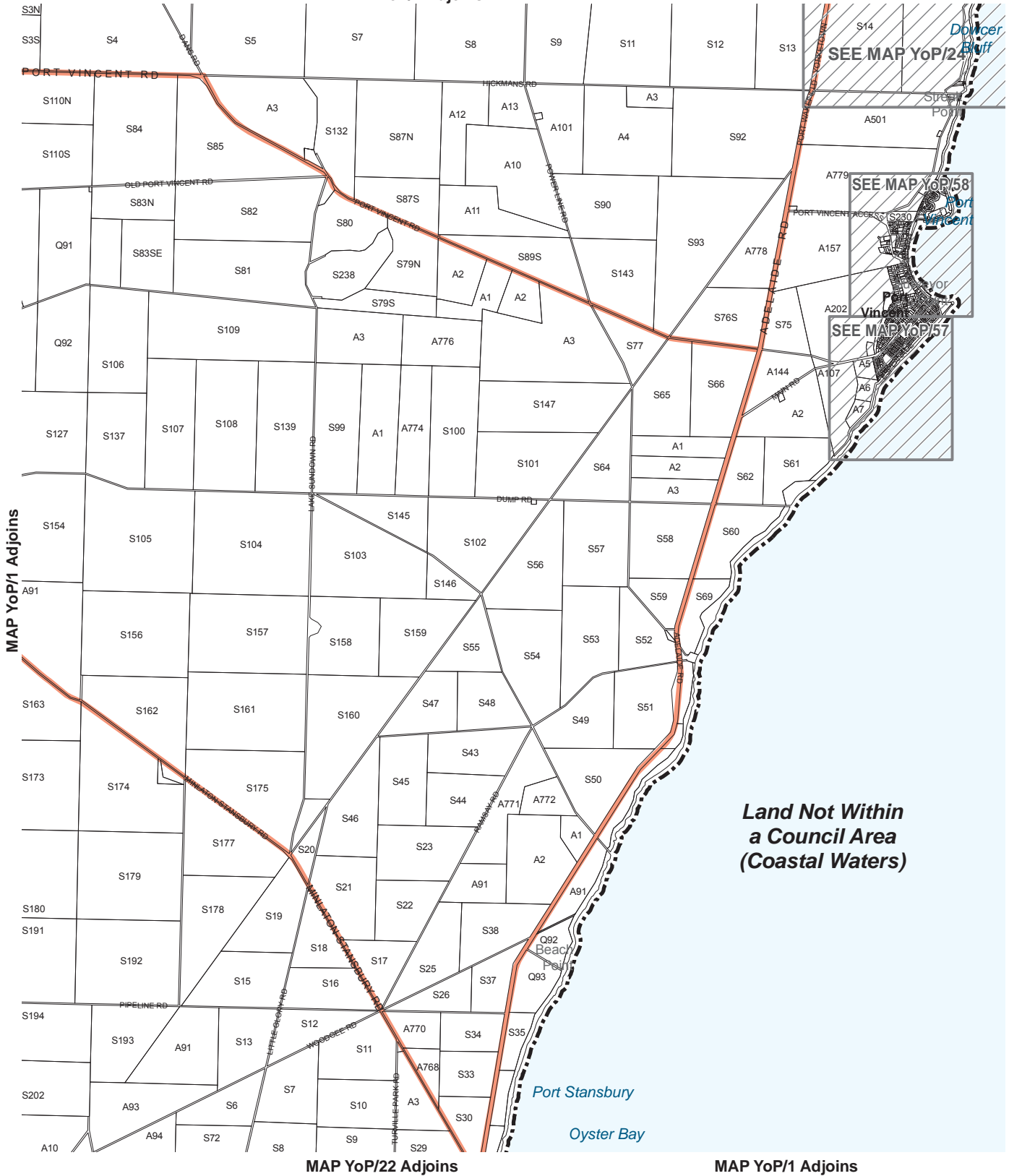


*Land Not Within
a Council Area
(Coastal Waters)*

Location Map YoP/23

- Conservation Park
- Waterbodies
- Development Plan Boundary

MAP YoP/1 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/22 Adjoins

MAP YoP/1 Adjoins

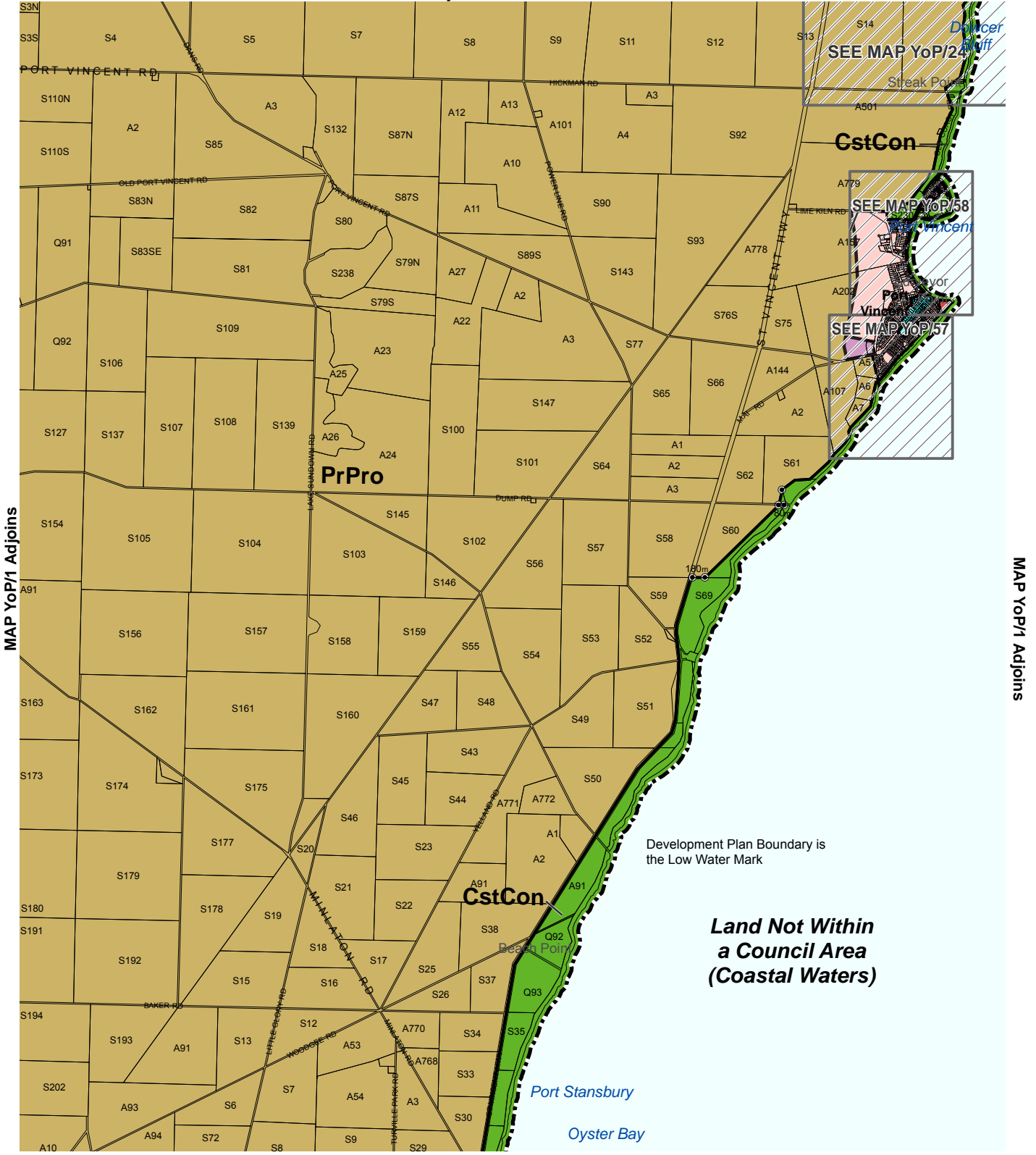


Overlay Map YoP/23

TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/1 Adjoins



MAP YoP/22 Adjoins

MAP YoP/1 Adjoins

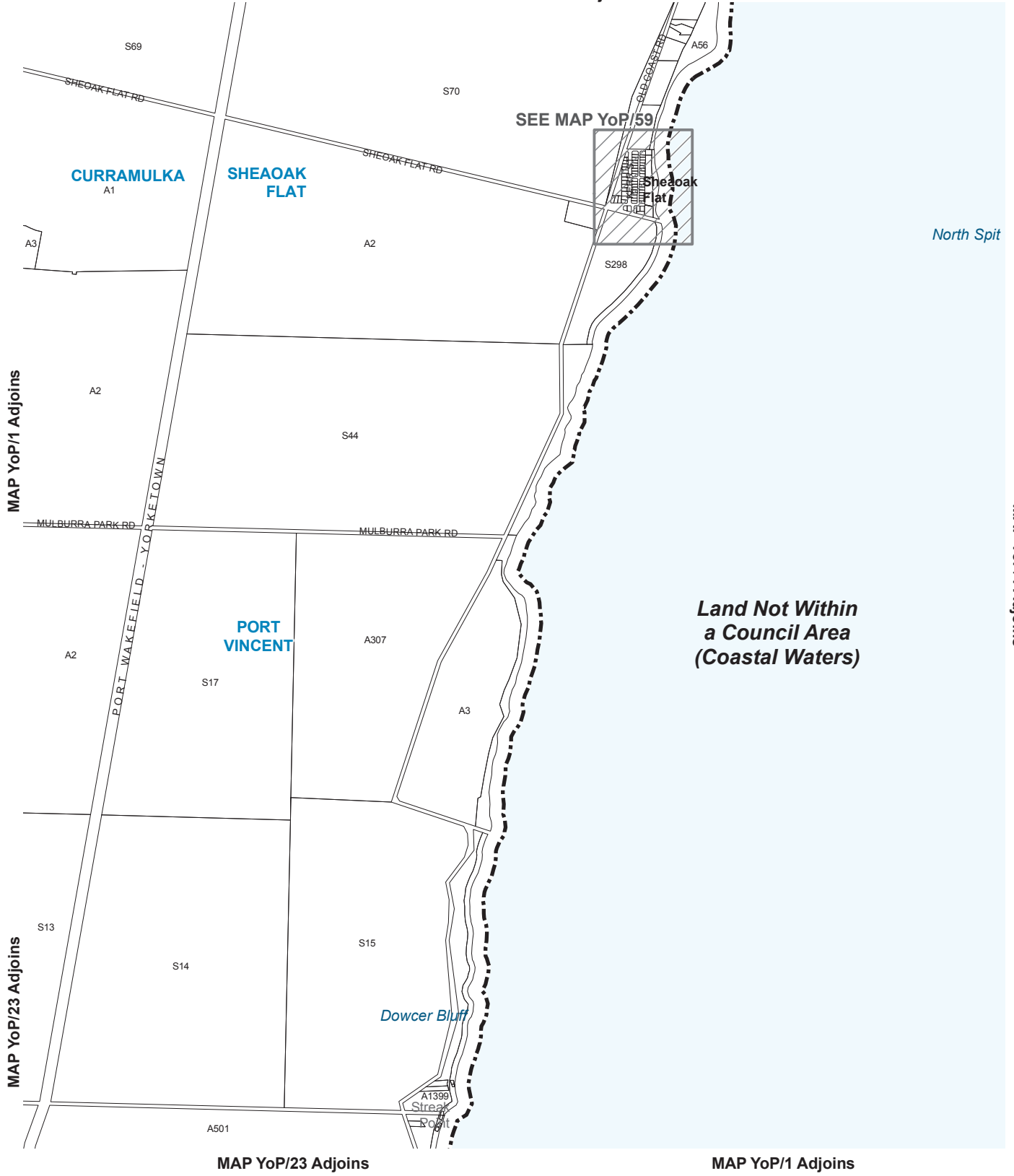
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/23

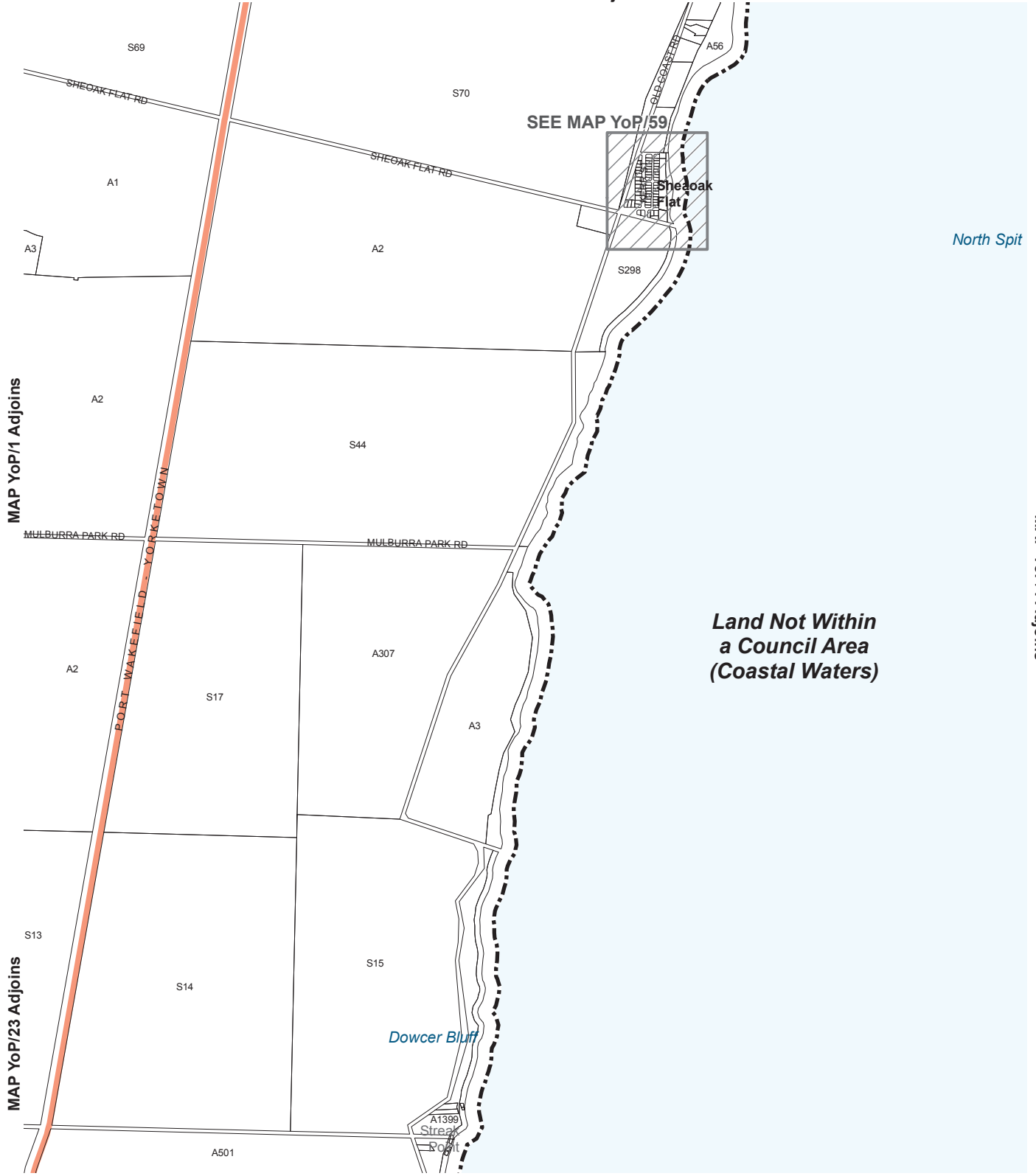
MAP YoP/25 Adjoins



Location Map YoP/24

----- Development Plan Boundary

MAP YoP/25 Adjoins



MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/23 Adjoins

MAP YoP/23 Adjoins

MAP YoP/1 Adjoins

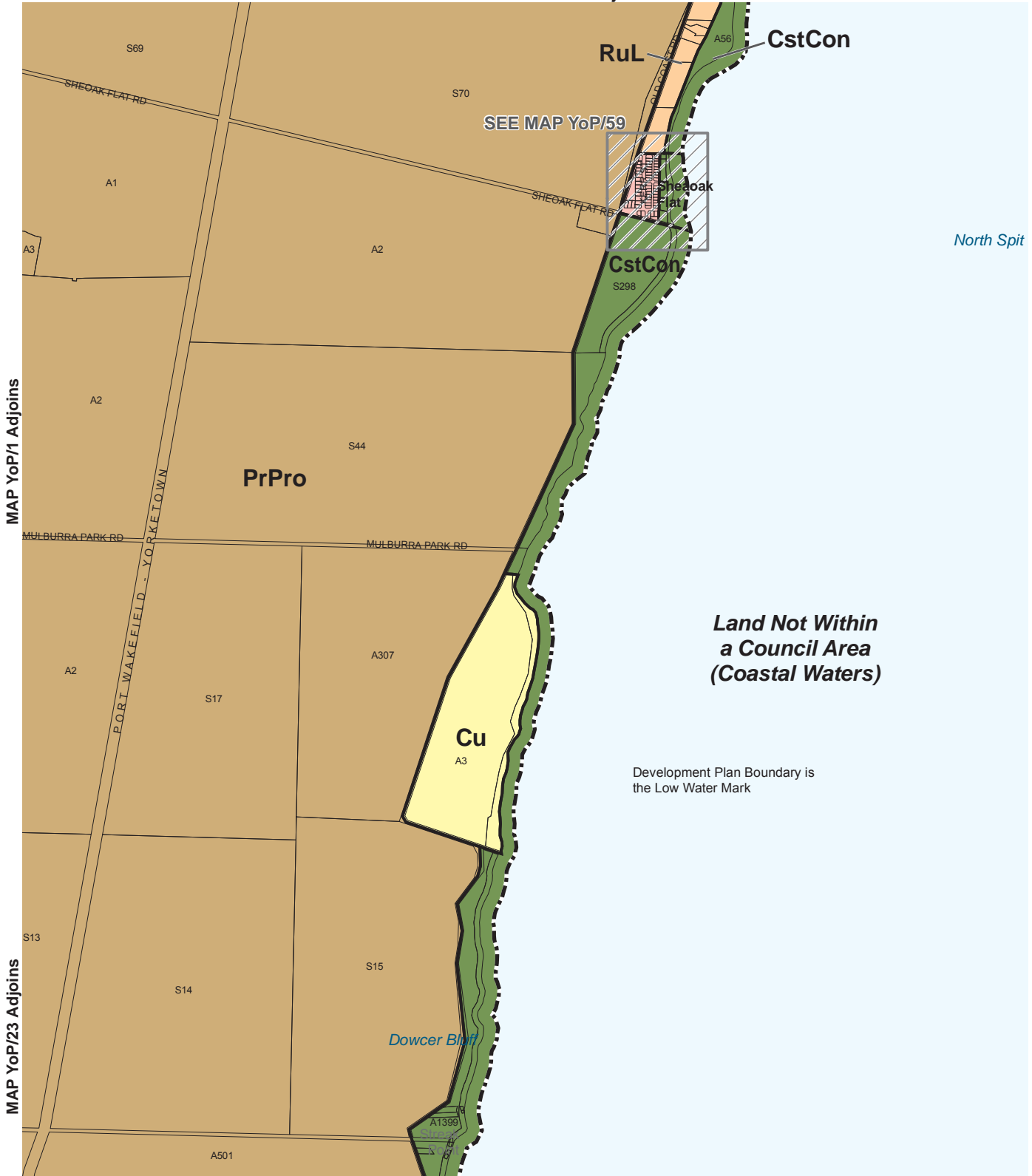


Overlay Map YoP/24

TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/25 Adjoins



MAP YoP/23 Adjoins

MAP YoP/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- Cu Community
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/24

MAP YoP/25 Adjoins

SEE MAP YoP/59



**Land Not Within
a Council Area
(Coastal Waters)**

Development Plan Boundary is
the Low Water Mark

MAP YoP/23 Adjoins

MAP YoP/1 Adjoins

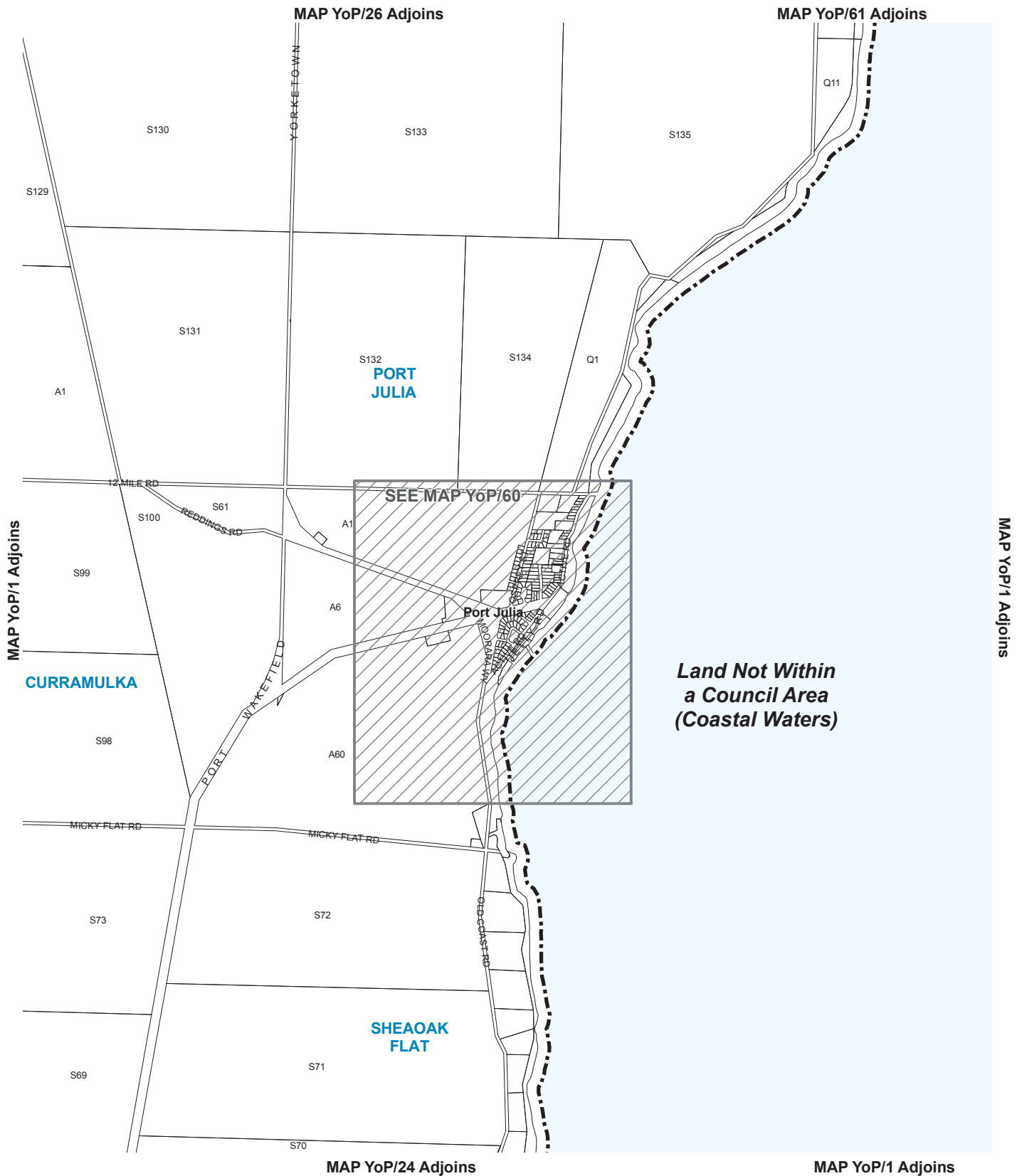
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision



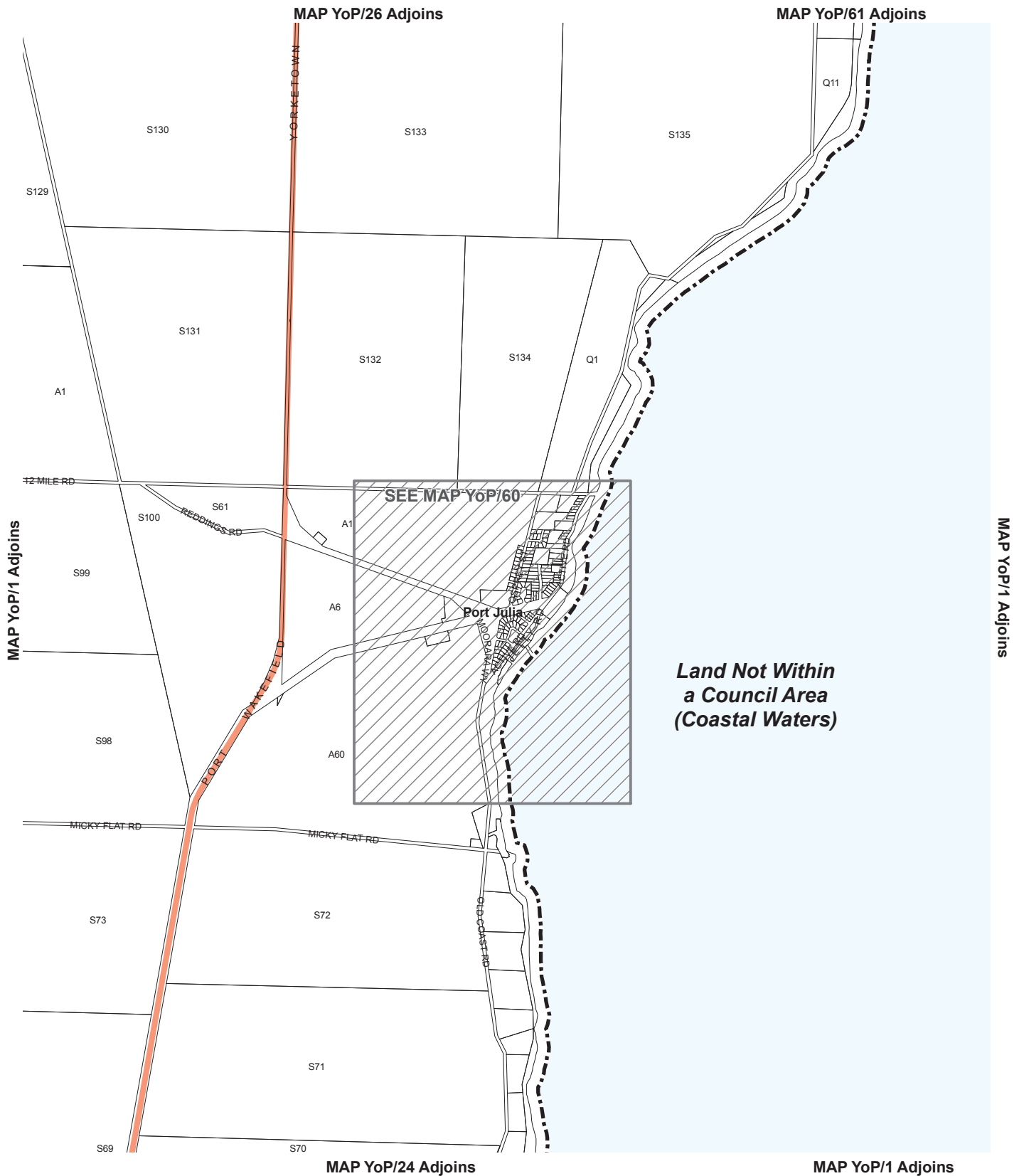
Precinct Map YoP/24

- Precinct Boundary
- Development Plan Boundary



Location Map YoP/25

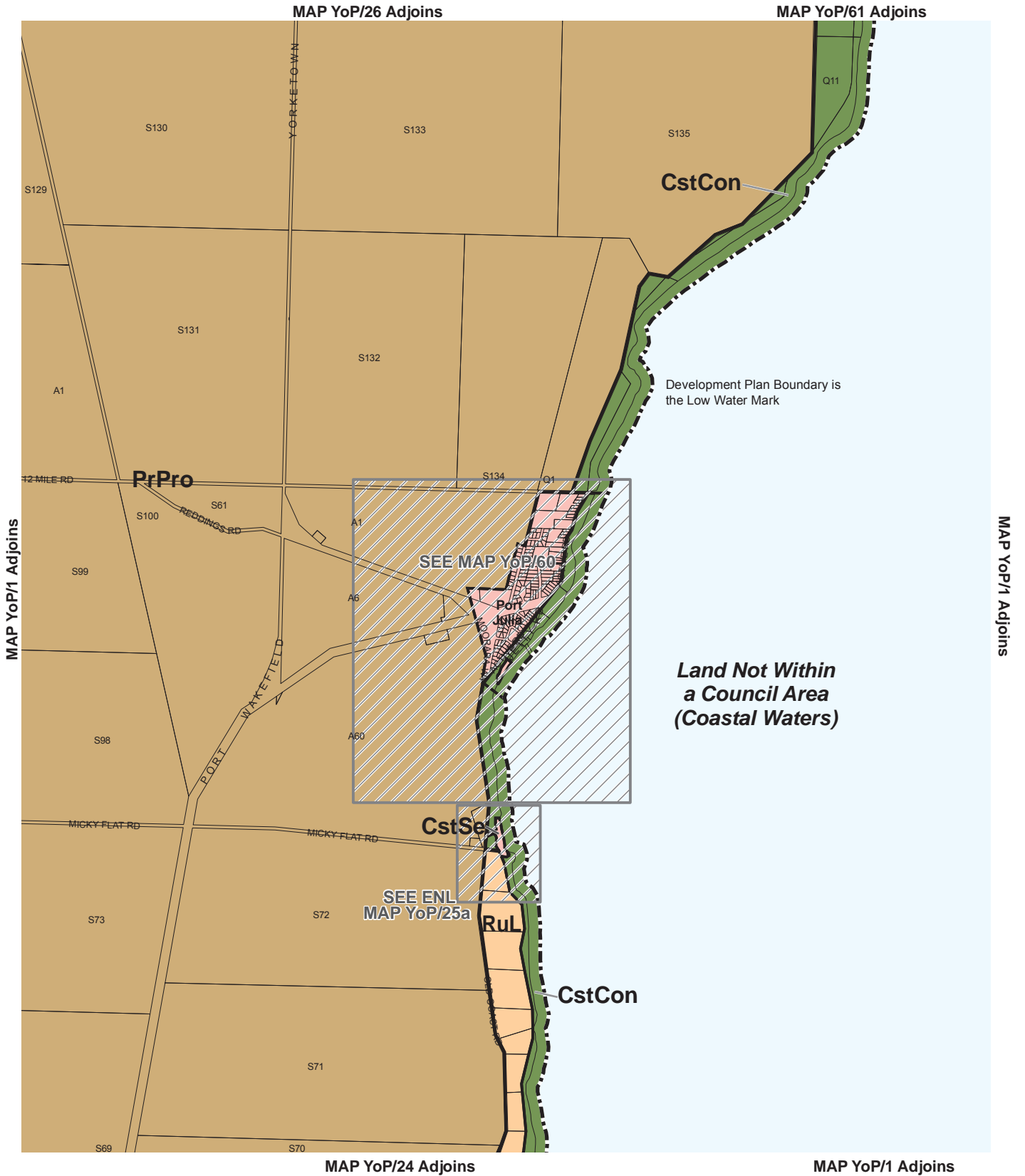
----- Development Plan Boundary



- Secondary Arterial Roads
- Development Plan Boundary

Overlay Map YoP/25

TRANSPORT

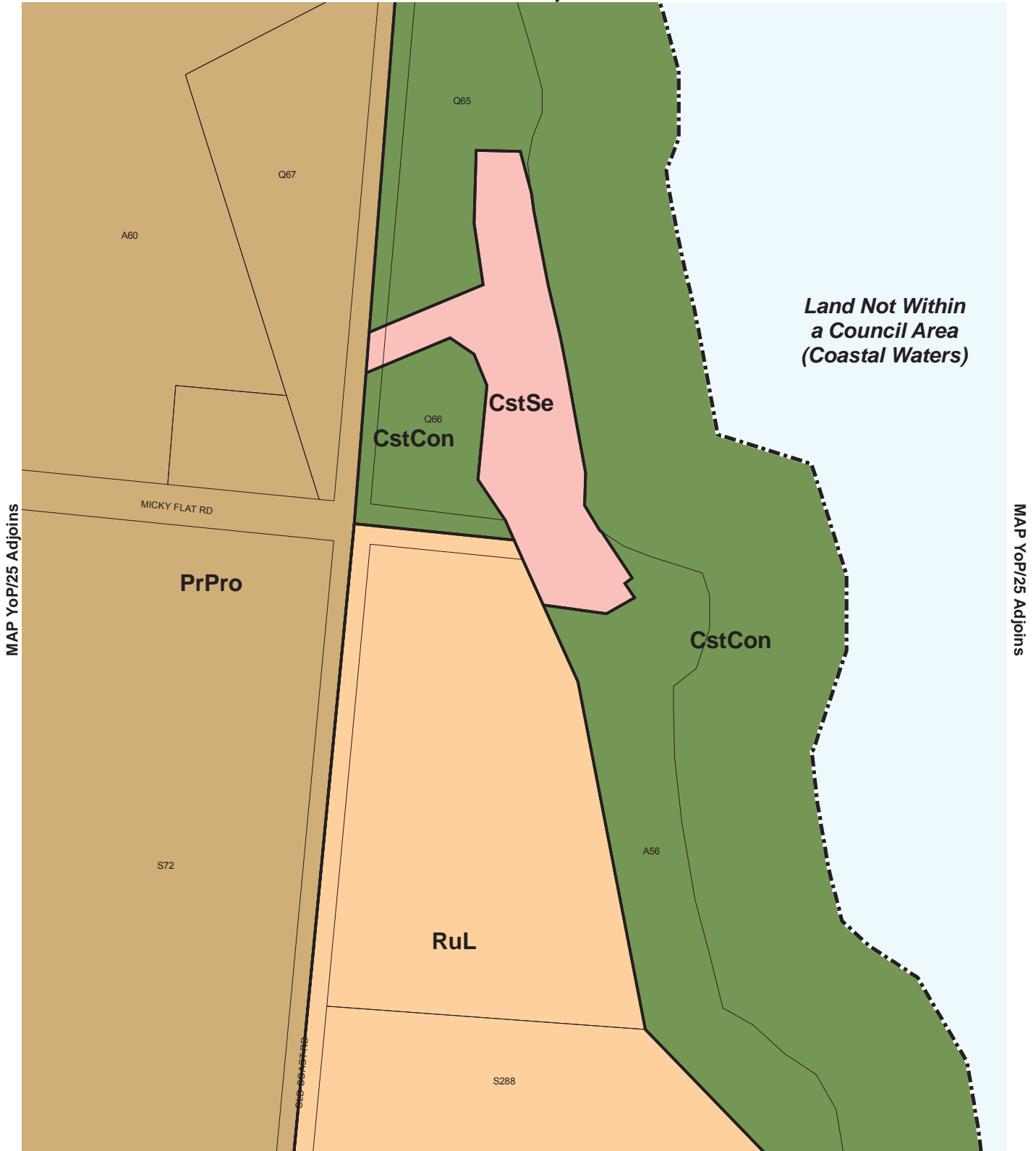


Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/25

MAP YoP/60 Adjoins



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

MAP YoP/25 Adjoins



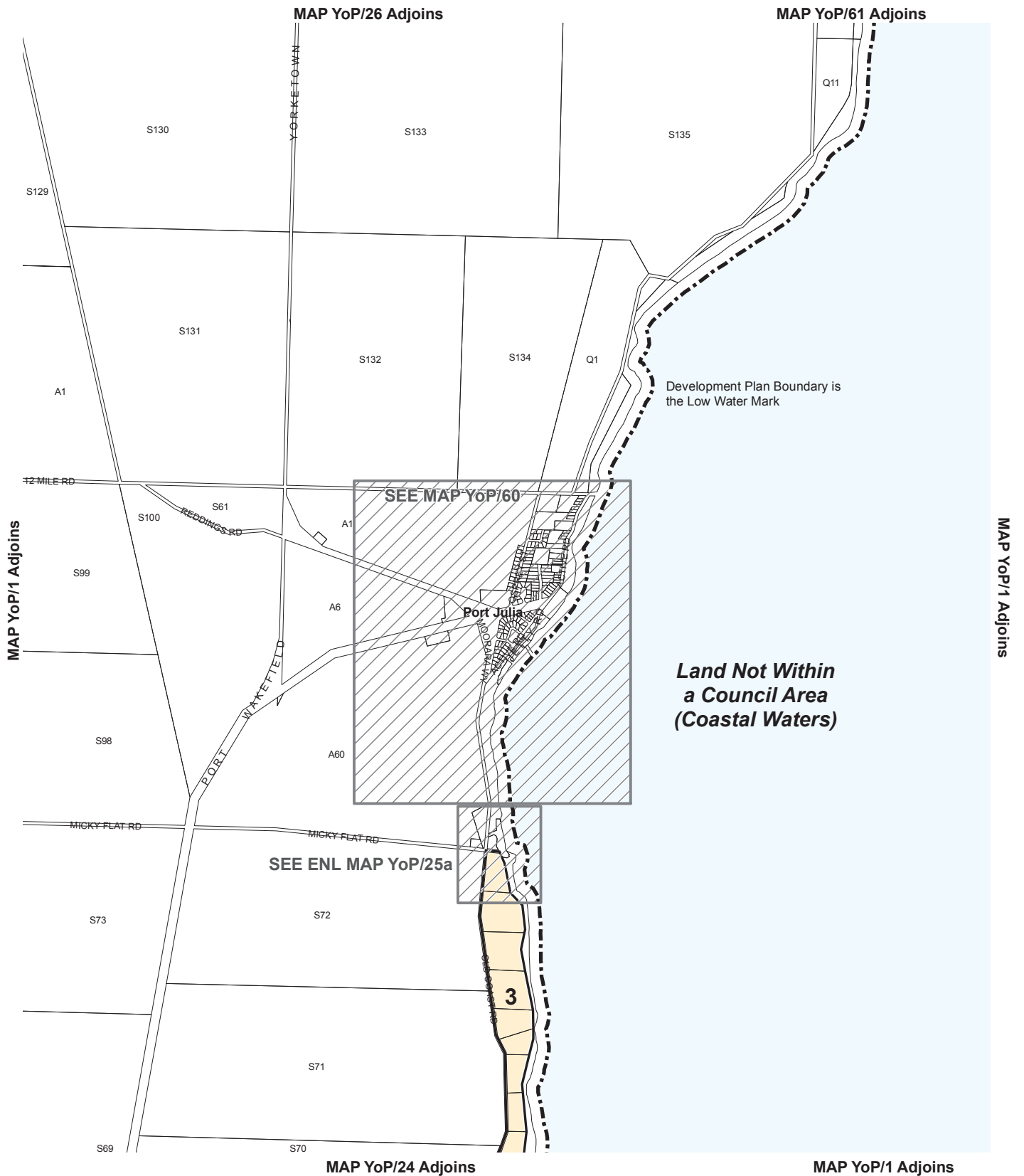
PORT JULIA / THE DIPPER

Zone Map YoP/25a ENLARGEMENT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary



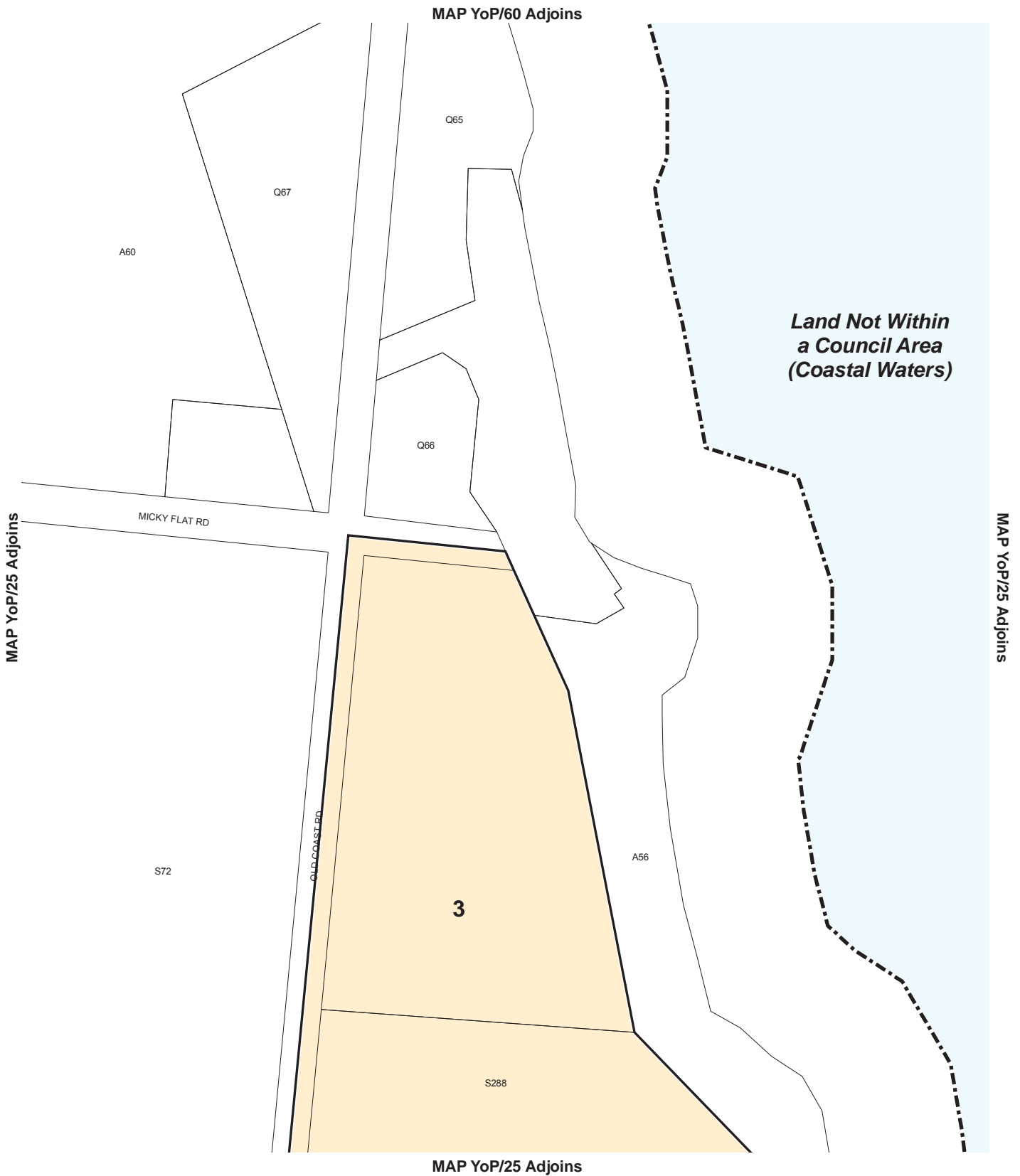
See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision



Precinct Map YoP/25

- Precinct Boundary
- Development Plan Boundary





See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision

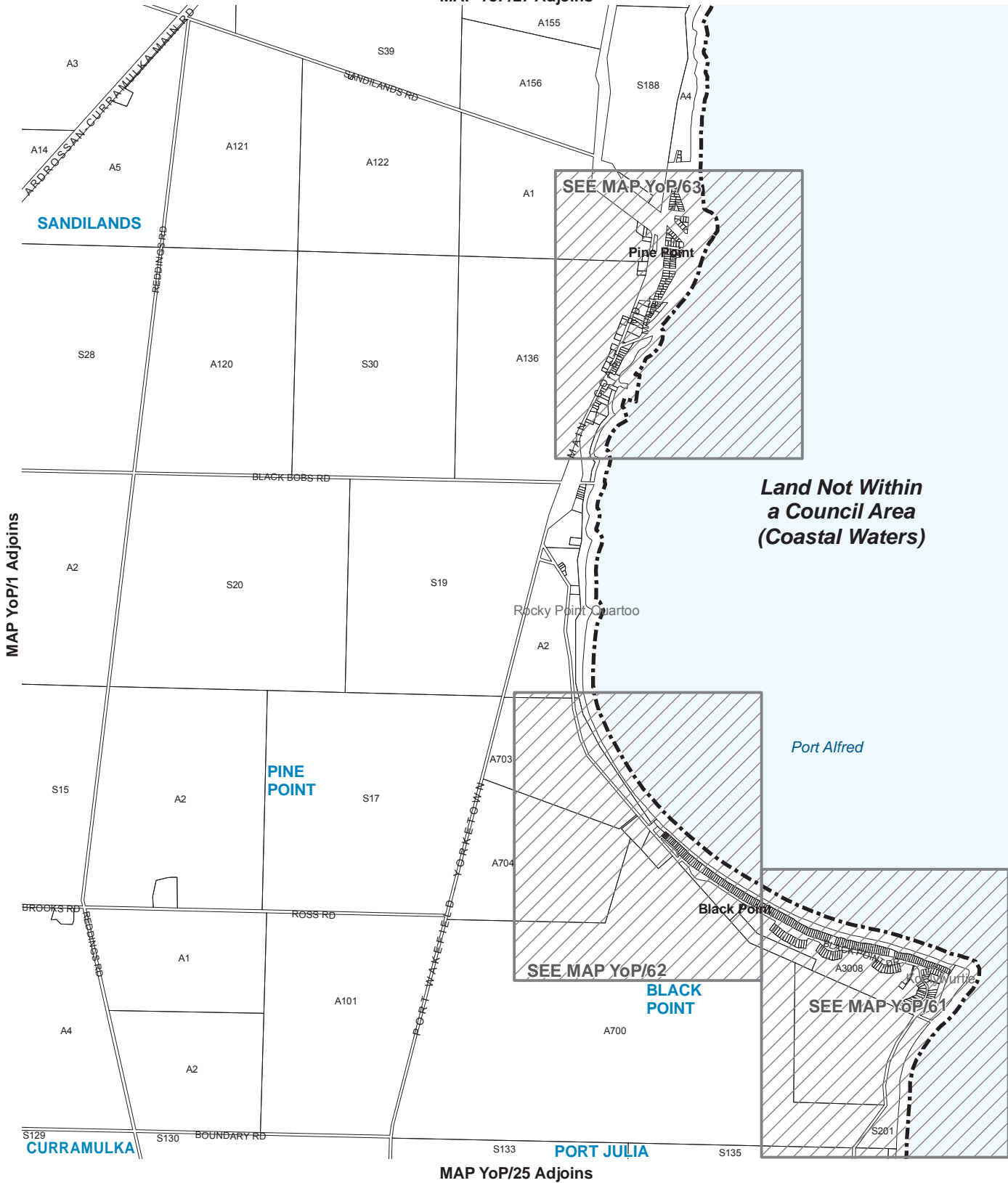


PORT JULIA / THE DIPPER

Precinct Map YoP/25a ENLARGEMENT

-  Precinct Boundary
-  Development Plan Boundary

MAP YoP/27 Adjoins



Land Not Within a Council Area (Coastal Waters)

Port Alfred

BLACK POINT

SEE MAP YoP/62

SEE MAP YoP/61

MAP YoP/25 Adjoins

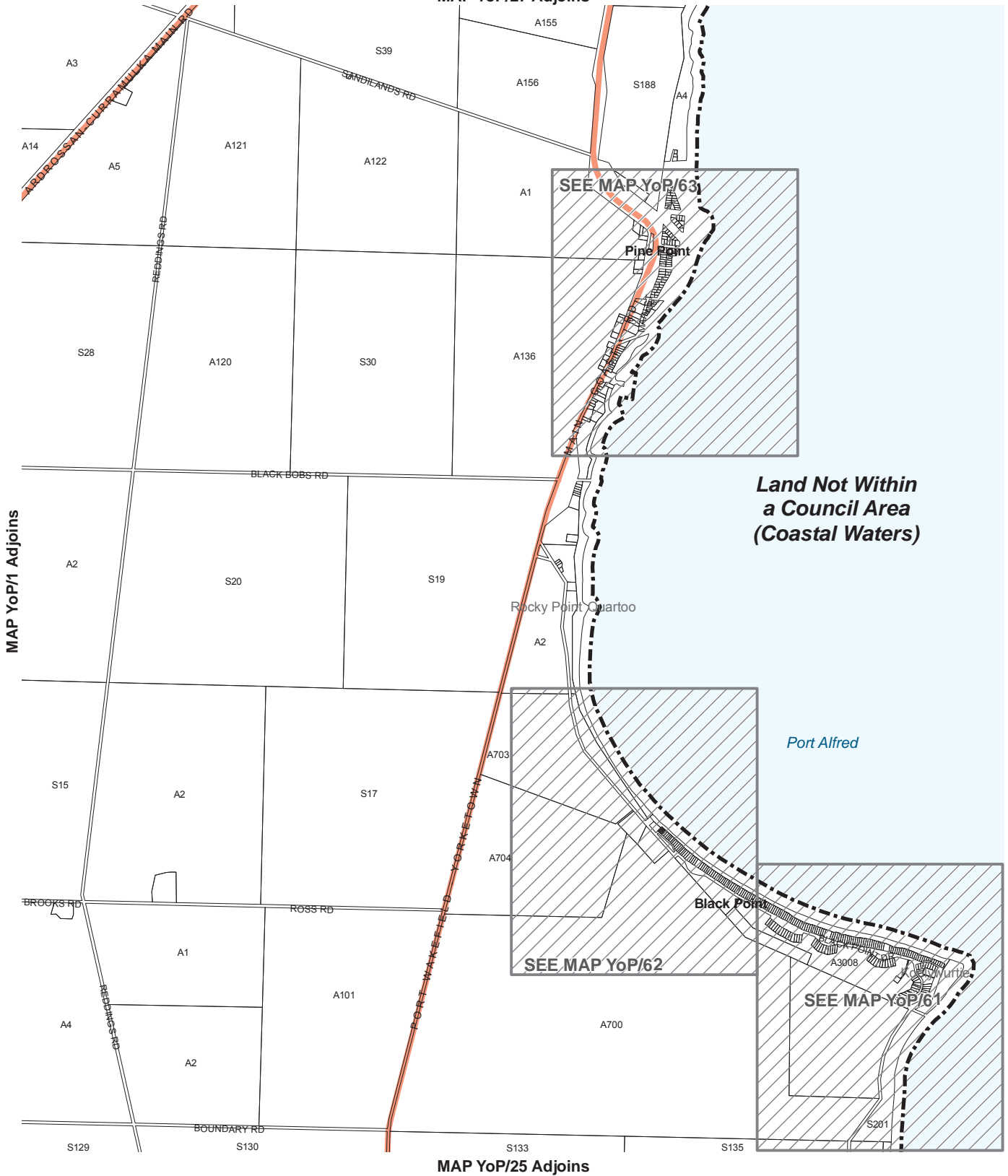
PORT JULIA



Location Map YoP/26

----- Development Plan Boundary

MAP YoP/27 Adjoins



Land Not Within a Council Area (Coastal Waters)

Port Alfred

Black Point

SEE MAP YoP/61

SEE MAP YoP/62

SEE MAP YoP/63

Pipe Point

Rocky Point Quarters

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/25 Adjoins

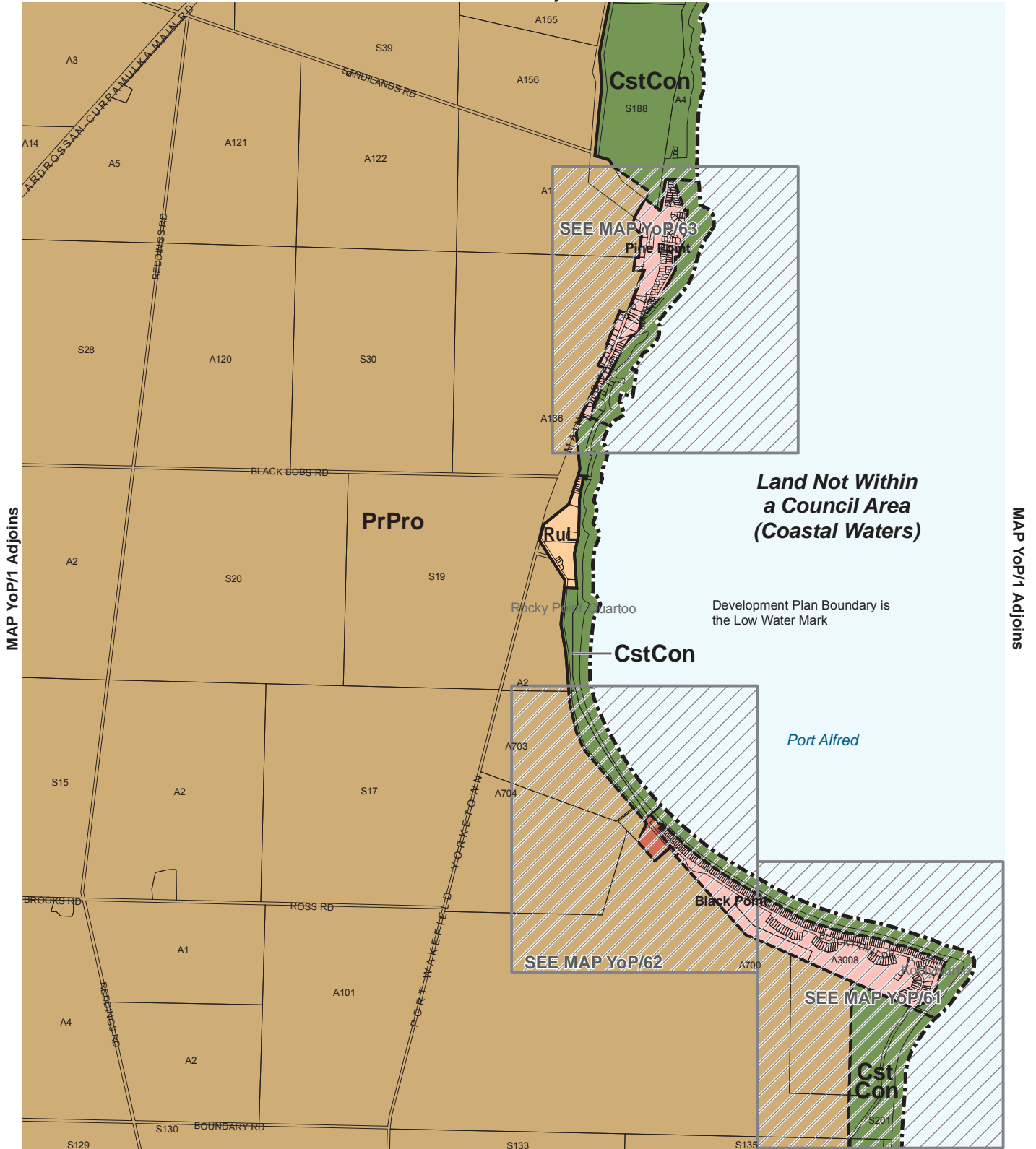


Overlay Map YoP/26 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP YoP/27 Adjoins



MAP YoP/25 Adjoins

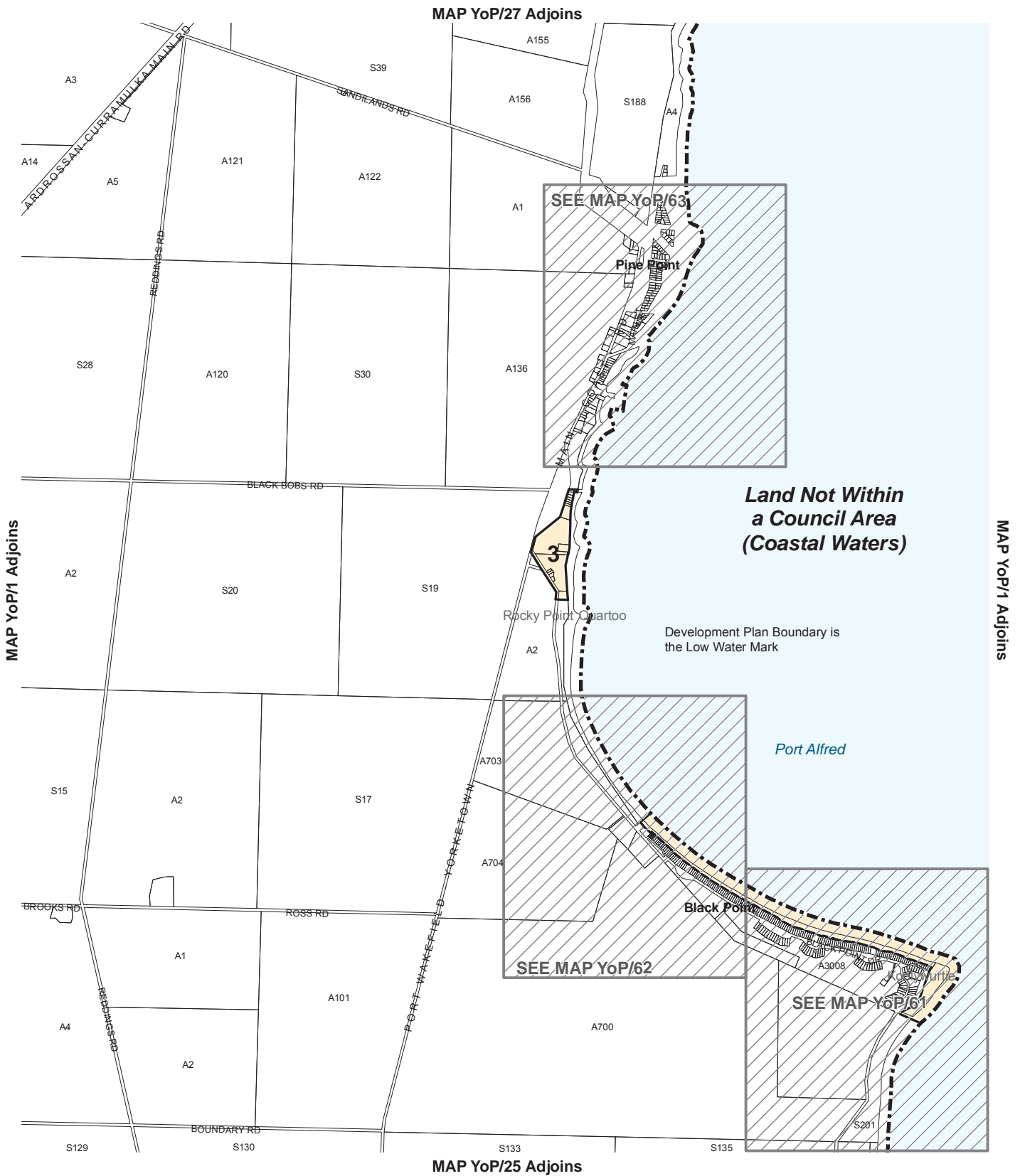
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- PrPro Primary Production
- RuL Rural Living
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/26



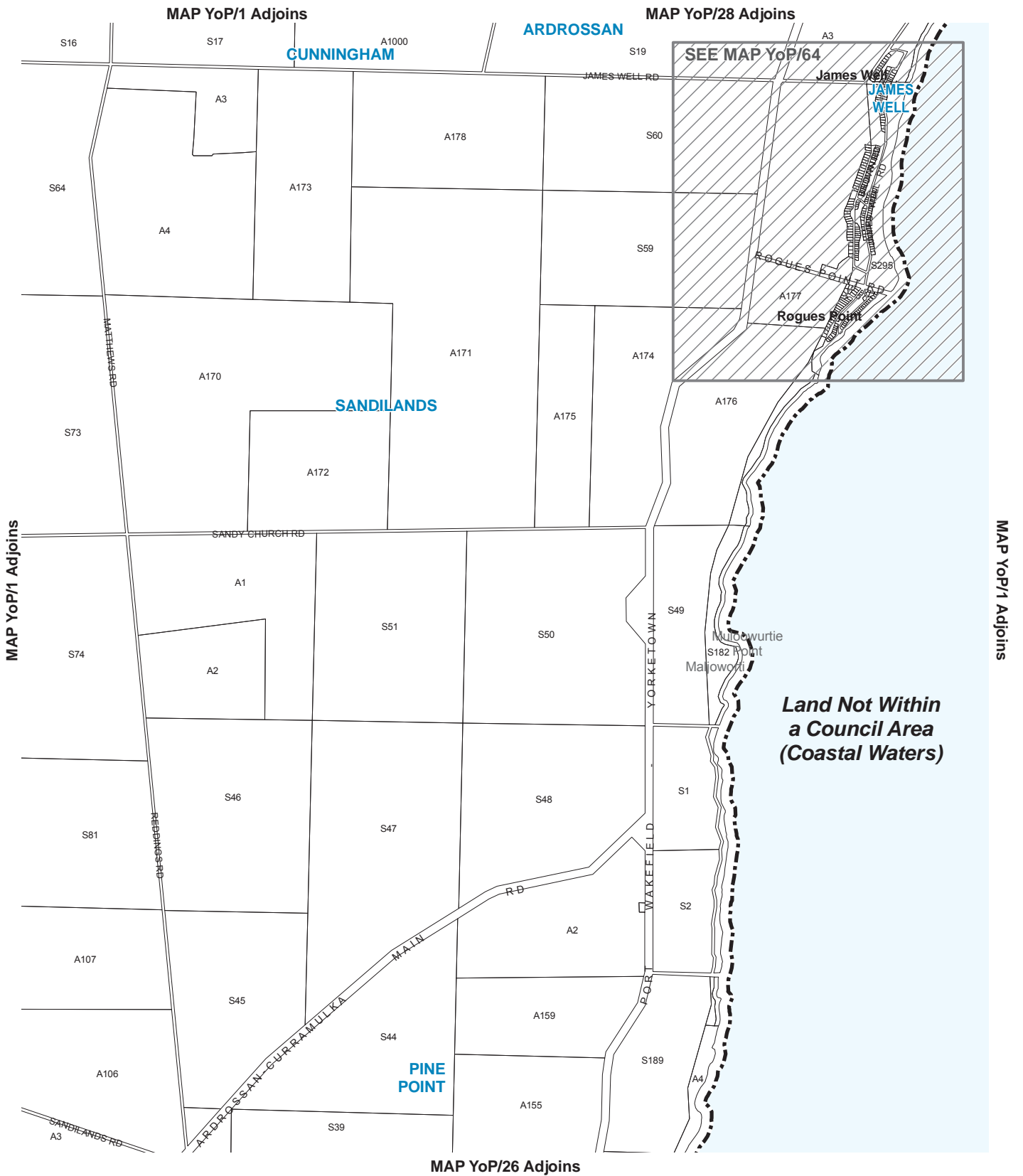
See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision



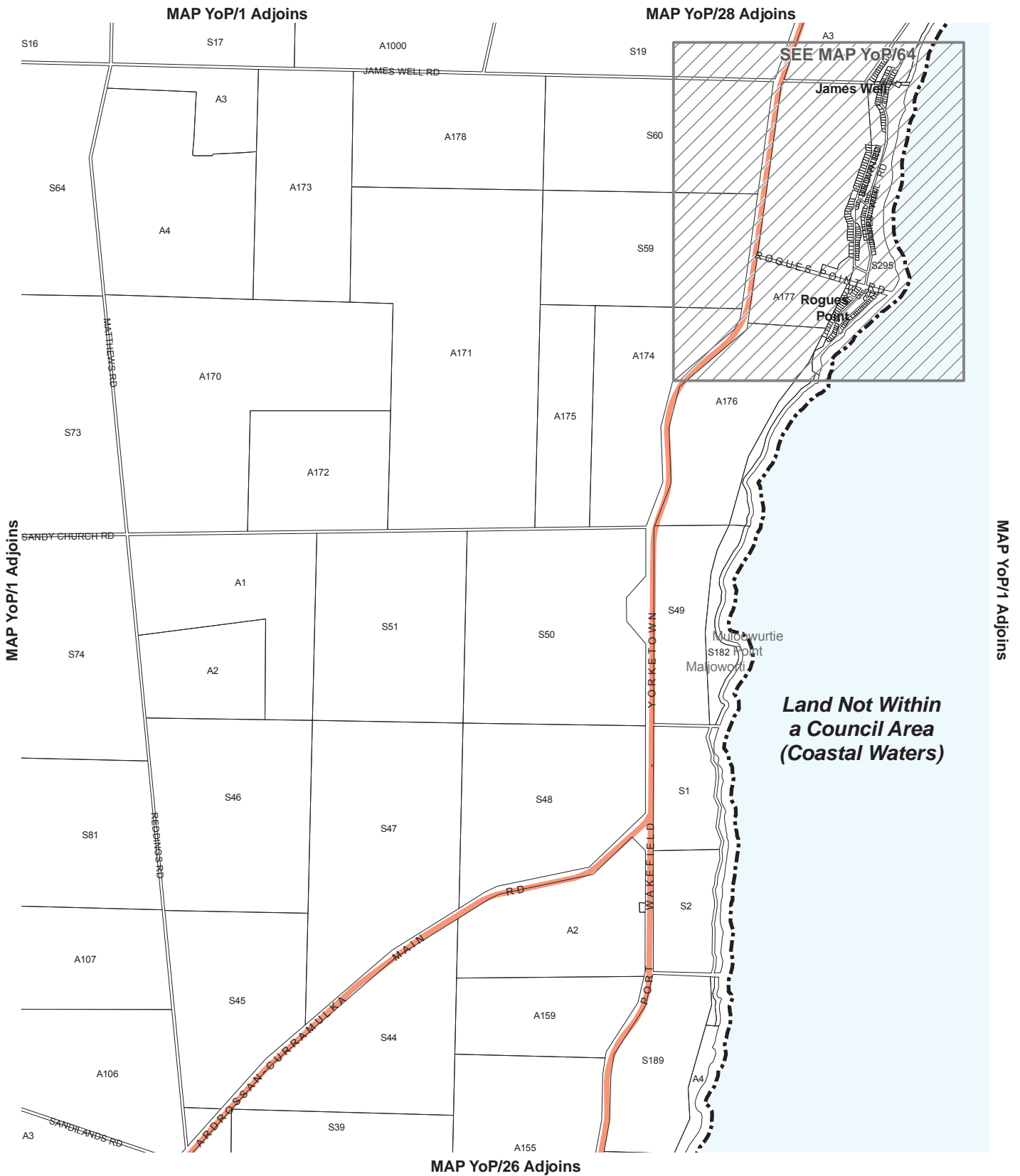
Precinct Map YoP/26

- Precinct Boundary
- Development Plan Boundary



Location Map YoP/27

----- Development Plan Boundary



*Land Not Within
a Council Area
(Coastal Waters)*



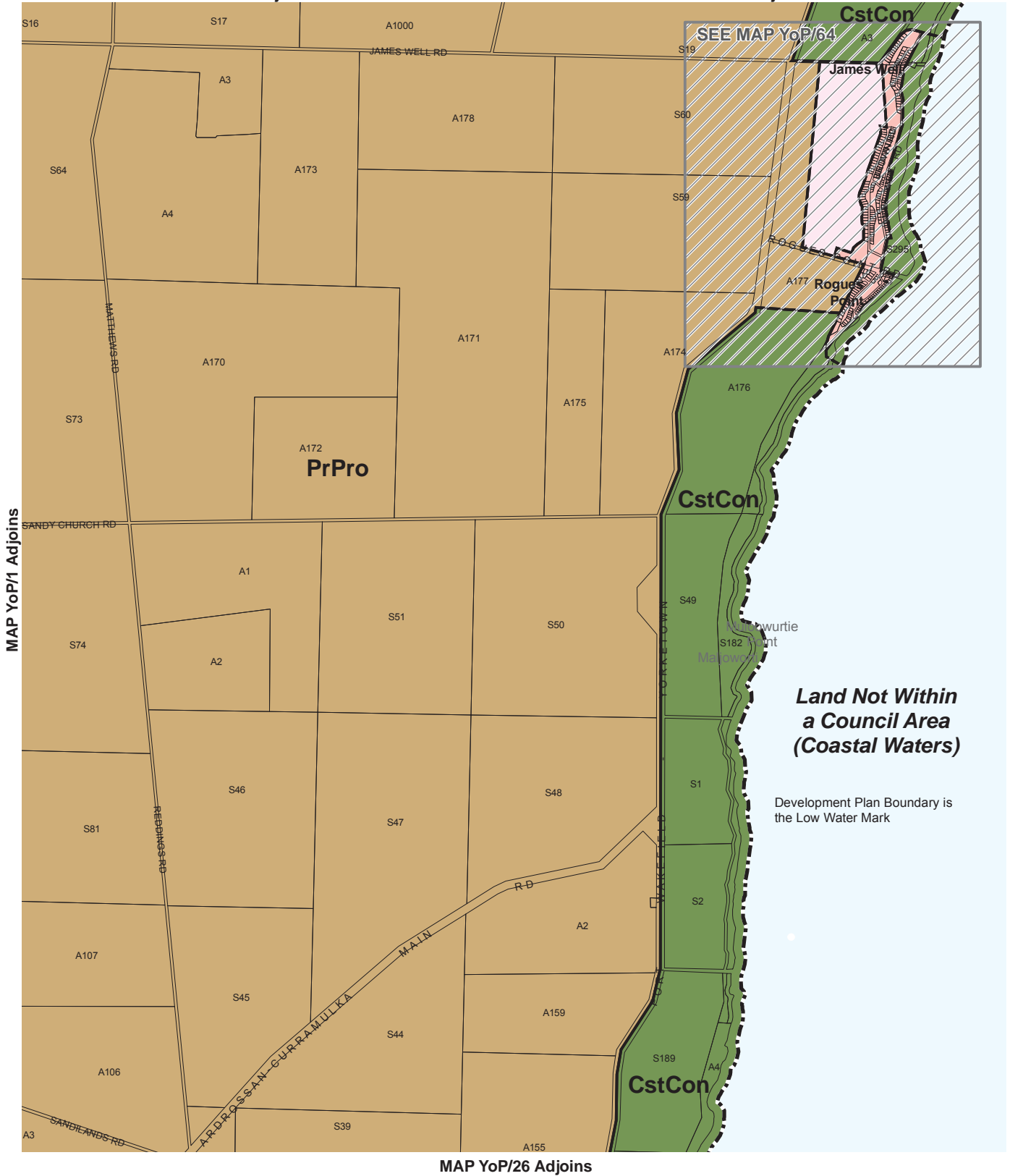
Overlay Map YoP/27 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/28 Adjoins



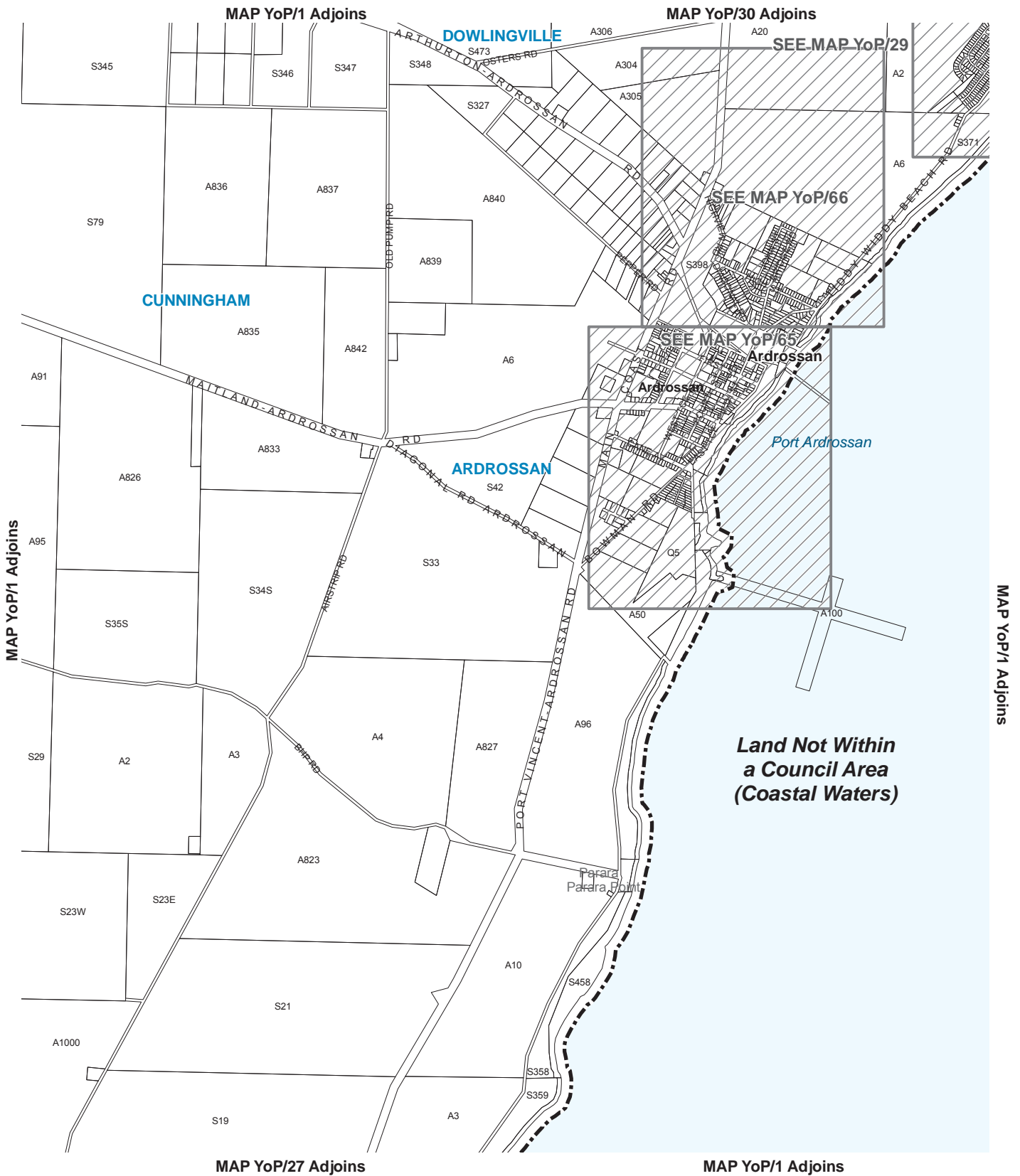
MAP YoP/26 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



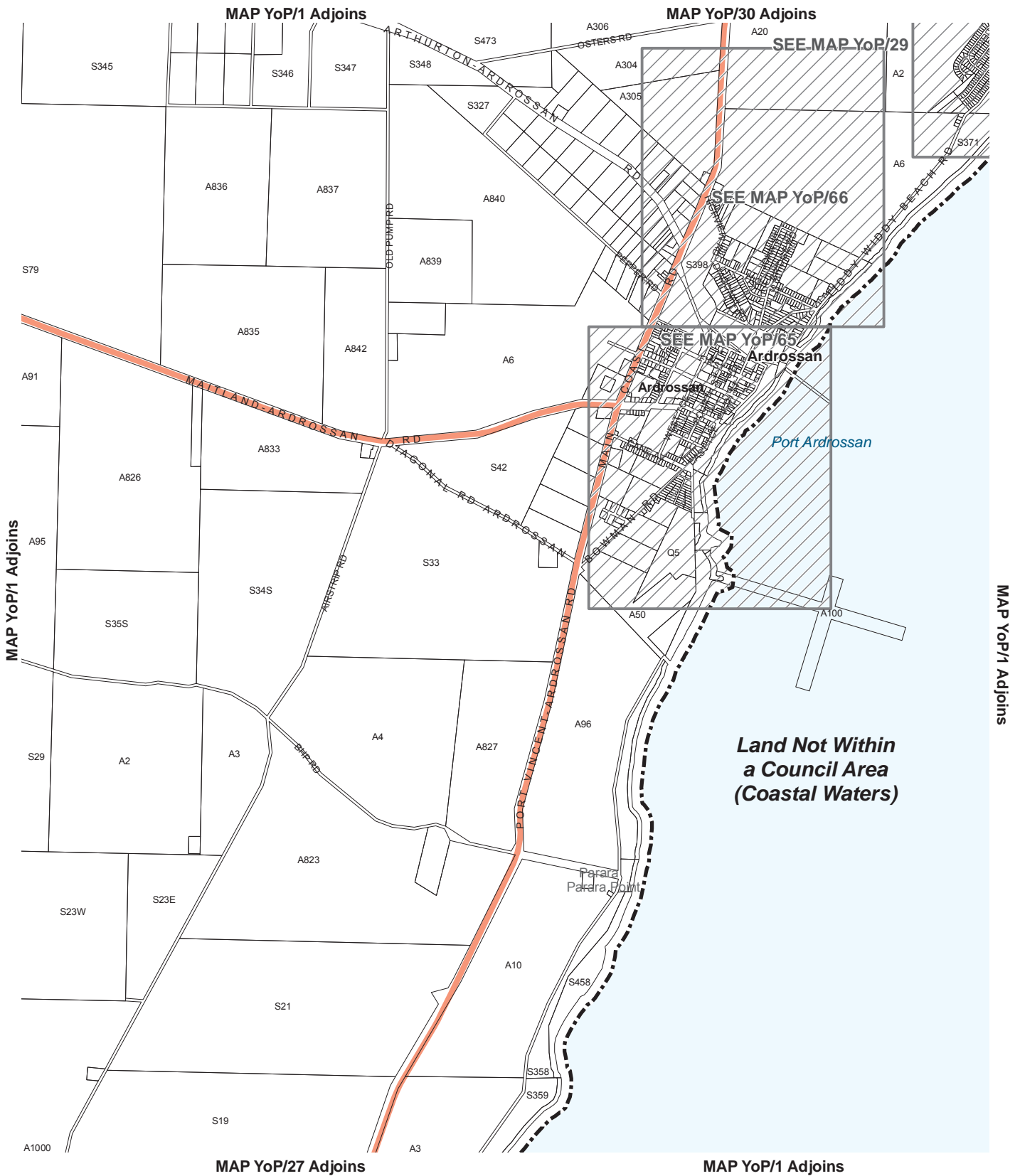
- Zones**
- CstCon Coastal Conservation
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/27



Location Map YoP/28

----- Development Plan Boundary



**Land Not Within
a Council Area
(Coastal Waters)**

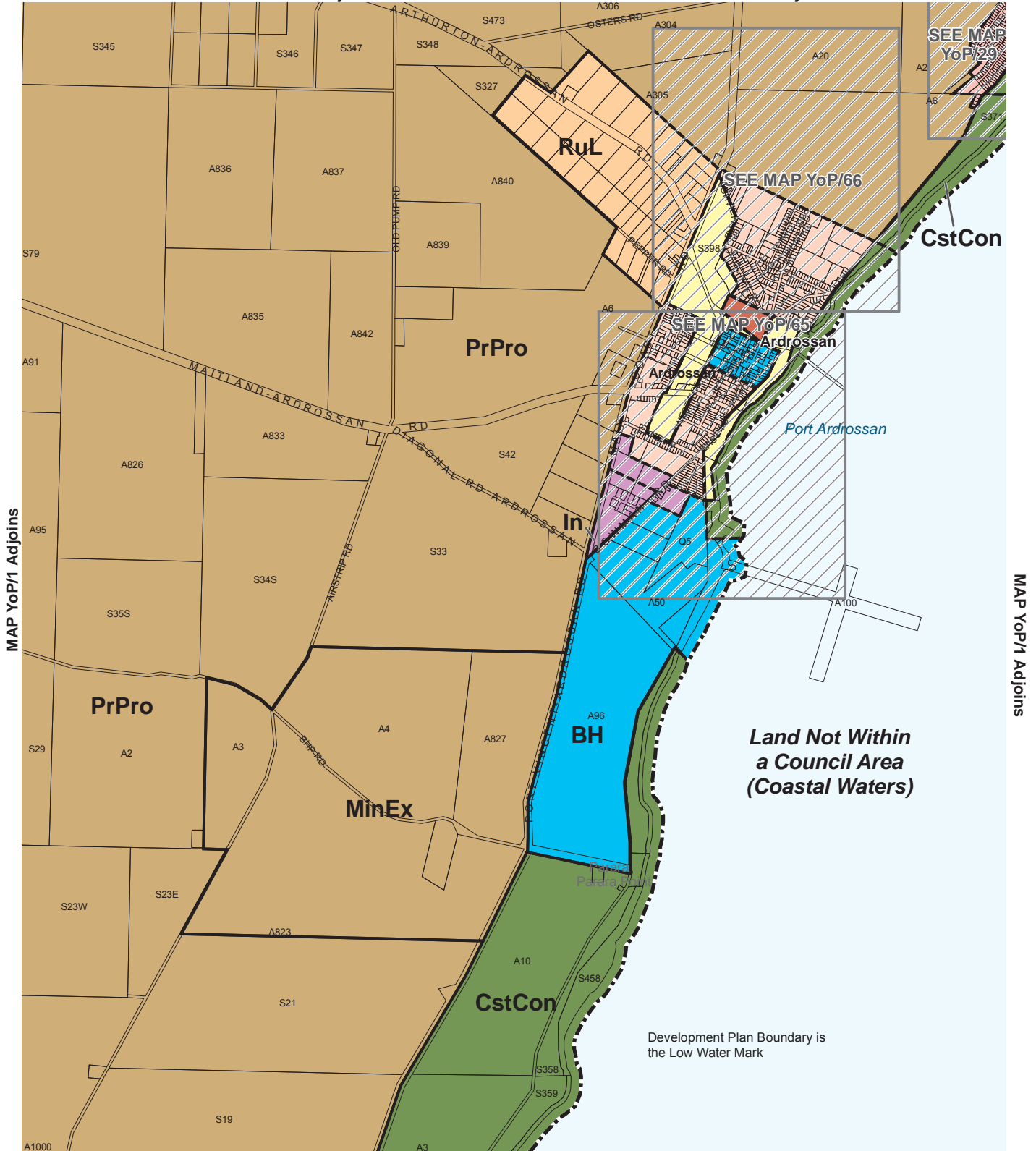


Overlay Map YoP/28 TRANSPORT

- Secondary Arterial Roads
- - - - - Development Plan Boundary

MAP YoP/1 Adjoins

MAP YoP/30 Adjoins



MAP YoP/27 Adjoins

MAP YoP/1 Adjoins

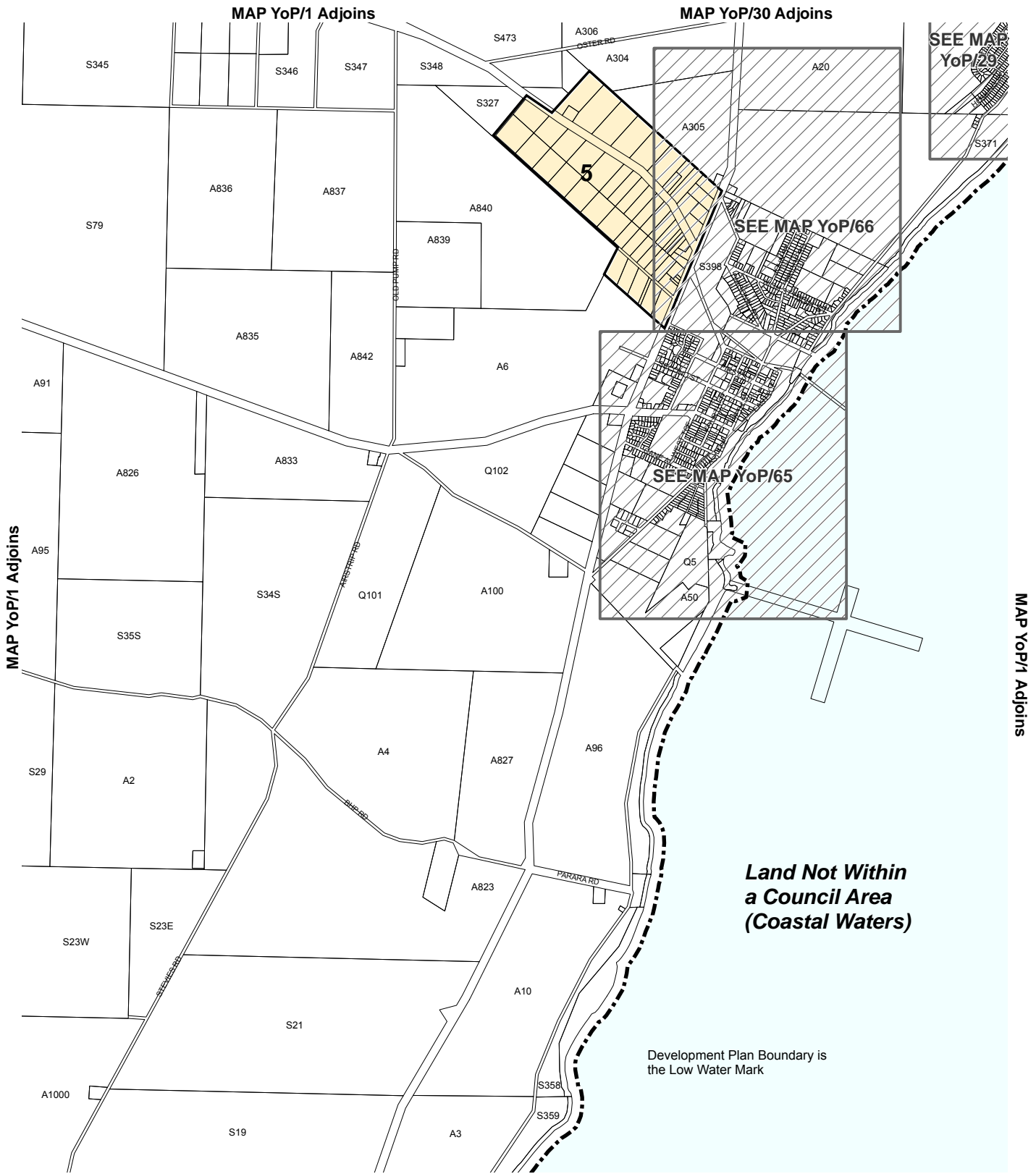
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Zones

- BH** Bulk Handling
- CstCon** Coastal Conservation
- In** Industry
- MinEx** Mineral Extraction
- PrPro** Primary Production
- RuL** Rural Living
- Zone Boundary**
- Development Plan Boundary**



Zone Map YoP/28



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Precinct
5 Ardrossan Rural Living

- Precinct Boundary
- Development Plan Boundary

Precinct Map YoP/28

MAP YoP/30 Adjoins

DOWLINGVILLE

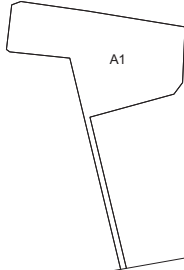
S94

A317

A318

S386

MAP YoP/30 Adjoins



A1

A2

S388

MAP YoP/30 Adjoins

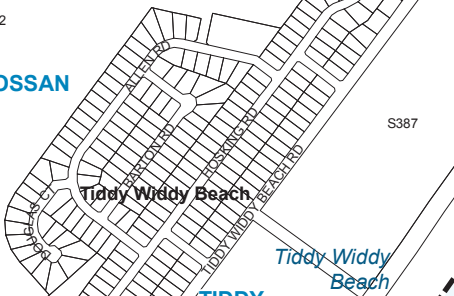
S412

ARDROSSAN

A2

S387

MAP YoP/28 Adjoins



Tiddy Widdy Beach

Tiddy Widdy Beach

TIDDY WIDDY BEACH

S387

Land Not Within a Council Area (Coastal Waters)

A239

A102

MAP YoP/1 Adjoins

A6

S371

Youngs Beach

MAP YoP/28 Adjoins

MAP YoP/1 Adjoins

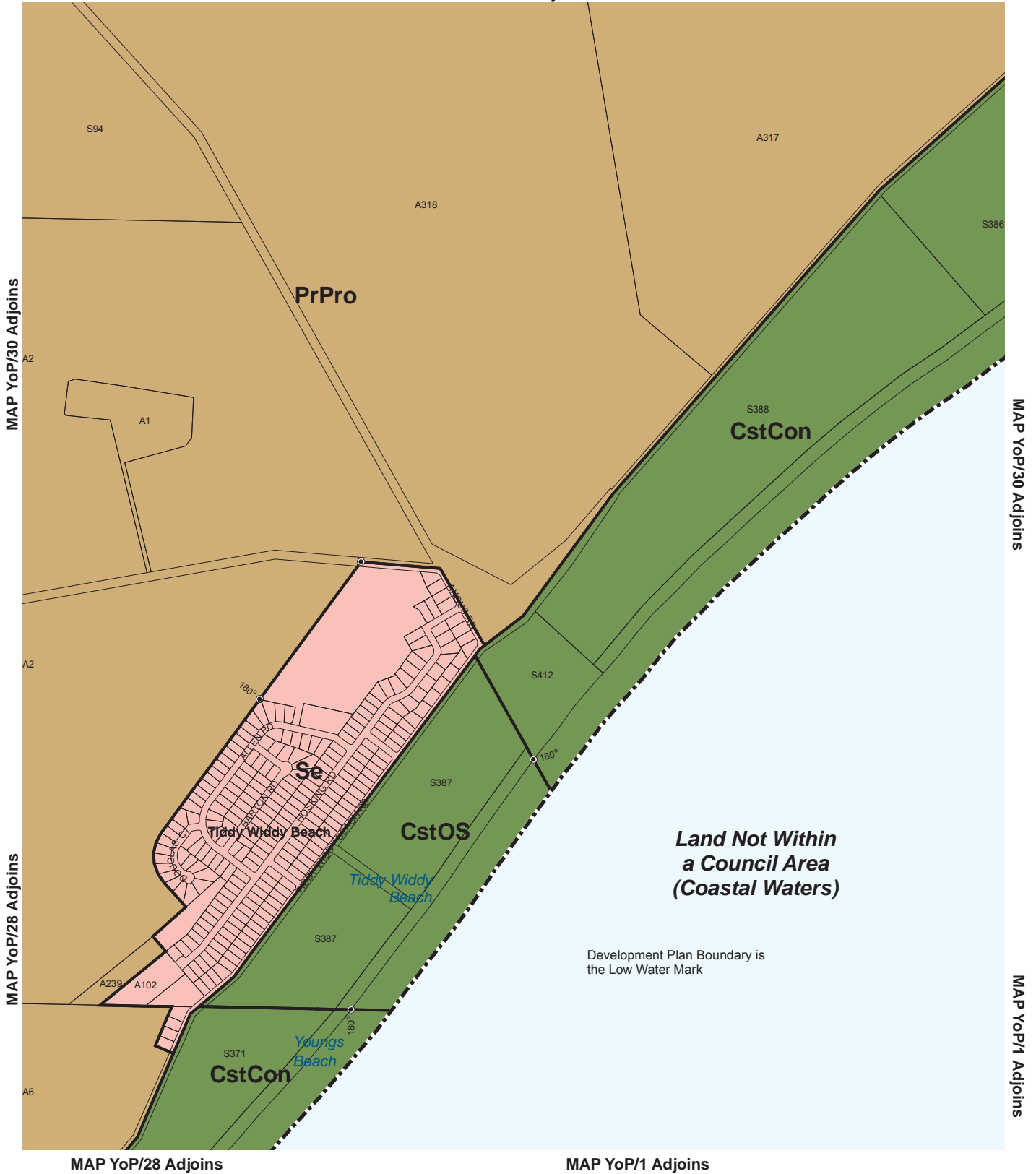


0 500m

Location Map YoP/29

----- Development Plan Boundary

MAP YoP/30 Adjoins

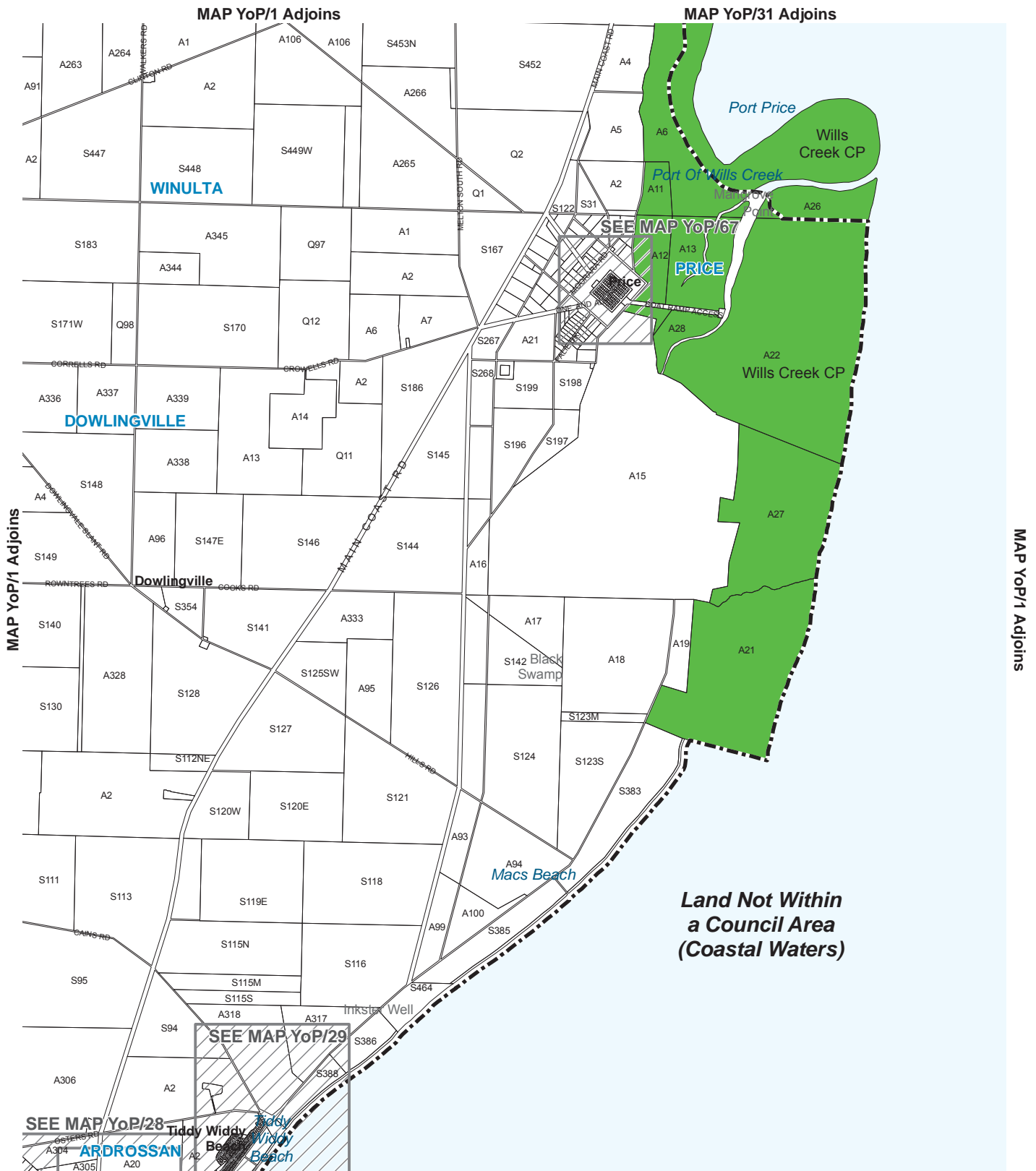


Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/29

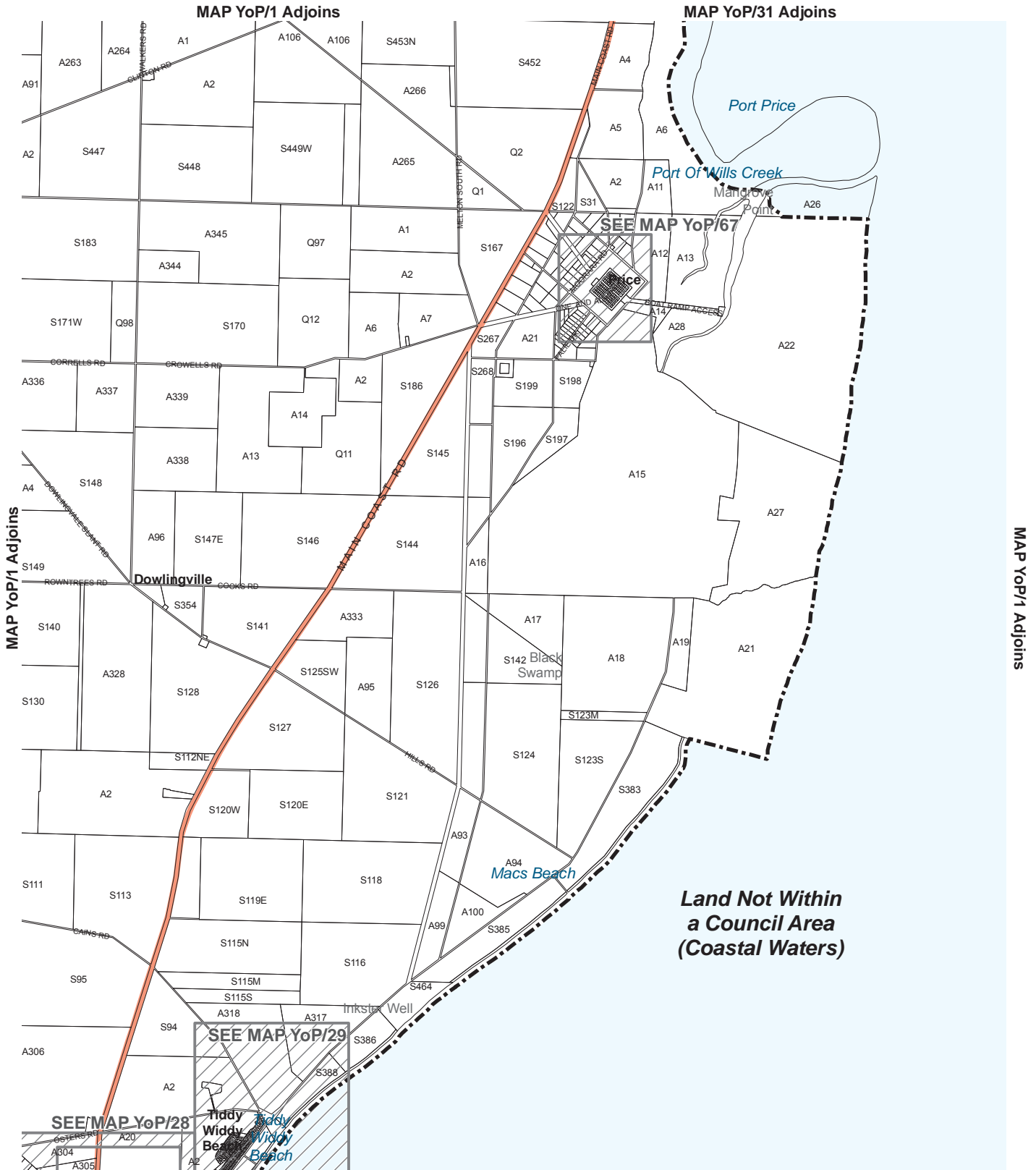


MAP YoP/1 Adjoins



Location Map YoP/30

- Conservation Park
- Development Plan Boundary

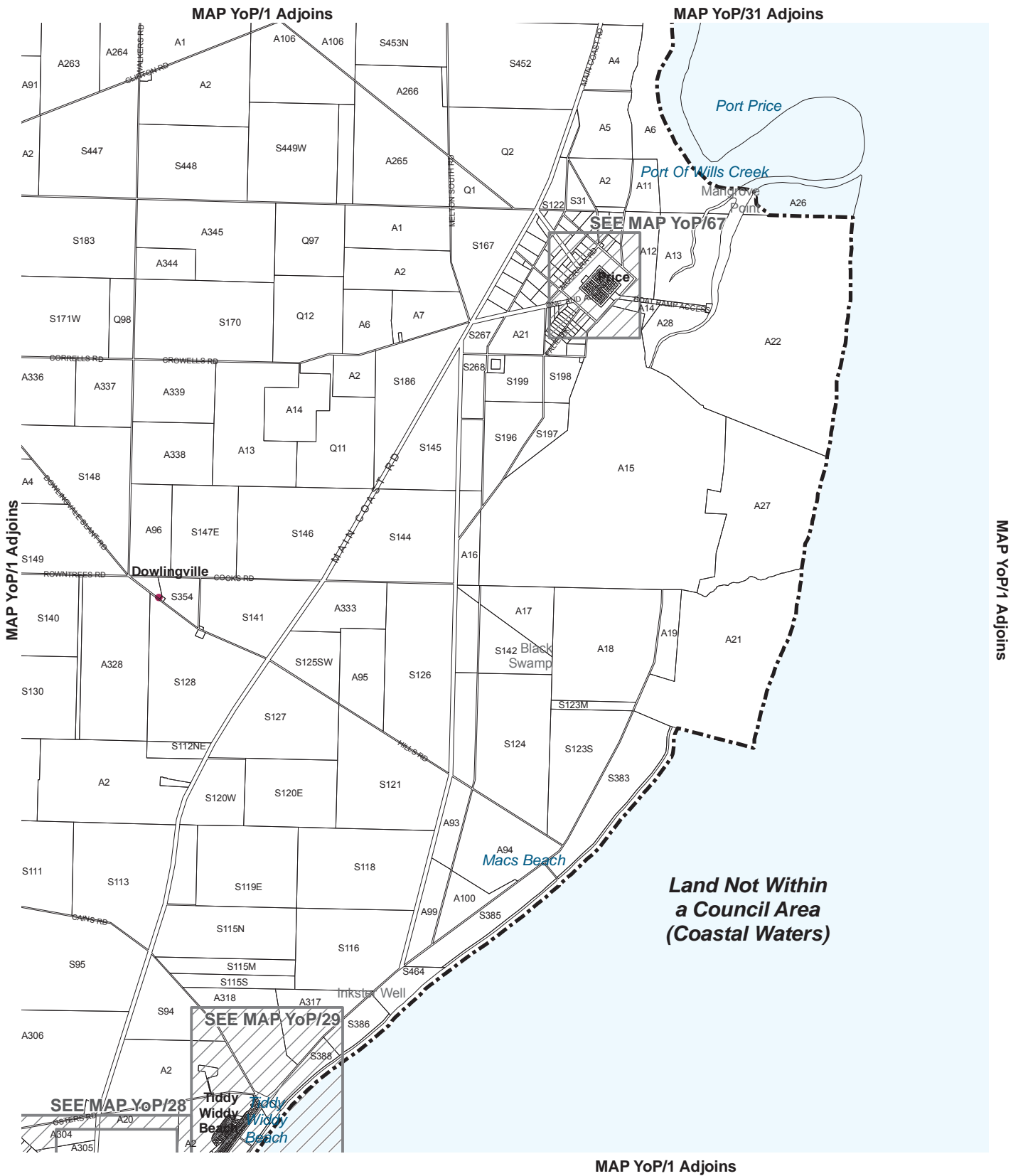


MAP YoP/1 Adjoins



Overlay Map YoP/30 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary



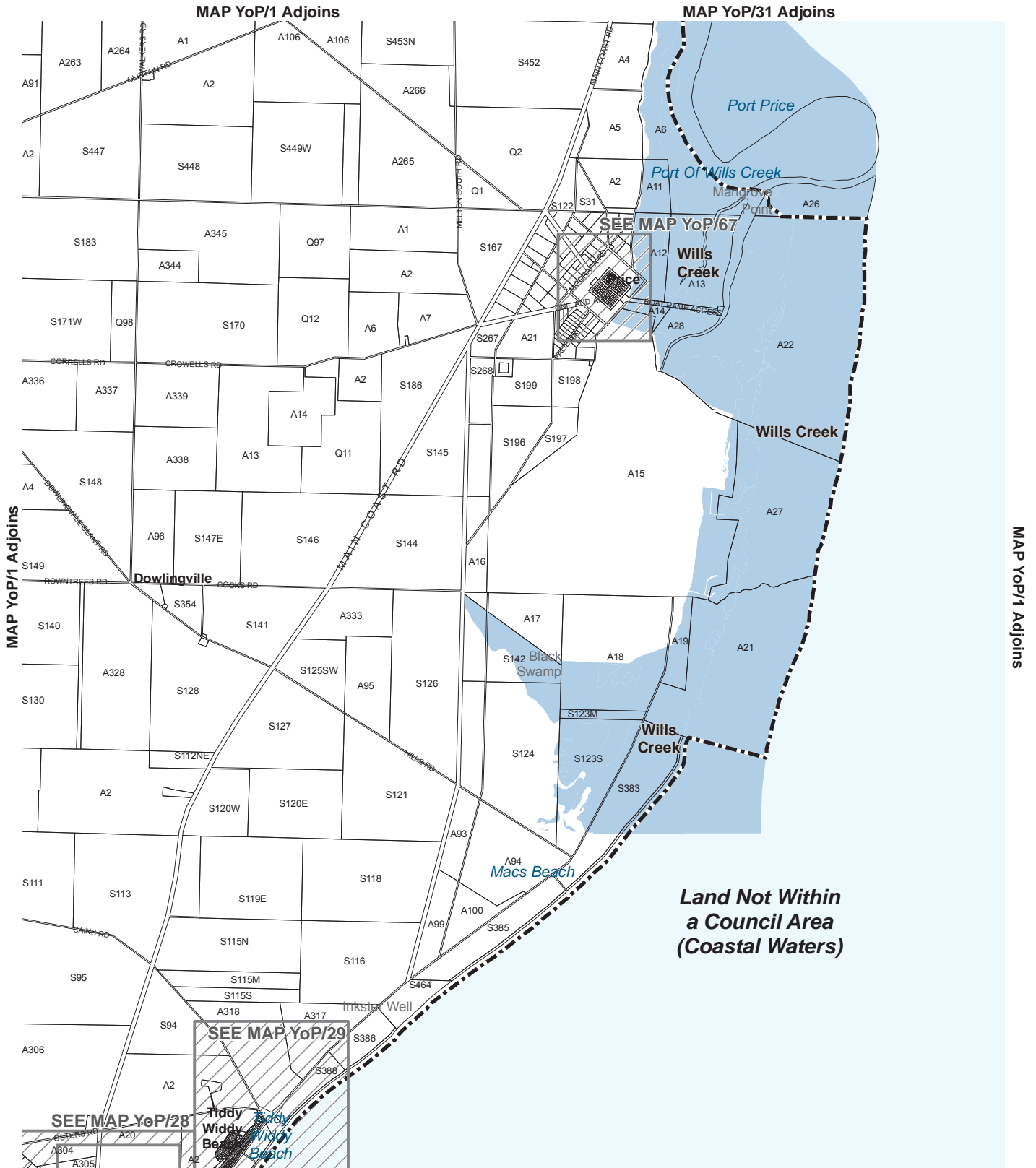
Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



Overlay Map YoP/30 HERITAGE

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

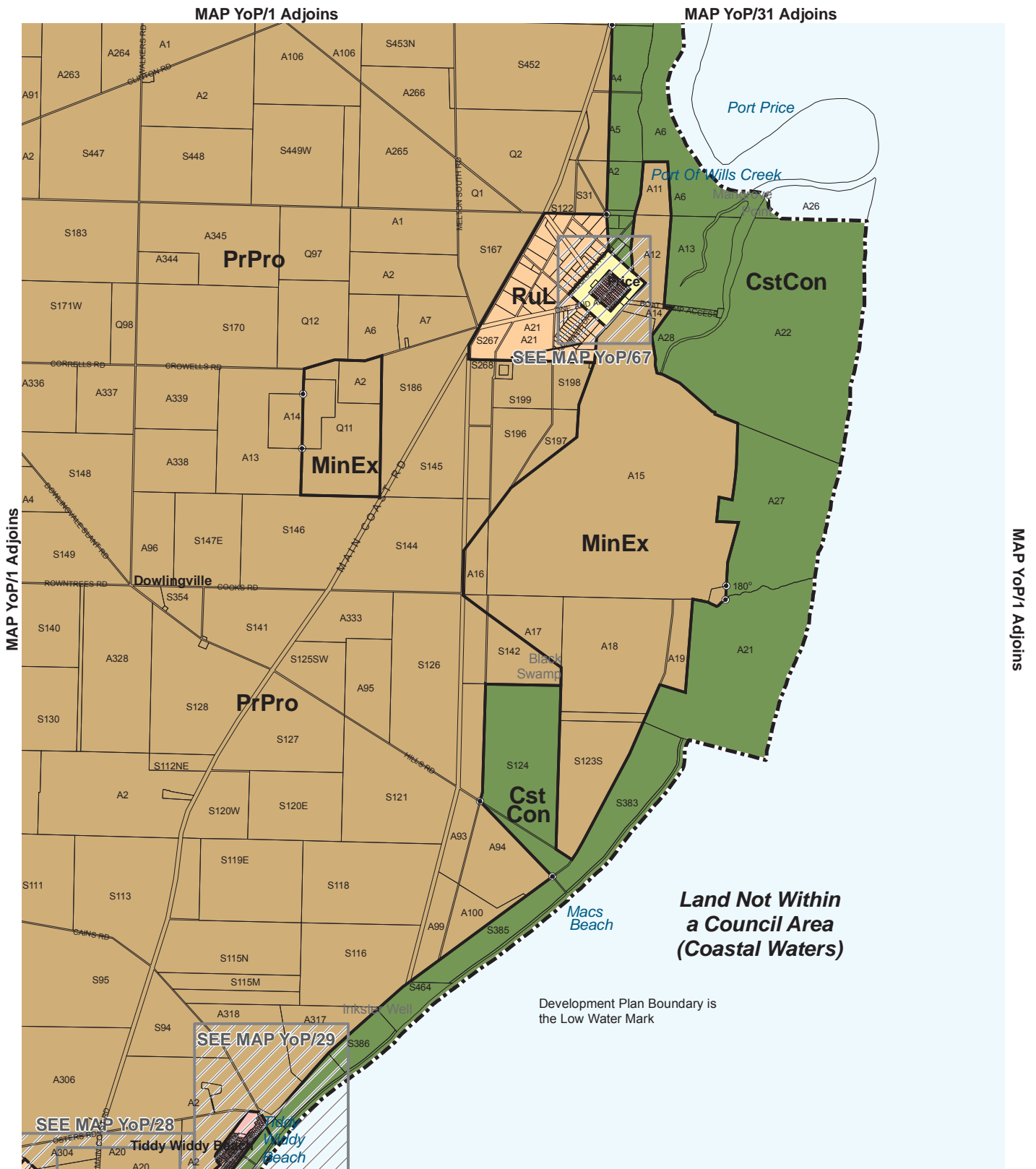


MAP YoP/1 Adjoins



Overlay Map YoP/30 NATURAL RESOURCES

- Wetlands of National Importance
- Development Plan Boundary



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

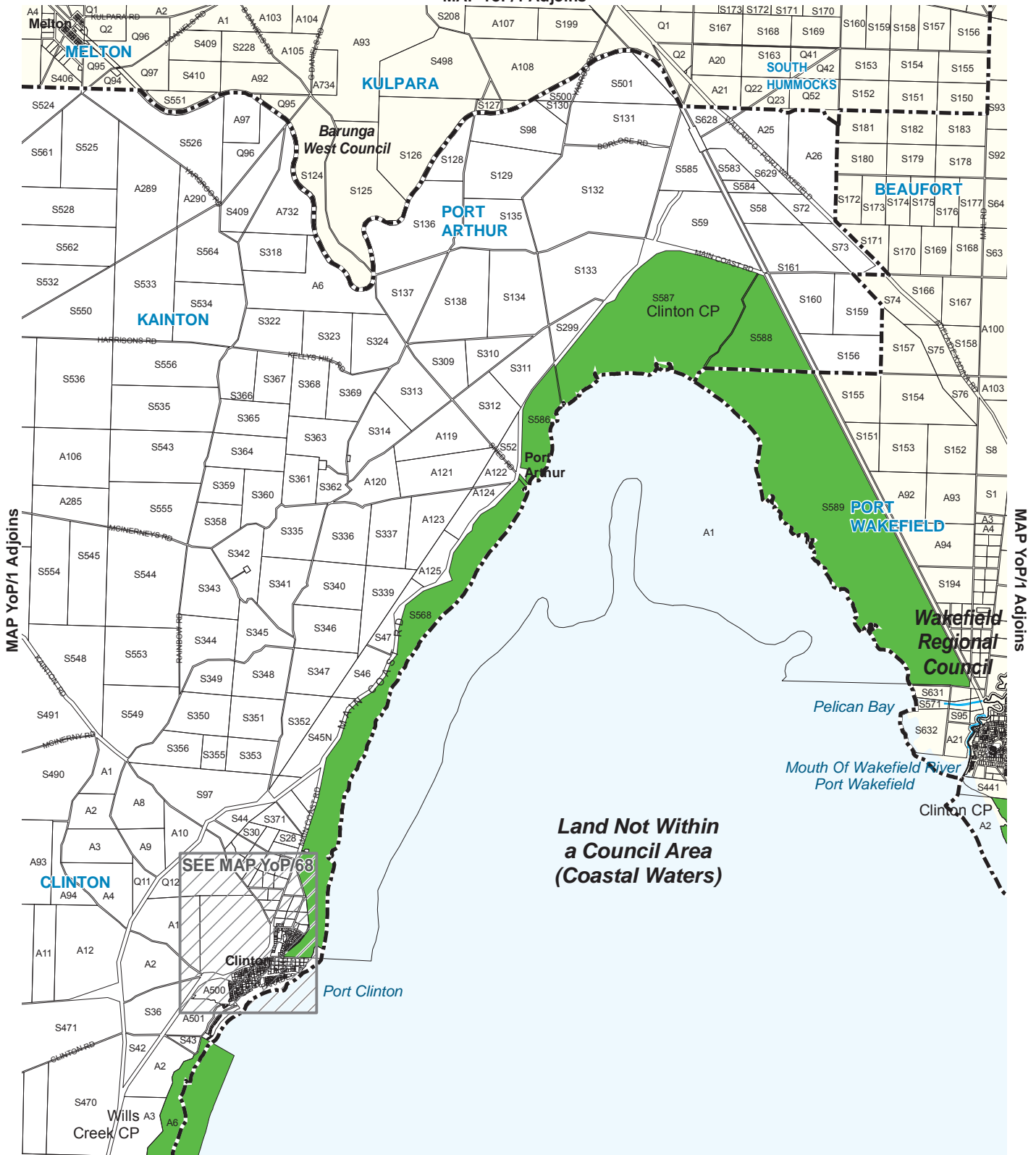
MAP YoP/1 Adjoins



- Zones**
- CstCon Coastal Conservation
 - MinEx Mineral Extraction
 - PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/30

MAP YoP/1 Adjoins



MAP YoP/30 Adjoins

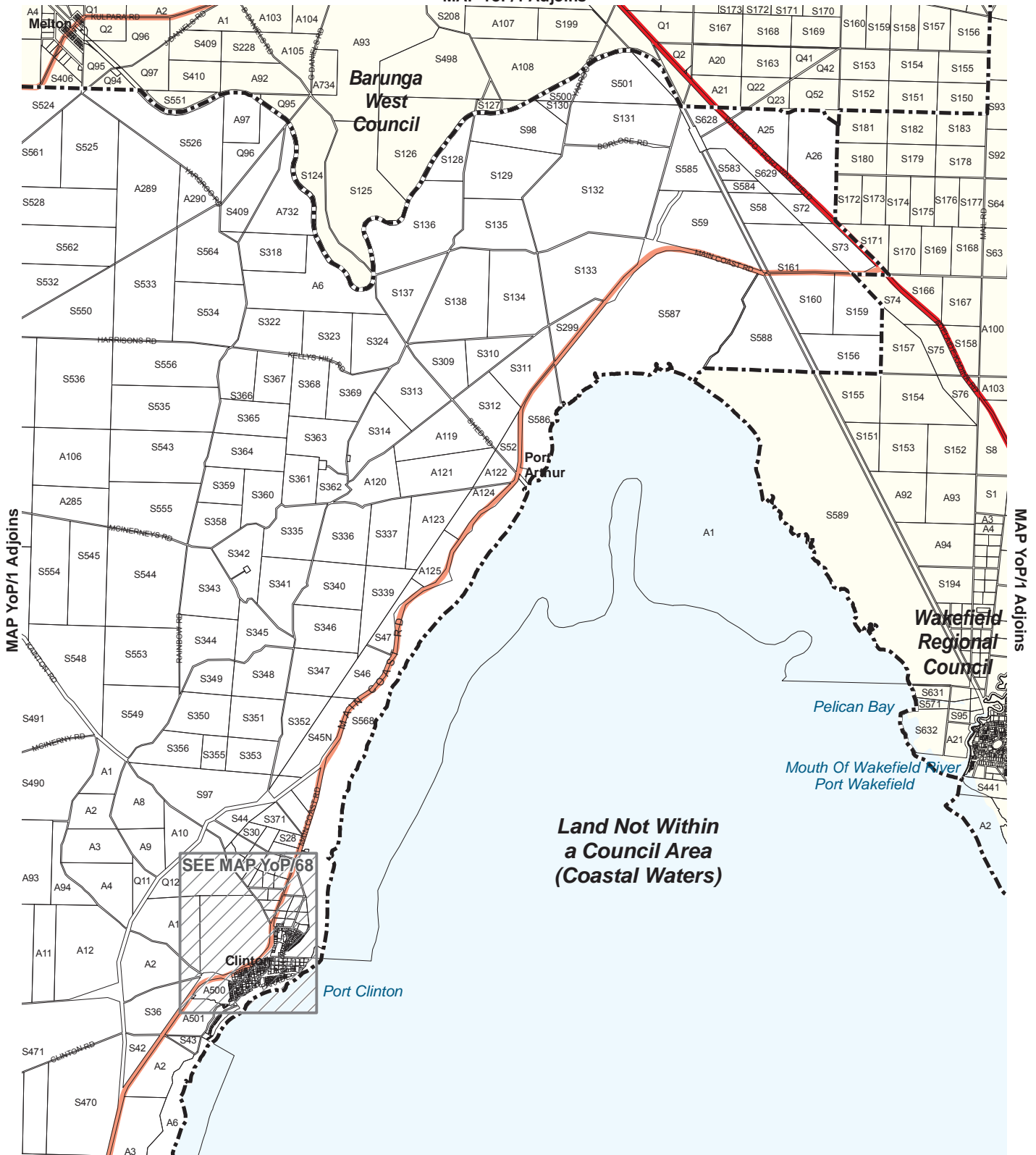
MAP YoP/1 Adjoins



Location Map YoP/31

- S School
- Conservation Park
- Development Plan Boundary

MAP YoP/1 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/30 Adjoins

MAP YoP/1 Adjoins

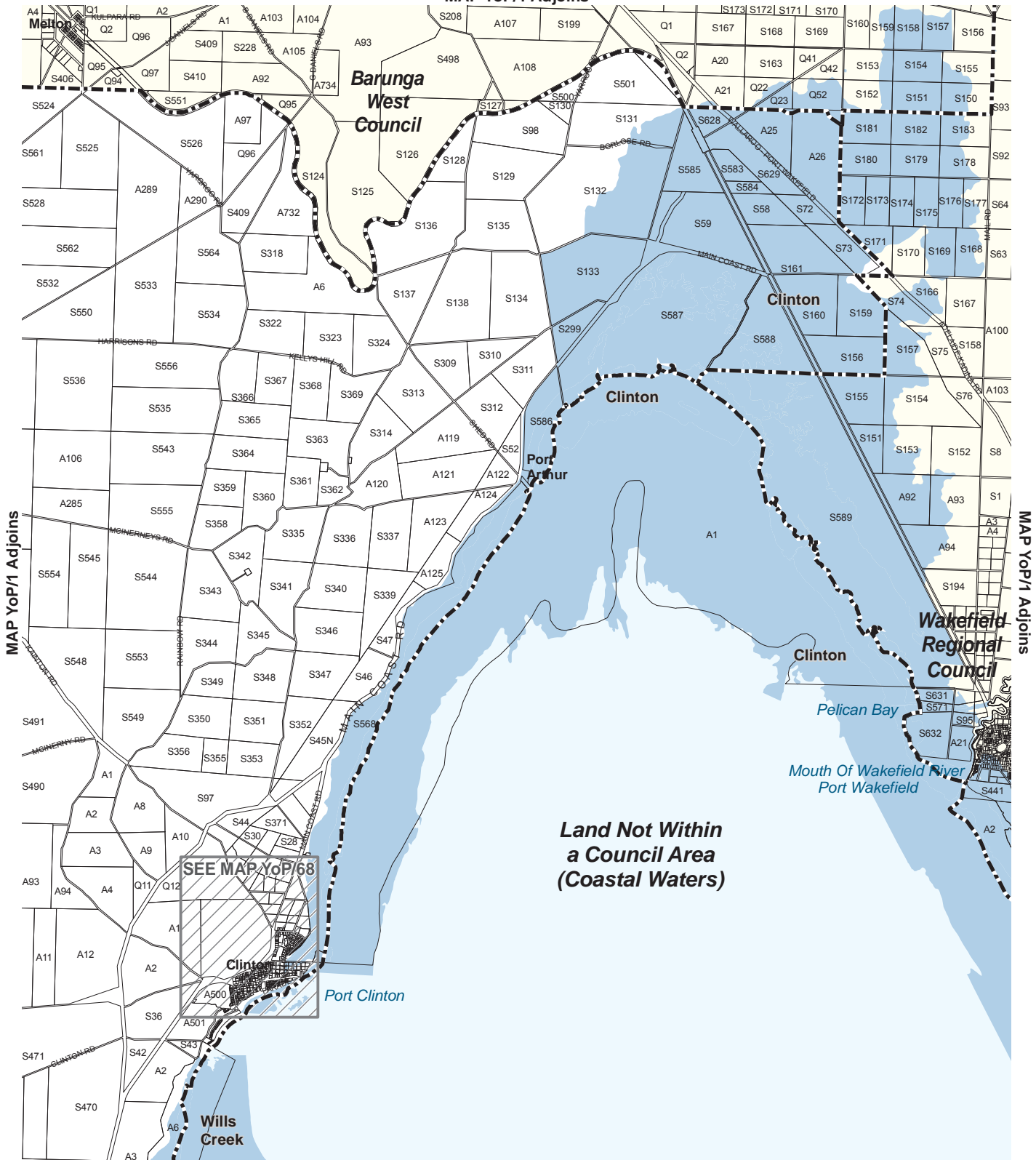


Overlay Map YoP/31

TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/1 Adjoins



MAP YoP/30 Adjoins

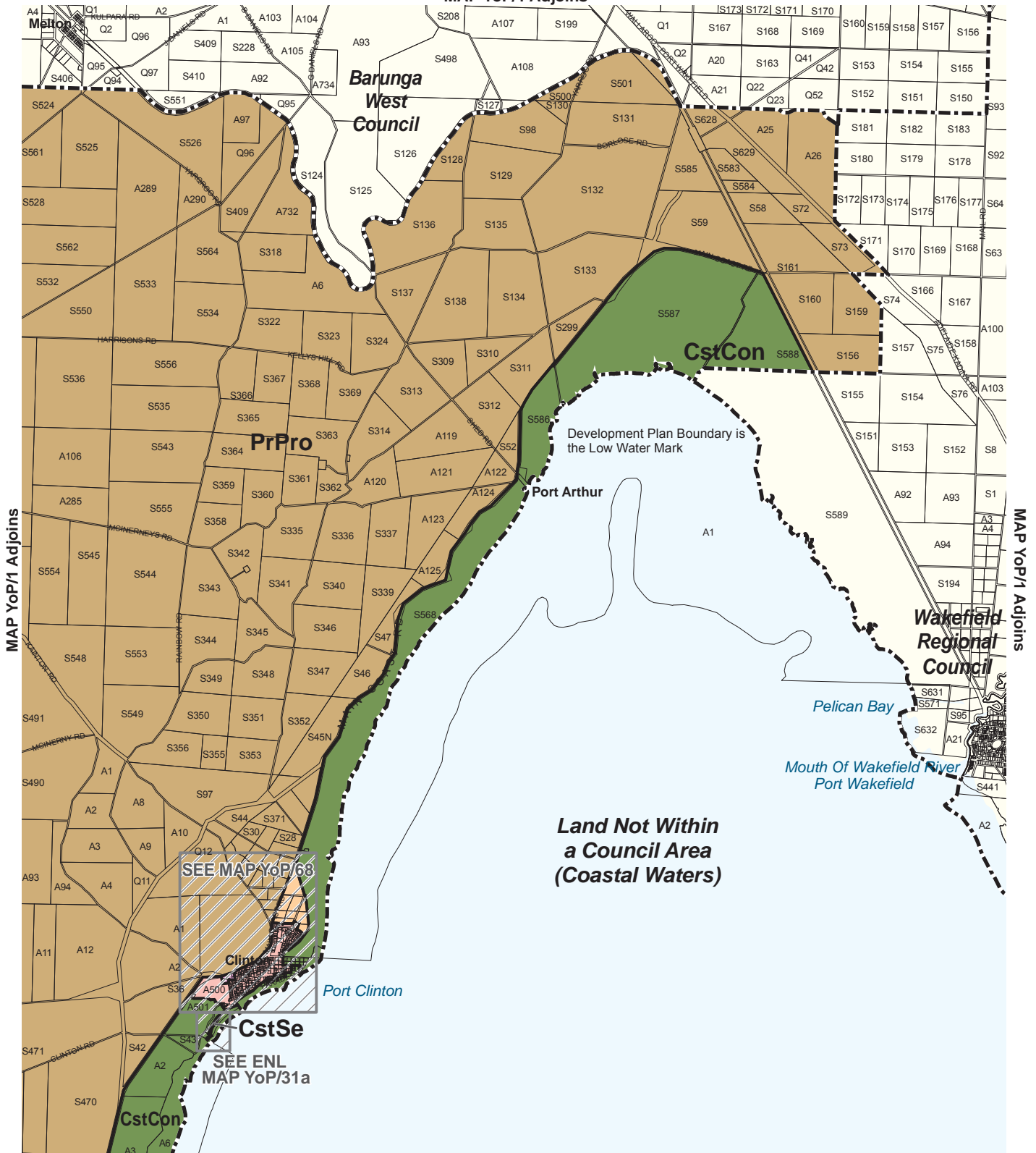
MAP YoP/1 Adjoins



Overlay Map YoP/31 NATURAL RESOURCES

- Wetlands of National Importance
- Development Plan Boundary

MAP YoP/1 Adjoins



MAP YoP/30 Adjoins

MAP YoP/1 Adjoins

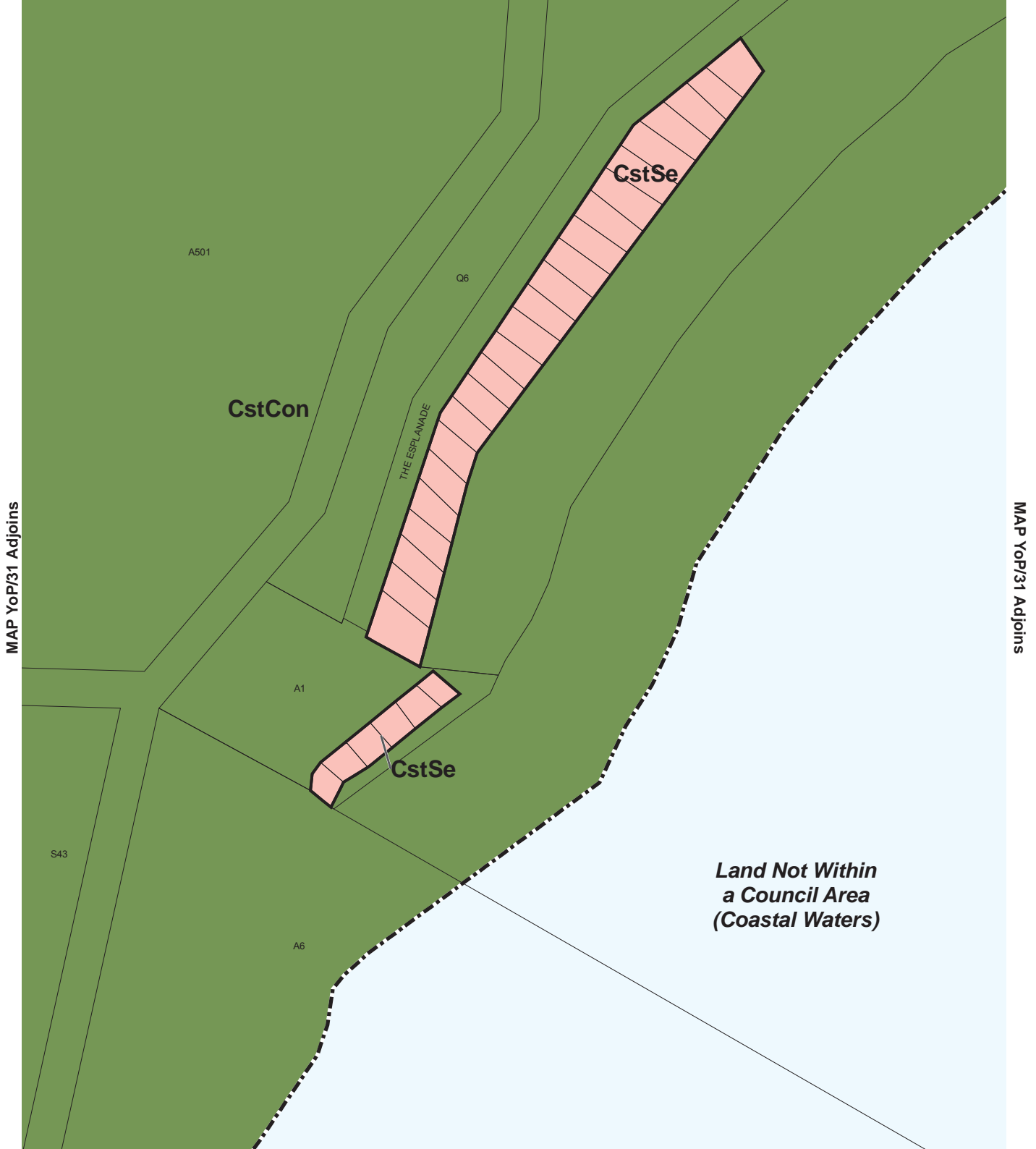
See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

Zone Map YoP/31

MAP YoP/68 Adjoins



MAP YoP/31 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- CstSe Coastal Settlement
- Zone Boundary
- Development Plan Boundary

Zone Map YoP/31a ENLARGEMENT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



ARTHURTON

Location Map YoP/32

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



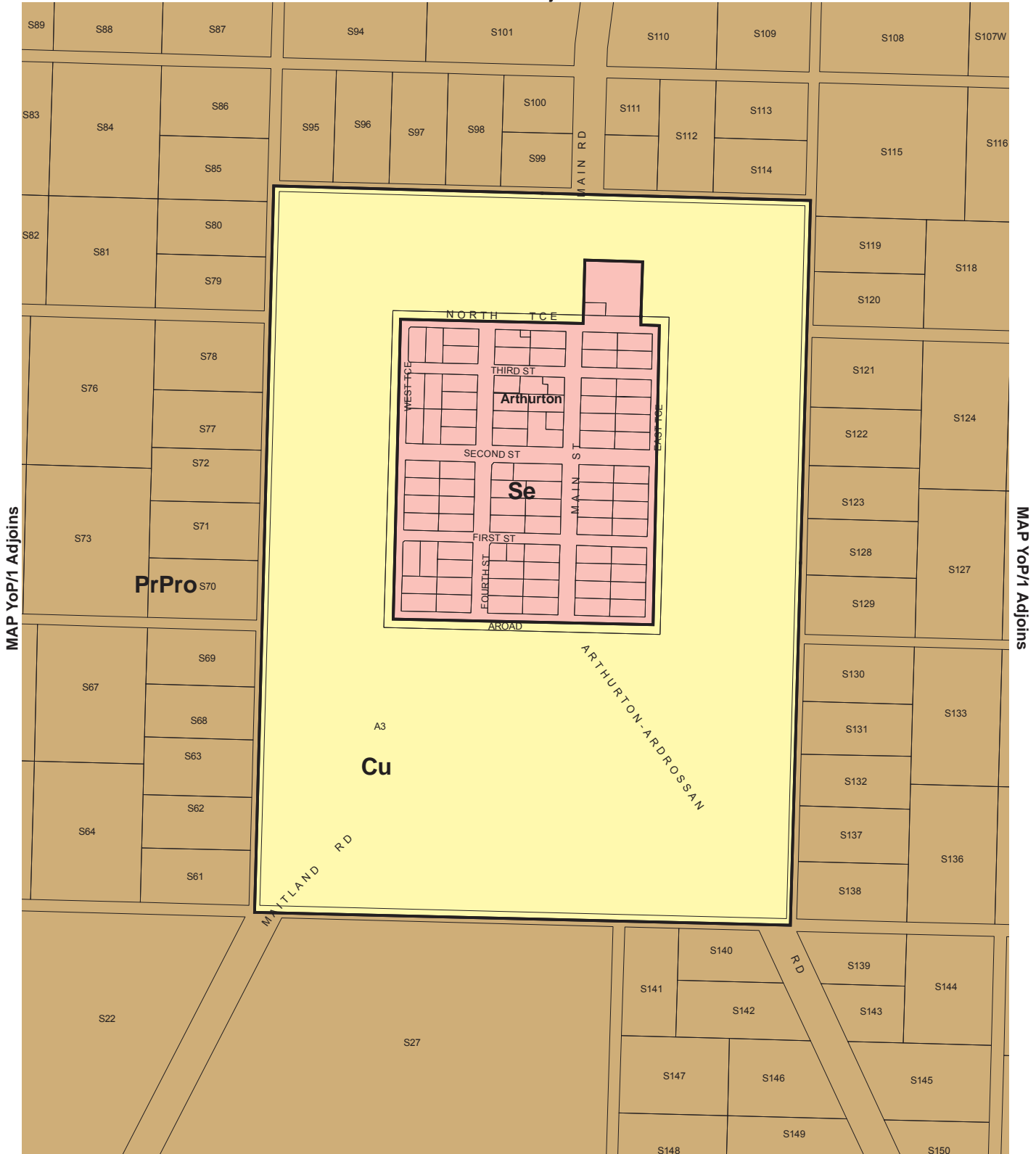
ARTHURTON

Overlay Map YoP/32 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Secondary Arterial Roads

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

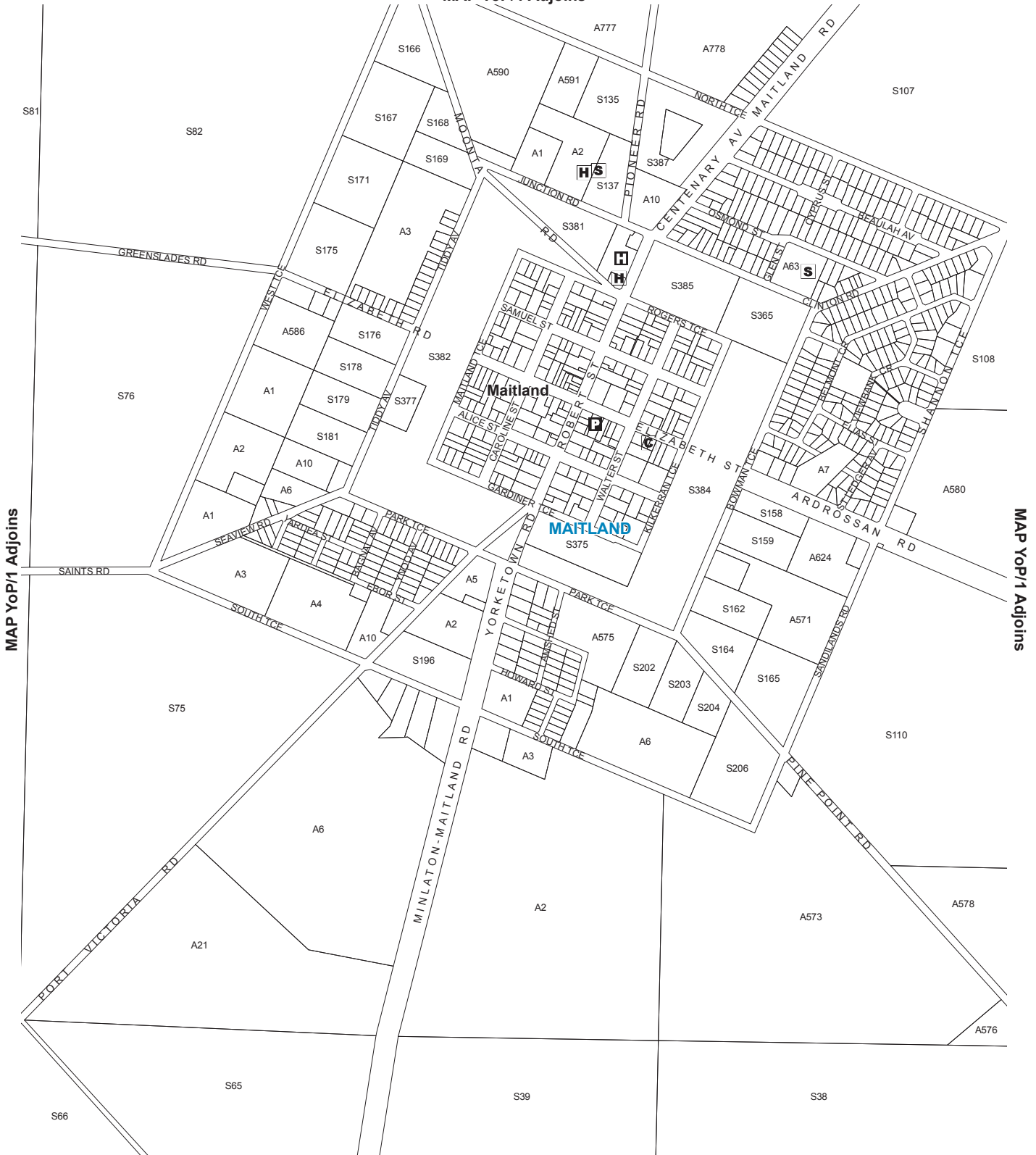


ARTHURTON

Zone Map YoP/32

- Zones**
- Cu Community
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



MAITLAND

Location Map YoP/33

- S** School
- L** Public Library
- C** Council Office
- H** Other Health Services
- H** Hospital
- P** Police Station

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



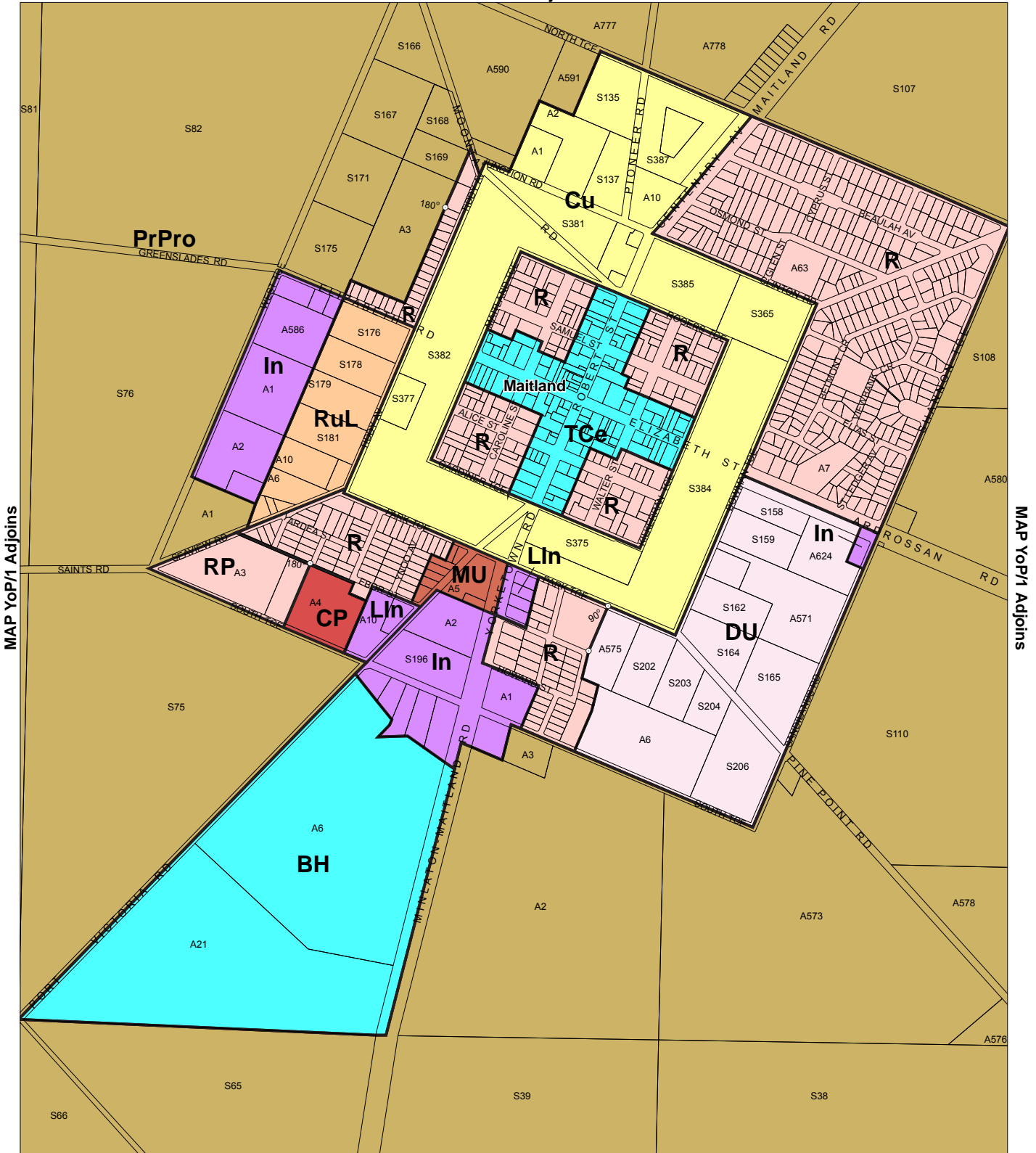
MAITLAND

Overlay Map YoP/33 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Secondary Arterial Roads

MAP YoP/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

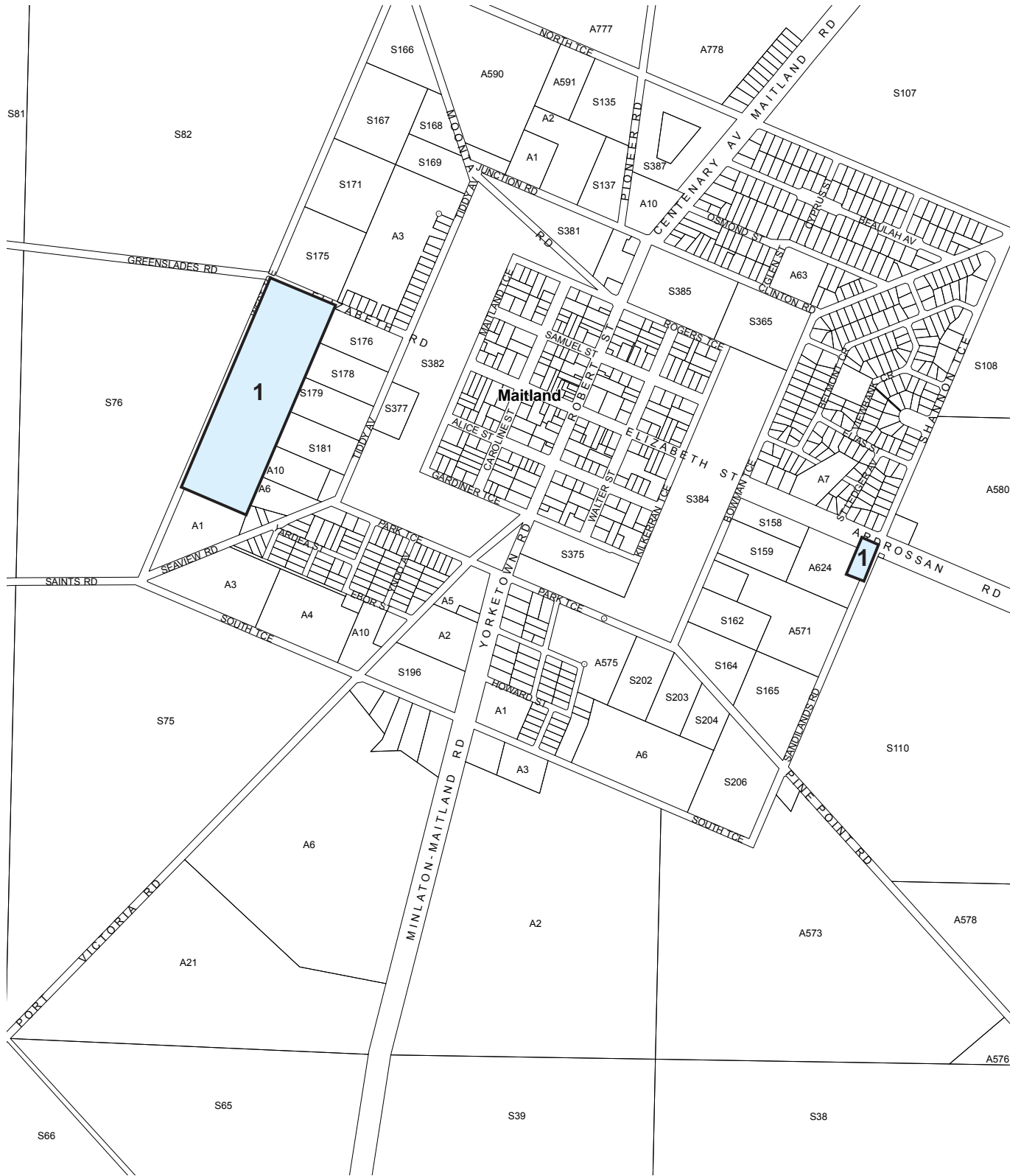
MAP YoP/1 Adjoins

- Zones**
- BH** Bulk Handling
 - CP** Caravan and Tourist Park
 - Cu** Community
 - DU** Deferred Urban
 - In** Industry
 - LIn** Light Industry
 - MU** Mixed Use
 - PrPro** Primary Production
 - R** Residential
 - RP** Residential Park
 - RuL** Rural Living
 - TCe** Town Centre
 - Zone Boundary**



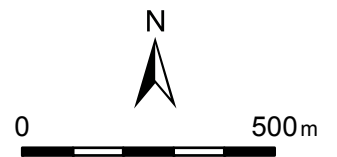
MAITLAND

Zone Map YoP/33



Lamberts Conformal Conic Projection, GDA94

Policy Area
 1 Infrastructure



MAITLAND

Policy Area Map YoP/33

 Policy Area Boundary

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

MAP YoP/1 Adjoins

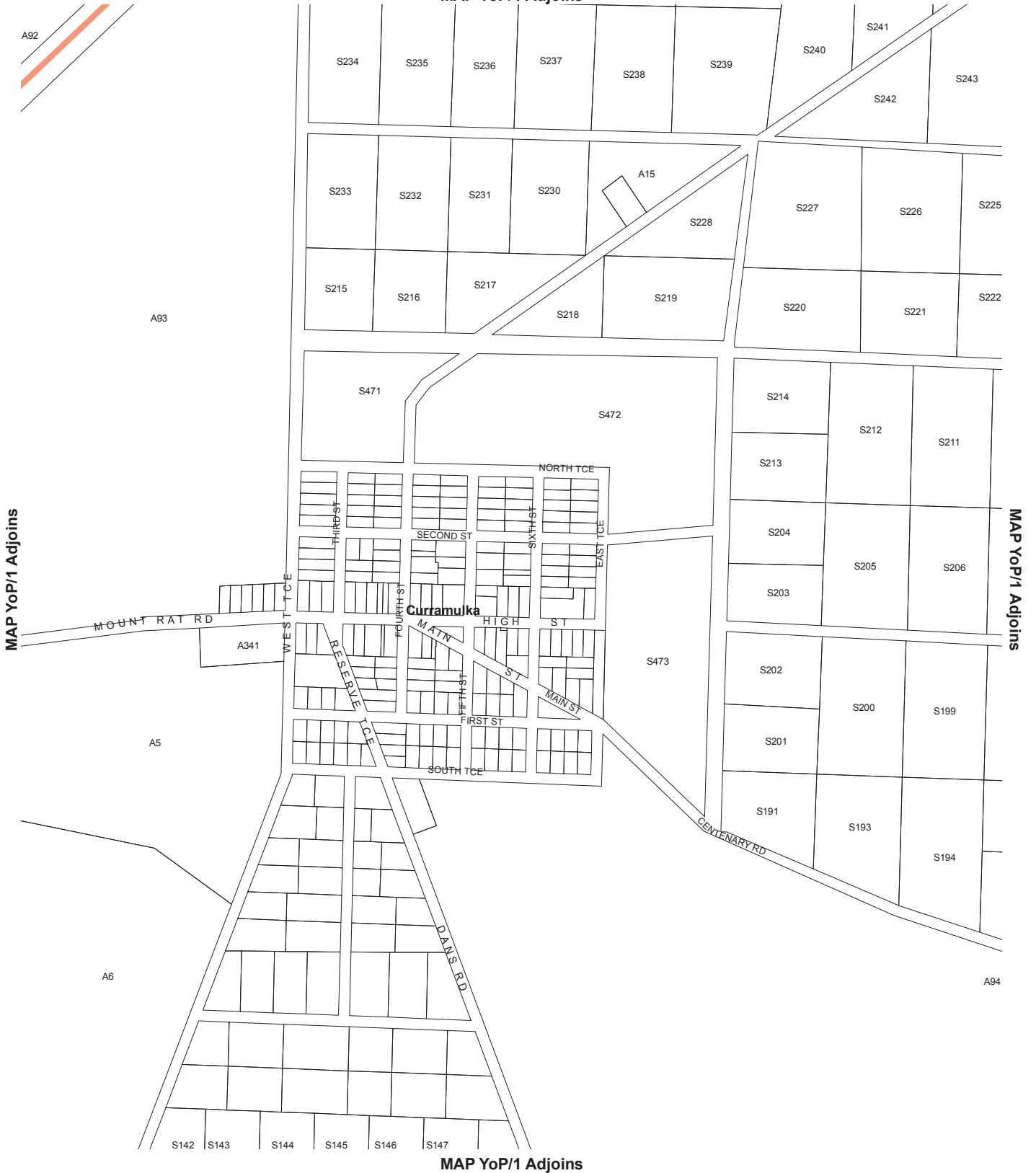


CURRAMULKA

Location Map YoP/34

S School

MAP YoP/1 Adjoins



Secondary Arterial Roads

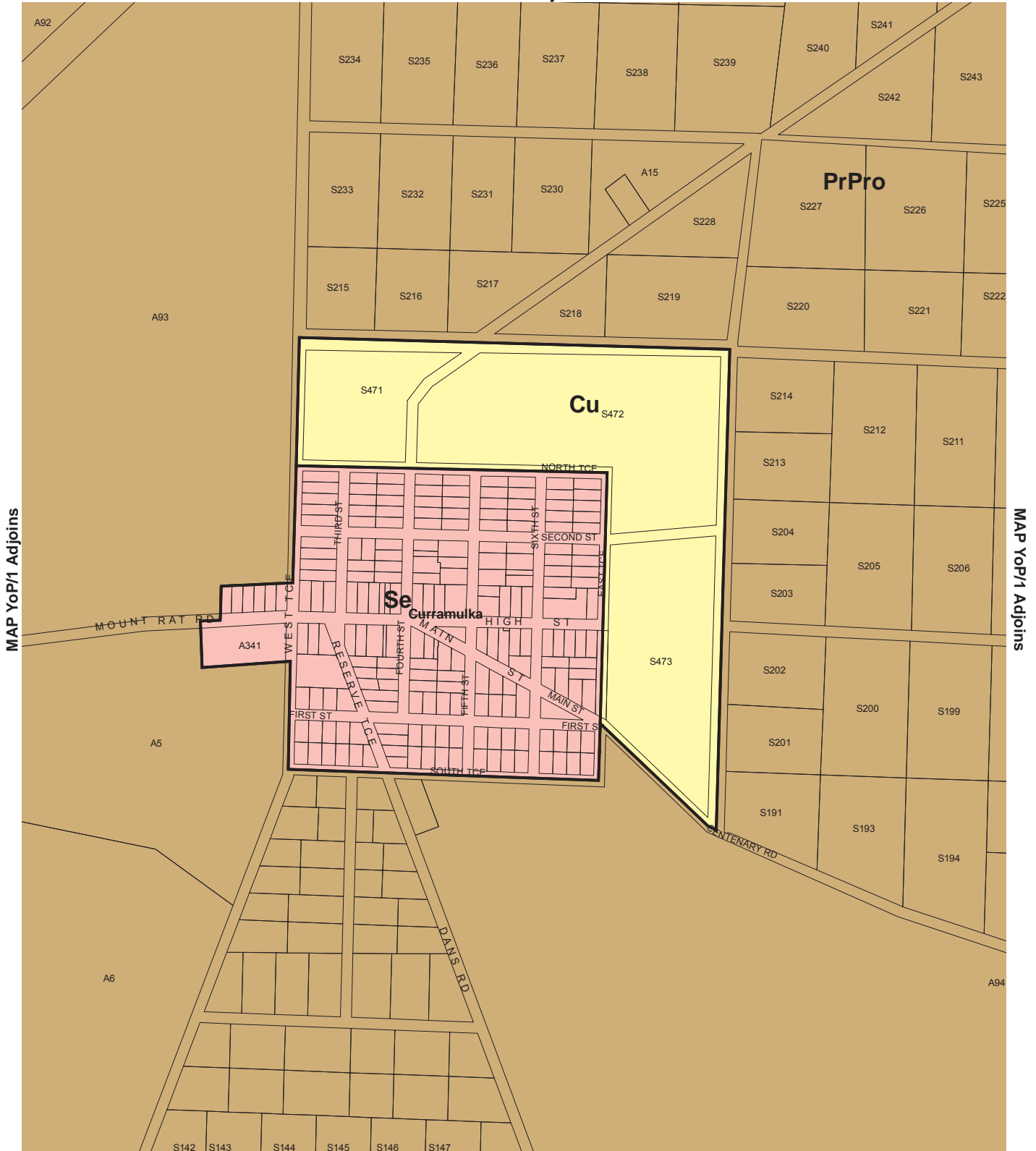


CURRAMULKA

Overlay Map YoP/34 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



CURRAMULKA

Zone Map YoP/34

- Zones**
- Cu Community
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary

MAP YoP/1 Adjoins



MAP YoP/36 Adjoins

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



MINLATON

Location Map YoP/35

- S** School
- L** Public Library

MAP YoP/1 Adjoins



MAP YoP/36 Adjoins



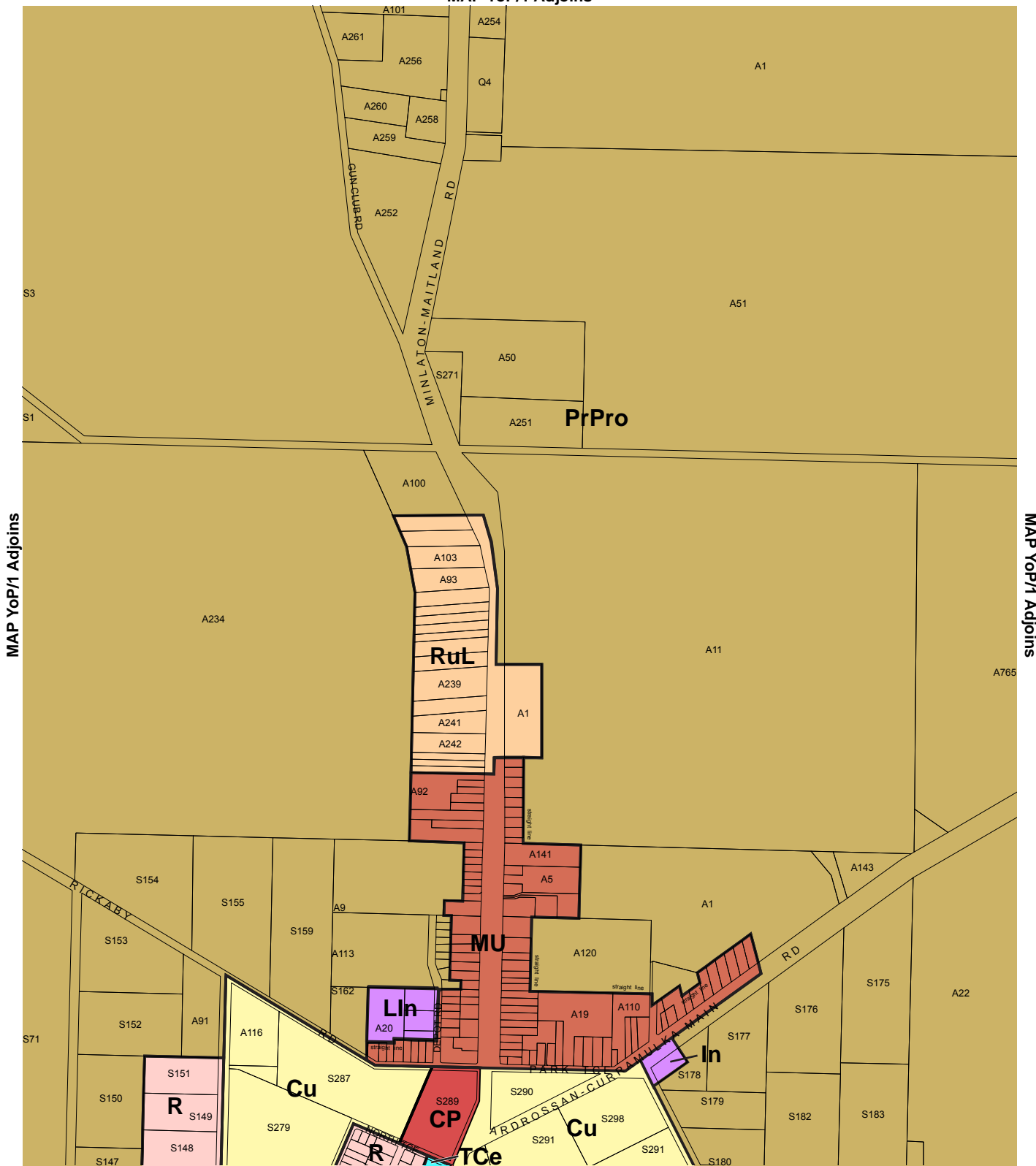
MINLATON

Overlay Map YoP/35 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Secondary Arterial Roads

MAP YoP/1 Adjoins



MAP YoP/36 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

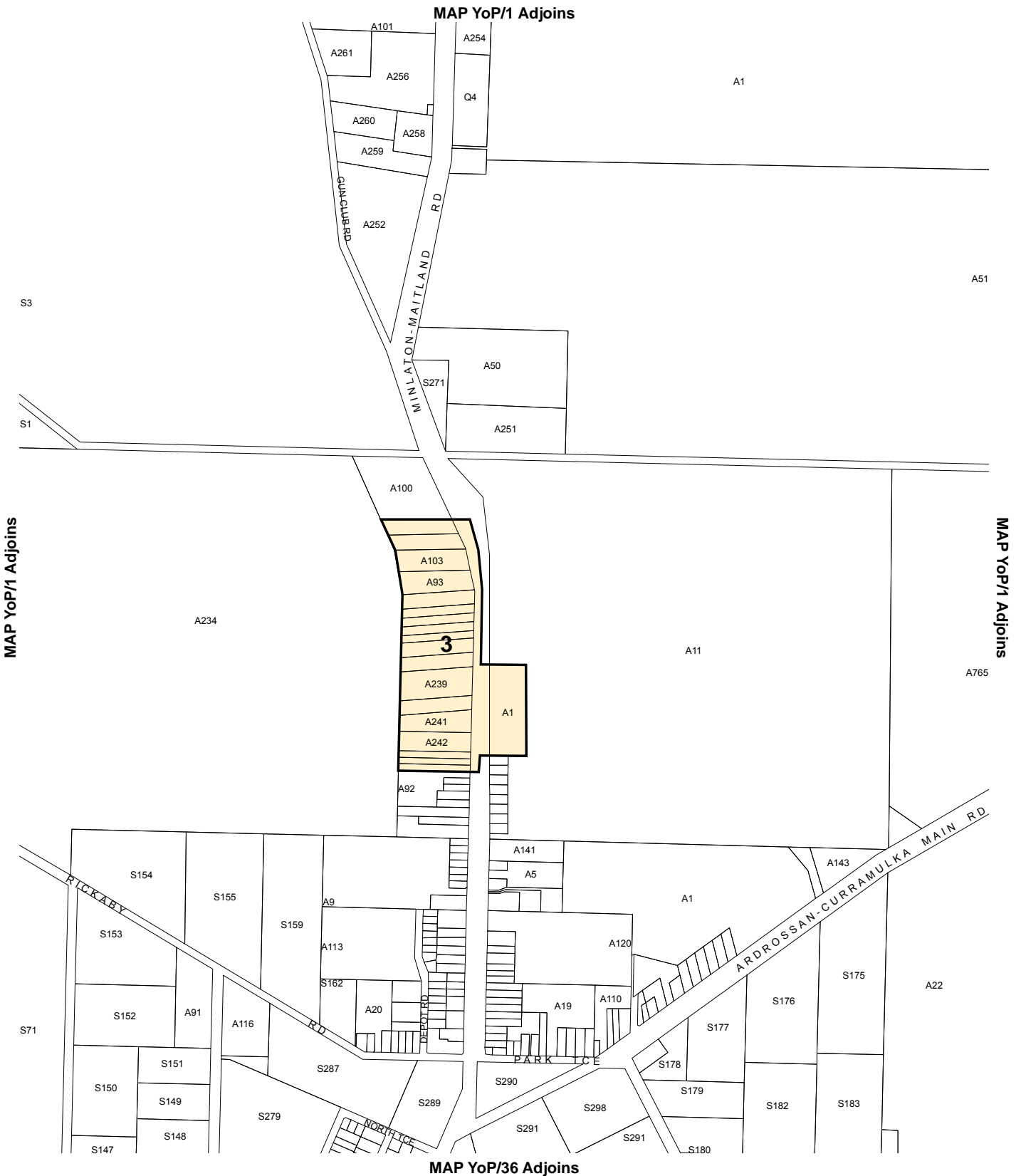
- CP Caravan and Tourist Park
- Cu Community
- In Industry
- Lin Light Industry
- MU Mixed Use
- PrPro Primary Production
- R Residential
- RuL Rural Living
- TCe Town Centre
- Zone Boundary



0 500m

MINLATON

Zone Map YoP/35



Lamberts Conformal Conic Projection, GDA94

Precinct Area
3 Limited Subdivision



0 500m

MINLATON

Precinct Map YoP/35

 Precinct Area Boundary

MAP YoP/35 Adjoins



MAP YoP/1 Adjoins

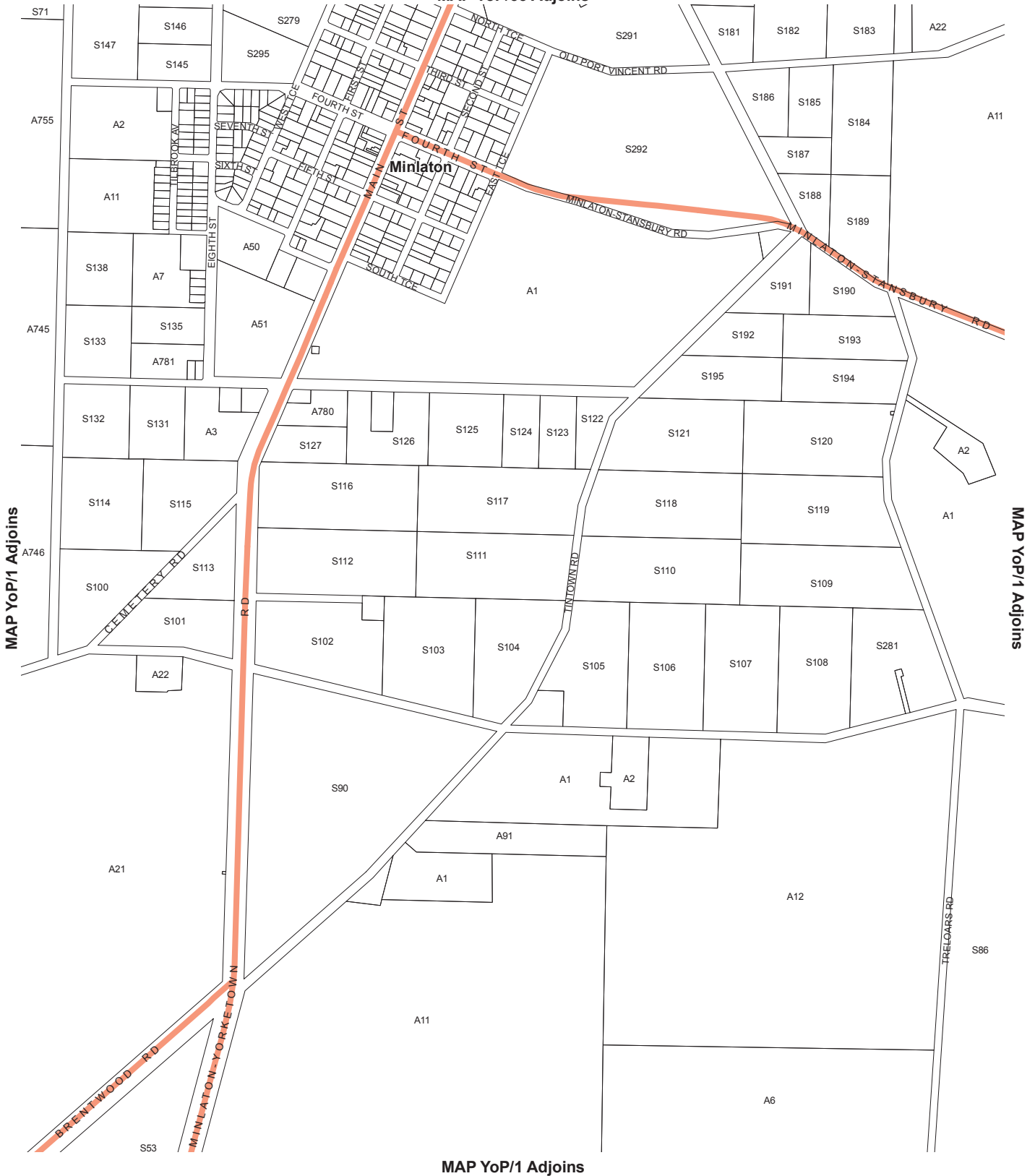


MINLATON

Location Map YoP/36

- H** Other Health Services
- P** Police Station

MAP YoP/35 Adjoins



MAP YoP/1 Adjoins



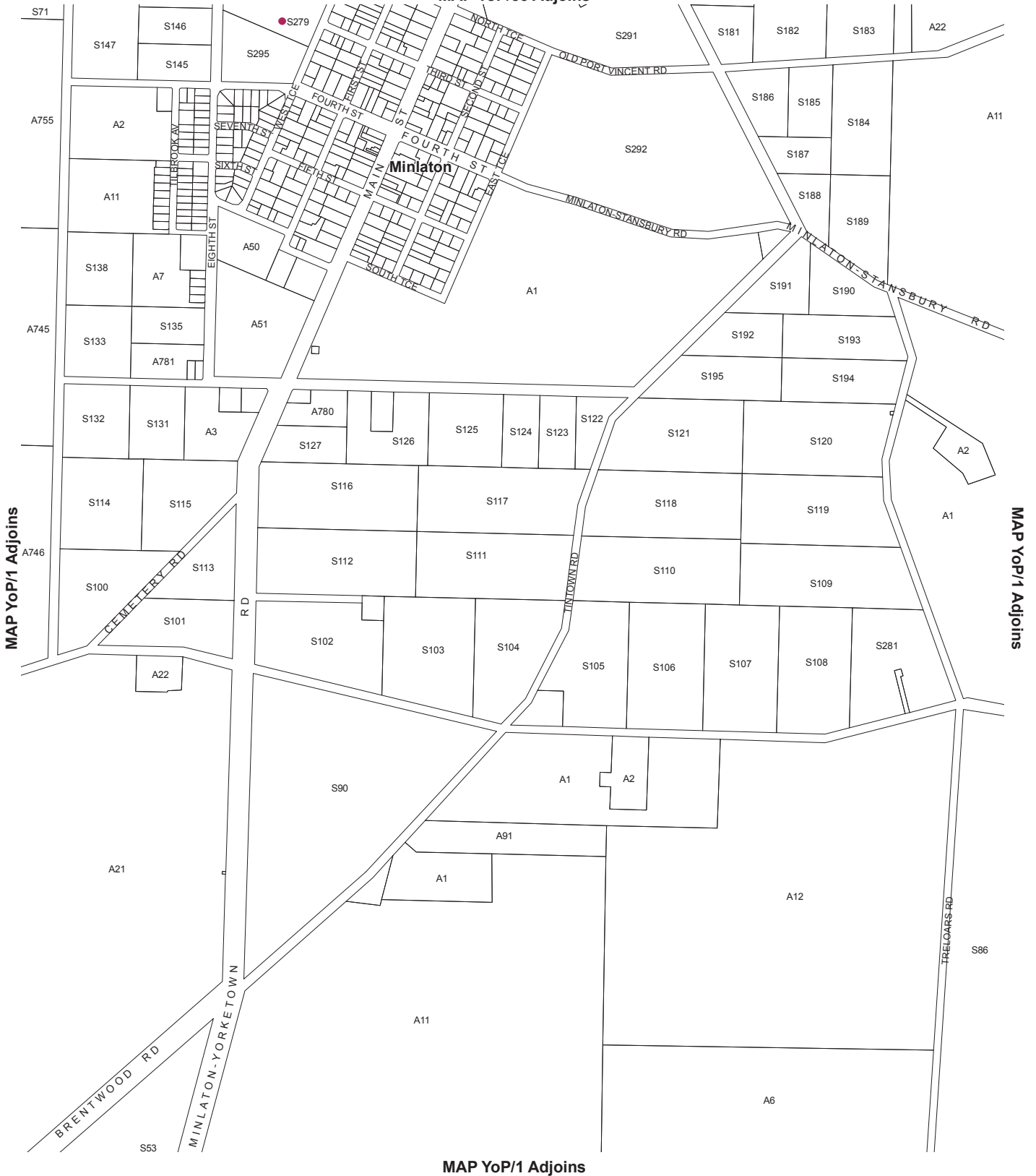
MINLATON

Overlay Map YoP/36 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

Secondary Arterial Roads

MAP YoP/35 Adjoins



MAP YoP/1 Adjoins

Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



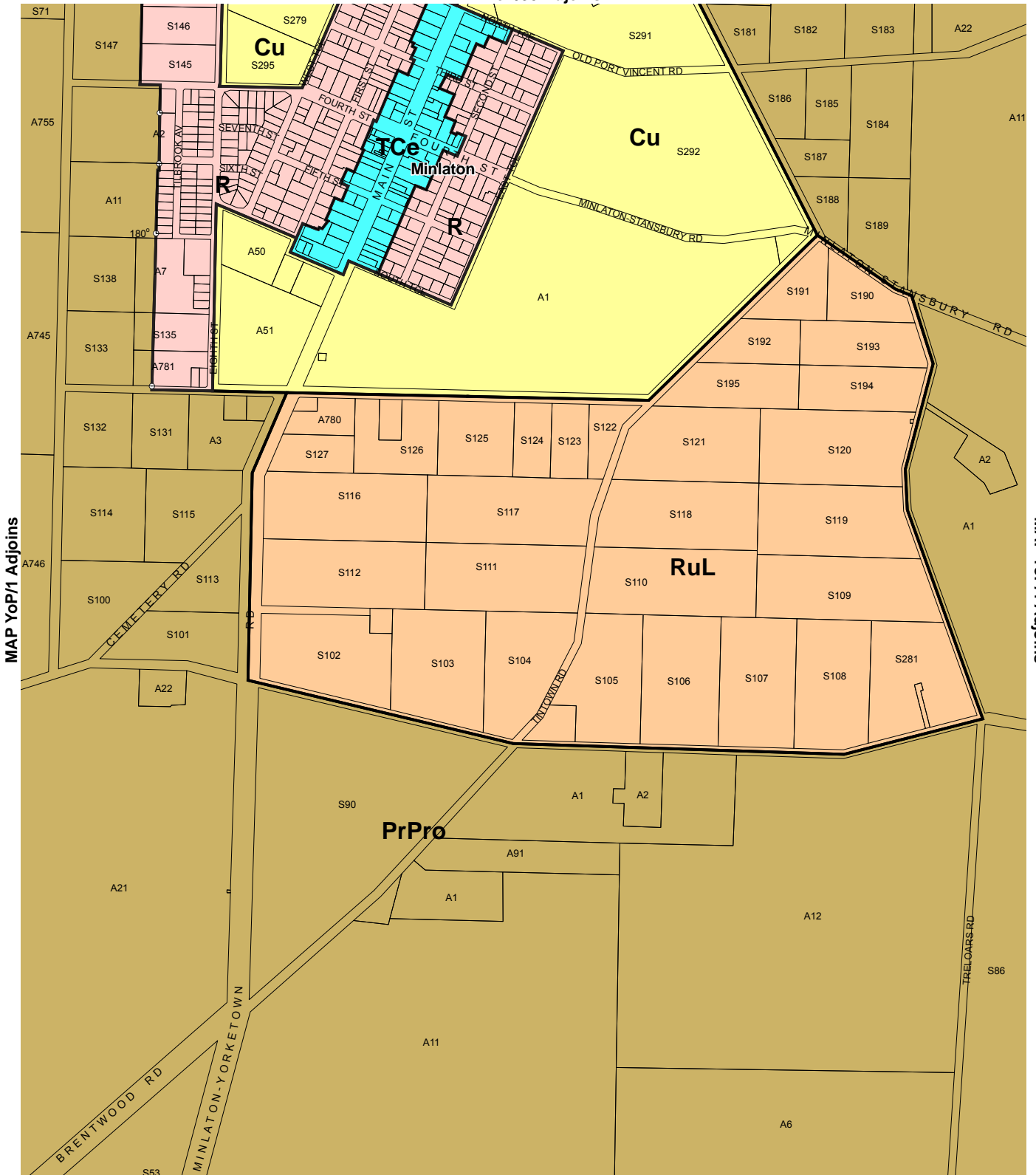
MINLATON

Overlay Map YoP/36

HERITAGE

● State heritage place

MAP YoP/35 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

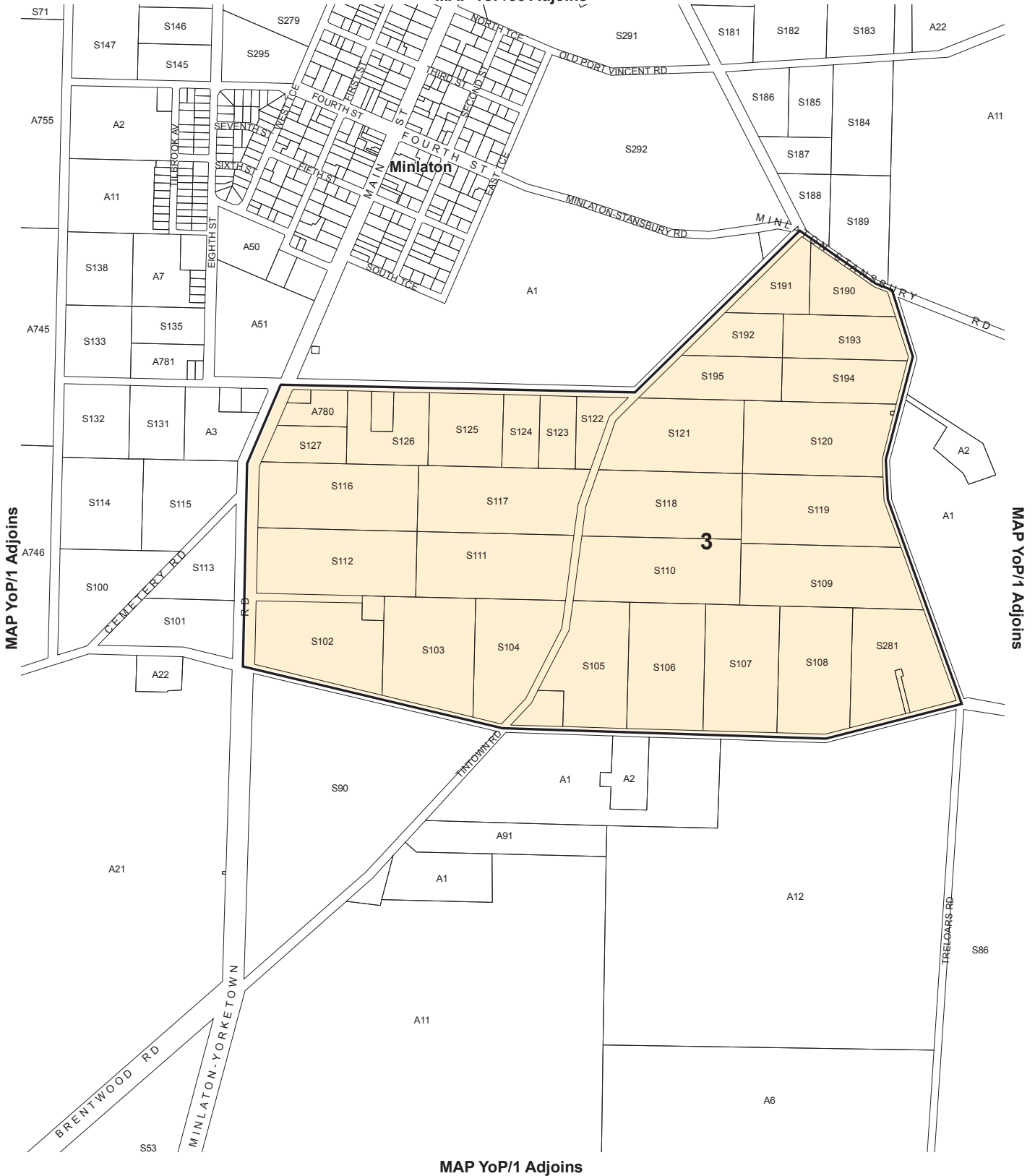


- Zones**
- CP Caravan and Tourist Park
 - Cu Community
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - TCe Town Centre
 - Zone Boundary

MINLATON

Zone Map YoP/36

MAP YoP/35 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision

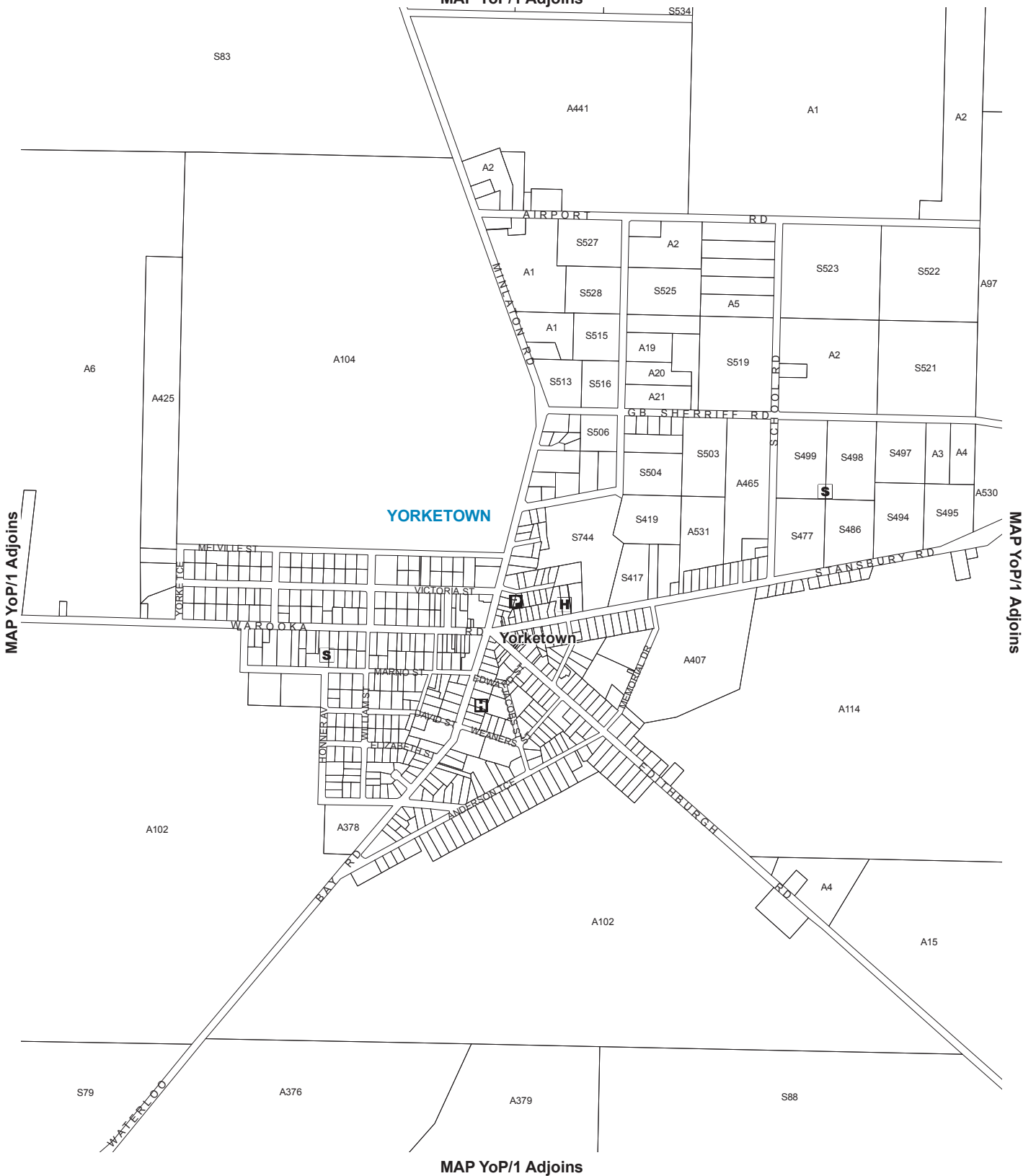


MINLATON

Precinct Map YoP/36

Precinct Boundary

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



YORKETOWN

Location Map YoP/37

- S** School
- L** Public Library
- H** Other Health Services
- H** Hospital
- P** Police Station

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



YORKETOWN

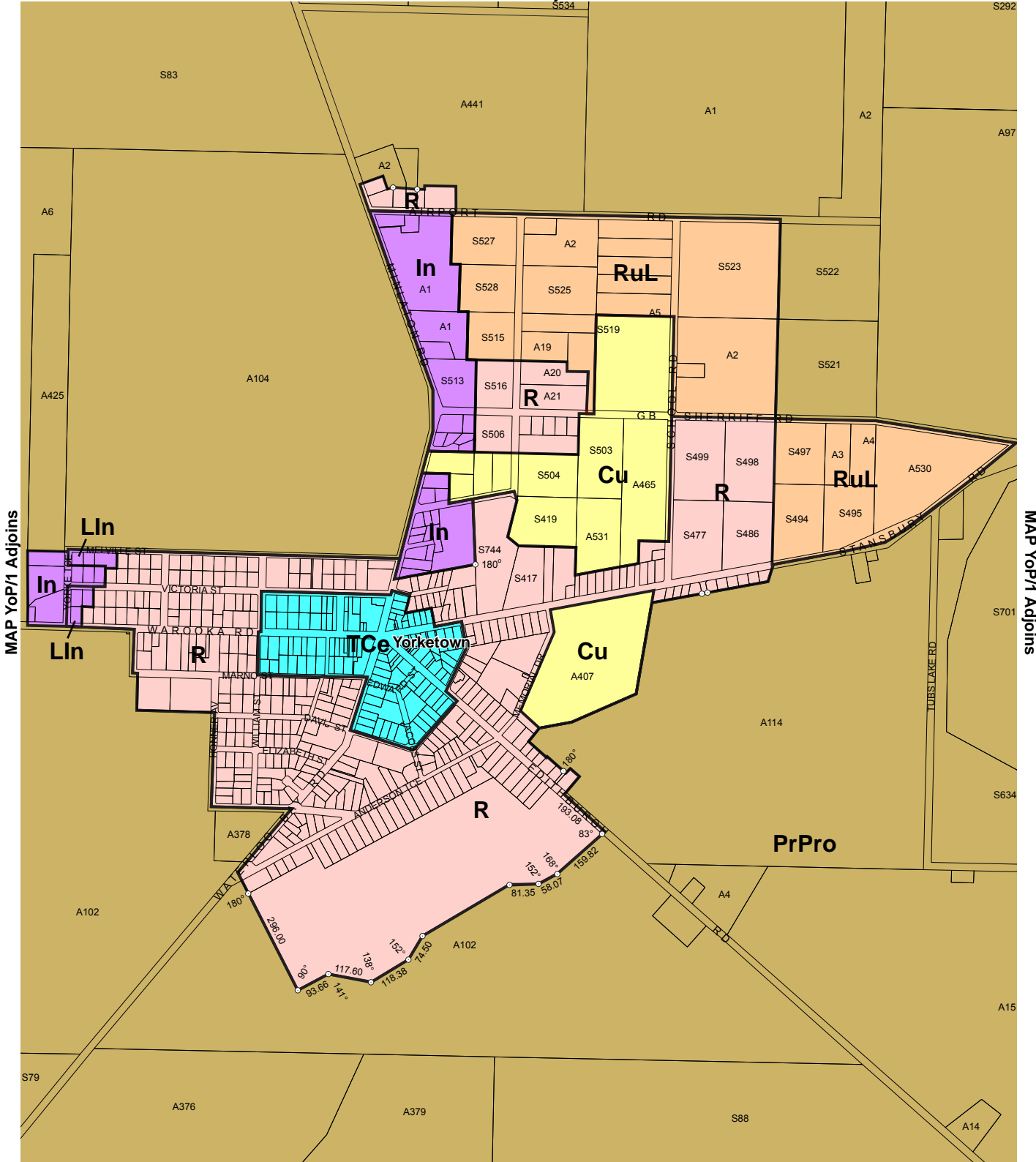
Overlay Map YoP/37

TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Secondary Arterial Roads

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



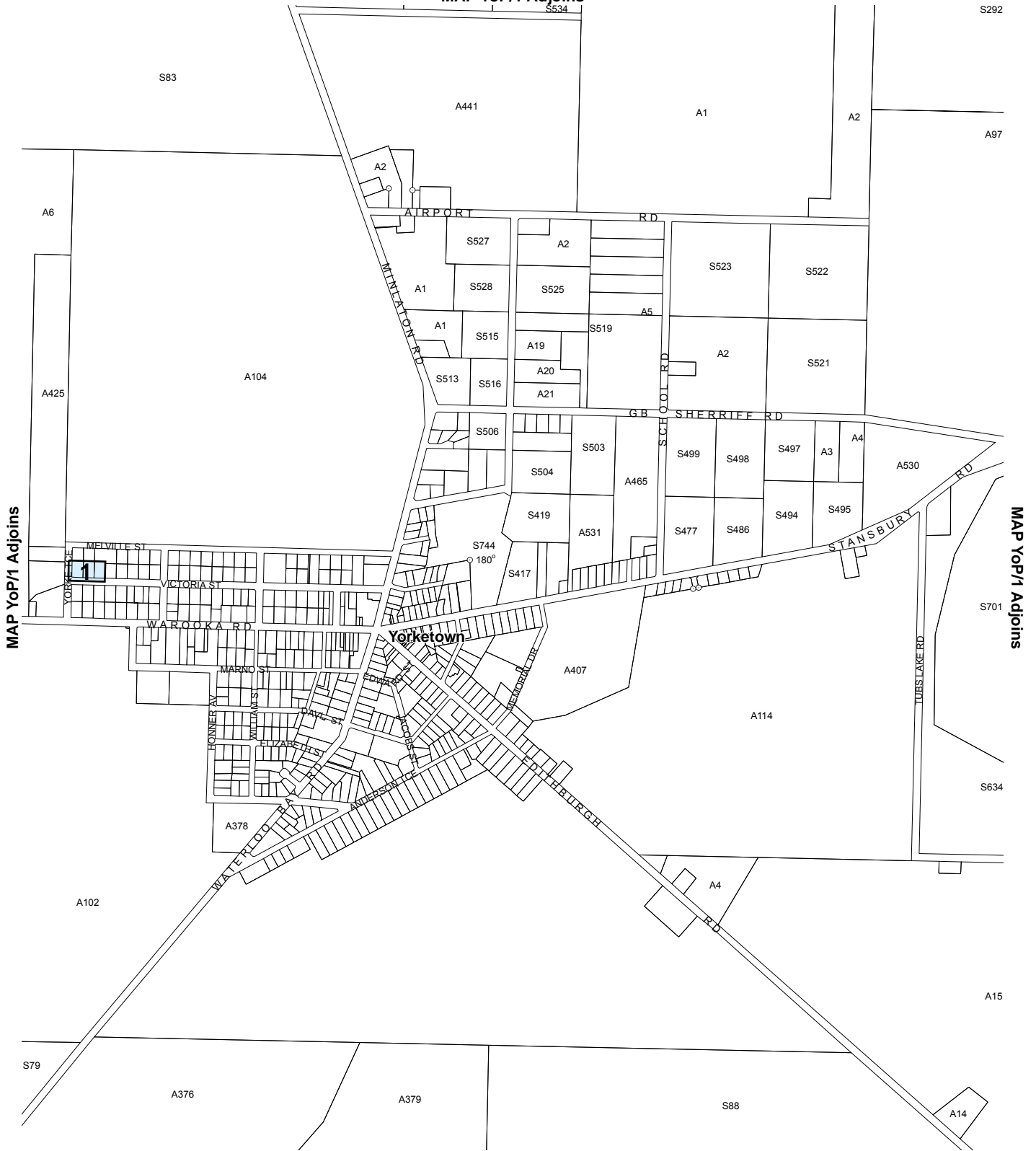
0 500m

YORKETOWN

Zone Map YoP/37

- Zones**
- Community
 - Industry
 - Light Industry
 - Primary Production
 - Residential
 - Rural Living
 - Town Centre
 - Zone Boundary

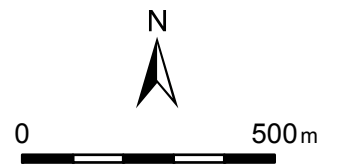
MAP YoP/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

1 Infrastructure

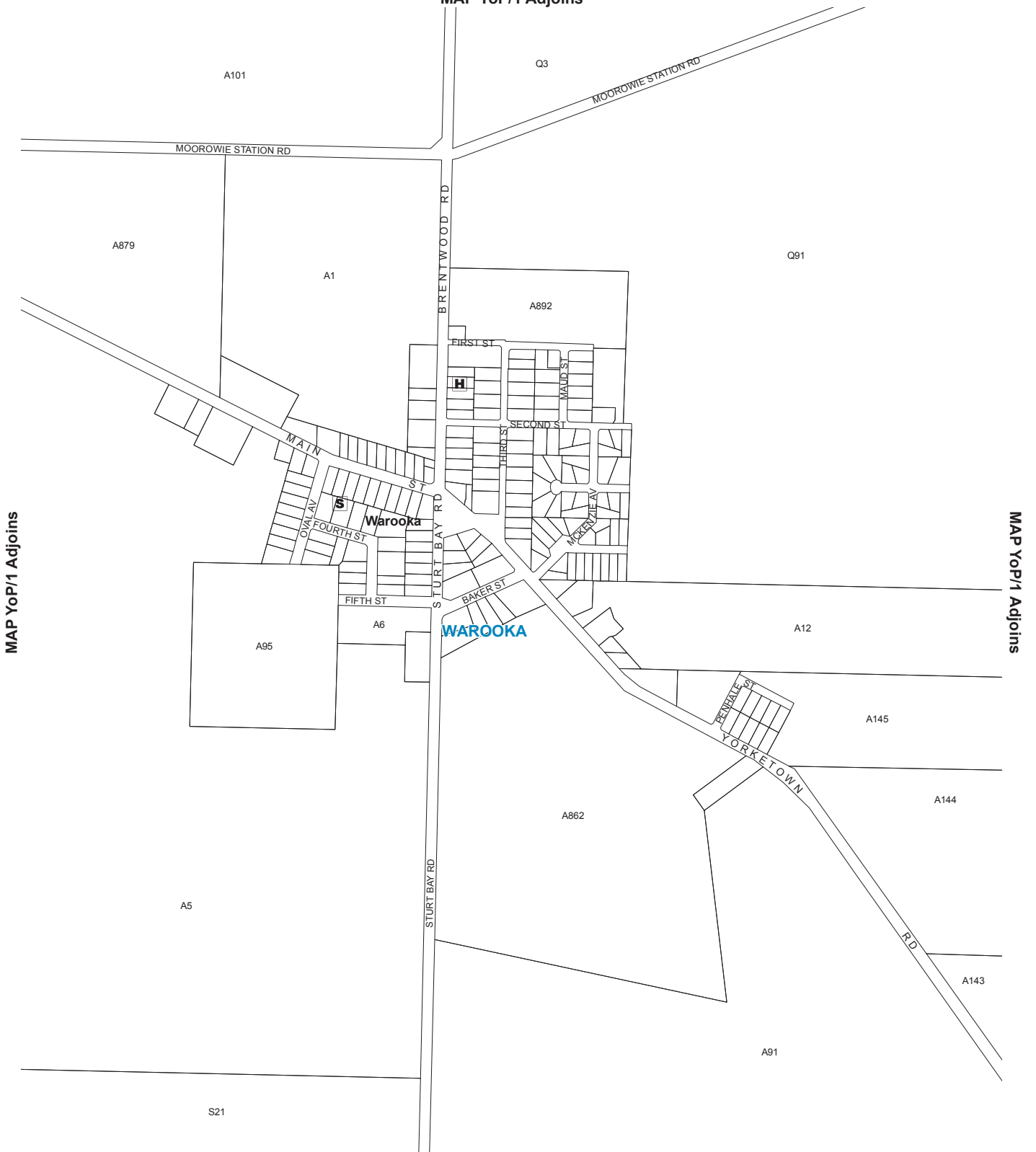


YORKETOWN

Policy Area Map YoP/37

 Policy Area Boundary

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins



WAROOKA

Location Map YoP/38

- S** School
- H** Other Health Services

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins



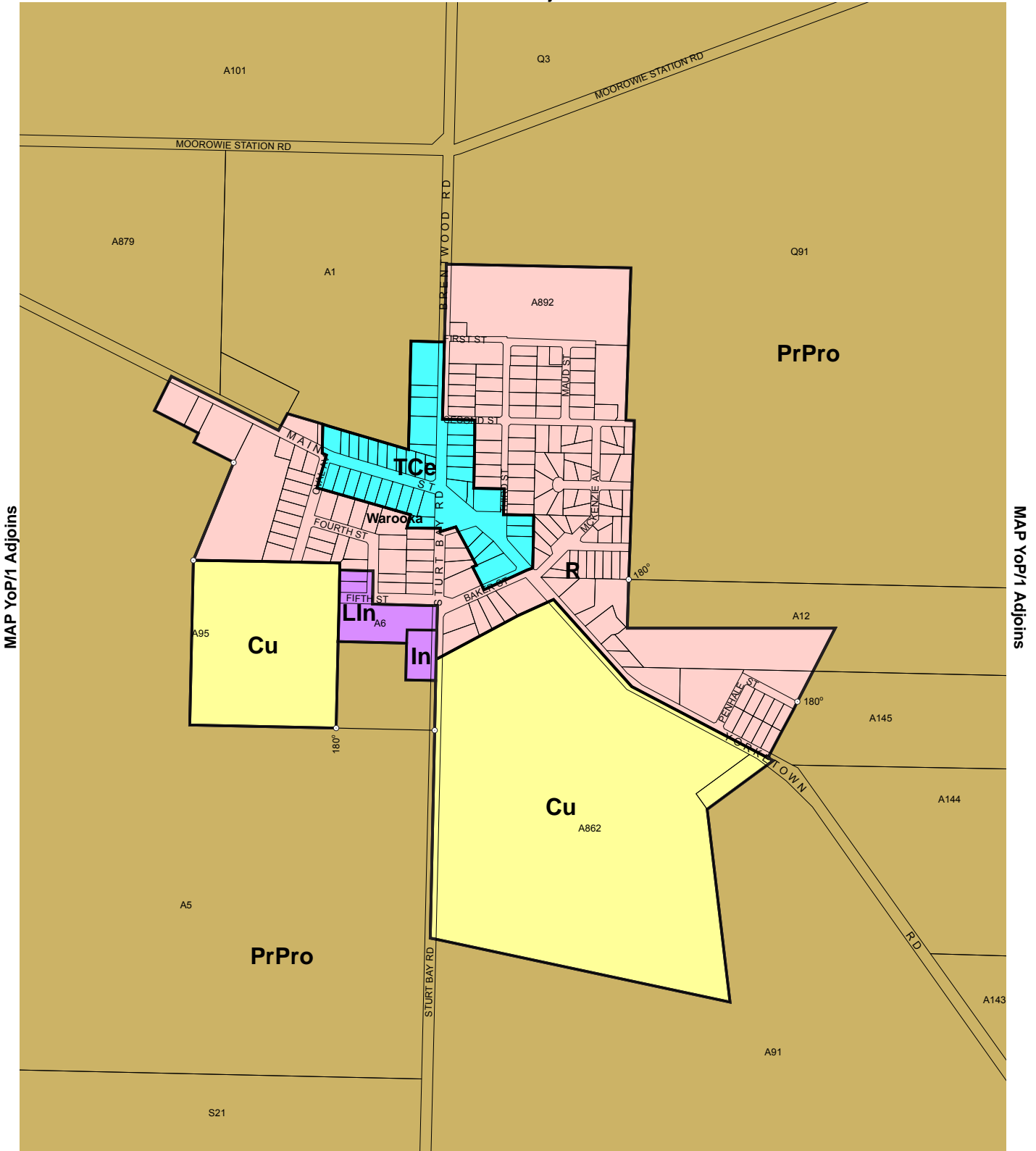
WAROOKA

Overlay Map YoP/38

TRANSPORT

- █ Primary Arterial Roads
- █ Secondary Arterial Roads

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



0 500m

- Zones**
- Cu Community
 - In Industry
 - Lin Light Industry
 - PrPro Primary Production
 - R Residential
 - TCe Town Centre
 - Zone Boundary

WAROOKA

Zone Map YoP/38

MAP YoP/1 Adjoins



MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

MAP YoP/1 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
1 Infrastructure



WAROOKA

Policy Area Map YoP/38

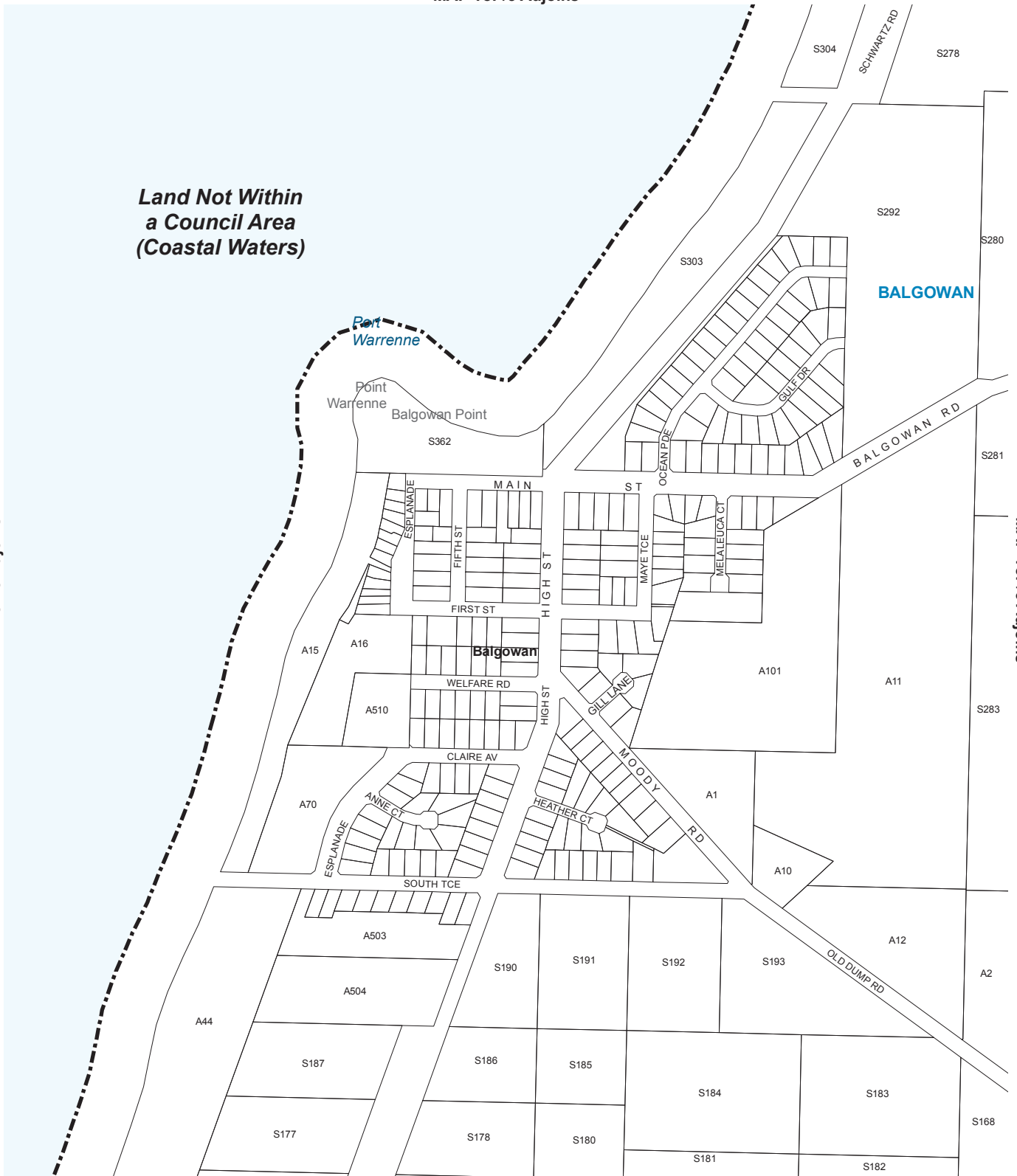
 Policy Area Boundary

MAP YoP/3 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/3 Adjoins

MAP YoP/3 Adjoins



MAP YoP/3 Adjoins

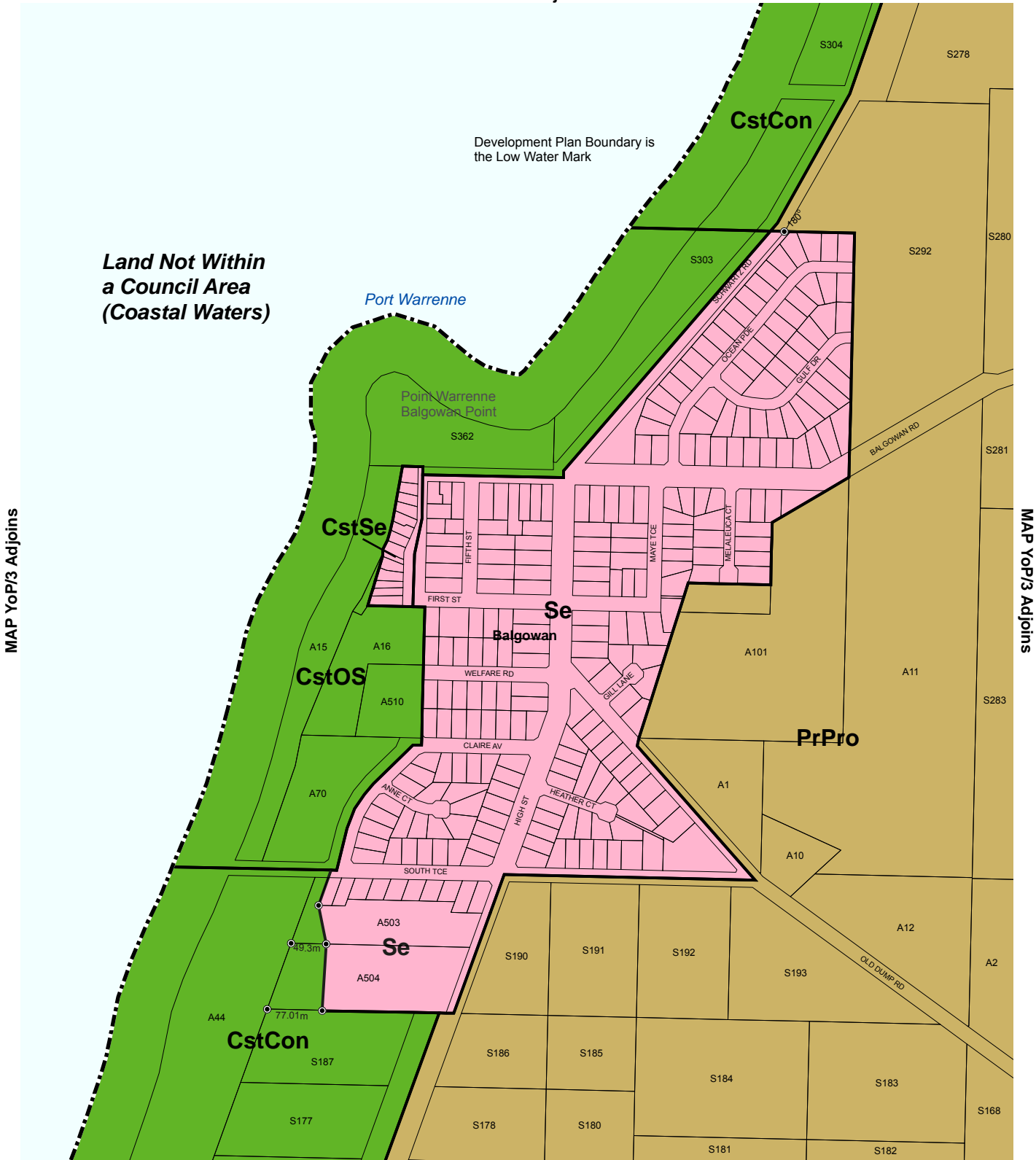


BALGOWAN

Location Map YoP/39

----- Development Plan Boundary

MAP YoP/3 Adjoins



MAP YoP/3 Adjoins

Lamberts Conformal Conic Projection, GDA94



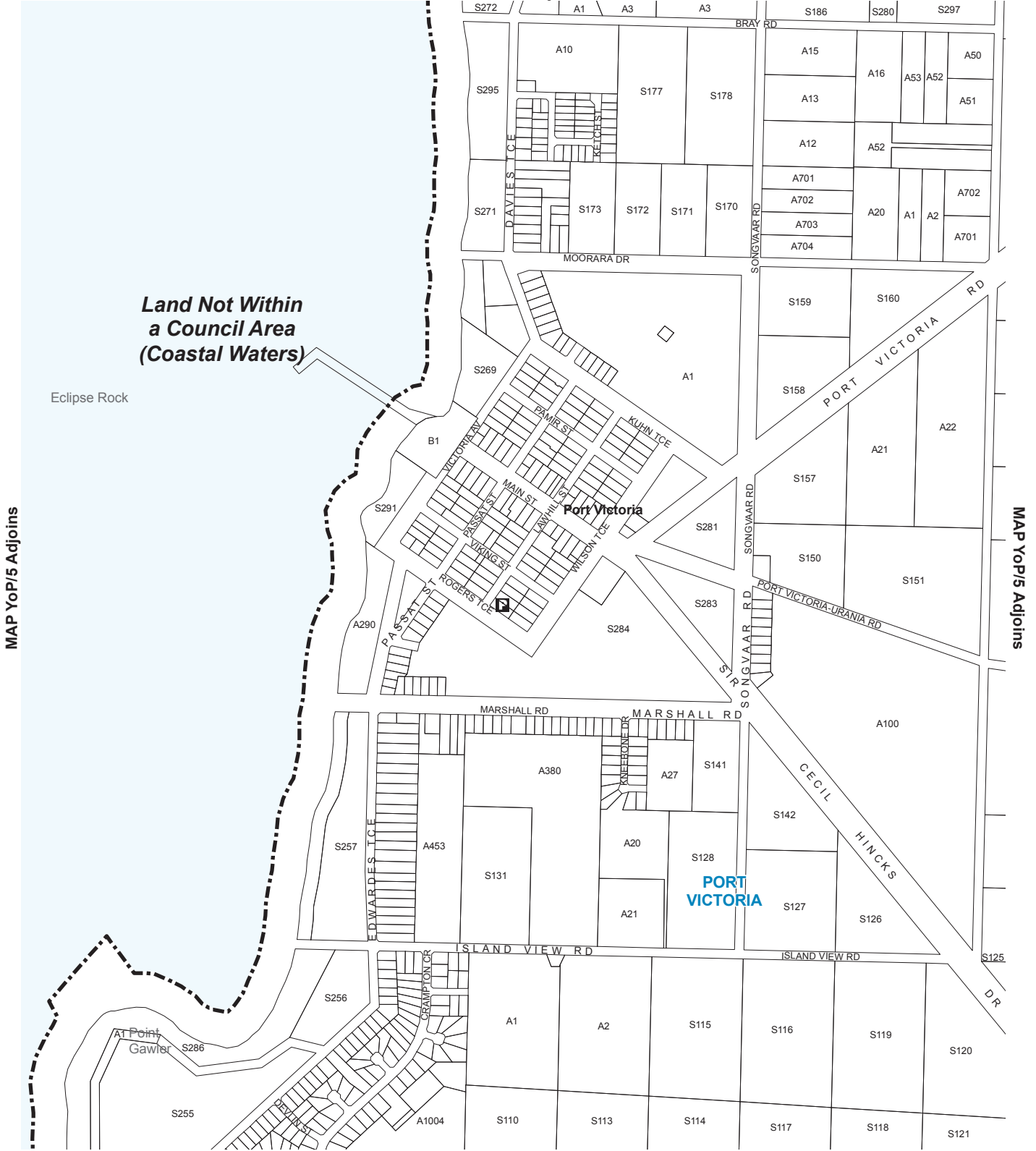
0 250m

- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

BALGOWAN

Zone Map YoP/39

MAP YoP/5 Adjoins




MAP YoP/5 Adjoins

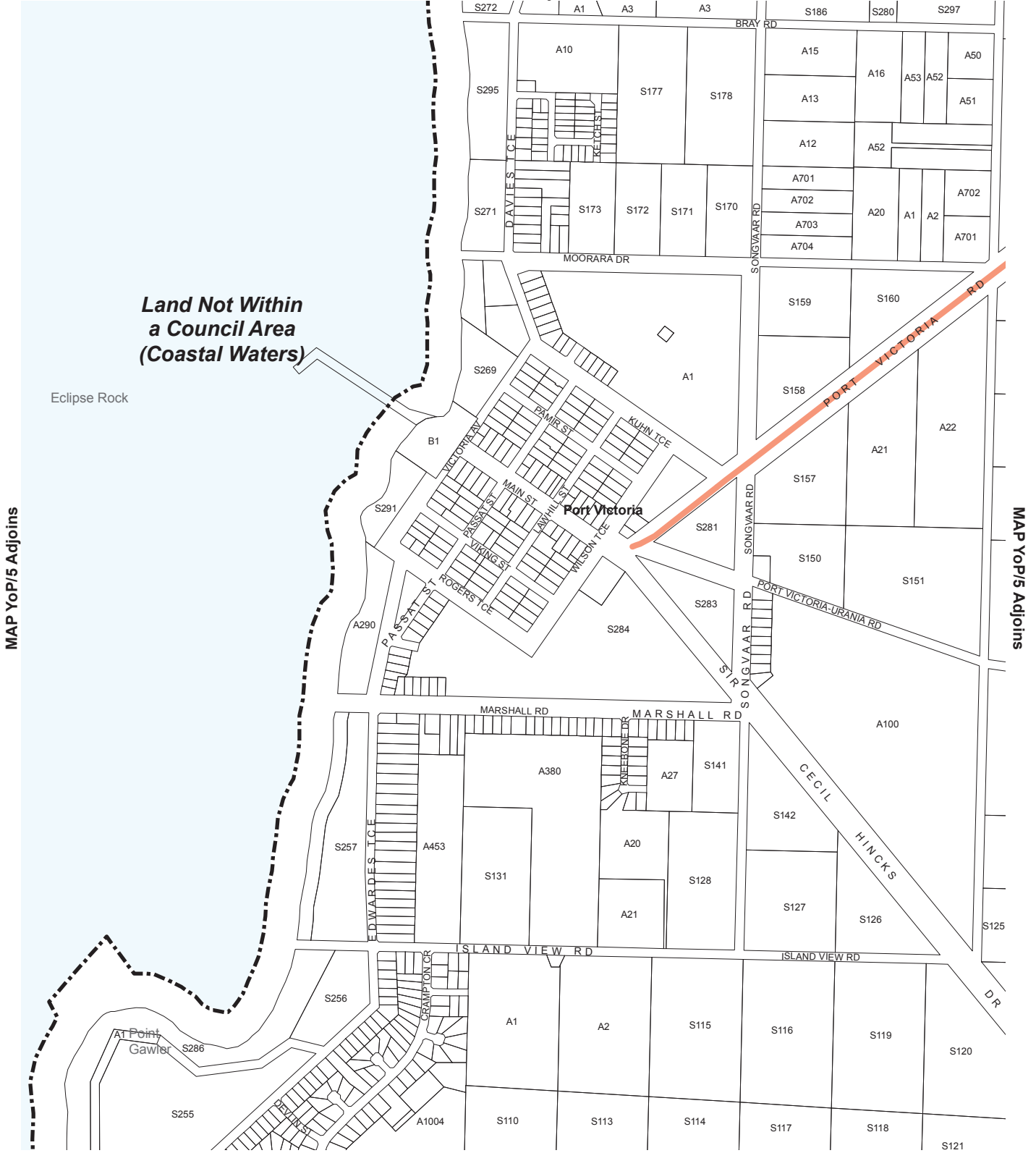


PORT VICTORIA

Location Map YoP/40

-  Police Station
-  Development Plan Boundary

MAP YoP/5 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

Eclipse Rock

MAP YoP/5 Adjoins

Port Victoria

MAP YoP/5 Adjoins

MAP YoP/5 Adjoins

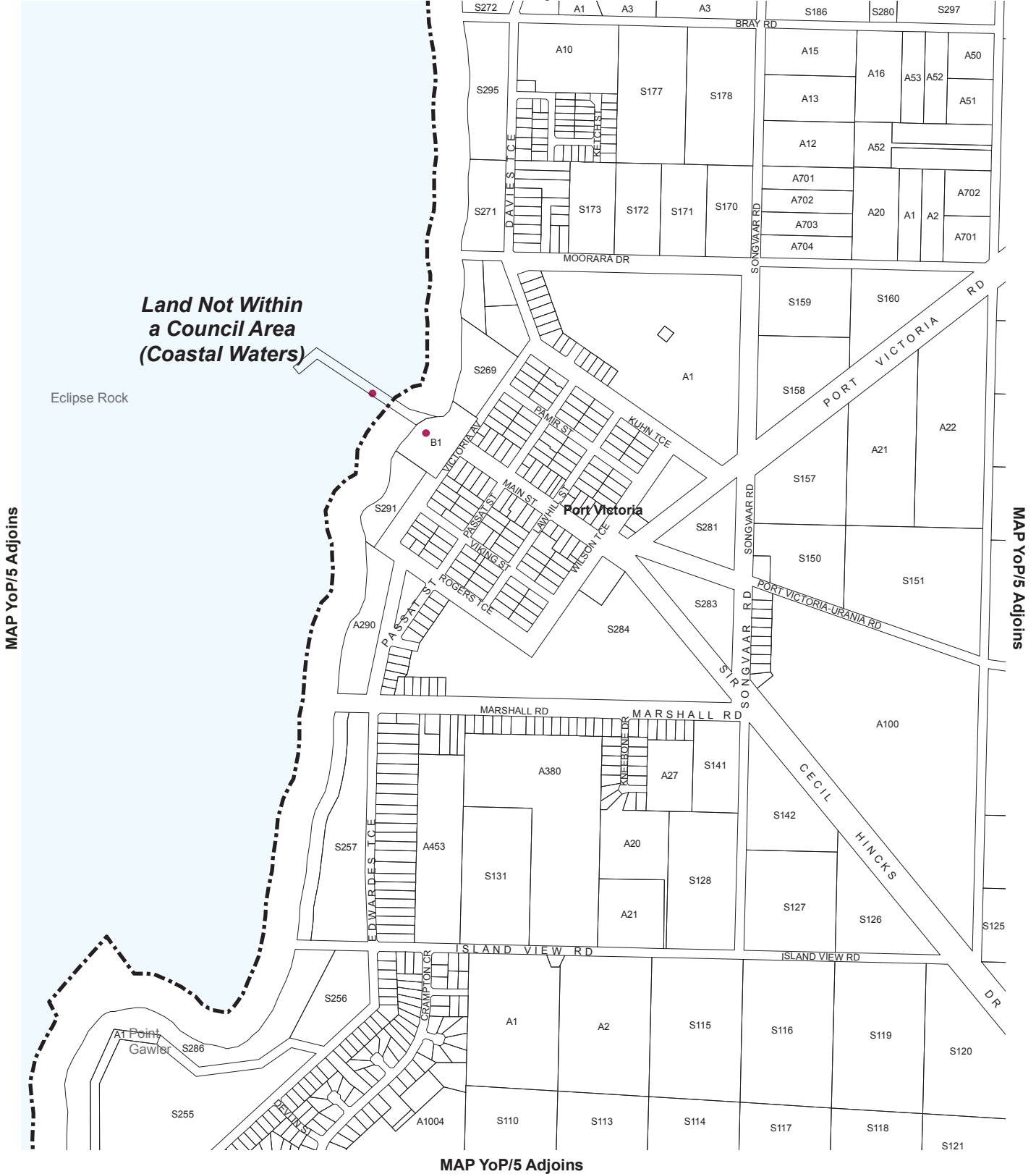


PORT VICTORIA

Overlay Map YoP/40 TRANSPORT

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/5 Adjoins



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



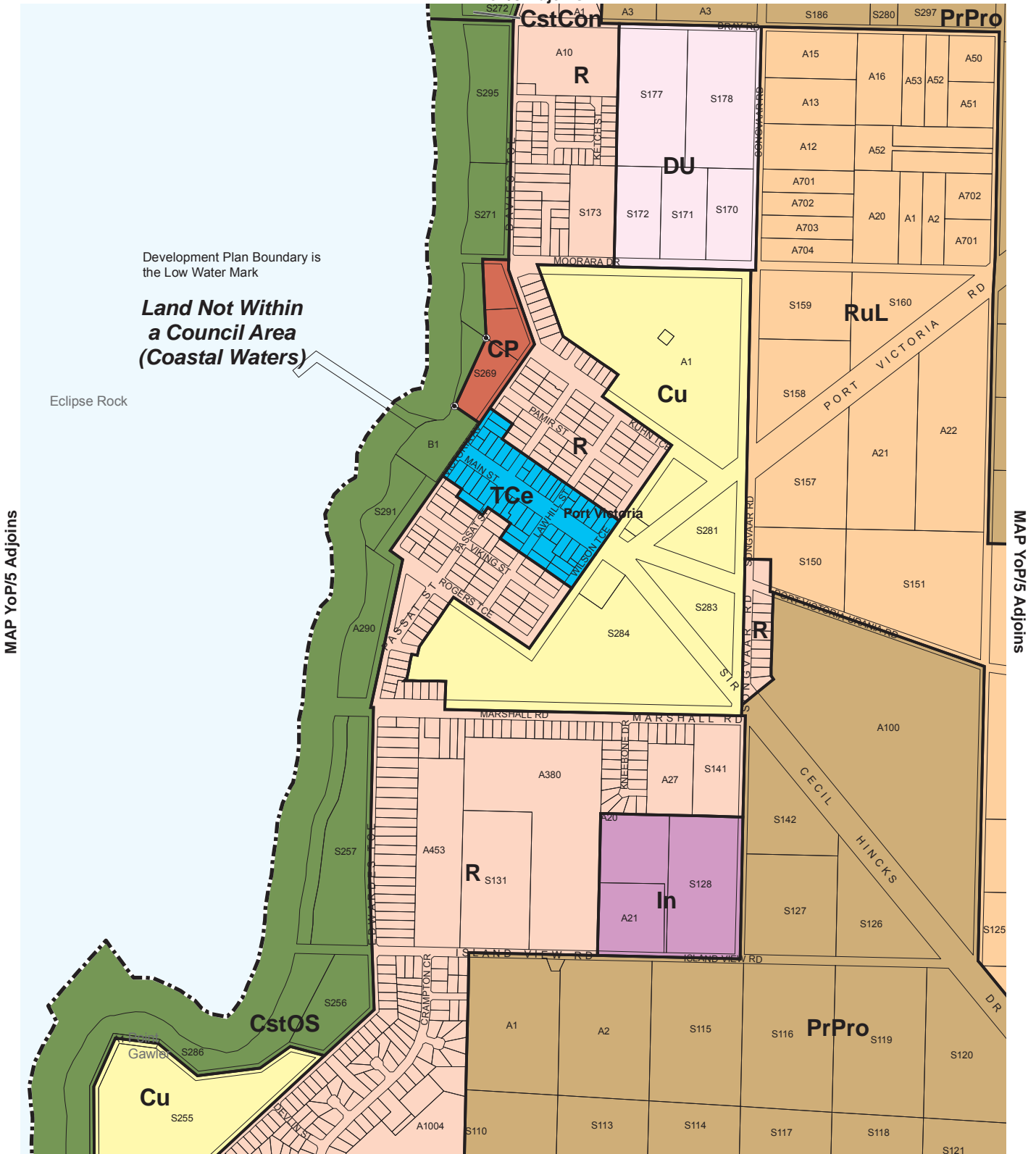
PORT VICTORIA

Overlay Map YoP/40 HERITAGE

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/5 Adjoins



MAP YoP/5 Adjoins

Lamberts Conformal Conic Projection, GDA94

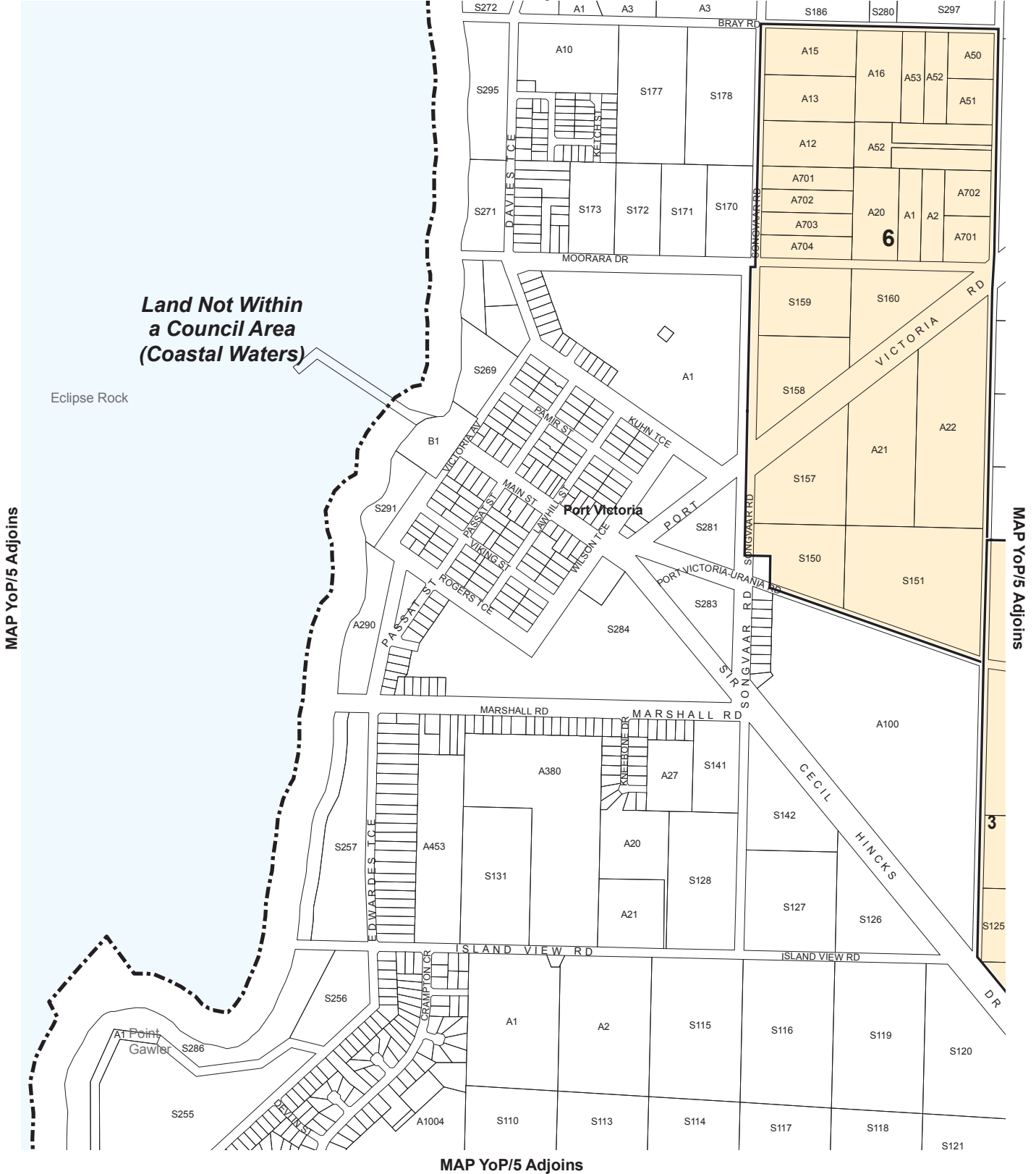


PORT VICTORIA

Zone Map YoP/40

Zones	
 CP	Caravan and Tourist Park
 CstCon	Coastal Conservation
 CstOS	Coastal Open Space
 Cu	Community
 DU	Deferred Urban
 In	Industry
 PrPro	Primary Production
 R	Residential
 RuL	Rural Living
 TCe	Town Centre
	Zone Boundary
	Development Plan Boundary

MAP YoP/5 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct

- 3 Limited Subdivision
- 6 Port Victoria Rural Living



PORT VICTORIA

Precinct Map YoP/40

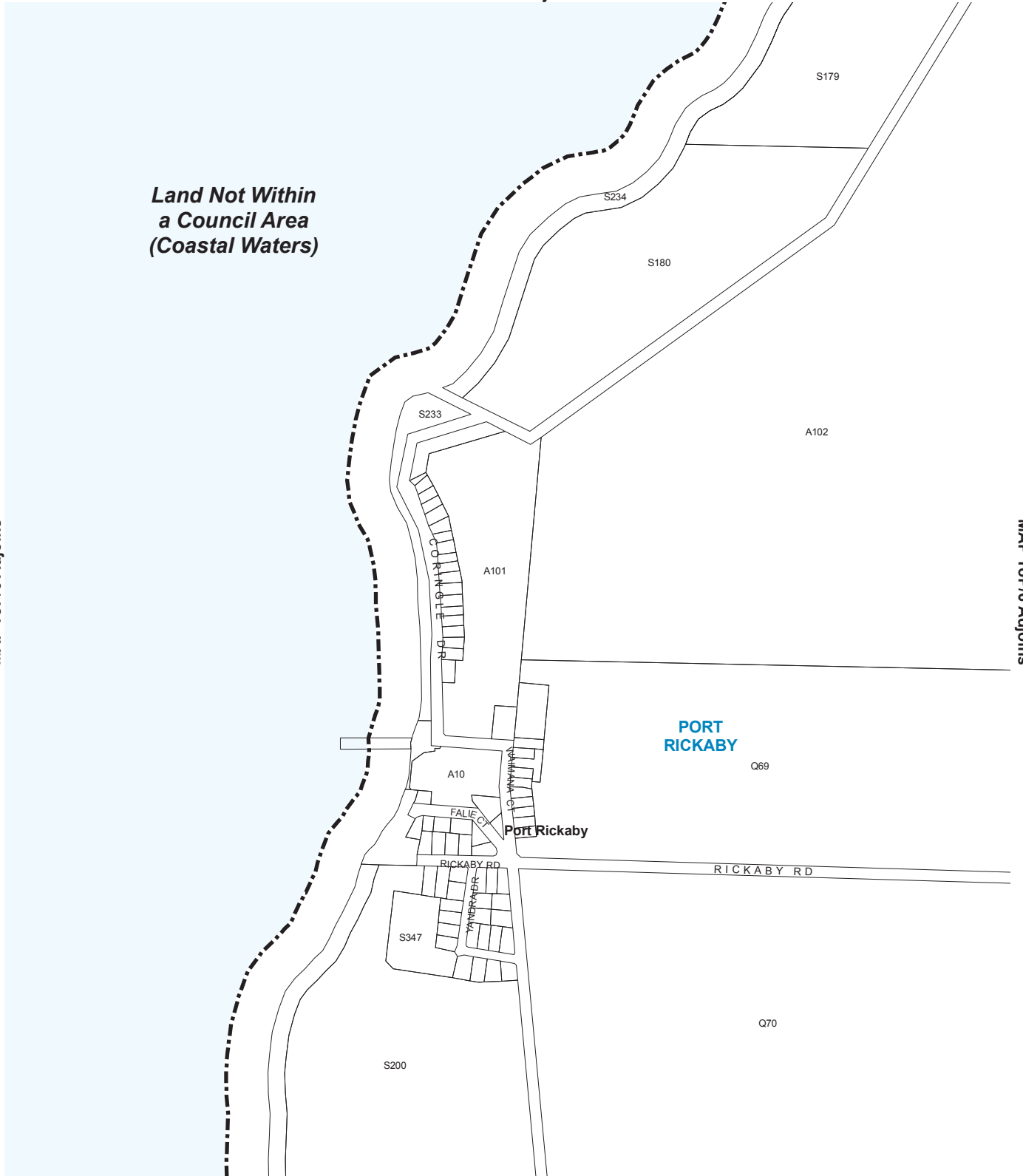
- Precinct Boundary
- Development Plan Boundary

MAP YoP/6 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/6 Adjoins

MAP YoP/6 Adjoins



MAP YoP/6 Adjoins



PORT RICKABY

Location Map YoP/41

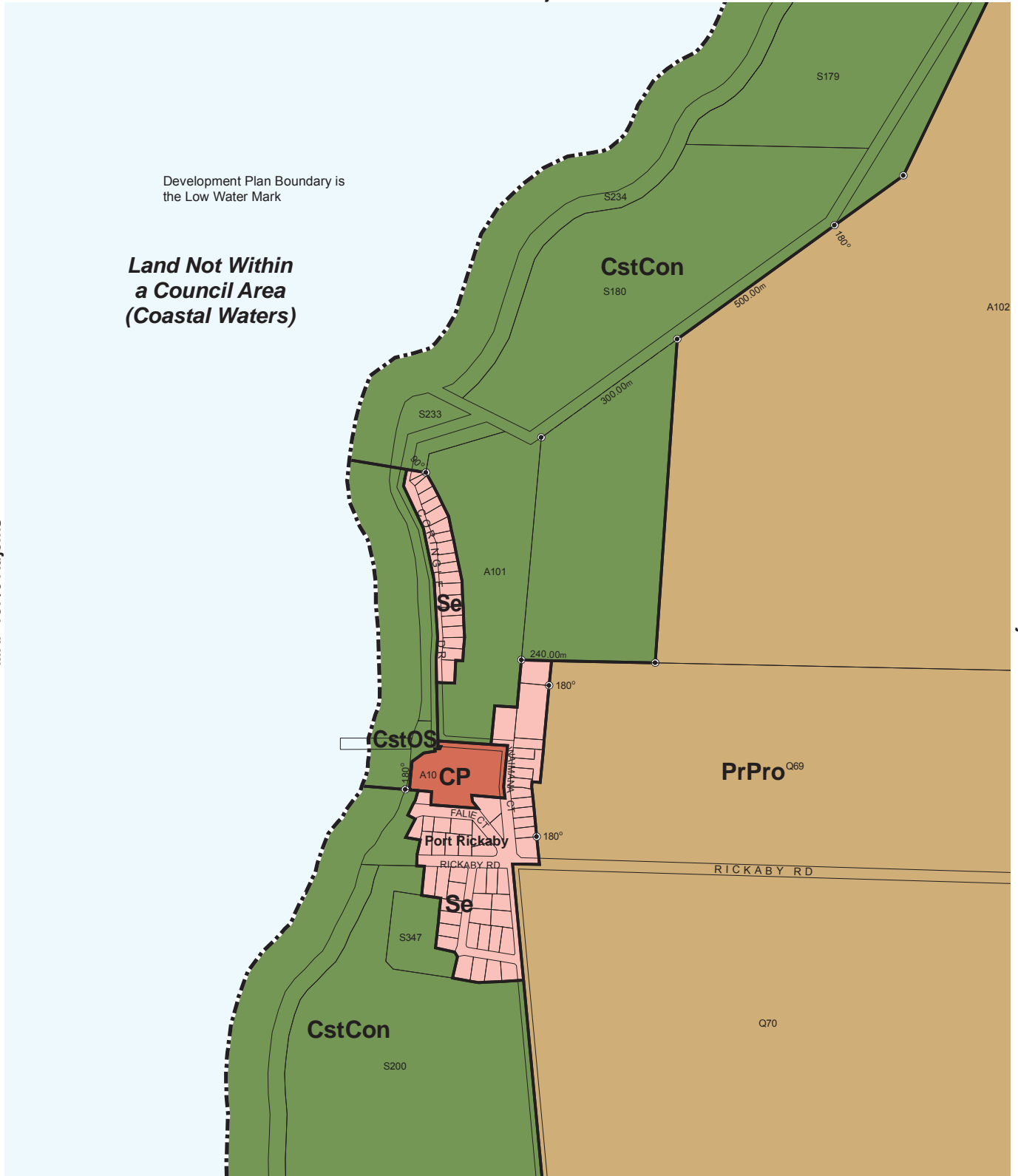
----- Development Plan Boundary

Development Plan Boundary is the Low Water Mark

Land Not Within a Council Area (Coastal Waters)

MAP YoP/6 Adjoins

MAP YoP/6 Adjoins



Lamberts Conformal Conic Projection, GDA94



- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

PORT RICKABY

Zone Map YoP/41

MAP YoP/7 Adjoins

S184

S173

Land Not Within
a Council Area
(Coastal Waters)

A22

A30

MAP YoP/7 Adjoins

MAP YoP/7 Adjoins

A24

Brown Point

Bluff Beach

DAVIT DR

EDWARDS ST

A21

DAVIT DR

A102

BLUFF
BEACH

A50

BLUFF RD

Q100

Q101

MAP YoP/7 Adjoins



0

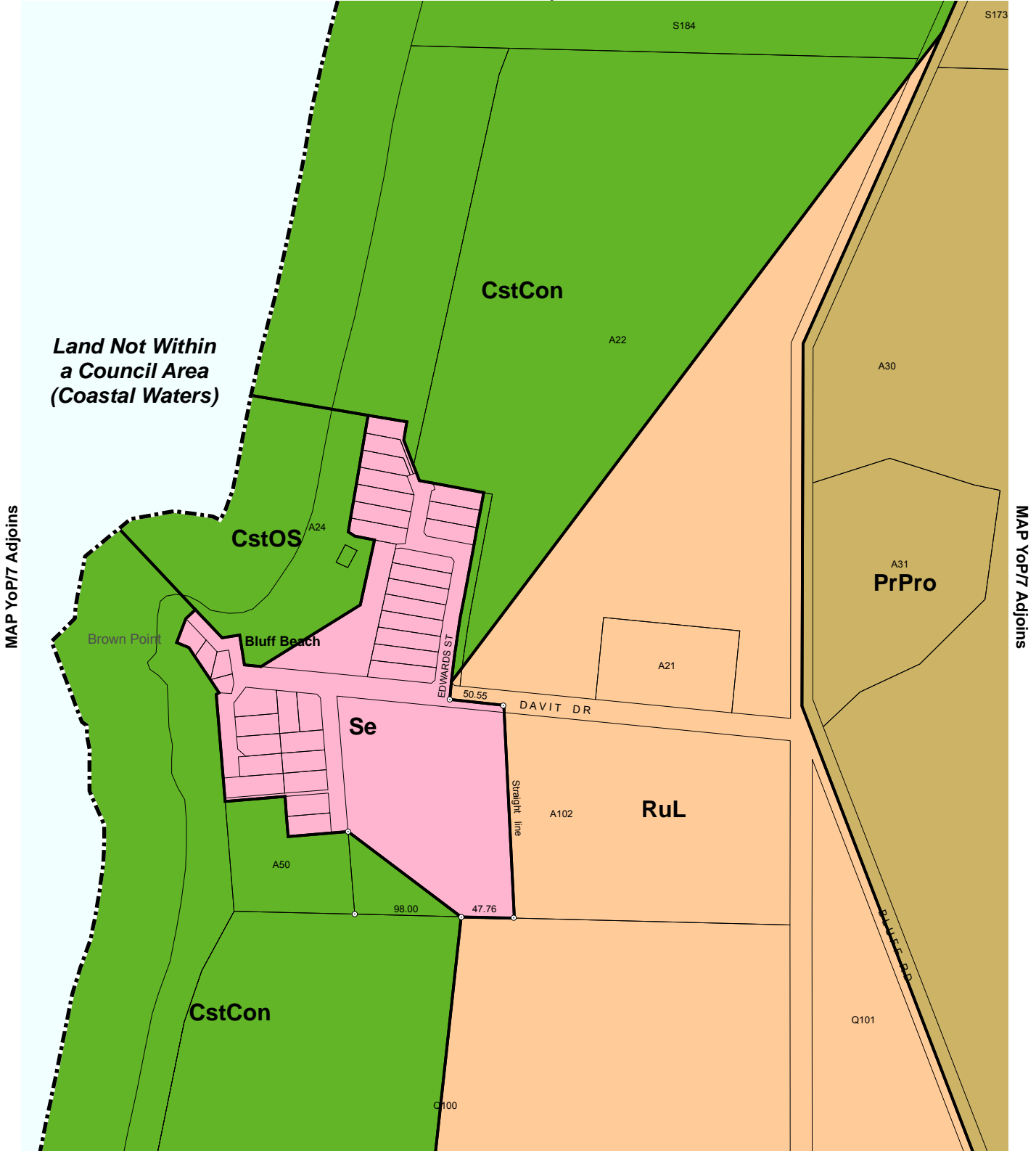
250m



BLUFF BEACH

Location Map YoP/42

----- Development Plan Boundary



Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- PrPro Primary Production
- RuL Rural Living
- Se Settlement
- Zone Boundary
- Development Plan Boundary

BLUFF BEACH

Zone Map YoP/42

MAP YoP/7 Adjoins

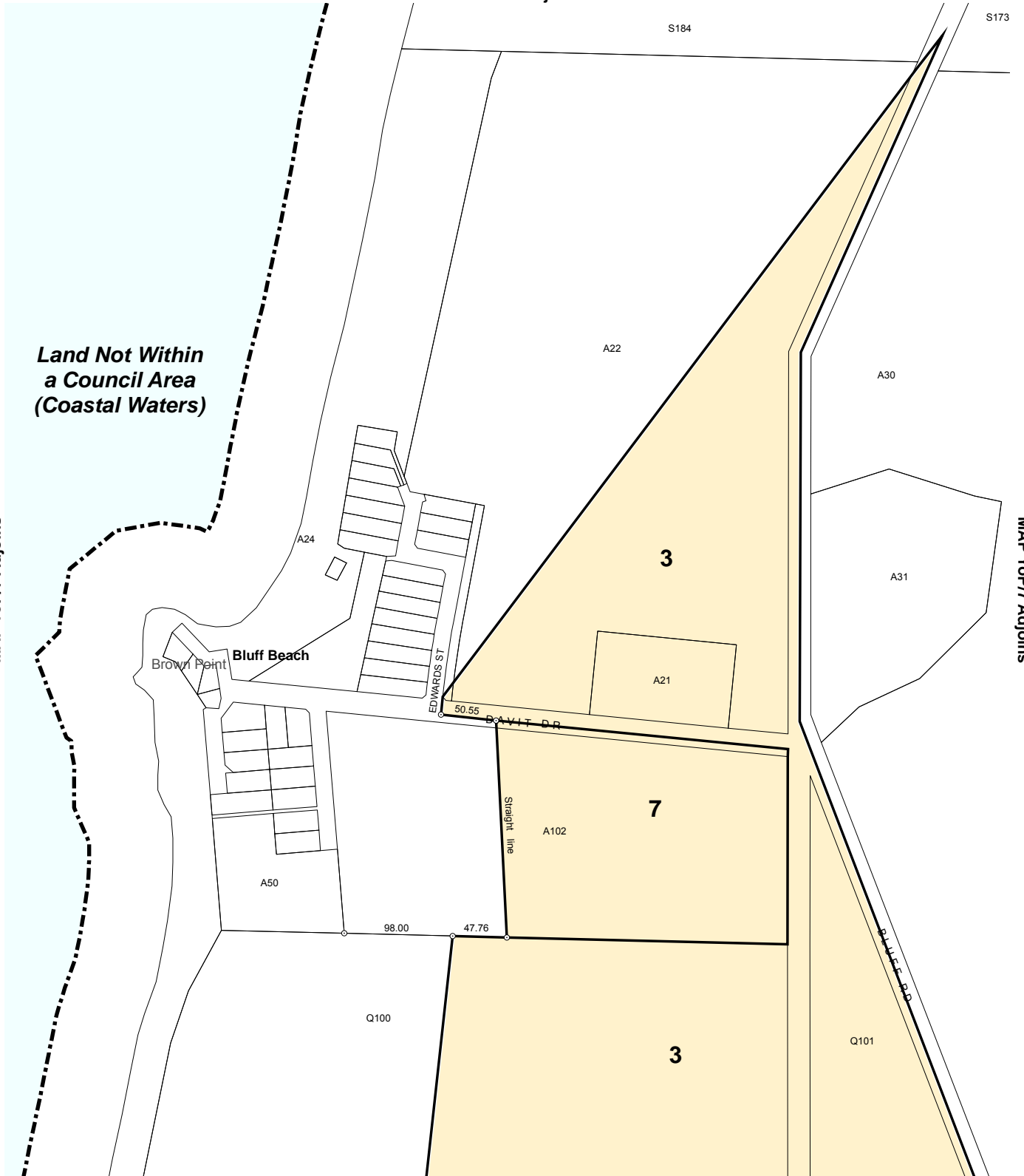
S184

S173

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/7 Adjoins

MAP YoP/7 Adjoins



MAP YoP/7 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct

- 3 Limited Subdivision
- 7 Bluff Beach Rural Living



0

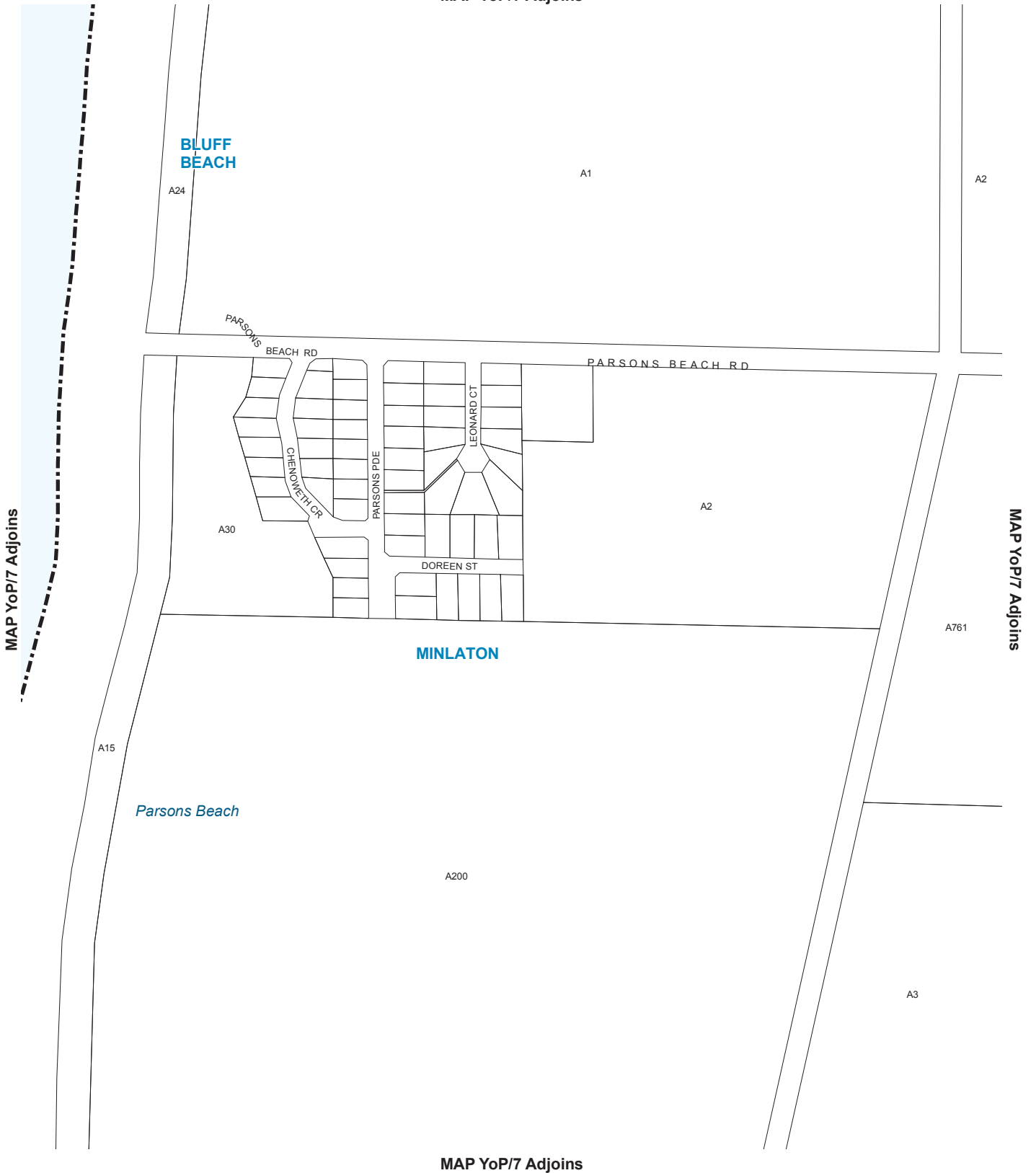
250m



BLUFF BEACH

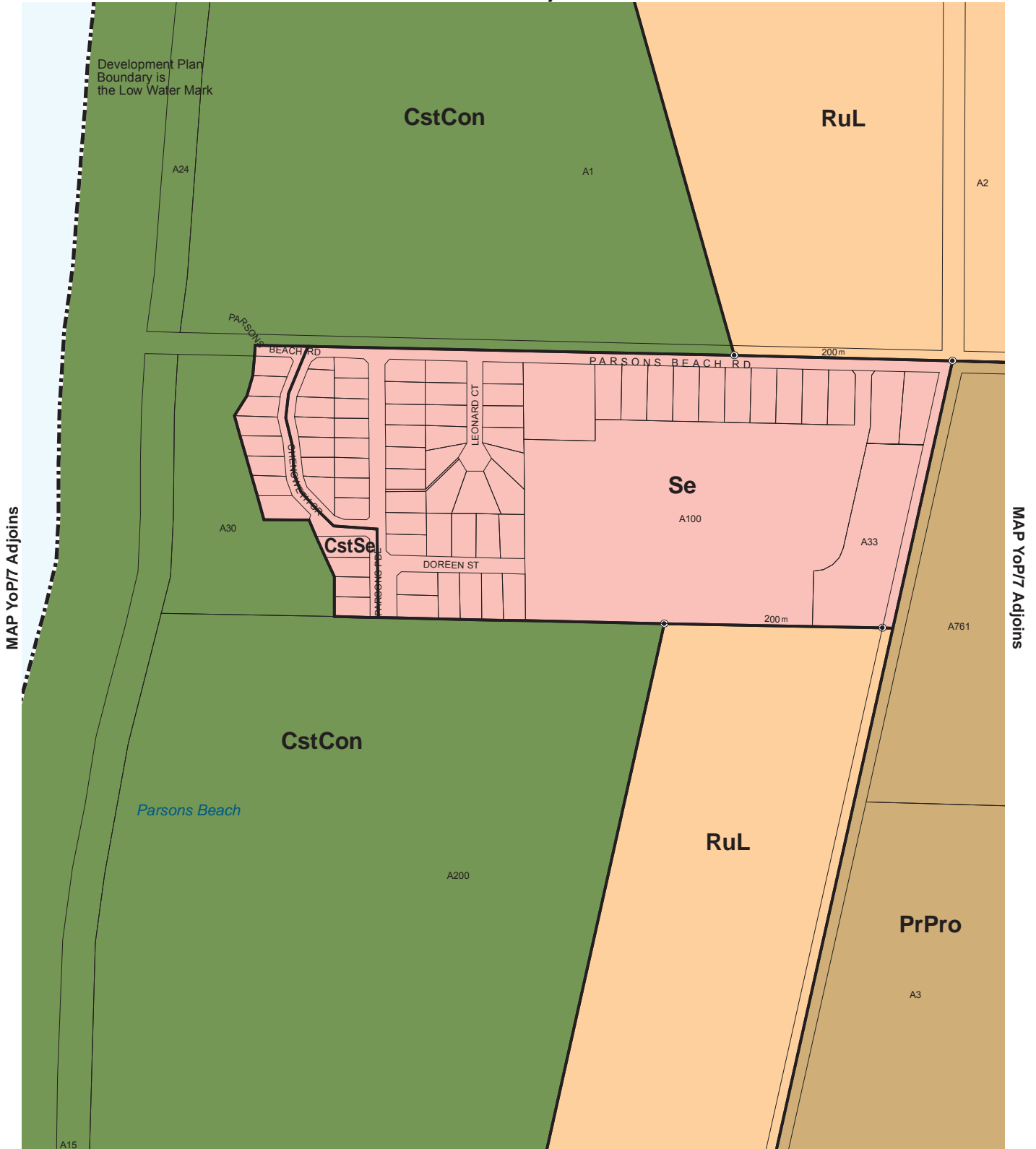
Precinct Map YoP/42

- Precinct Boundary
- Development Plan Boundary



PARSONS BEACH

Location Map YoP/43



Lamberts Conformal Conic Projection, GDA94

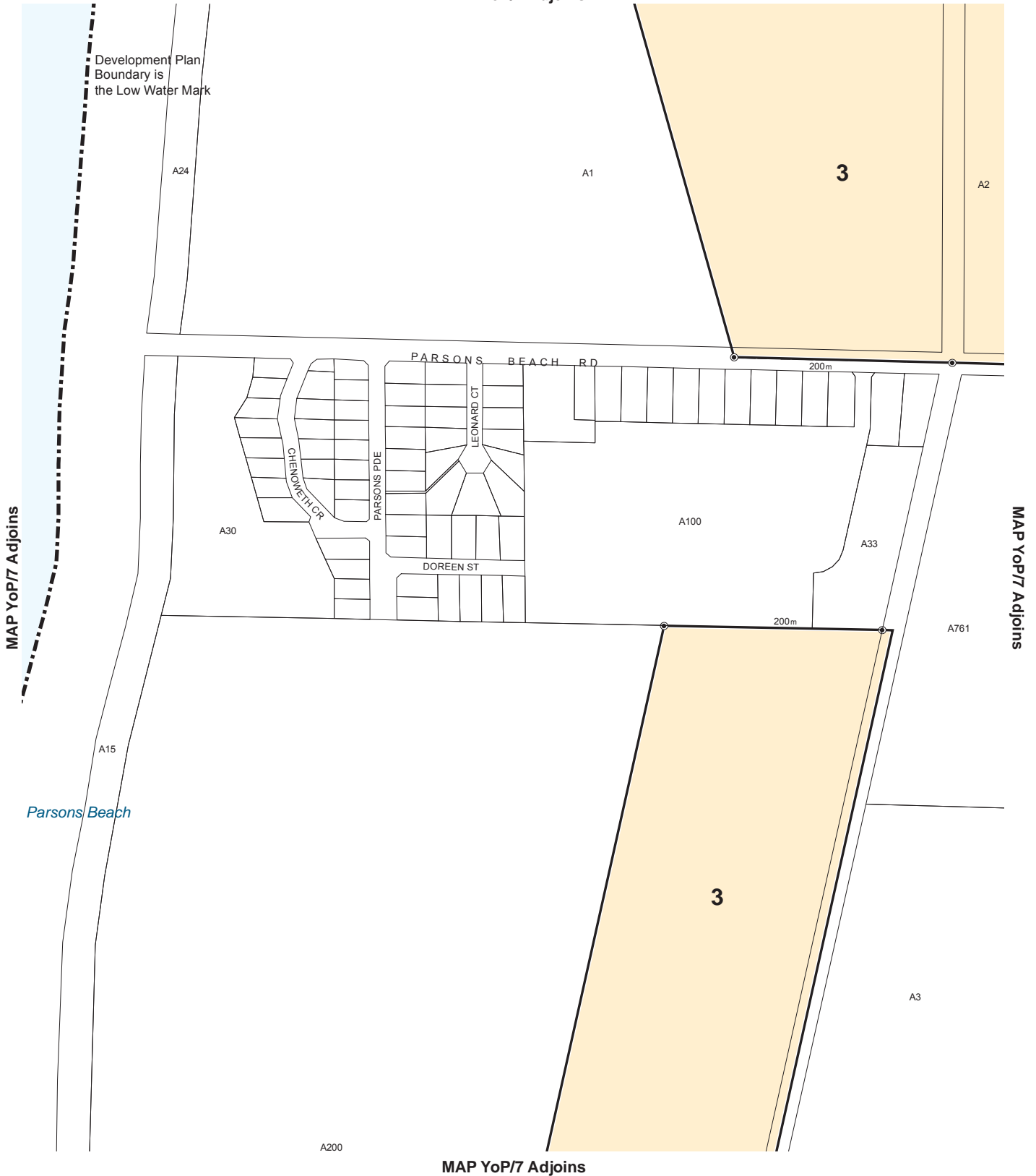


- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - RuL Rural Living
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

PARSONS BEACH

Zone Map YoP/43

MAP YoP/7 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct 3 Limited Subdivision



PARSONS BEACH

Precinct Map YoP/43

- Precinct Boundary
- Development Plan Boundary

MAP YoP/8 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/8 Adjoins



MAP YoP/8 Adjoins

MAP YoP/8 Adjoins

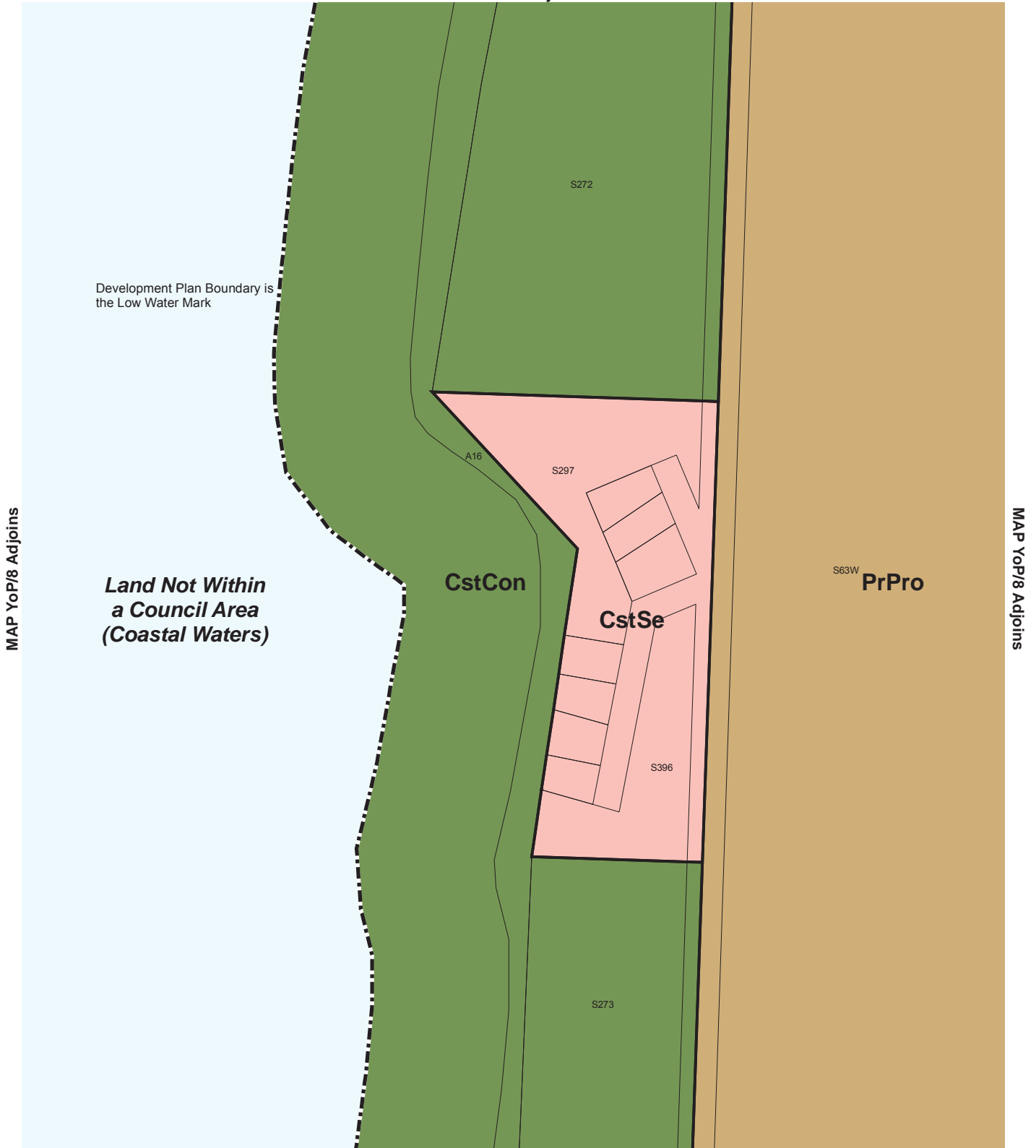


COCKLE BEACH

Location Map YoP/44

----- Development Plan Boundary

MAP YoP/8 Adjoins



Lamberts Conformal Conic Projection, GDA94



COCKLE BEACH

Zone Map YoP/44

- Zones**
- CstCon Coastal Conservation
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

MAP YoP/8 Adjoins



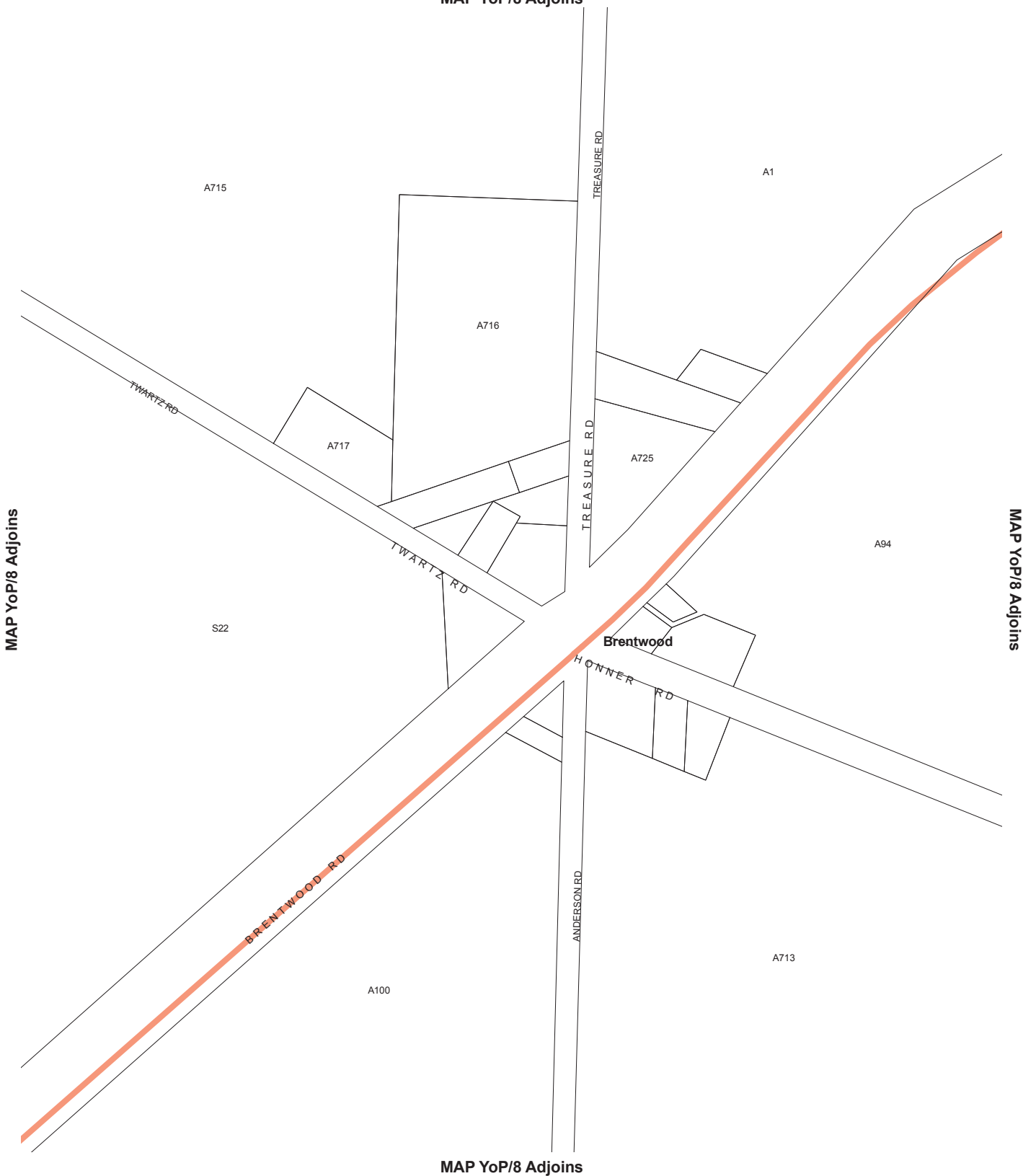
MAP YoP/8 Adjoins



BRENTWOOD

Location Map YoP/45

MAP YoP/8 Adjoins



BRENTWOOD

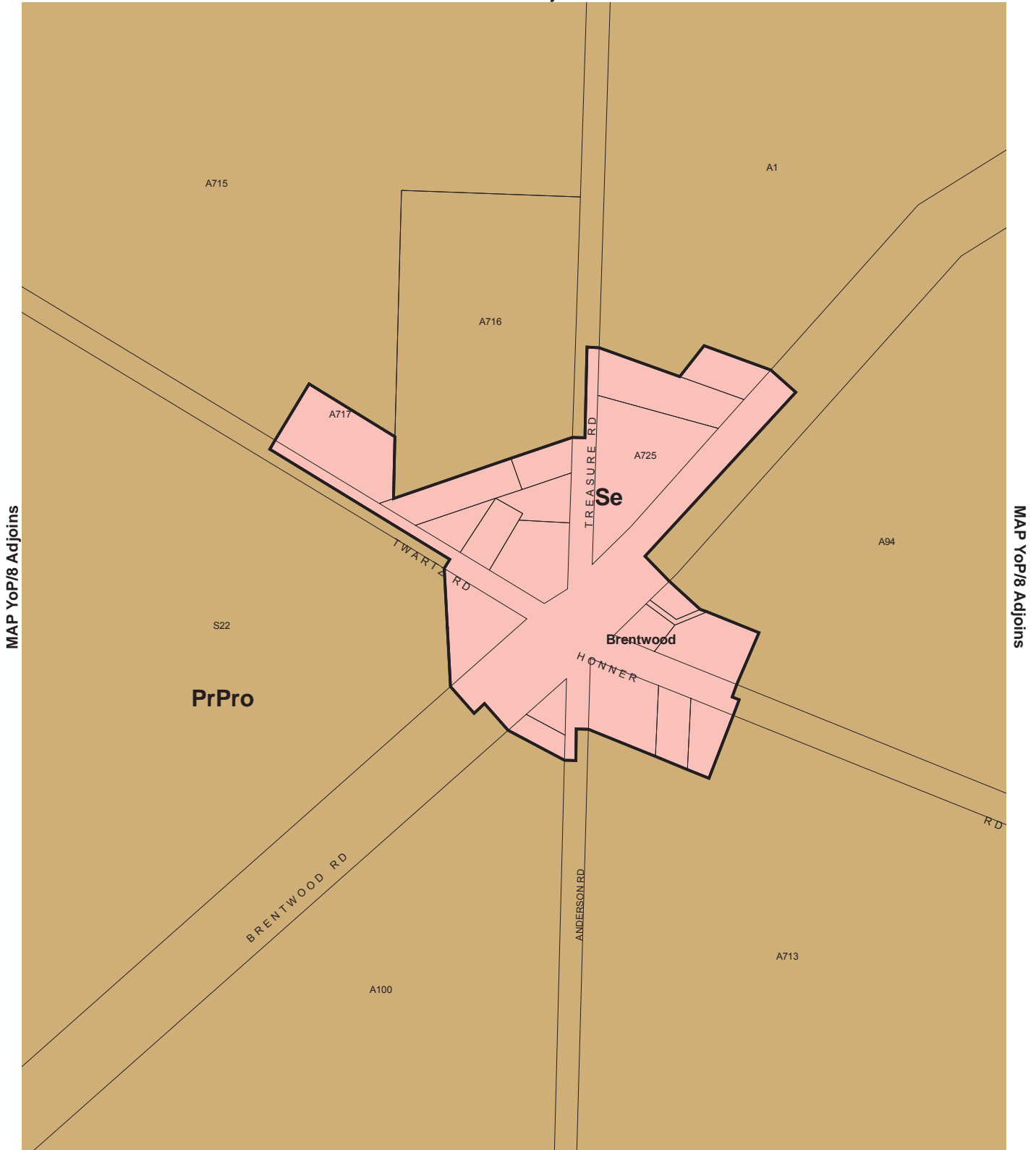
Overlay Map YoP/45

TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Secondary Arterial Roads

MAP YoP/8 Adjoins



MAP YoP/8 Adjoins

Lamberts Conformal Conic Projection, GDA94



BRENTWOOD

Zone Map YoP/45

- Zones**
- PrPro Primary Production
 - Se Settlement
 - Zone Boundary

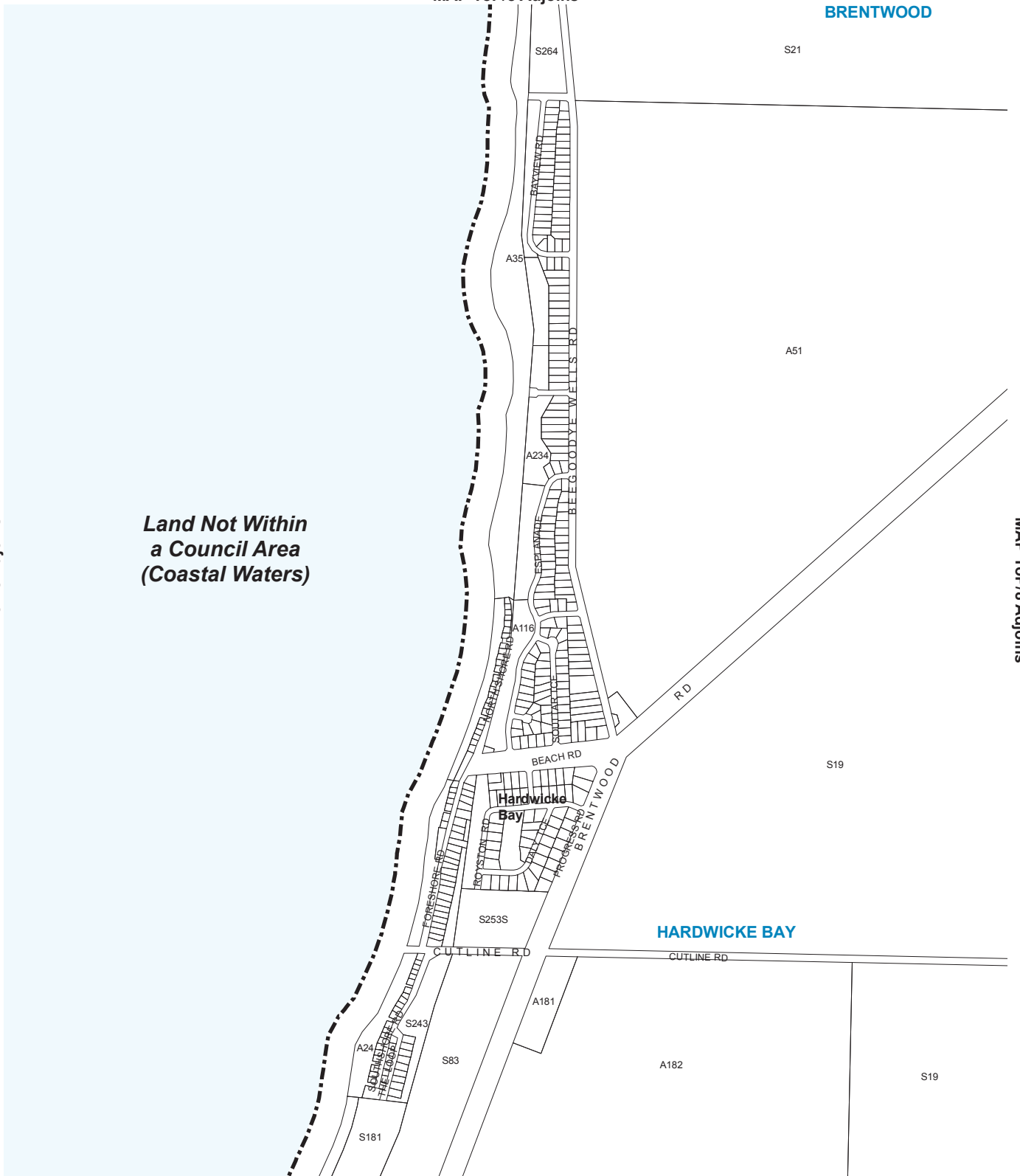
MAP YoP/8 Adjoins

BRENTWOOD

MAP YoP/8 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/8 Adjoins



MAP YoP/8 Adjoins



HARDWICKE BAY

Location Map YoP/46

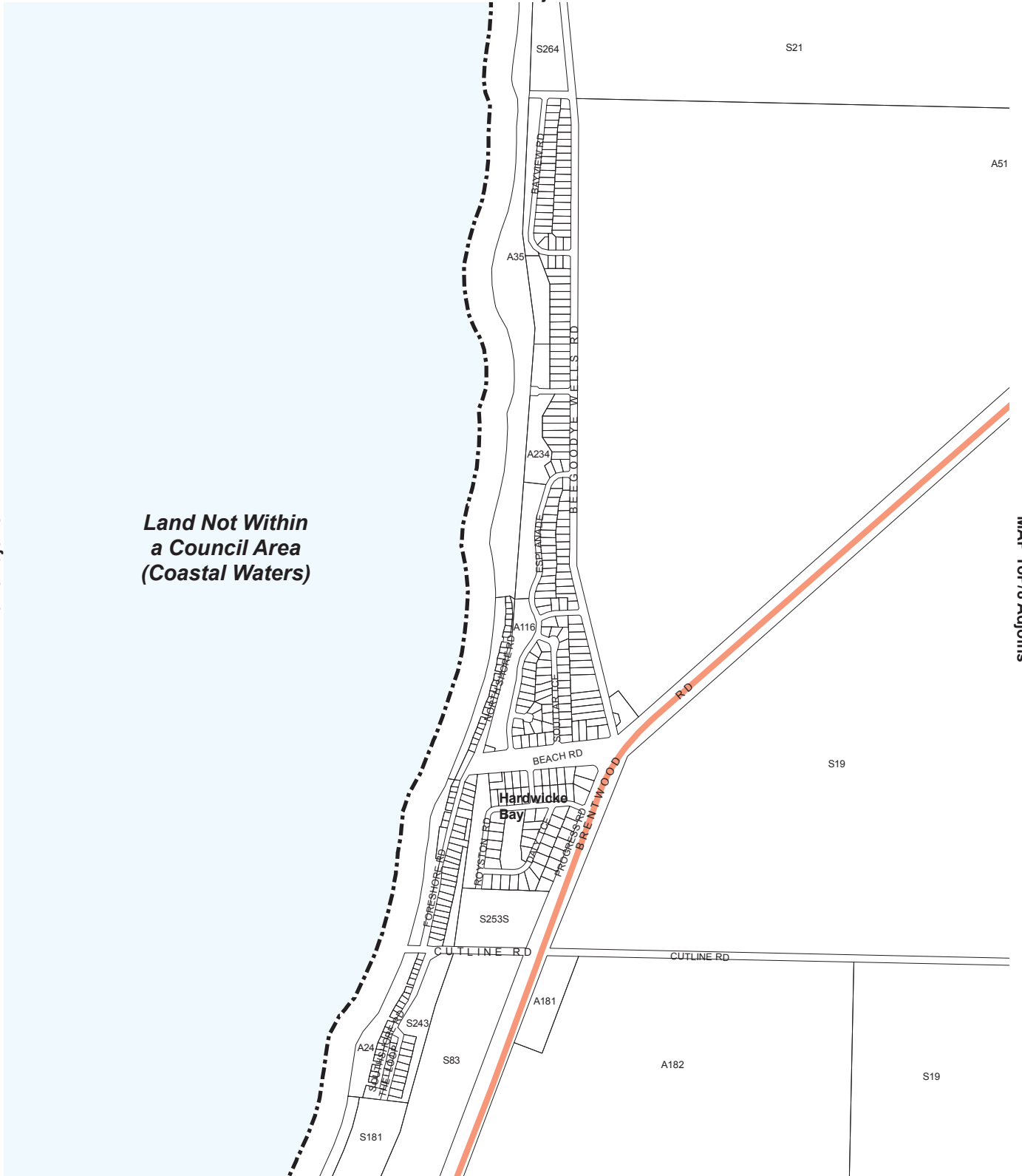
----- Development Plan Boundary

MAP YoP/8 Adjoins

MAP YoP/8 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/8 Adjoins



MAP YoP/8 Adjoins



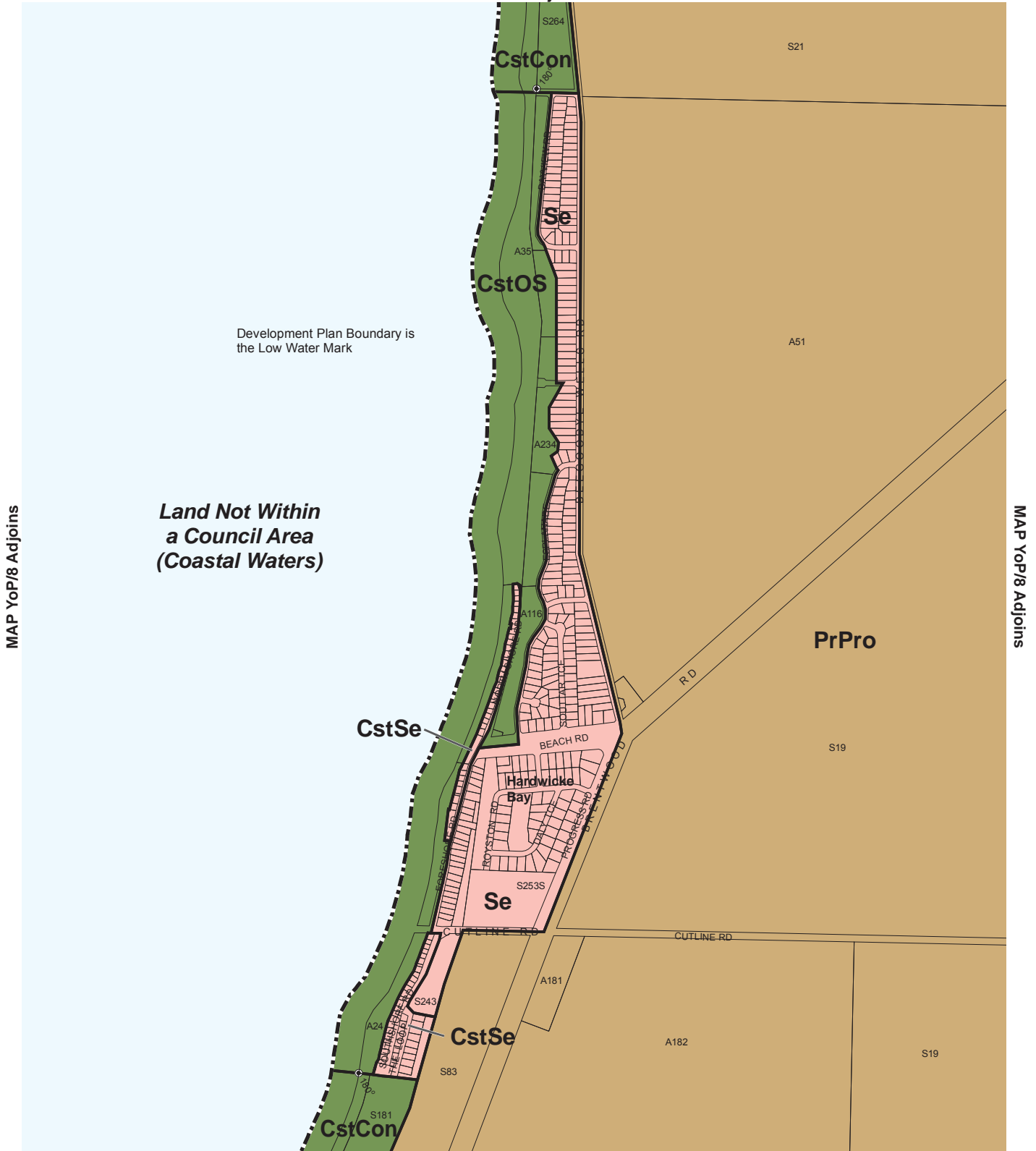
HARDWICKE BAY

Overlay Map YoP/46 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/8 Adjoins



MAP YoP/8 Adjoins

MAP YoP/8 Adjoins

MAP YoP/8 Adjoins

Lamberts Conformal Conic Projection, GDA94



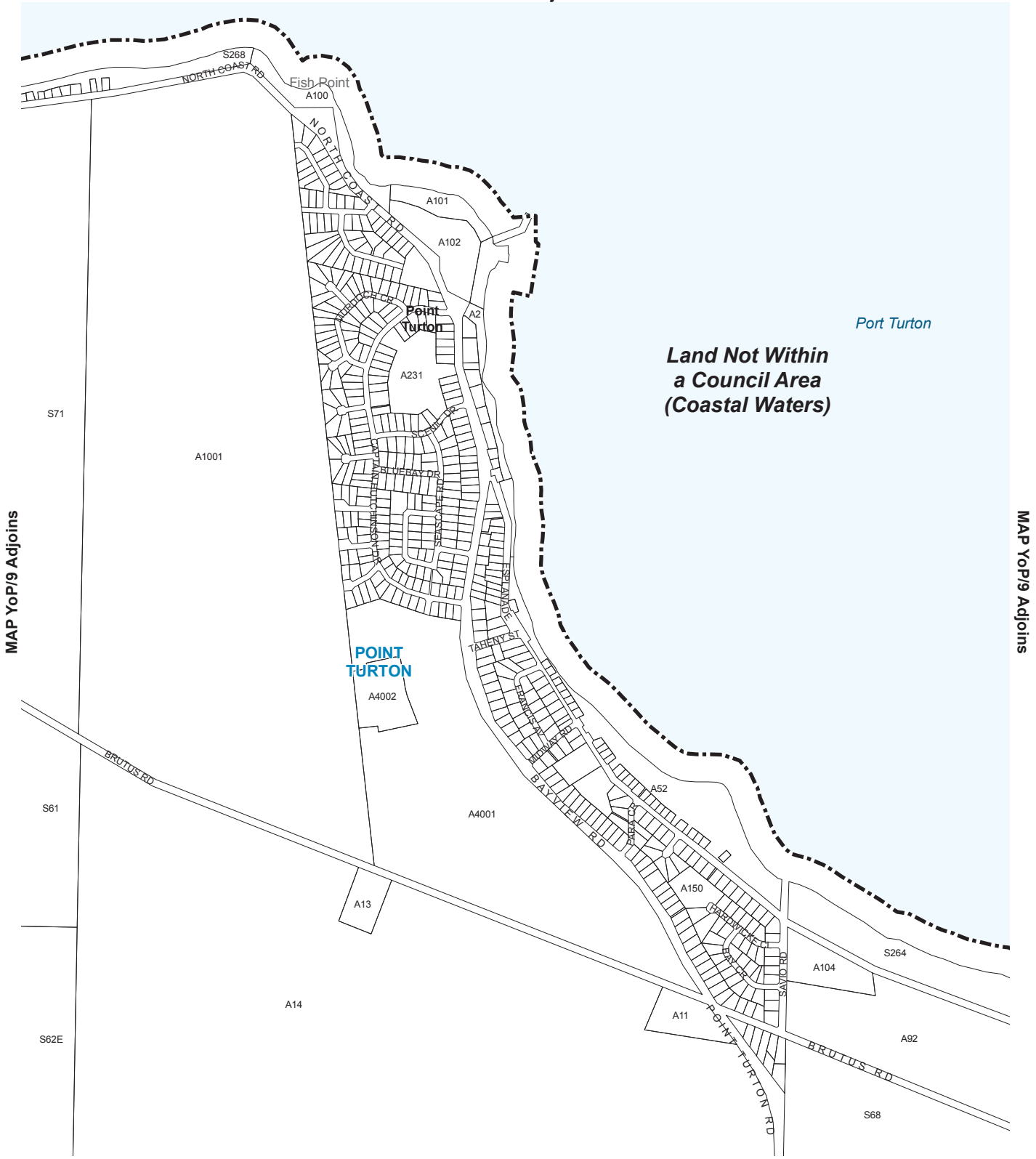
Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- CstSe Coastal Settlement
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary

HARDWICKE BAY

Zone Map YoP/46

MAP YoP/9 Adjoins



MAP YoP/9 Adjoins

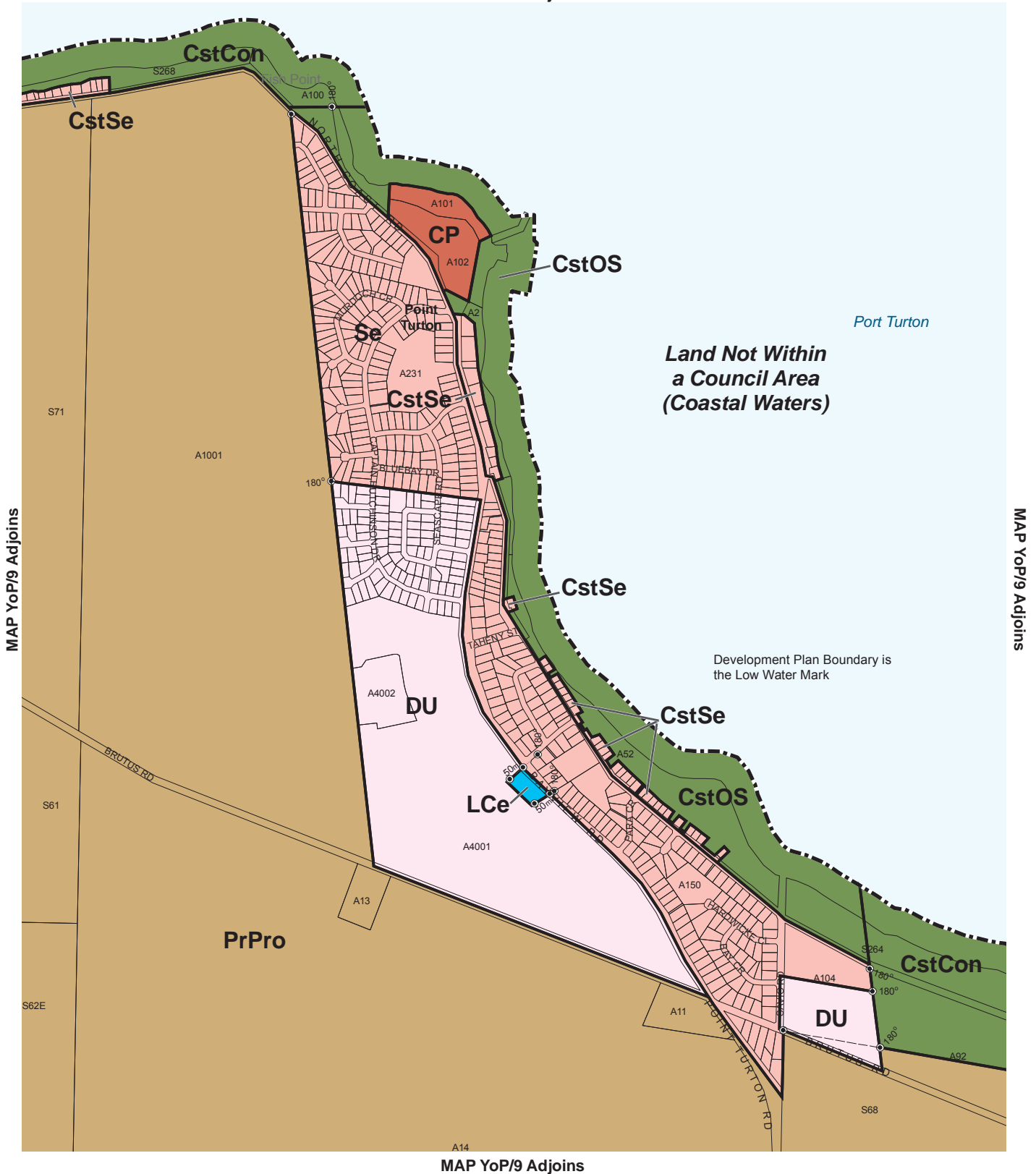


POINT TURTON

Location Map YoP/47

----- Development Plan Boundary

MAP YoP/9 Adjoints



MAP YoP/9 Adjoints

Lamberts Conformal Conic Projection, GDA94

Zones

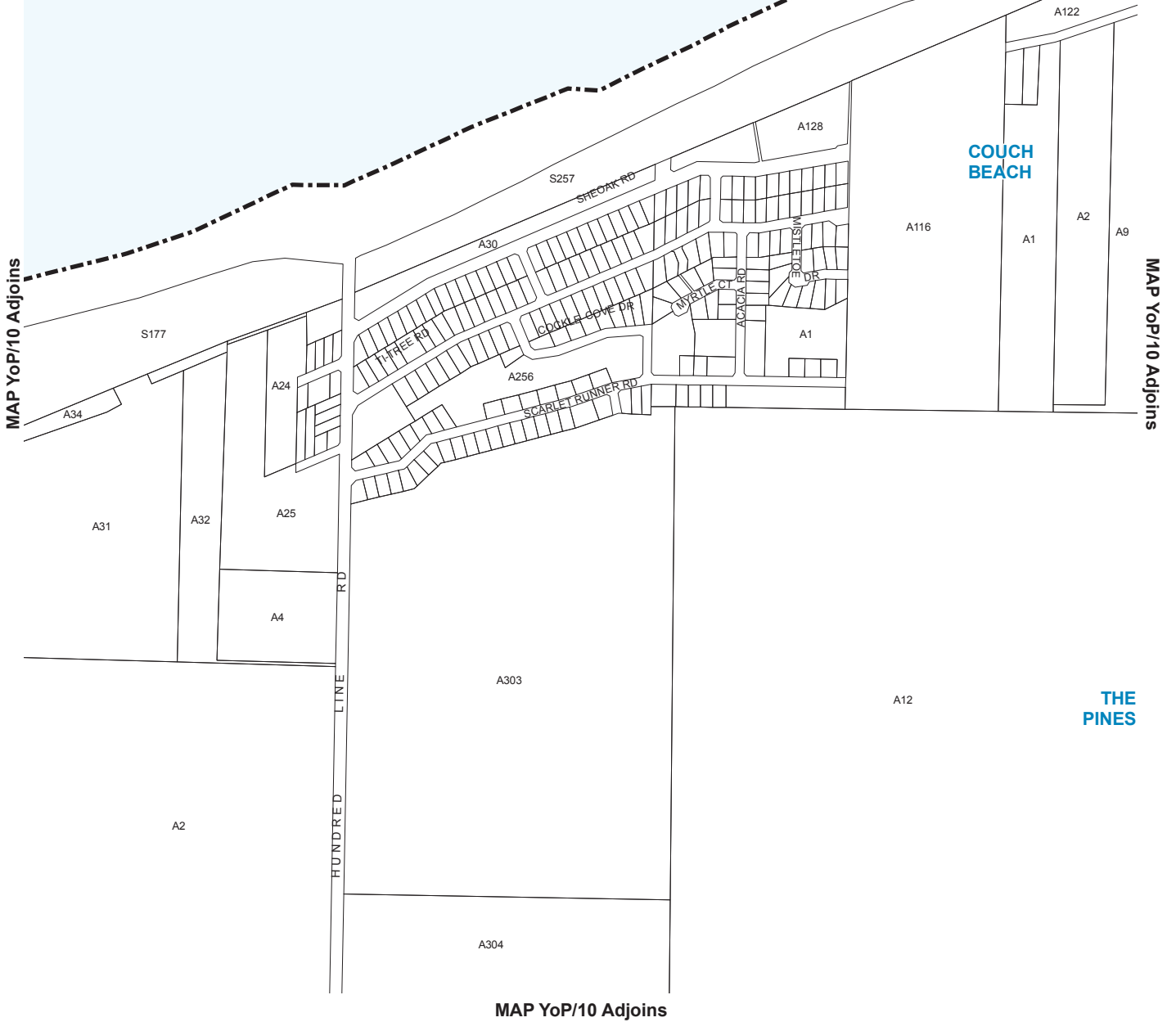
- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- CstSe Coastal Settlement
- DU Deferred Urban
- LCe Local Centre
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary



POINT TURTON

Zone Map YoP/47

Land Not Within
a Council Area
(Coastal Waters)



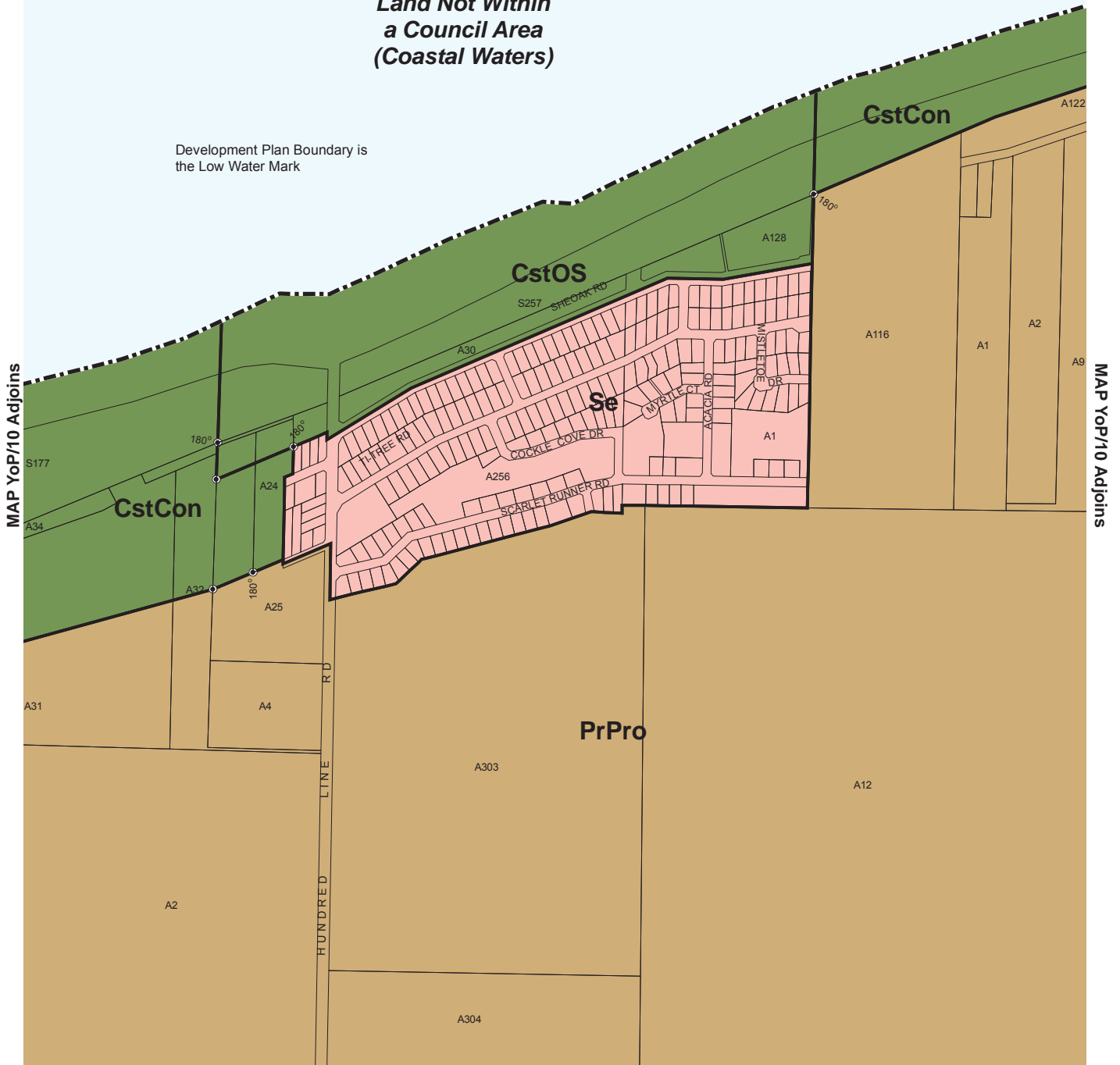
THE PINES

Location Map YoP/48

----- Development Plan Boundary

*Land Not Within
a Council Area
(Coastal Waters)*

Development Plan Boundary is
the Low Water Mark



Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

THE PINES
Zone Map YoP/48

*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/50 Adjoins

MAP YoP/11 Adjoins

MAP YoP/11 Adjoins

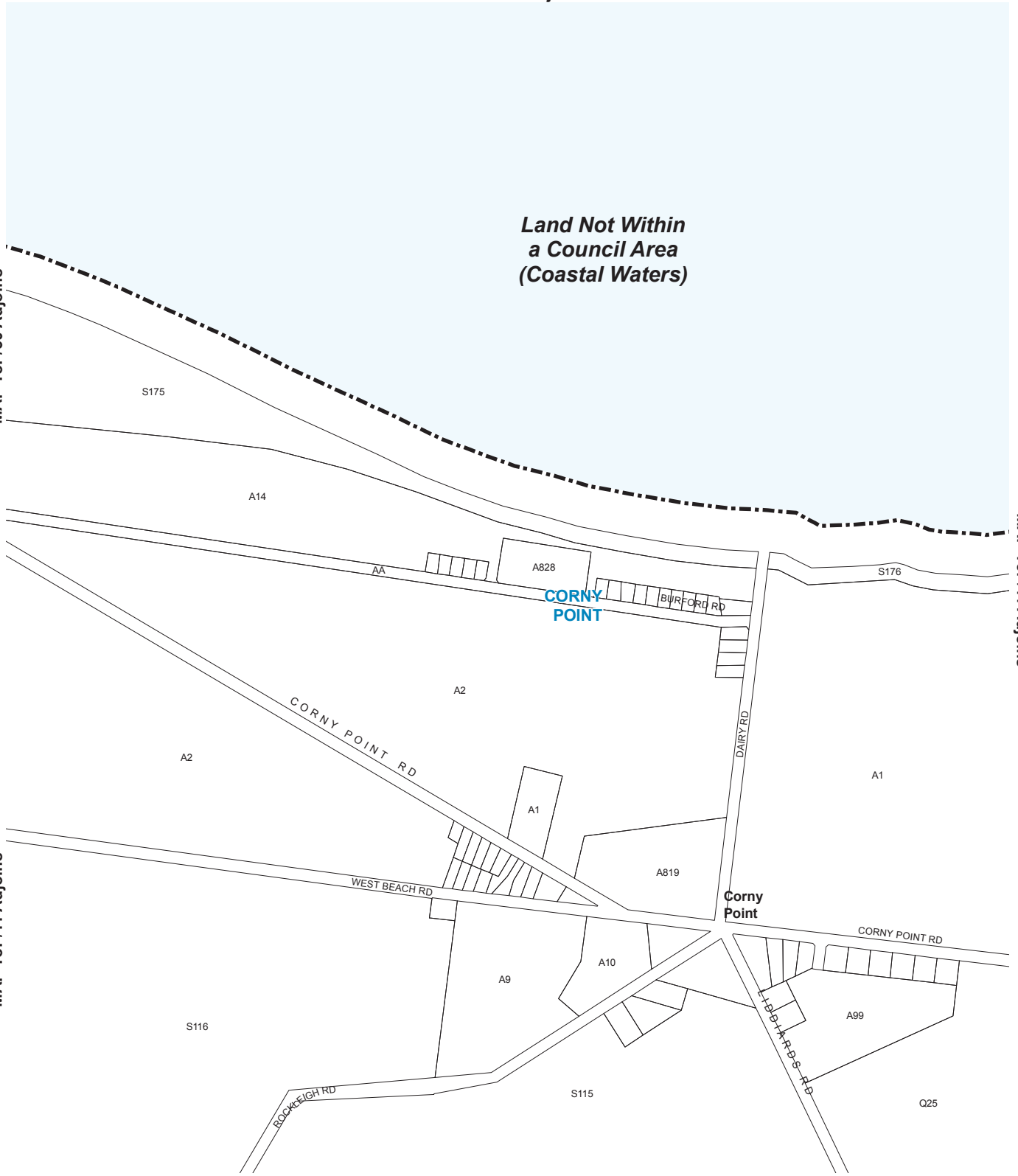
MAP YoP/11 Adjoins

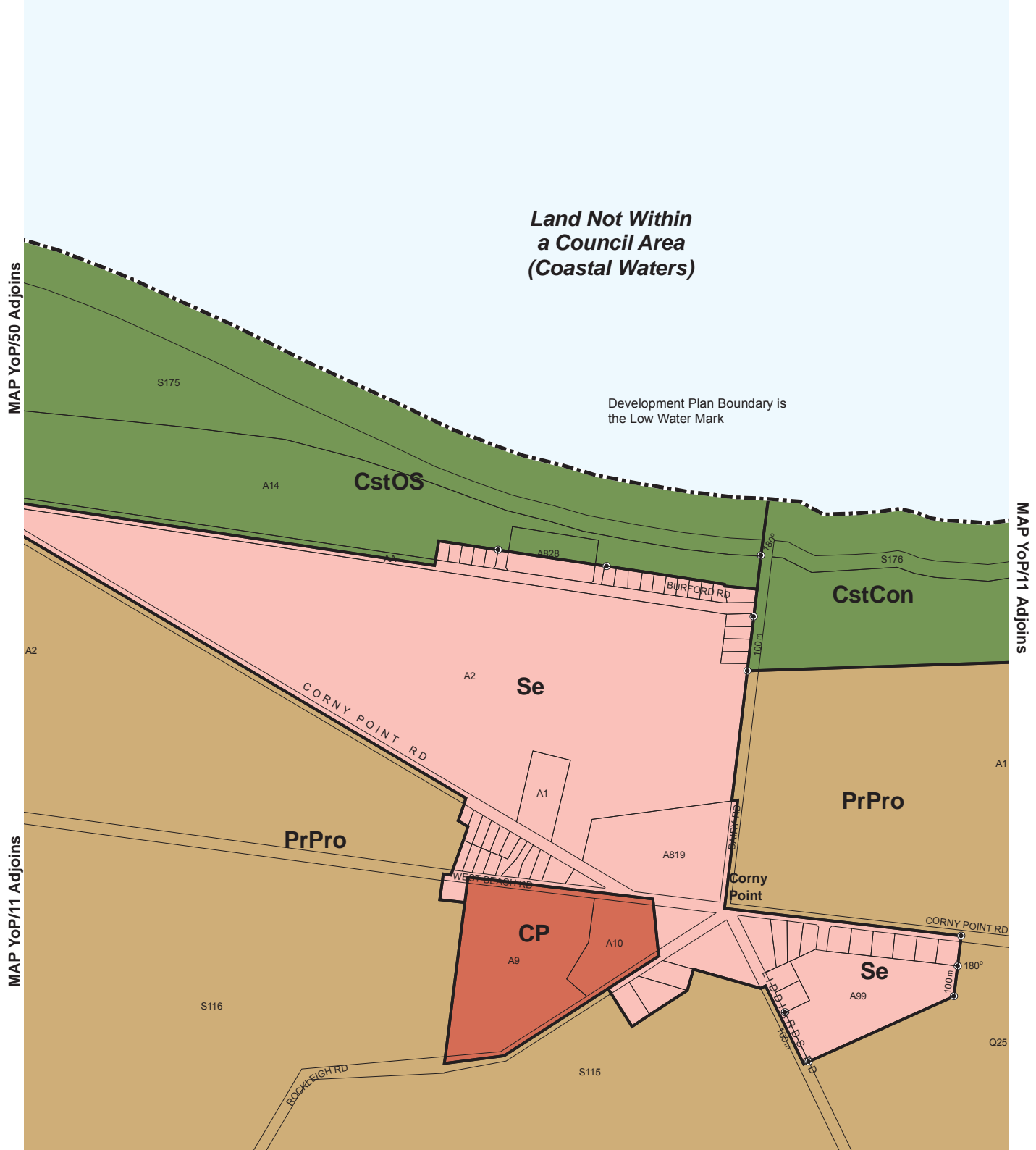


CORNY POINT

Location Map YoP/49

----- Development Plan Boundary





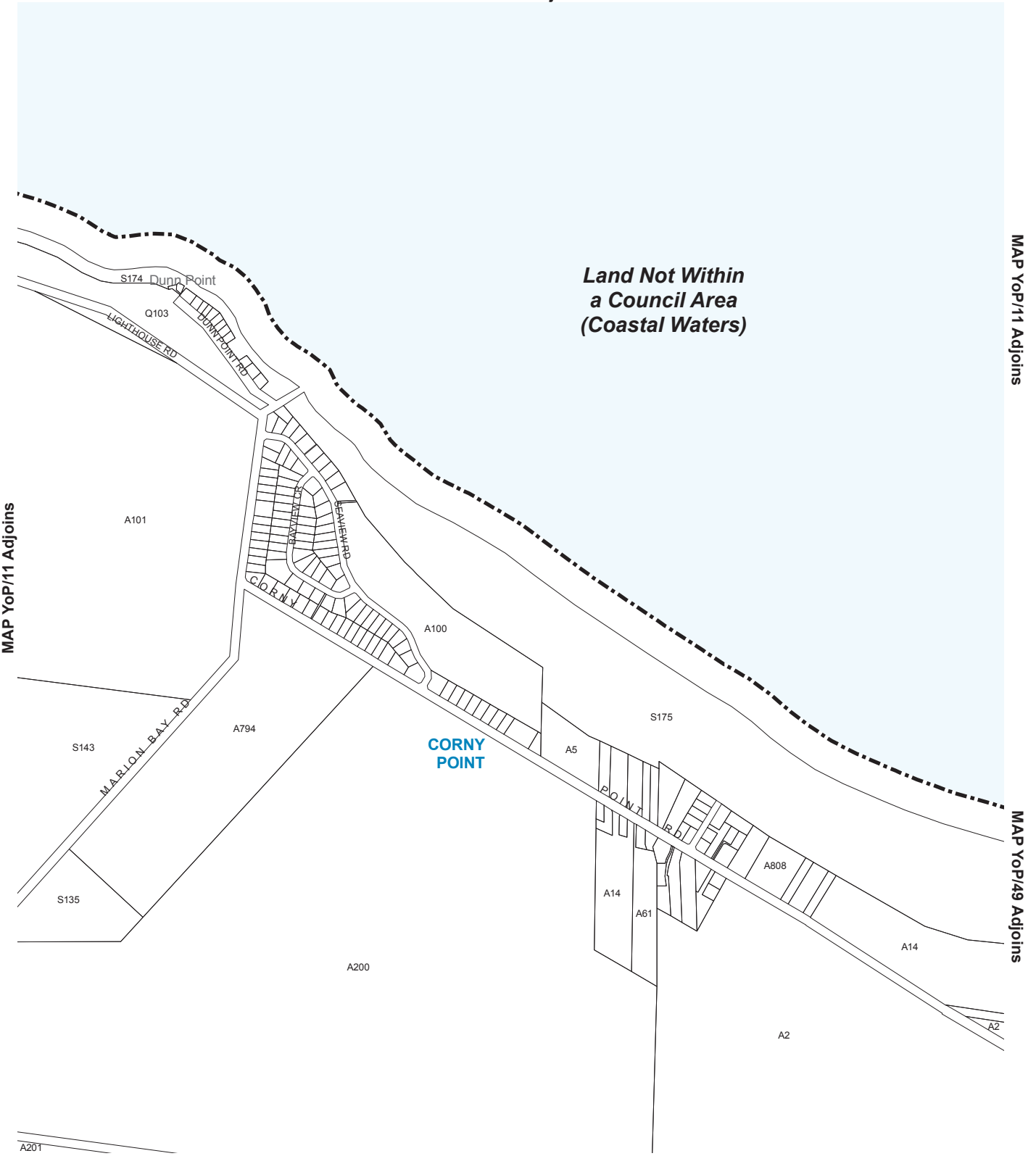
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

CORNY POINT

Zone Map YoP/49



MAP YoP/11 Adjoins

MAP YoP/11 Adjoins

MAP YoP/49 Adjoins



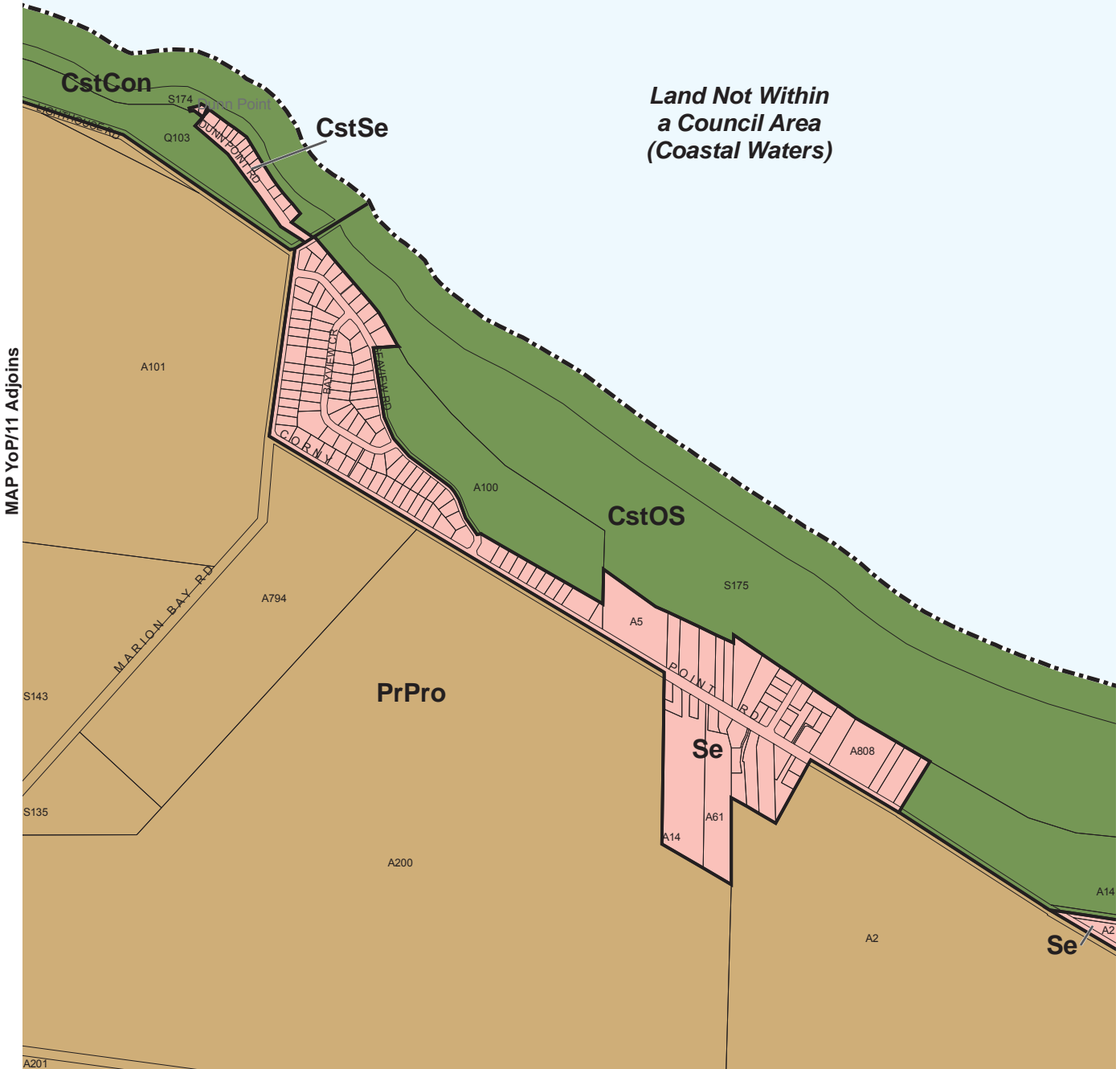
CORY POINT

Location Map YoP/50

----- Development Plan Boundary

Development Plan Boundary is the Low Water Mark

Land Not Within a Council Area (Coastal Waters)



Lamberts Conformal Conic Projection, GDA94



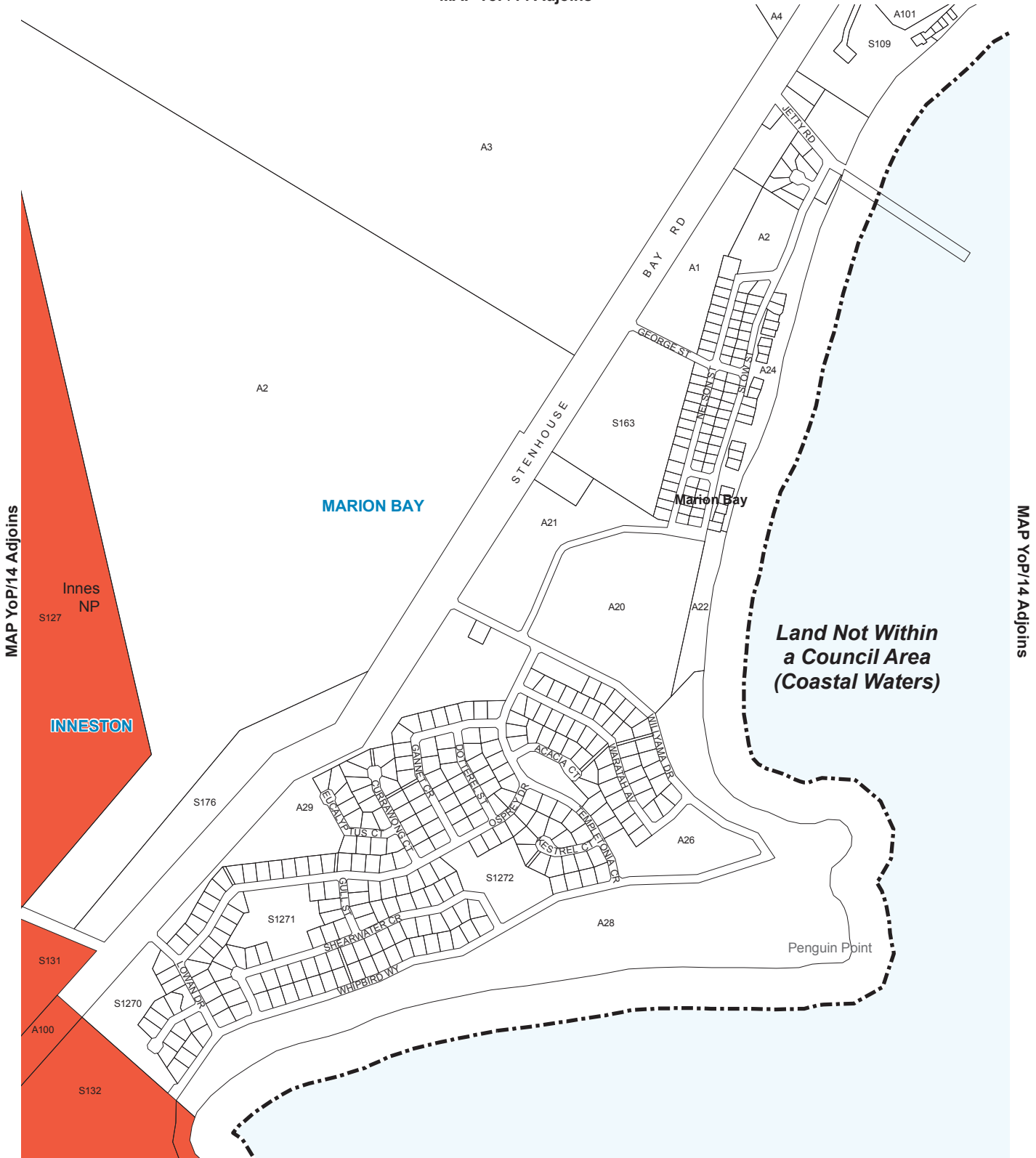
Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- CstSe Coastal Settlement
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary

CORYN POINT

Zone Map YoP/50

MAP YoP/14 Adjoins



MAP YoP/14 Adjoins

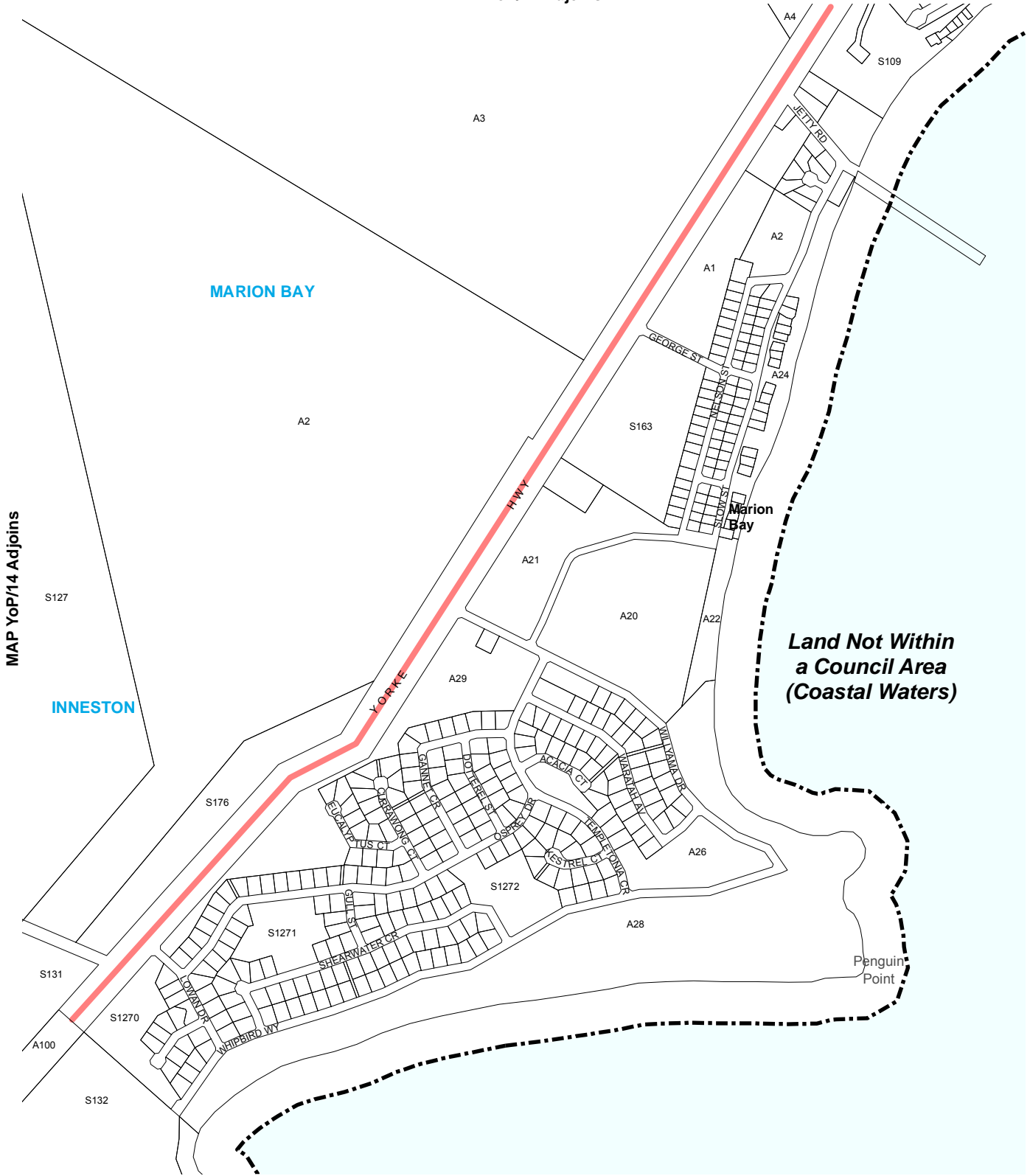


MARION BAY

Location Map YoP/51

- National Park
- Development Plan Boundary

MAP YoP/14 Adjoins



MAP YoP/14 Adjoins

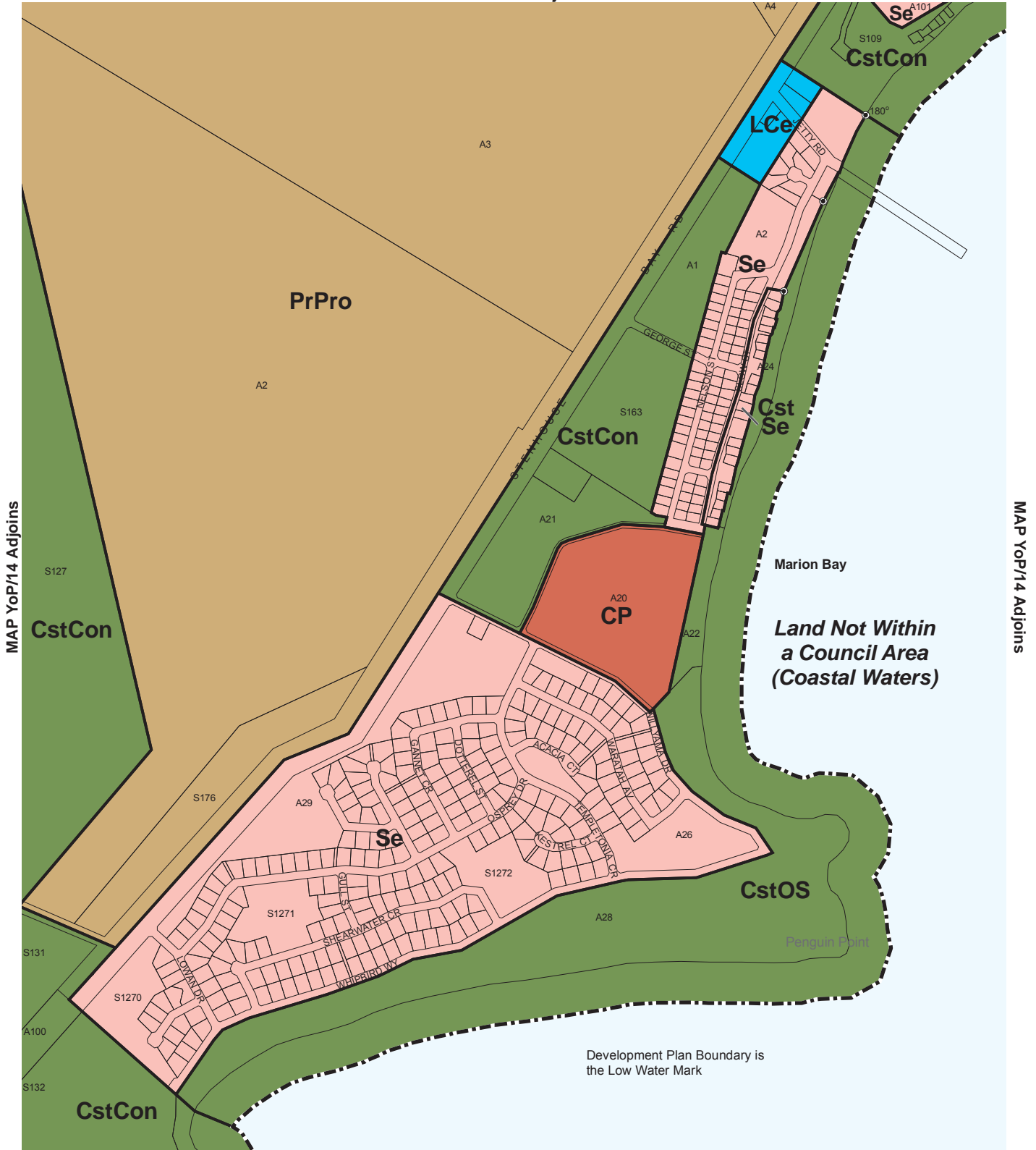


MARION BAY

Overlay Map YoP/51 TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/14 Adjoins



MAP YoP/14 Adjoins

Lamberts Conformal Conic Projection, GDA94

- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - CstSe Coastal Settlement
 - LCe Local Centre
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

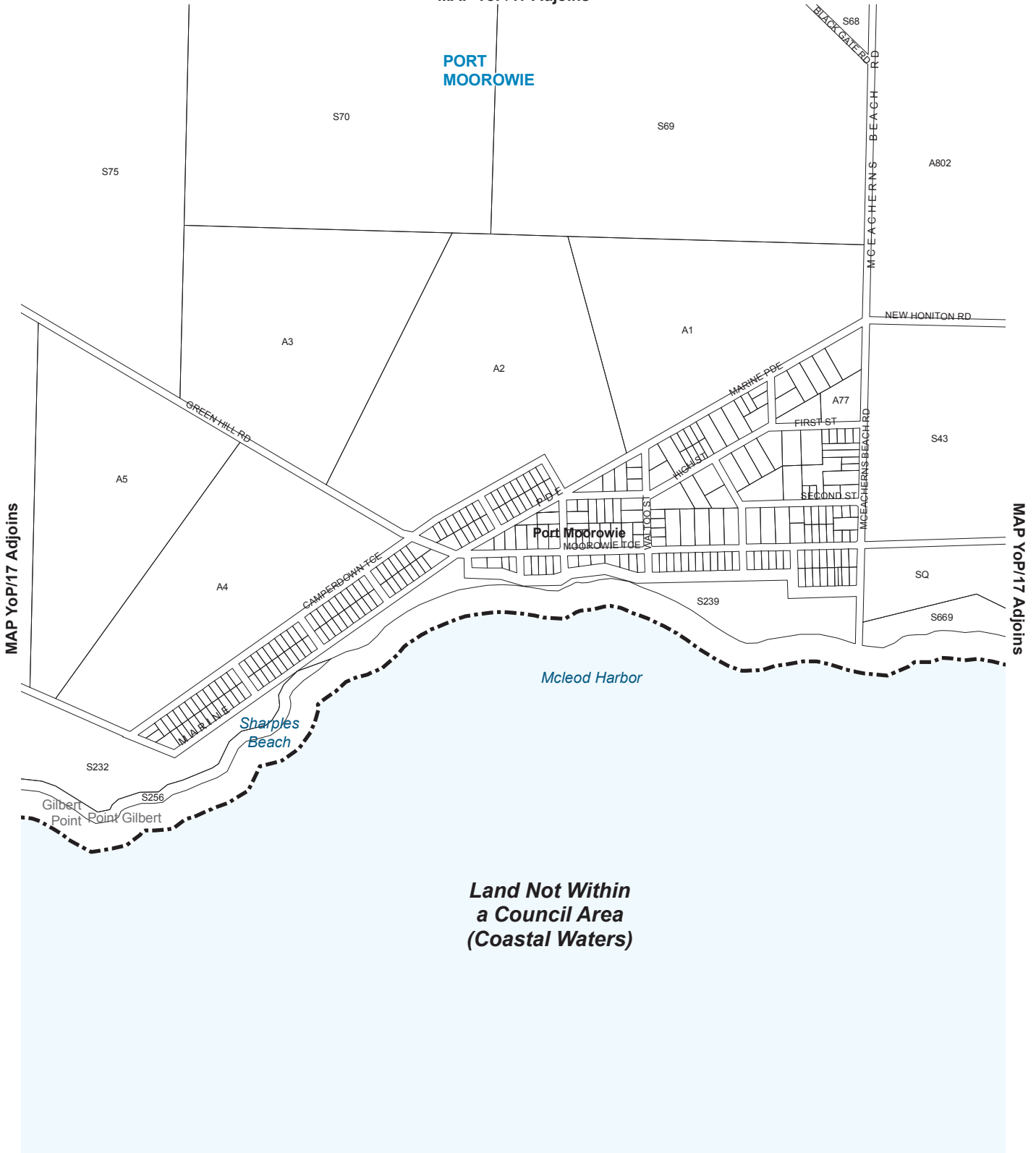


MARION BAY

Zone Map YoP/51

MAP YoP/17 Adjoins

PORT MOOROWIE



MAP YoP/17 Adjoins

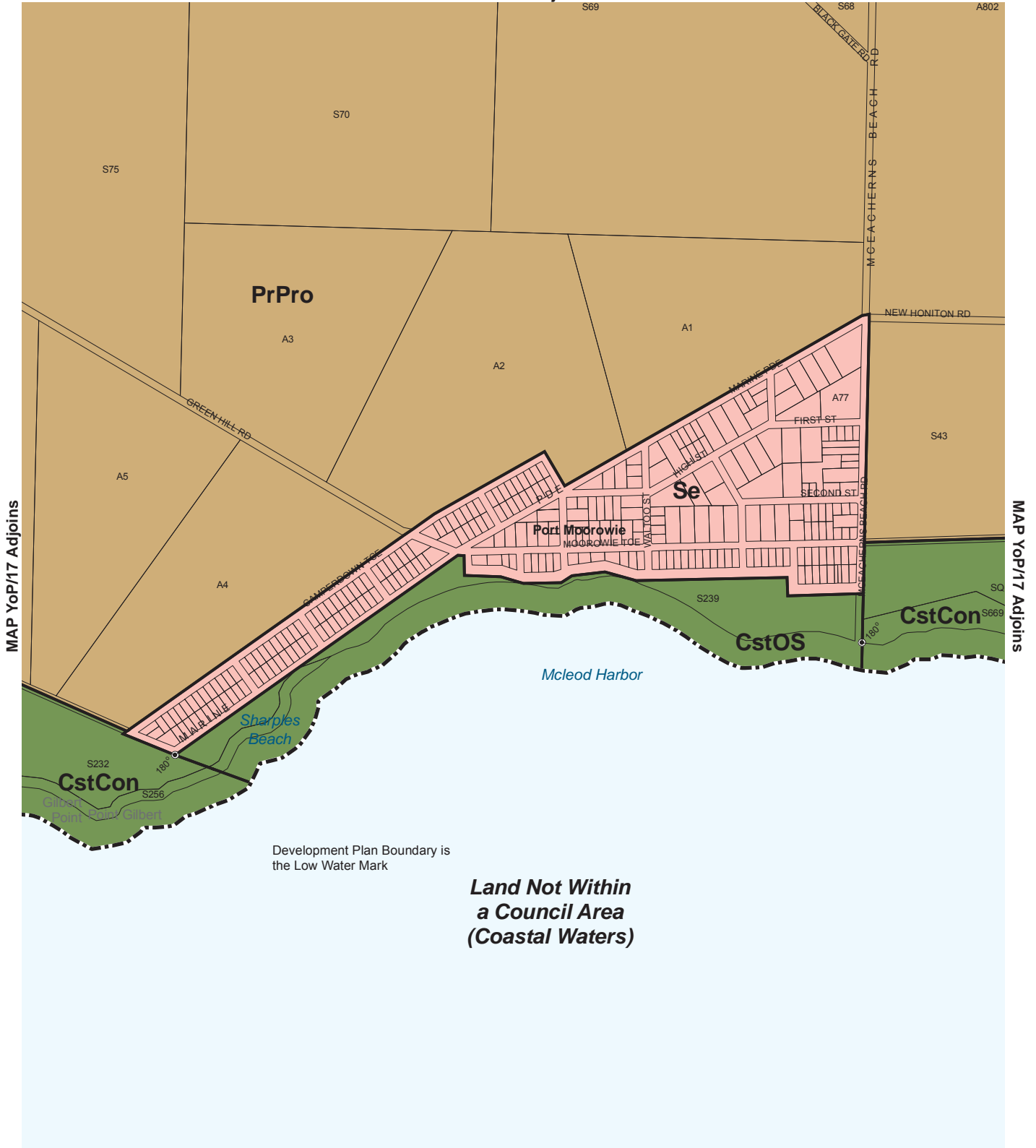


POINT MOOROWIE

Location Map YoP/52

----- Development Plan Boundary

MAP YoP/17 Adjoins



MAP YoP/17 Adjoins

Lamberts Conformal Conic Projection, GDA94



POINT MOOROWIE

Zone Map YoP/52

- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

MAP YoP/19 Adjoins

COOBOWIE

Land Not Within a Council Area
(Coastal Waters)

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins





EDITHBURGH



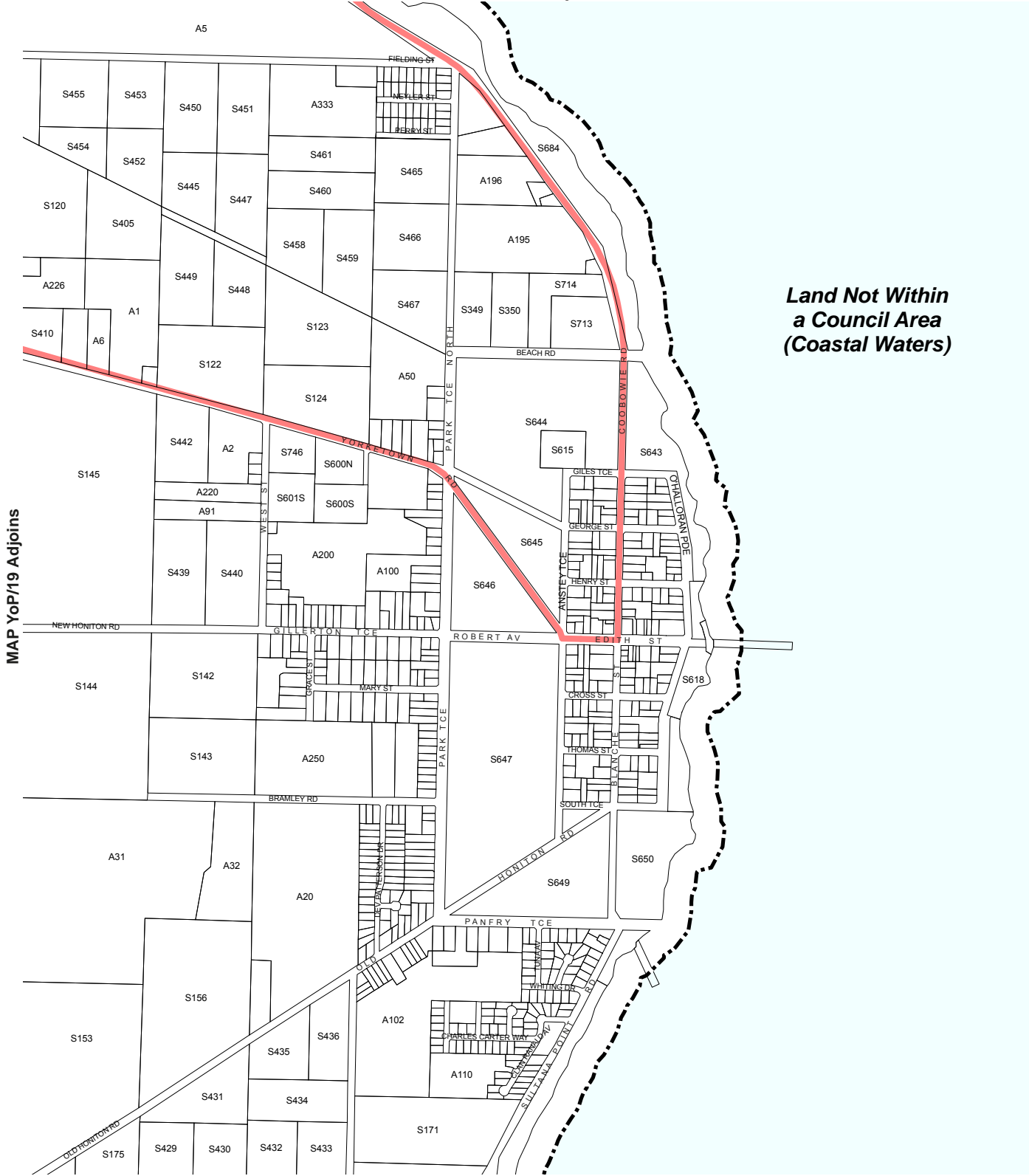
0 500m

EDITHBURGH

Location Map YoP/53

-  School
-  Police Station
-  Local Reserves
-  Development Plan Boundary

MAP YoP/19 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins



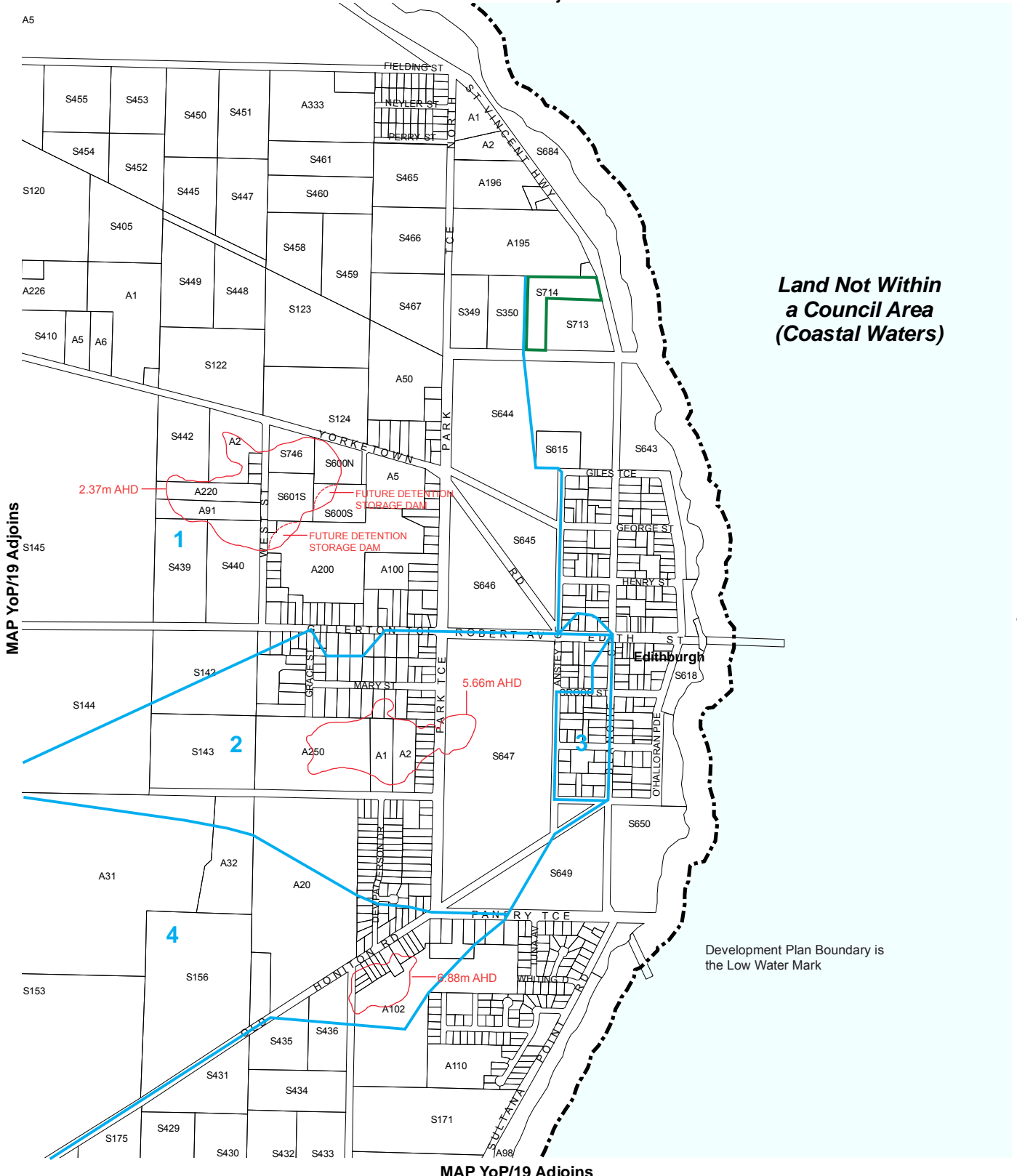
EDITHBURGH

Overlay Map YoP/53 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/19 Adjoins



Land Not Within a Council Area (Coastal Waters)

Development Plan Boundary is the Low Water Mark

Lamberts Conformal Conic Projection, GDA94

Catchments

- 1 West Street
- 2 Park Terrace South
- 3 Thomas Street
- 4 Lehman Road

- Catchment Boundary
- 100 year average return interval flood event
- Closed Edithburgh Landfill

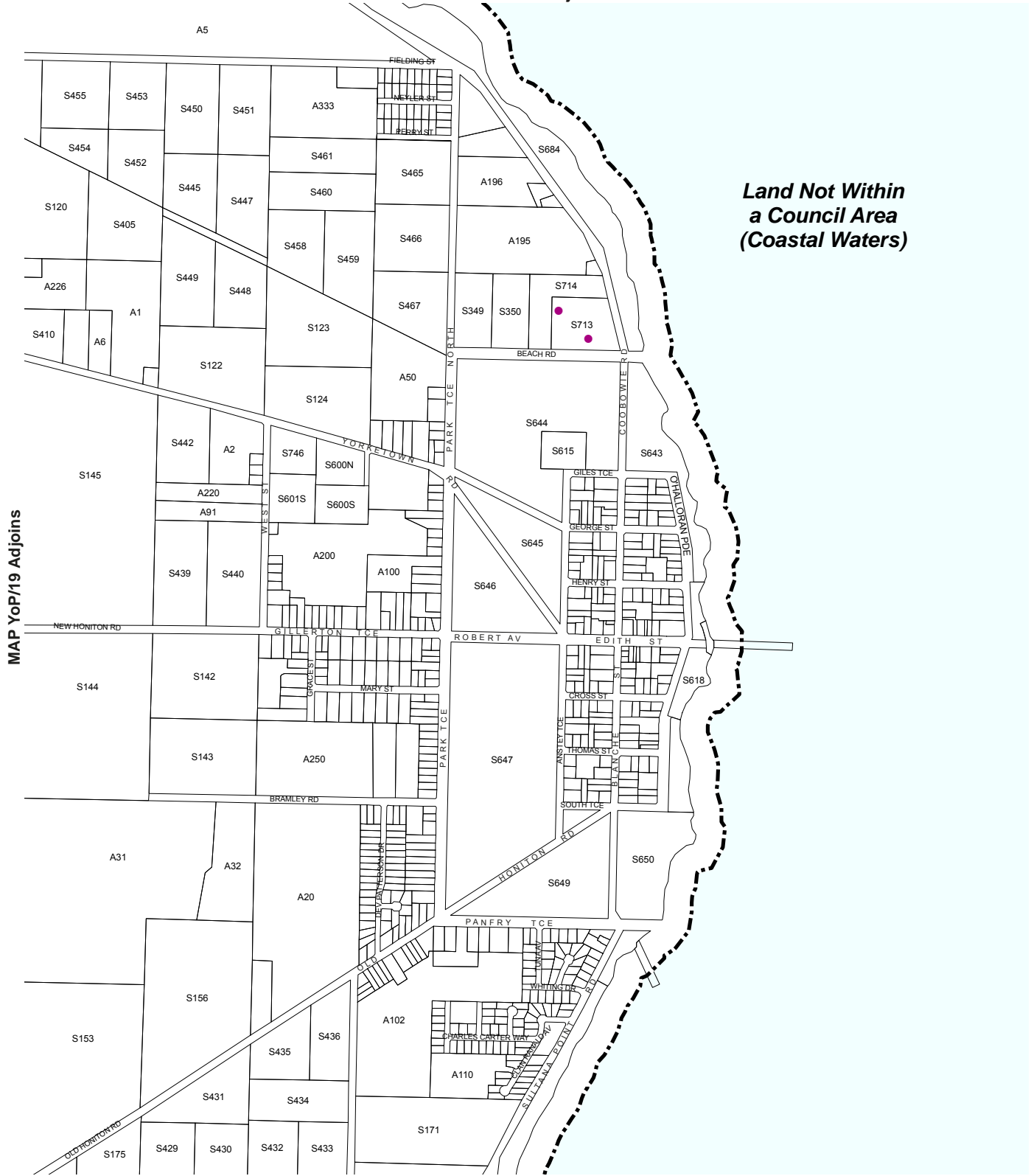
----- Development Plan Boundary



EDITHBURGH

Overlay Map YoP/53 DEVELOPMENT CONSTRAINTS

MAP YoP/19 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins

MAP YoP/19 Adjoins

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.

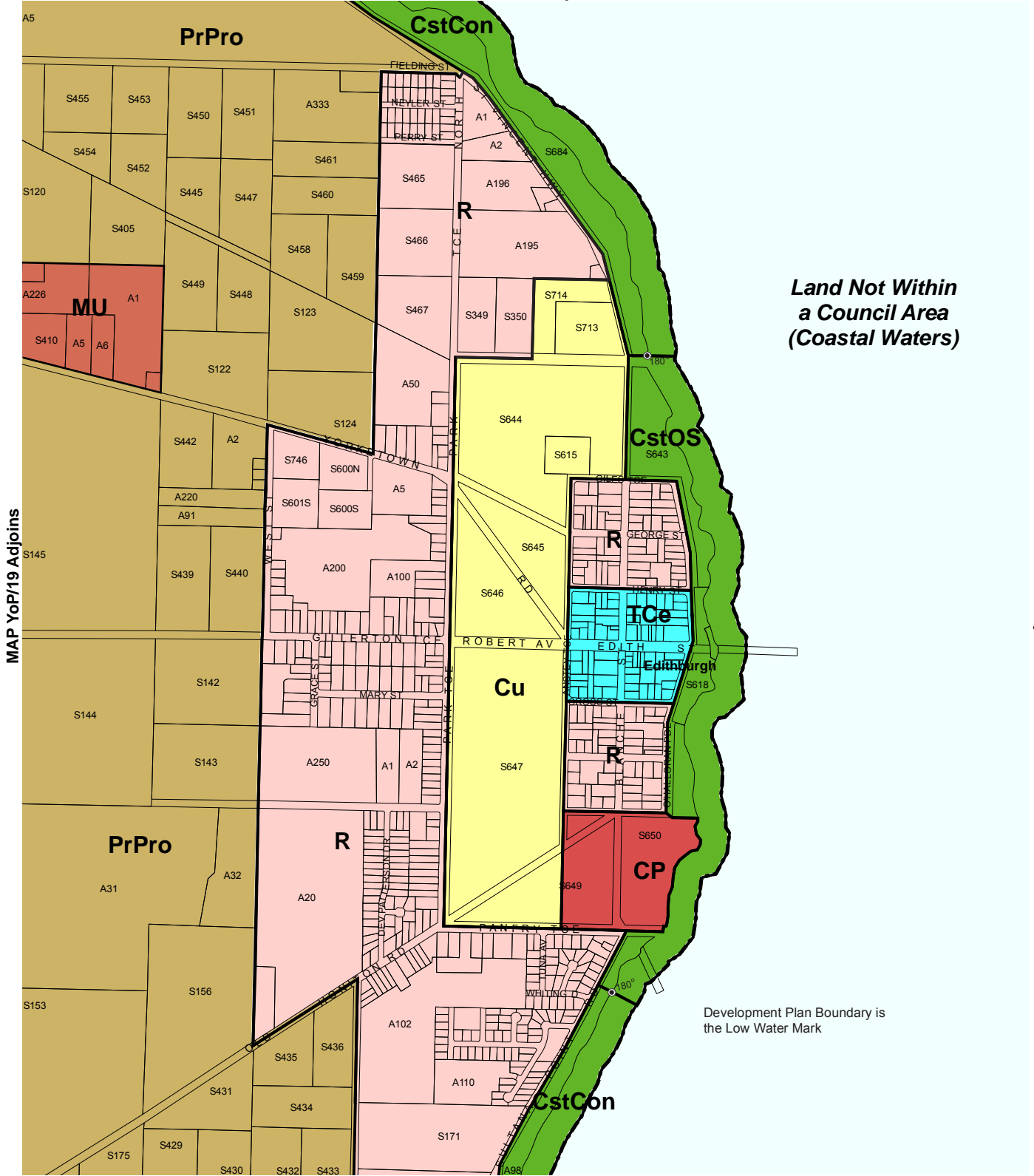


EDITHBURGH

Overlay Map YoP/53 HERITAGE

- State heritage place
- Development Plan Boundary

MAP YoP/19 Adjoins



Land Not Within
a Council Area
(Coastal Waters)

Development Plan Boundary is
the Low Water Mark

MAP YoP/19 Adjoins

Lamberts Conformal Conic Projection, GDA94

- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - Cu Community
 - MU Mixed Use
 - PrPro Primary Production
 - R Residential
 - TCe Town Centre
 - Zone Boundary
 - Development Plan Boundary

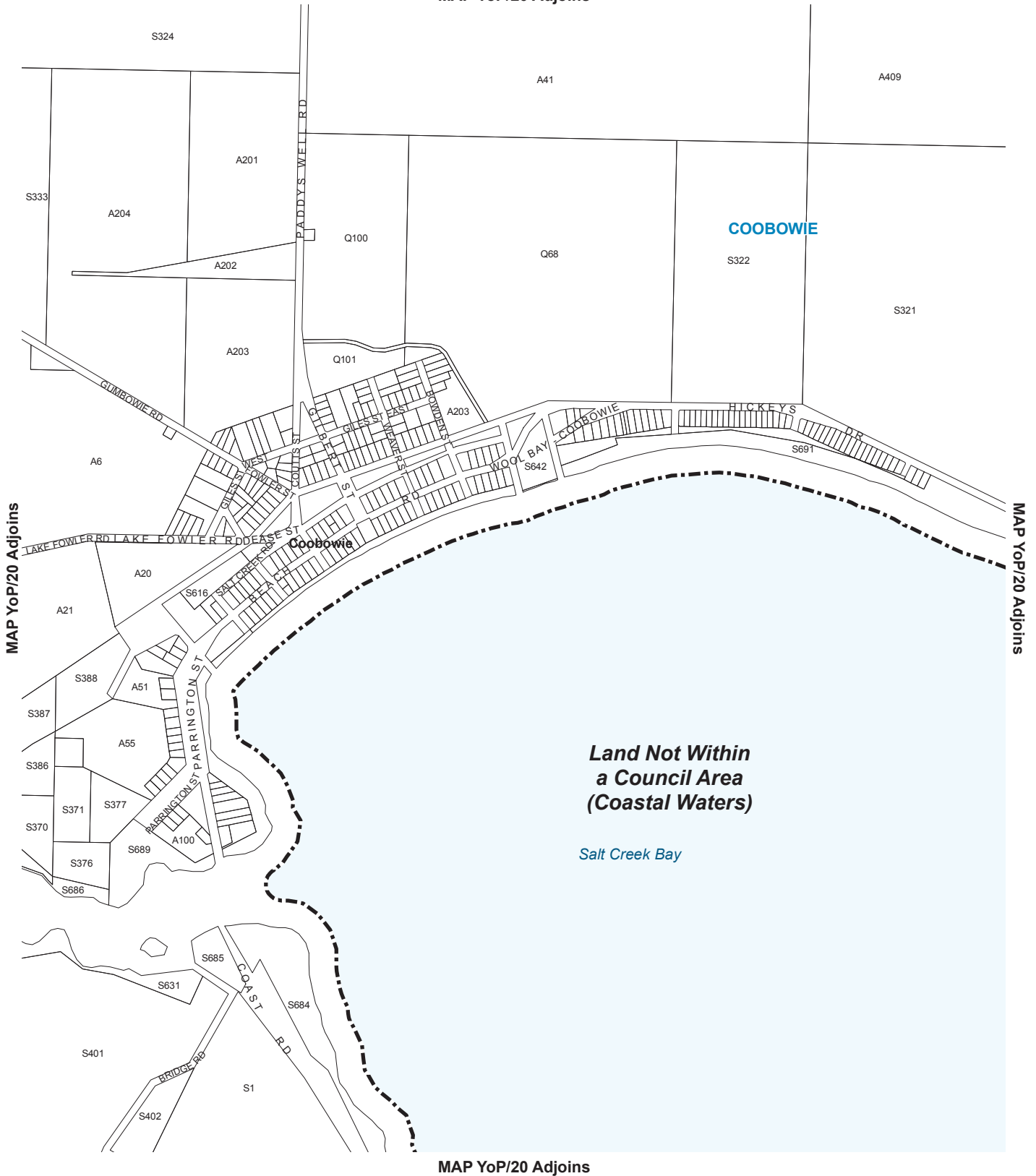
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EDITHBURGH

Zone Map YoP/53

MAP YoP/20 Adjoins



MAP YoP/20 Adjoins

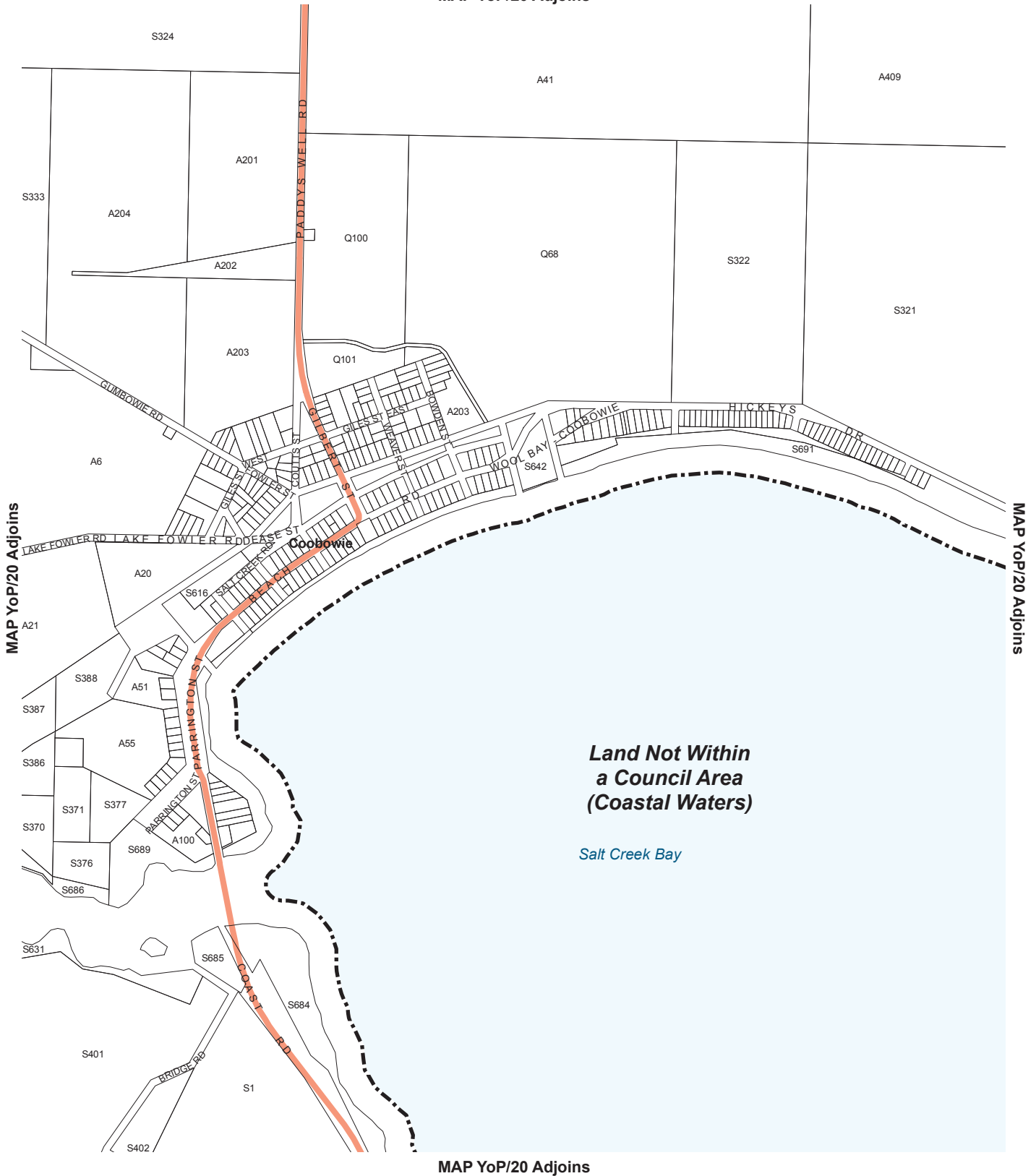


COOBOWIE

Location Map YoP/54

----- Development Plan Boundary

MAP YoP/20 Adjoins



MAP YoP/20 Adjoins



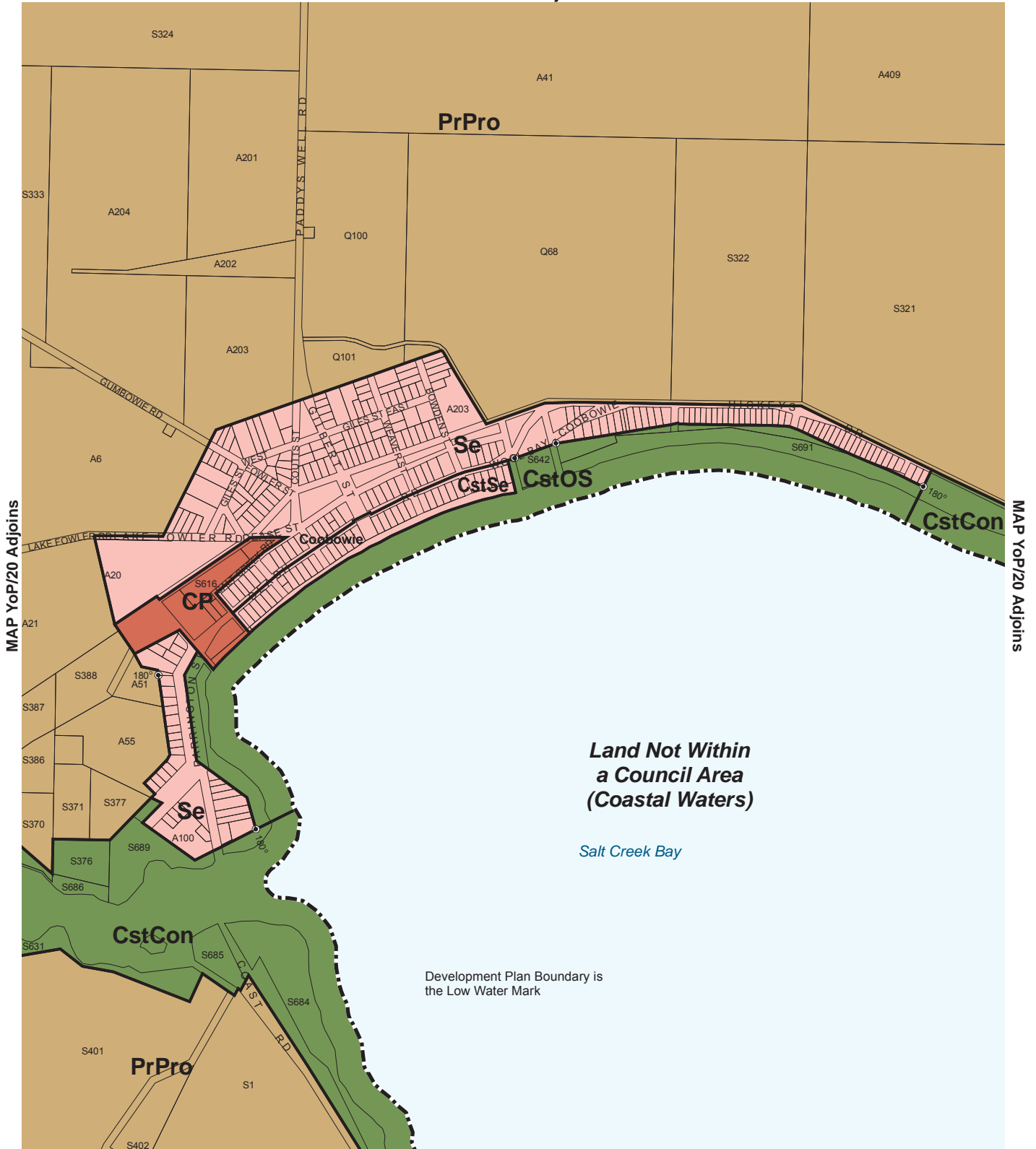
COOBOWIE

Overlay Map YoP/54 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/20 Adjoins



MAP YoP/20 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- CstSe Coastal Settlement
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary



COOBOWIE

Zone Map YoP/54

MAP YoP/21 Adjoins



MAP YoP/21 Adjoins



WOOL BAY

Location Map YoP/55

----- Development Plan Boundary

MAP YoP/21 Adjoins



MAP YoP/21 Adjoins

Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory
Items please refer to the relevant tables within this document.



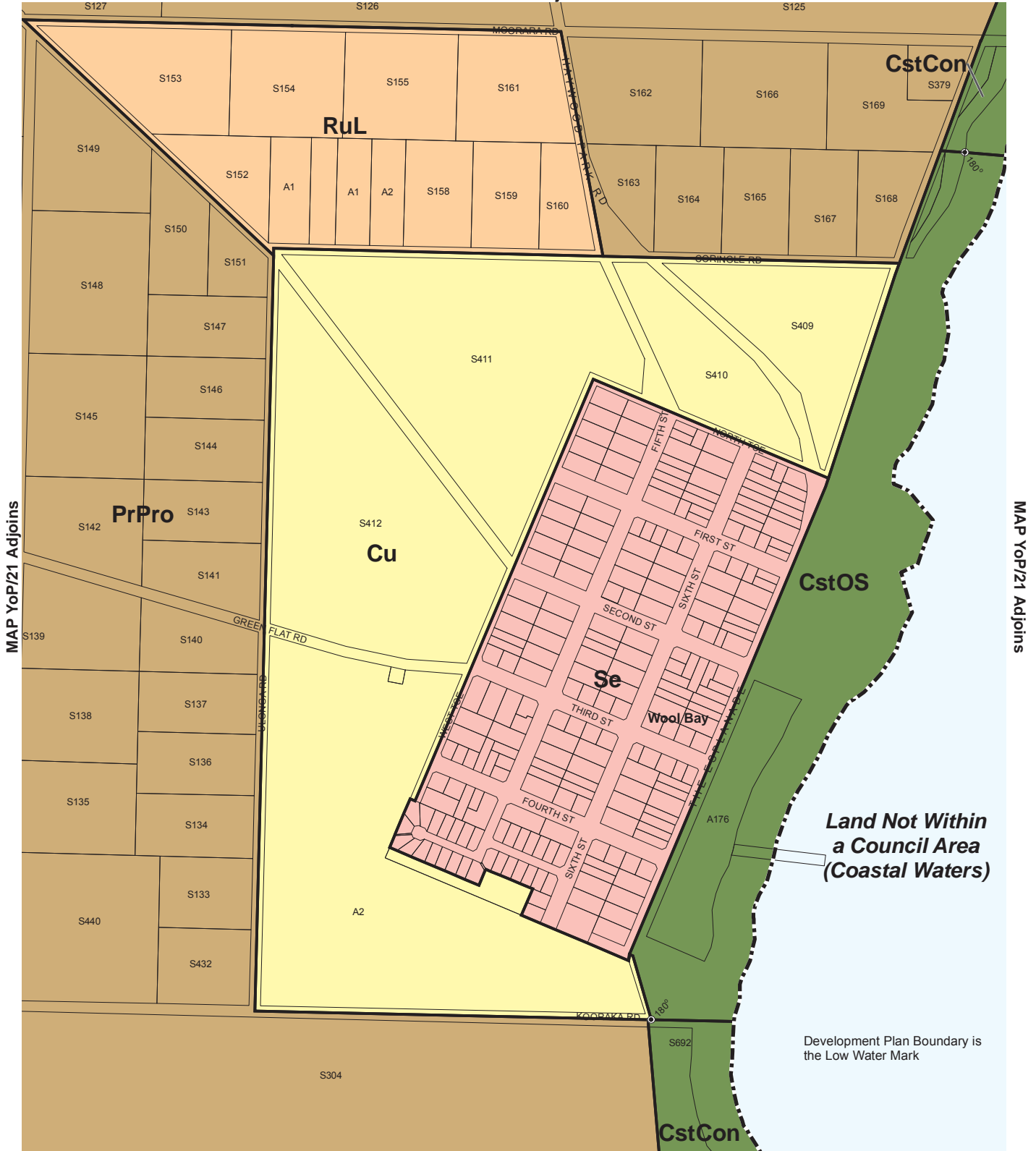
WOOL BAY

Overlay Map YoP/55 HERITAGE

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/21 Adjoins



MAP YoP/21 Adjoins

Lamberts Conformal Conic Projection, GDA94

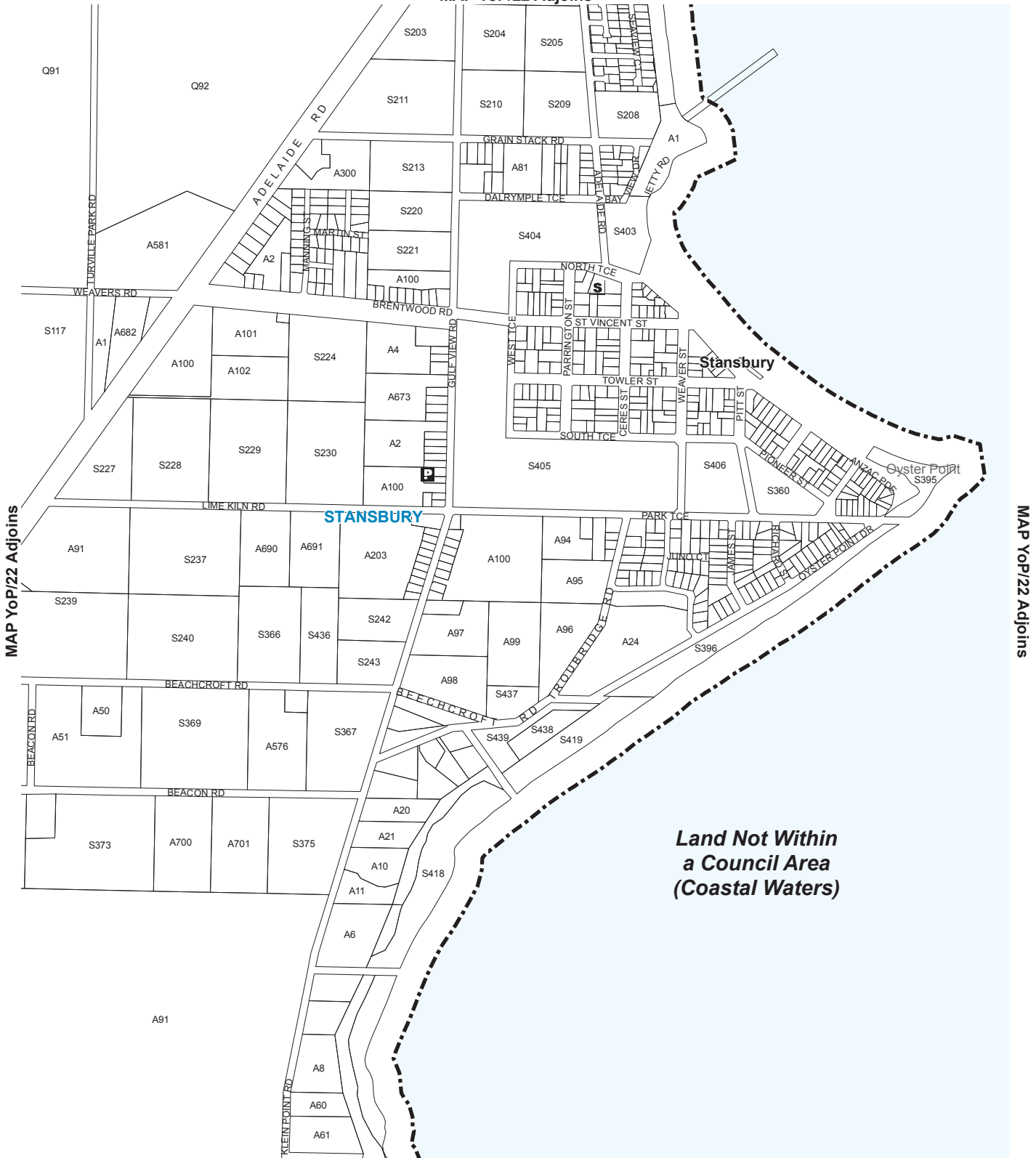


- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - Cu Community
 - PrPro Primary Production
 - RuL Rural Living
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

WOOL BAY

Zone Map YoP/55

MAP YoP/22 Adjoins



MAP YoP/22 Adjoins



STANSBURY

Location Map YoP/56

- School
- Police Station
- Development Plan Boundary

MAP YoP/22 Adjoins



MAP YoP/22 Adjoins

Land Not Within
a Council Area
(Coastal Waters)



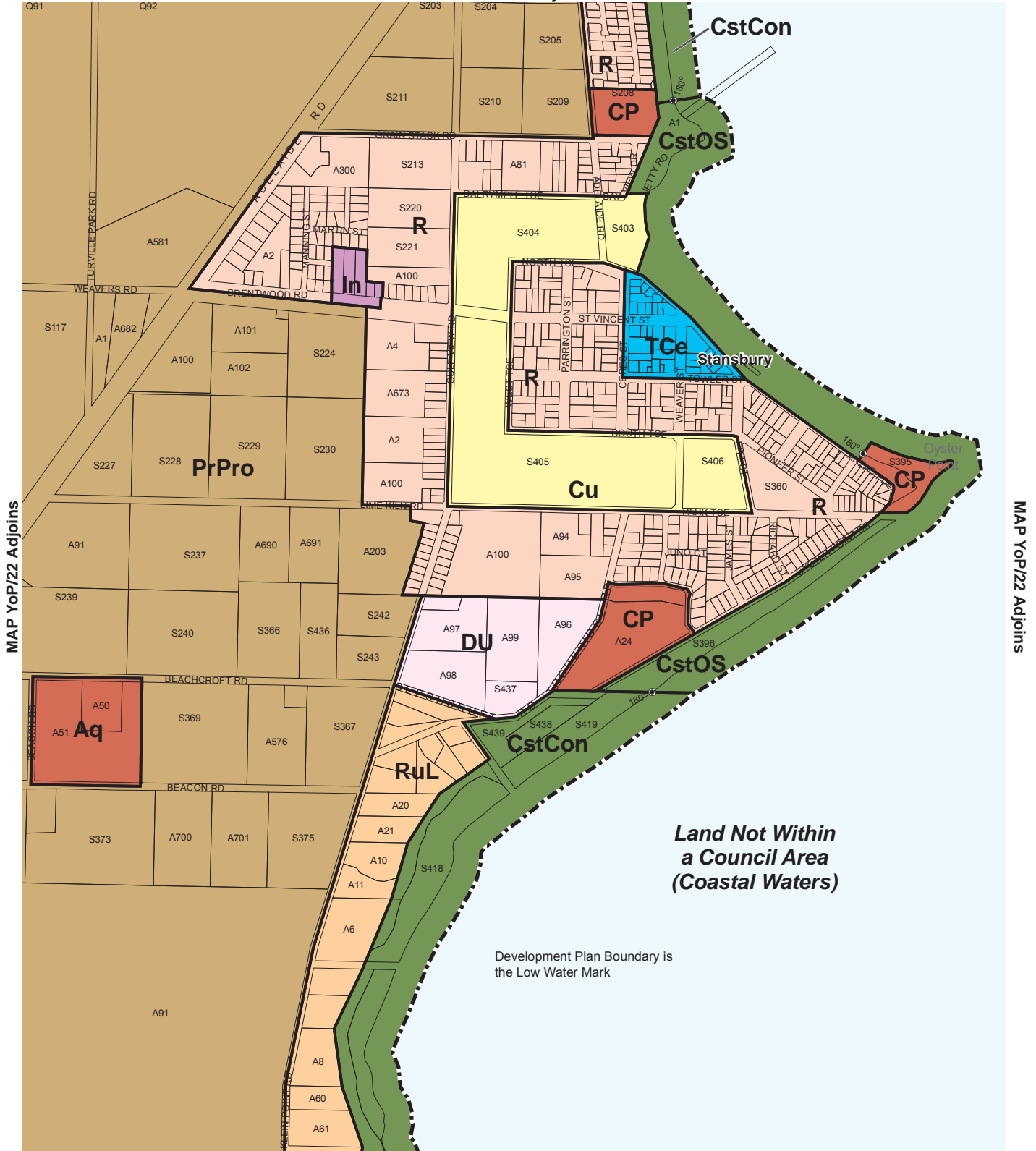
STANSBURY

Overlay Map YoP/56 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- - - - - Development Plan Boundary

MAP YoP/22 Adjoins



MAP YoP/22 Adjoins

Lamberts Conformal Conic Projection, GDA94



Zones	
 Aq	Aquaculture
 CP	Caravan and Tourist Park
 CstCon	Coastal Conservation
 CstOS	Coastal Open Space
 Cu	Community
 DU	Deferred Urban
 In	Industry
 PrPro	Primary Production
 R	Residential
 RuL	Rural Living
 Tce	Town Centre
	Zone Boundary
	Development Plan Boundary

STANSBURY

Zone Map YoP/56

MAP YoP/58 Adjoins

Port Vincent

A202

A162

A161

A152

A200

VINCENT RD

S67 MAIN RD PORT

A5

A145

PORT VINCENT

A1

A107

A6

A7

Land Not Within a Council Area (Coastal Waters)

MAP YoP/23 Adjoins

MAP YoP/23 Adjoins

S61

MAP YoP/23 Adjoins



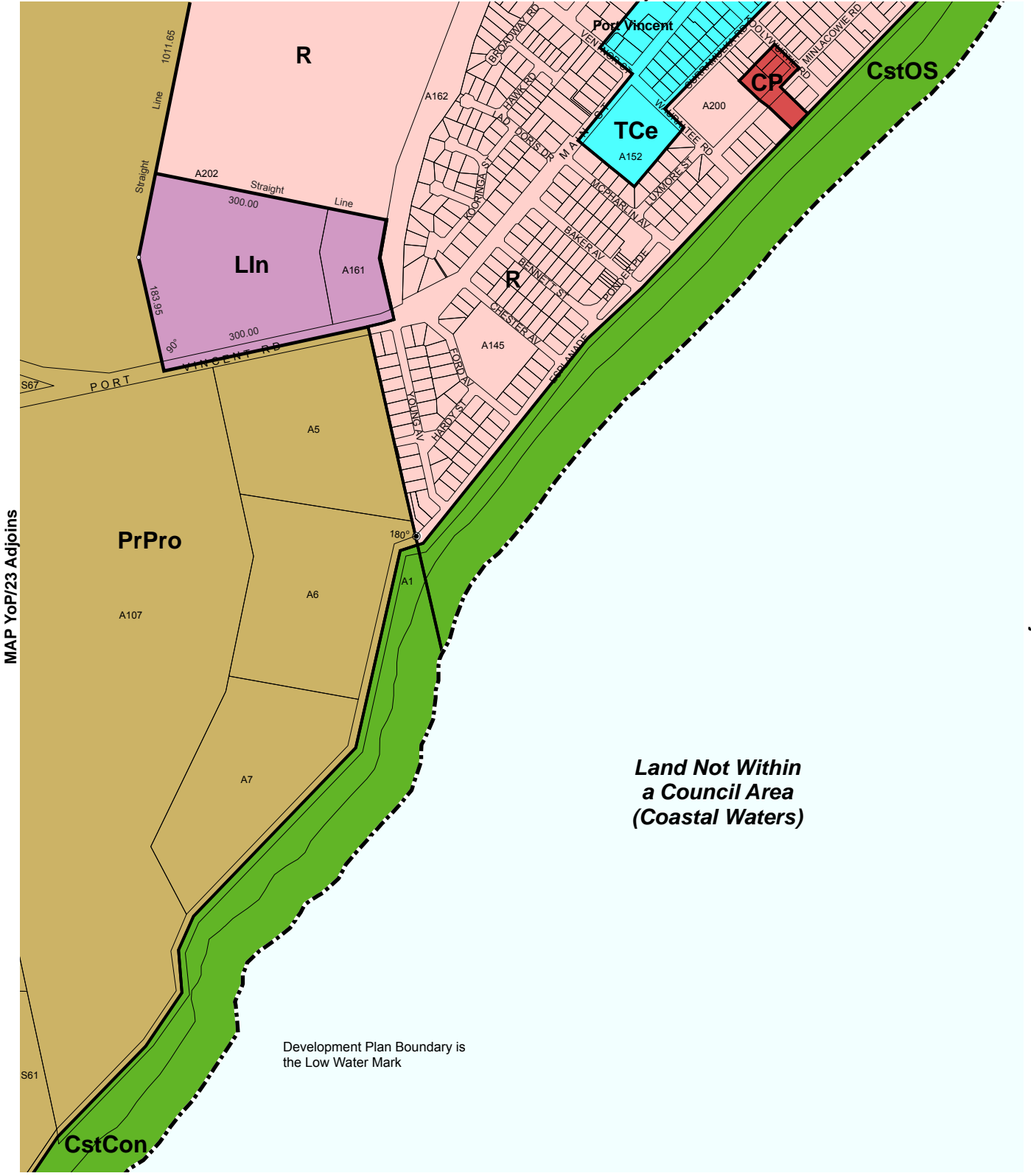
0 500m

PORT VINCENT

Location Map YoP/57

S School

--- Development Plan Boundary



MAP YoP/23 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- LIn Light Industry
- PrPro Primary Production
- R Residential
- TCe Town Centre
- Zone Boundary
- Development Plan Boundary

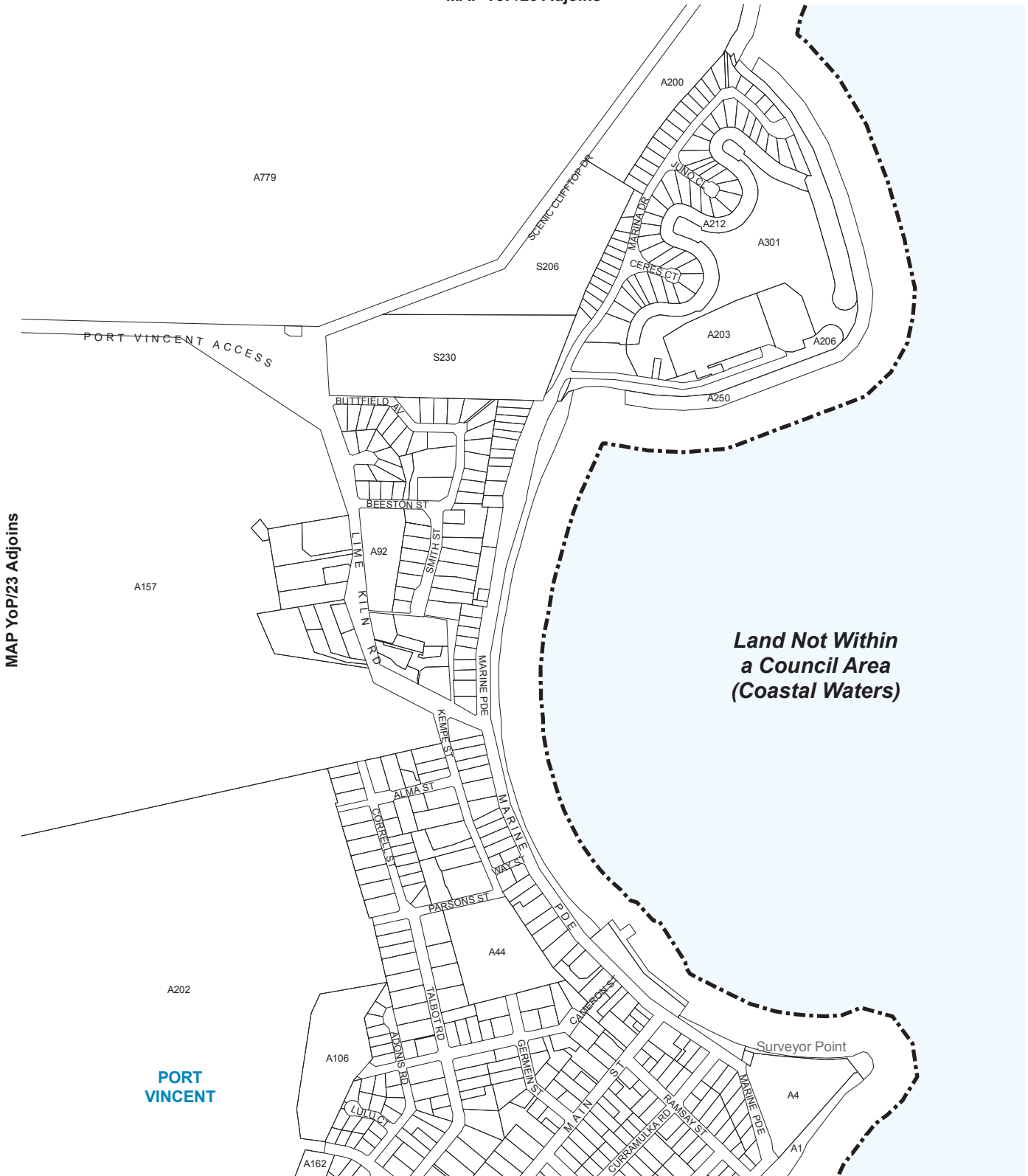
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PORT VINCENT

Zone Map YoP/57

MAP YoP/23 Adjoins



MAP YoP/23 Adjoins

MAP YoP/23 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

PORT
VINCENT

MAP YoP/57 Adjoins



PORT VINCENT

Location Map YoP/58

----- Development Plan Boundary

MAP YoP/23 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

Heritage points are indicative only.
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Items please refer to the relevant tables within this document.

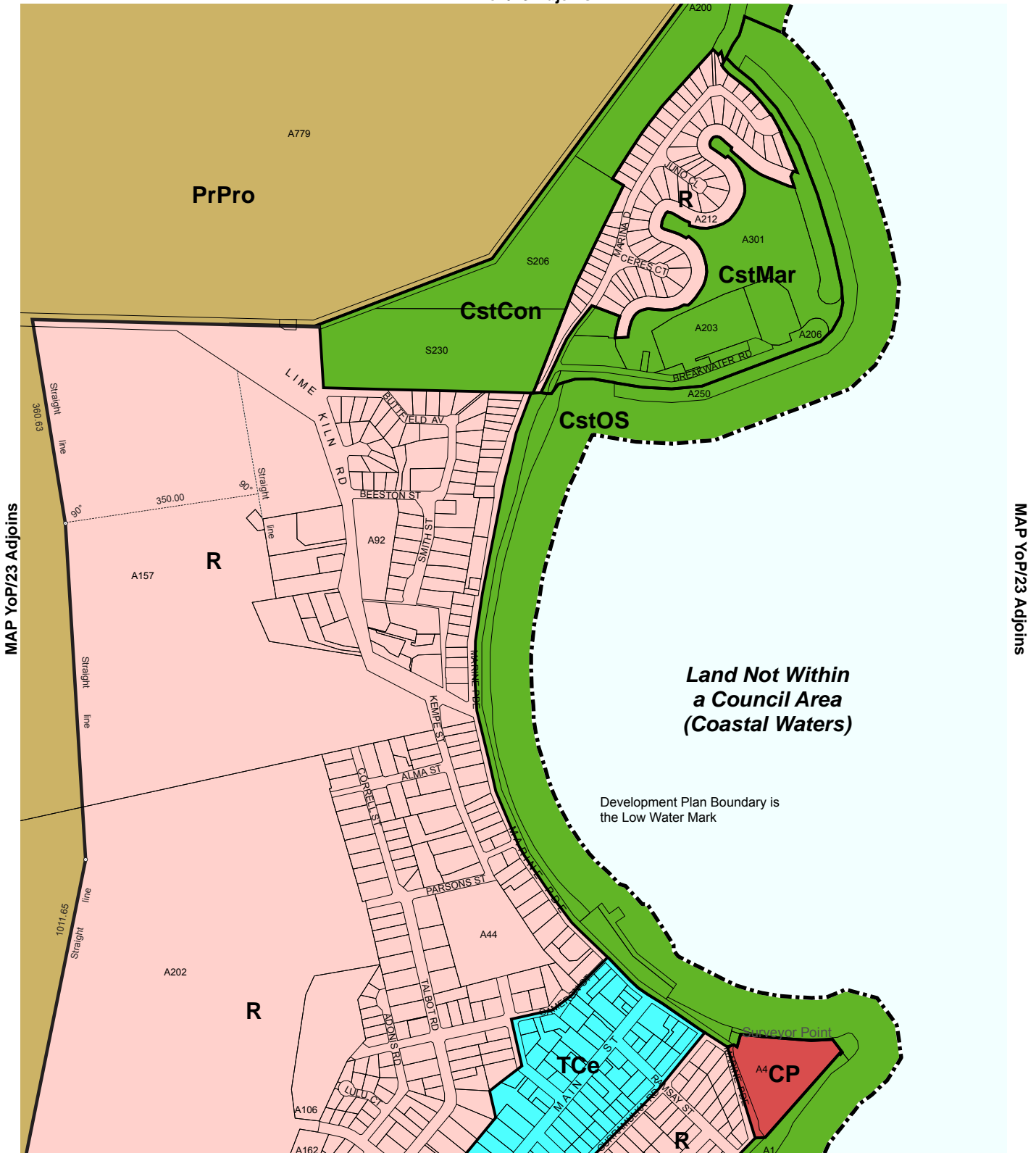


PORT VINCENT

Overlay Map YoP/58 HERITAGE

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary



Land Not Within
a Council Area
(Coastal Waters)

Development Plan Boundary is
the Low Water Mark

Lamberts Conformal Conic Projection, GDA94

Zones

- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstMar Coastal Marina
- CstOS Coastal Open Space
- PrPro Primary Production
- R Residential
- TCe Town Centre
- Zone Boundary
- Development Plan Boundary

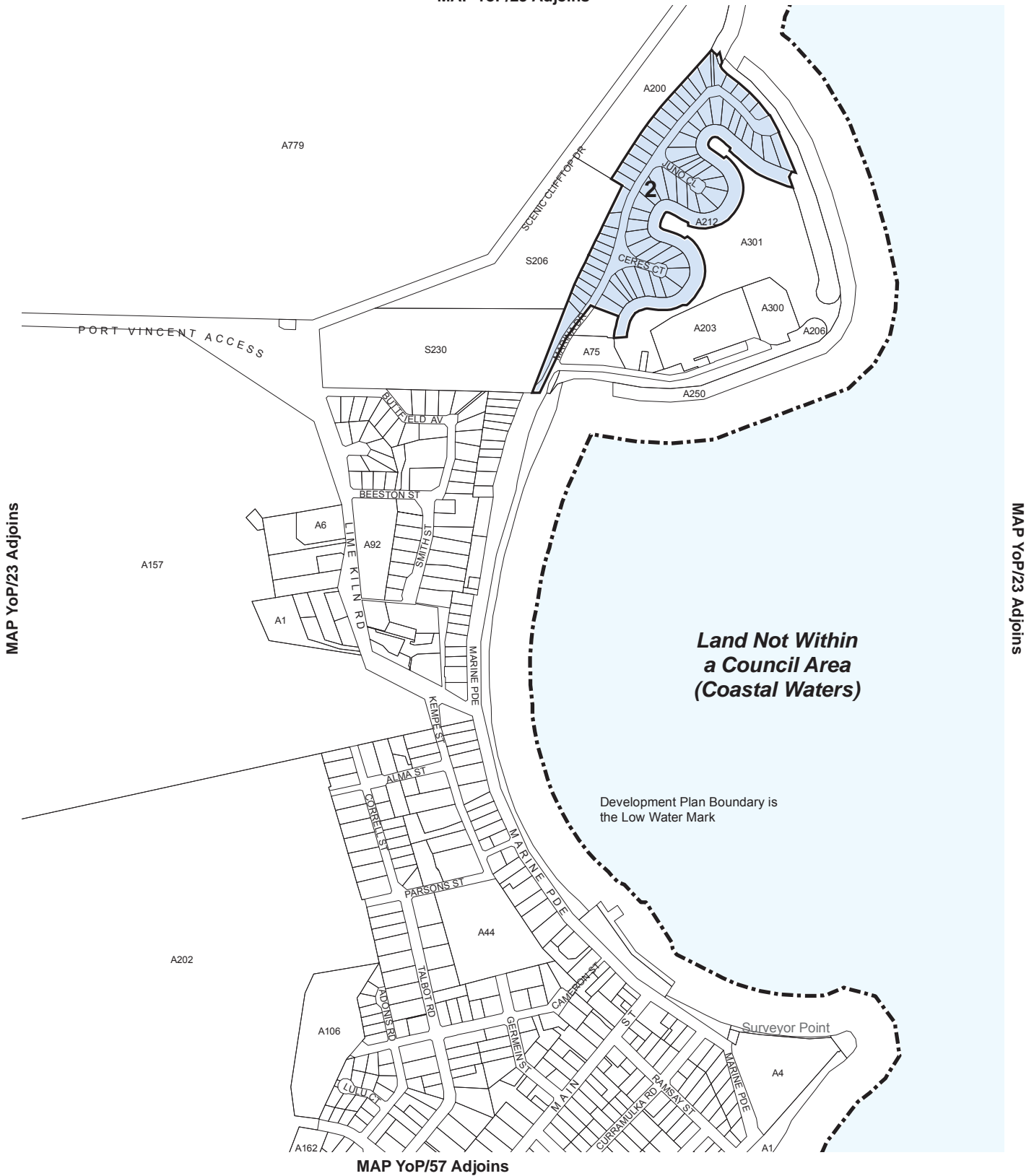


0 500 m

PORT VINCENT

Zone Map YoP/58

MAP YoP/23 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Port Vincent Marina

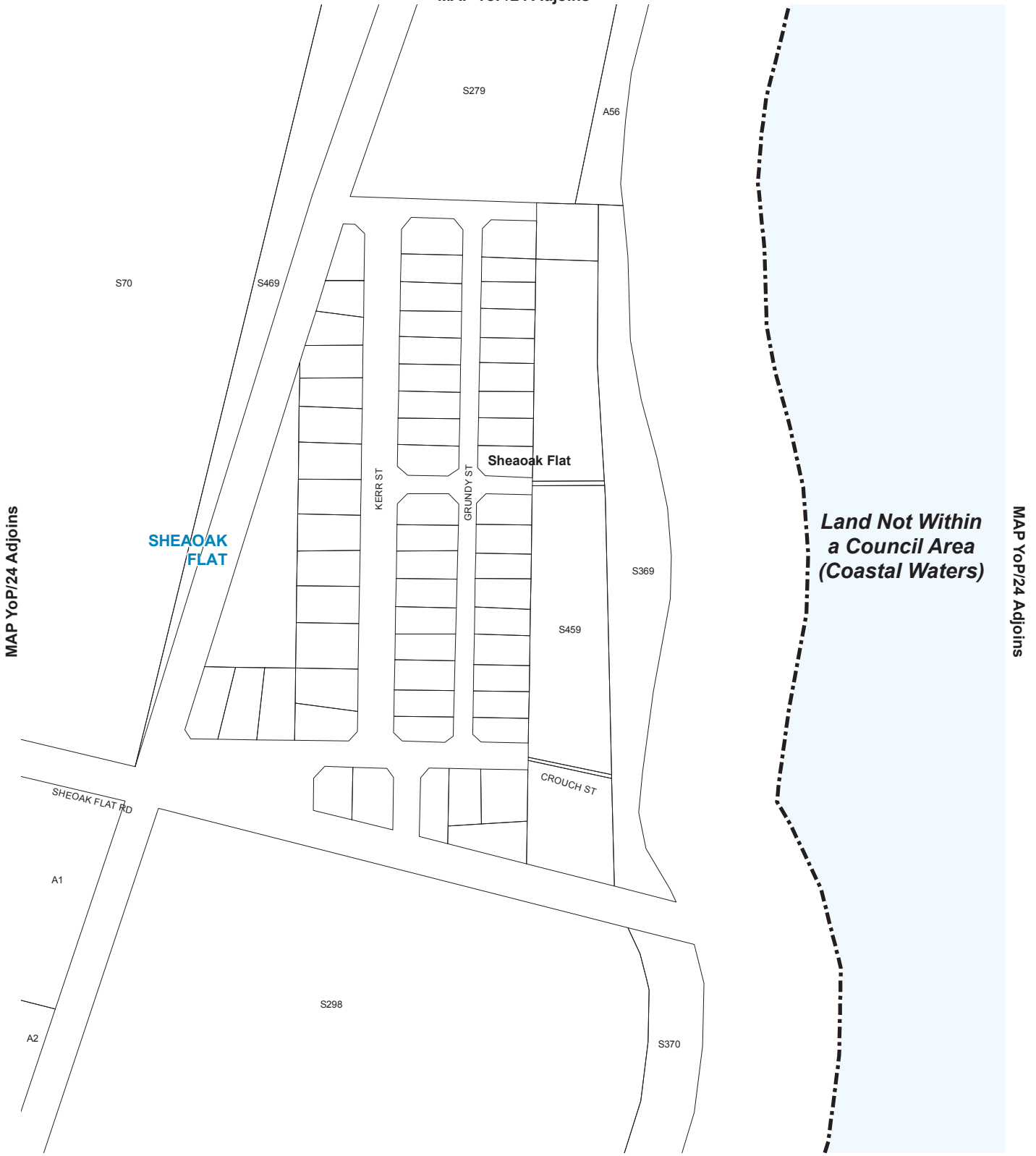


PORT VINCENT

Policy Area Map YoP/58

- Policy Area Boundary
- Development Plan Boundary

MAP YoP/24 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

MAP YoP/24 Adjoins

MAP YoP/24 Adjoins

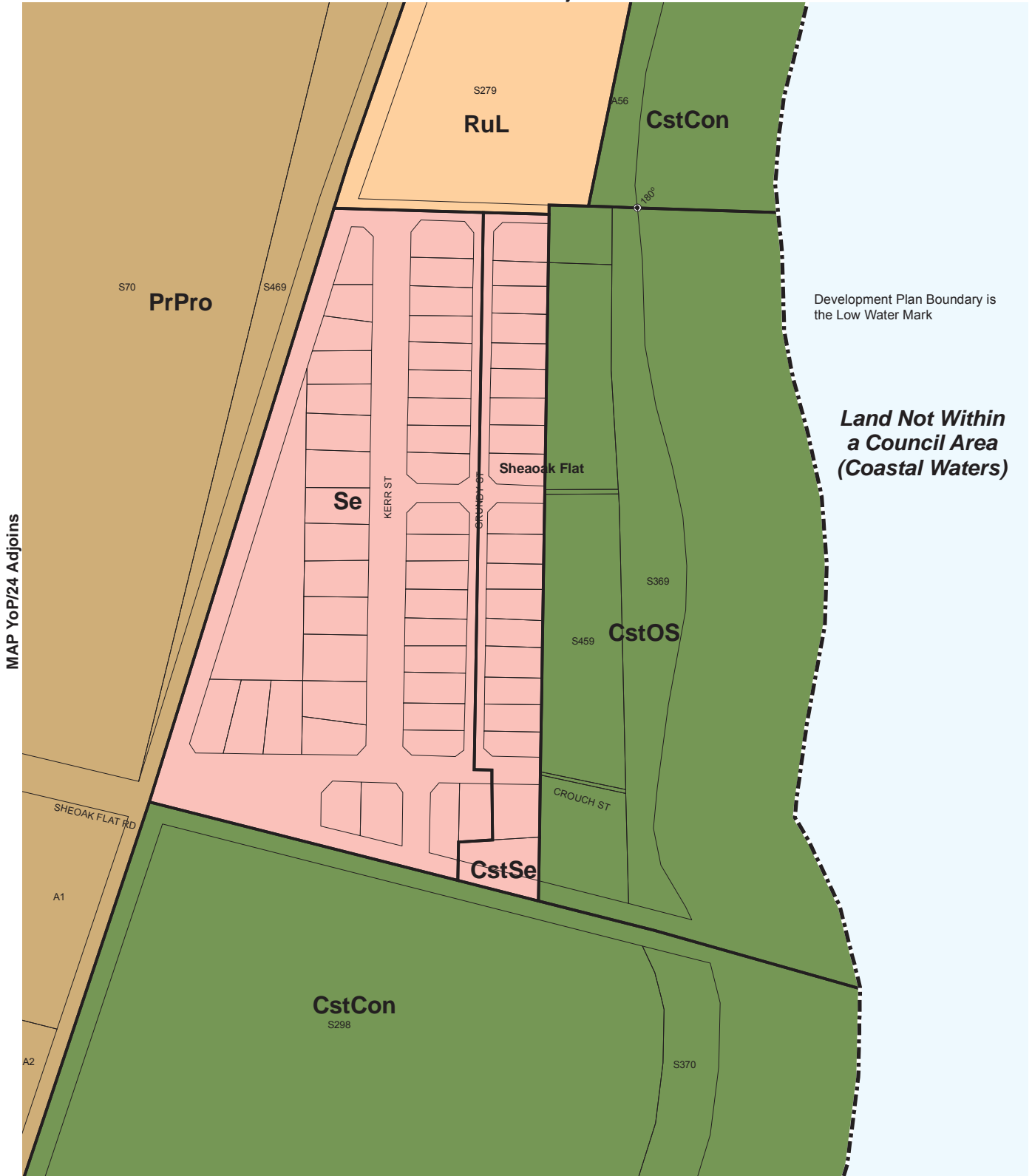


SHEOAK FLAT

Location Map YoP/59

----- Development Plan Boundary

MAP YoP/24 Adjoins



MAP YoP/24 Adjoins

Lamberts Conformal Conic Projection, GDA94



Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- CstSe Coastal Settlement
- PrPro Primary Production
- RuL Rural Living
- Se Settlement
- Zone Boundary
- Development Plan Boundary

SHEOAK FLAT

Zone Map YoP/59

MAP YoP/24 Adjoins



MAP YoP/24 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision

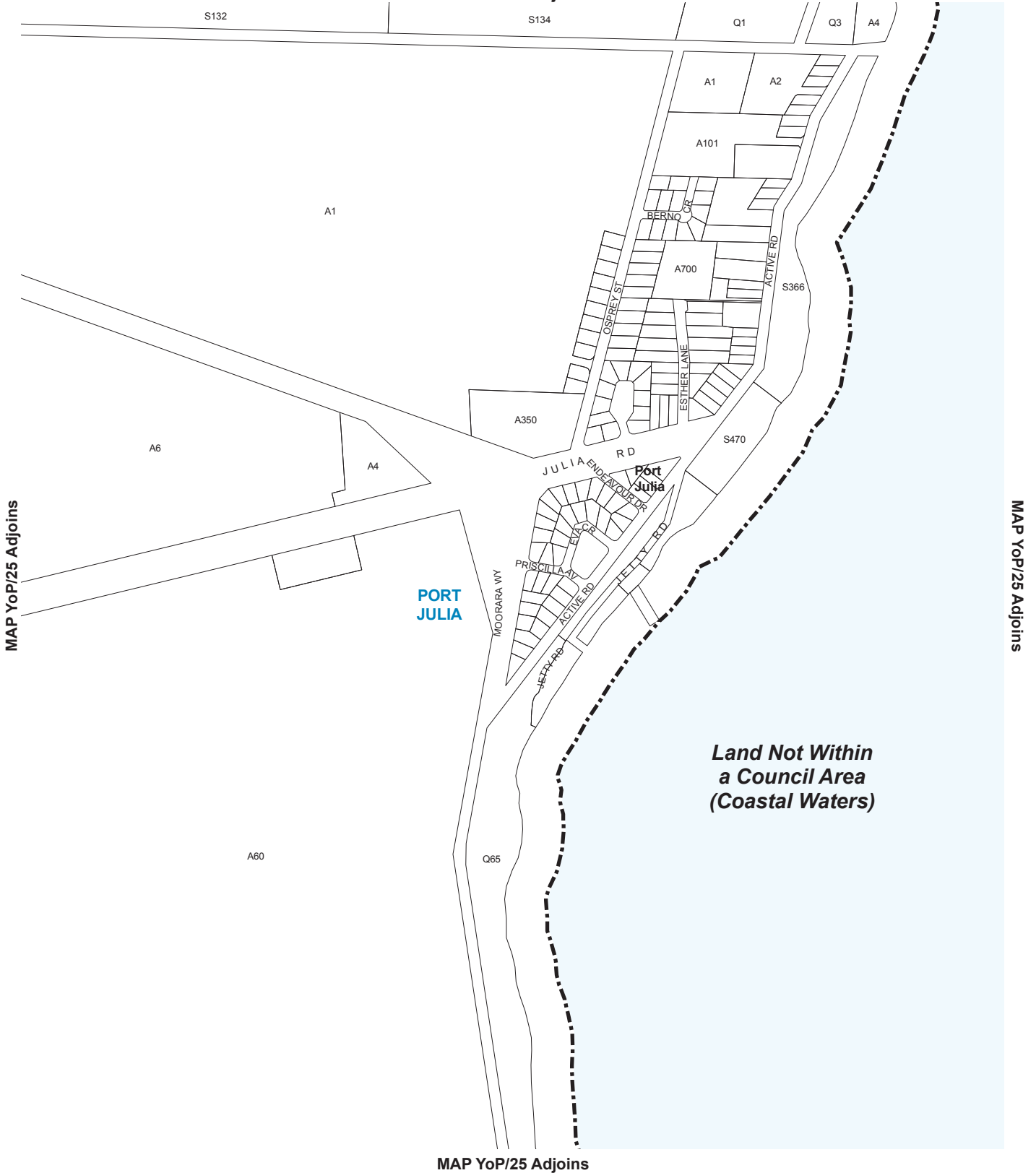


SHEOAK FLAT

Precinct Map YoP/59

- Precinct Boundary
- Development Plan Boundary

MAP YoP/25 Adjoins



MAP YoP/25 Adjoins

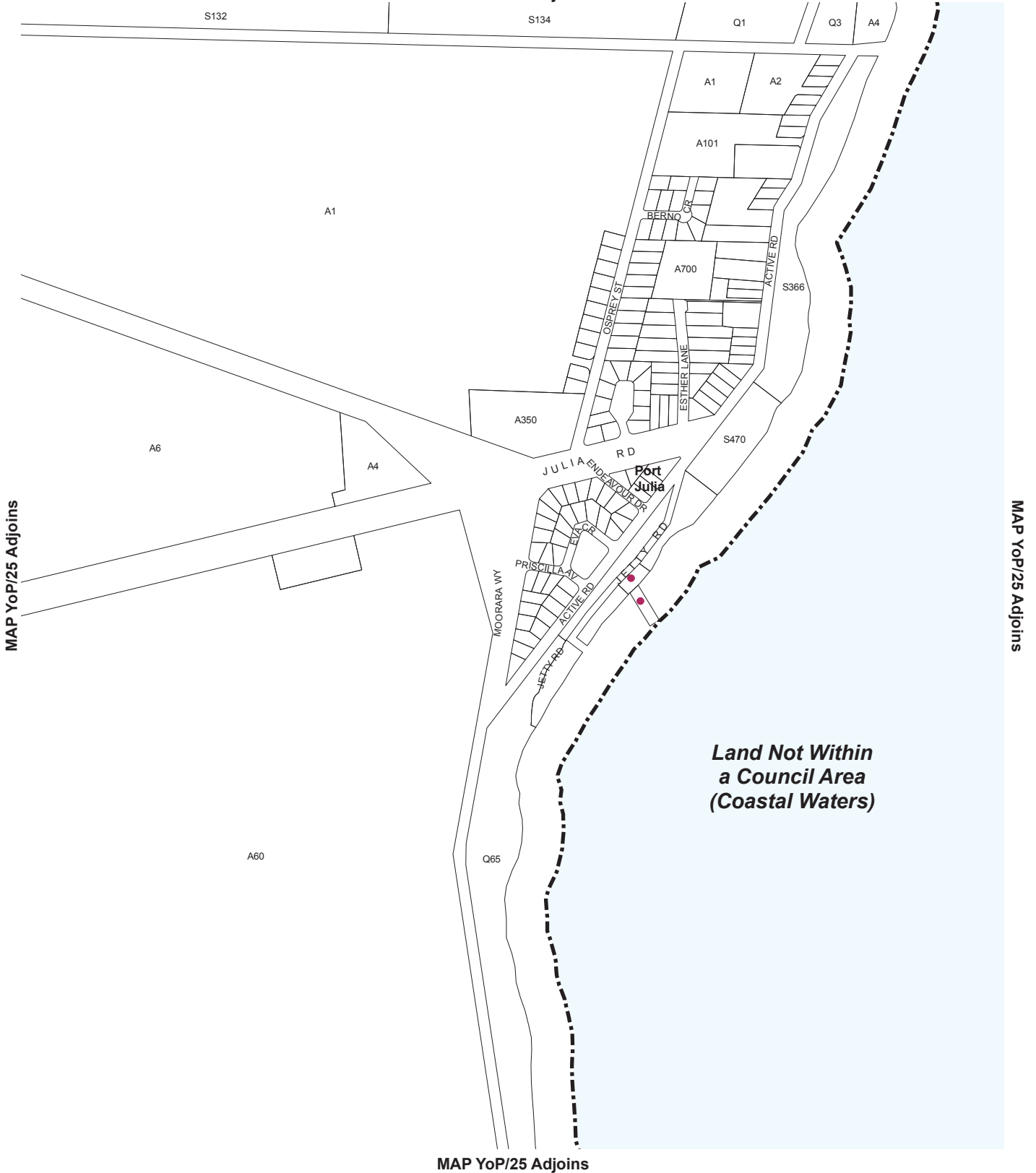


PORT JULIA

Location Map YoP/60

----- Development Plan Boundary

MAP YoP/25 Adjoins



Heritage points are indicative only.
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 Items please refer to the relevant tables within this document.

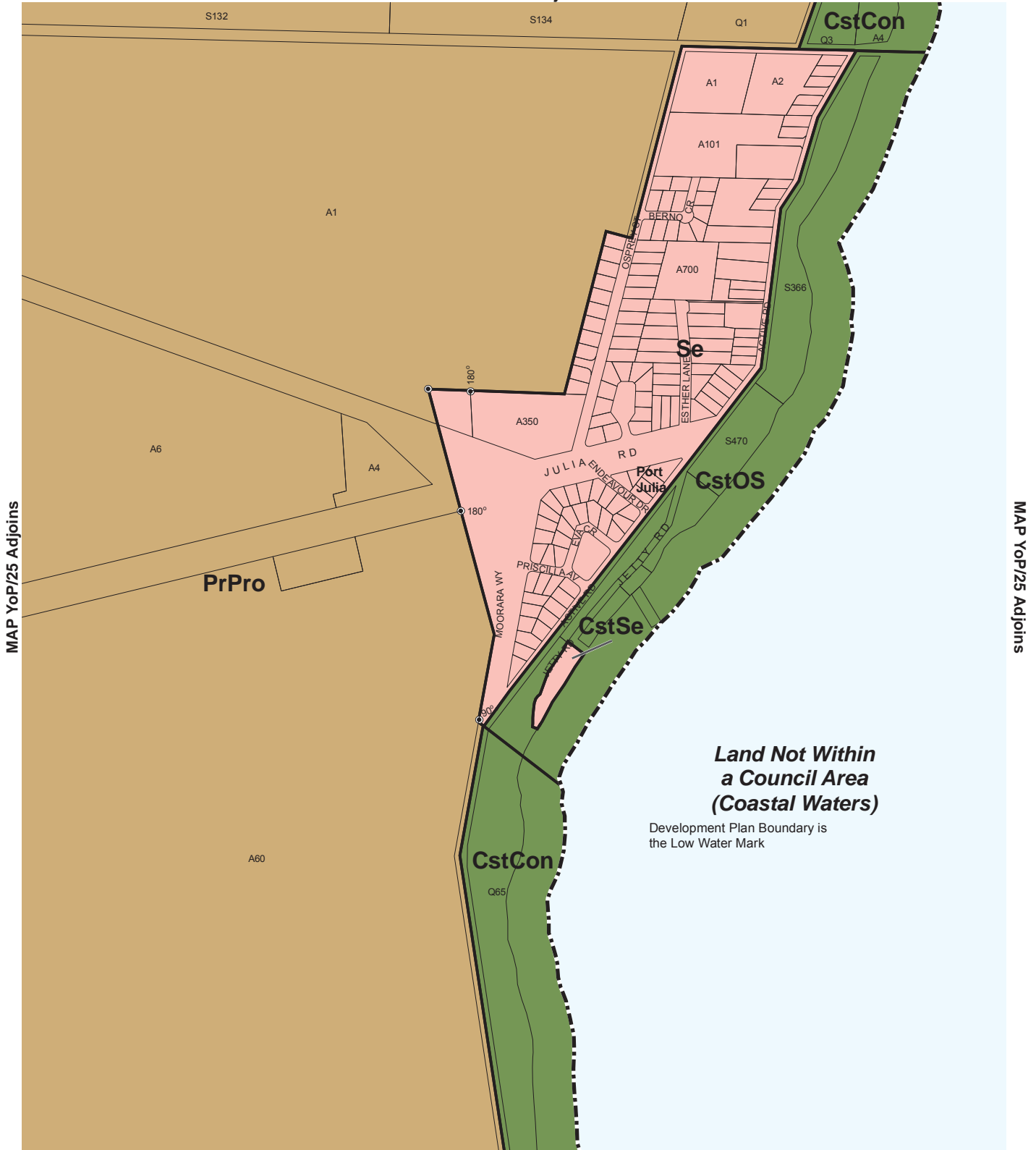


PORT JULIA

Overlay Map YoP/60 HERITAGE

- State heritage place
- Development Plan Boundary

MAP YoP/25 Adjoins



MAP YoP/25 Adjoins

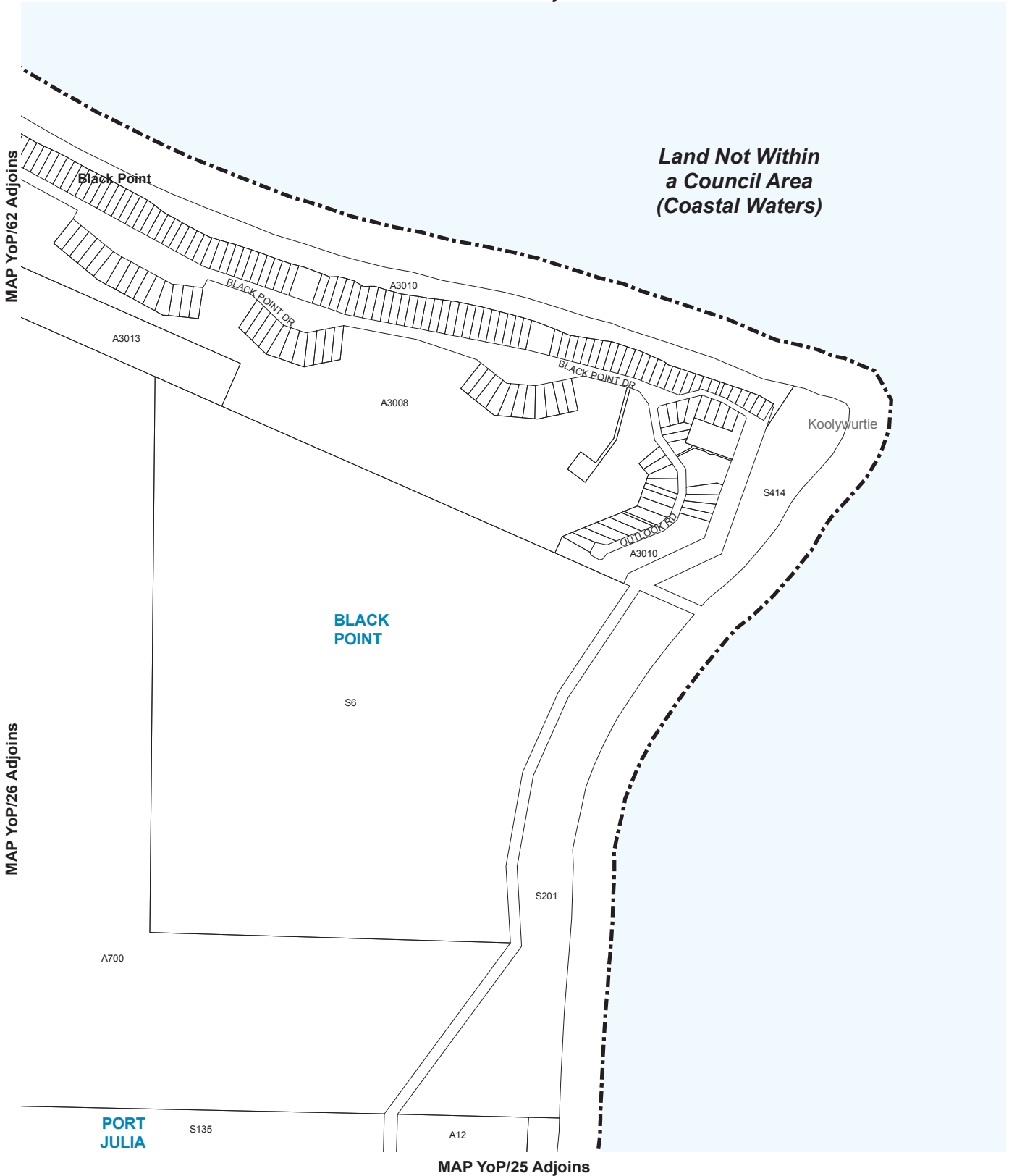
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - CstSe Coastal Settlement
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

PORT JULIA

Zone Map YoP/60



MAP YoP/1 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

BLACK
POINT

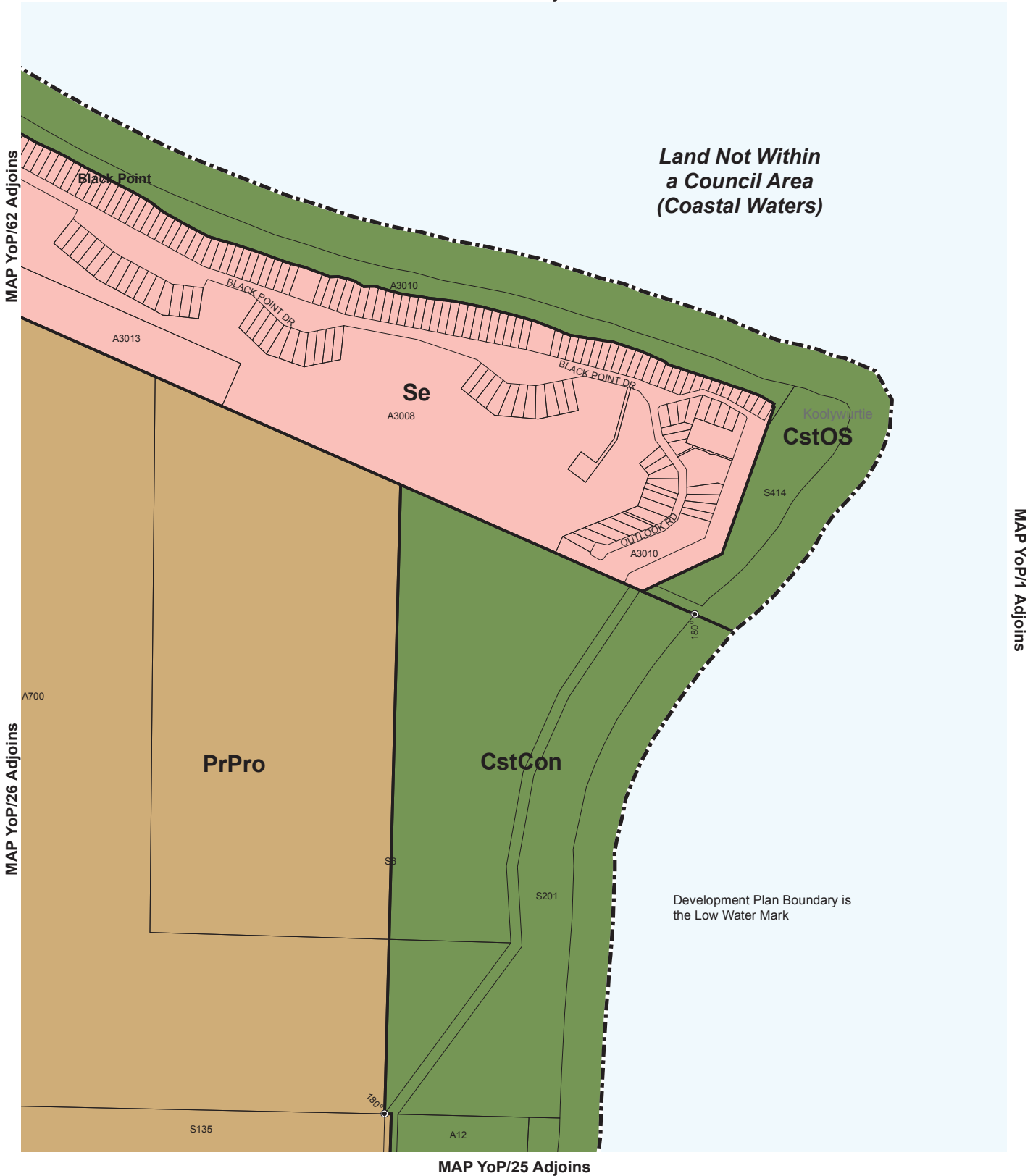
PORT
JULIA



BLACK POINT

Location Map YoP/61

----- Development Plan Boundary



Land Not Within
a Council Area
(Coastal Waters)

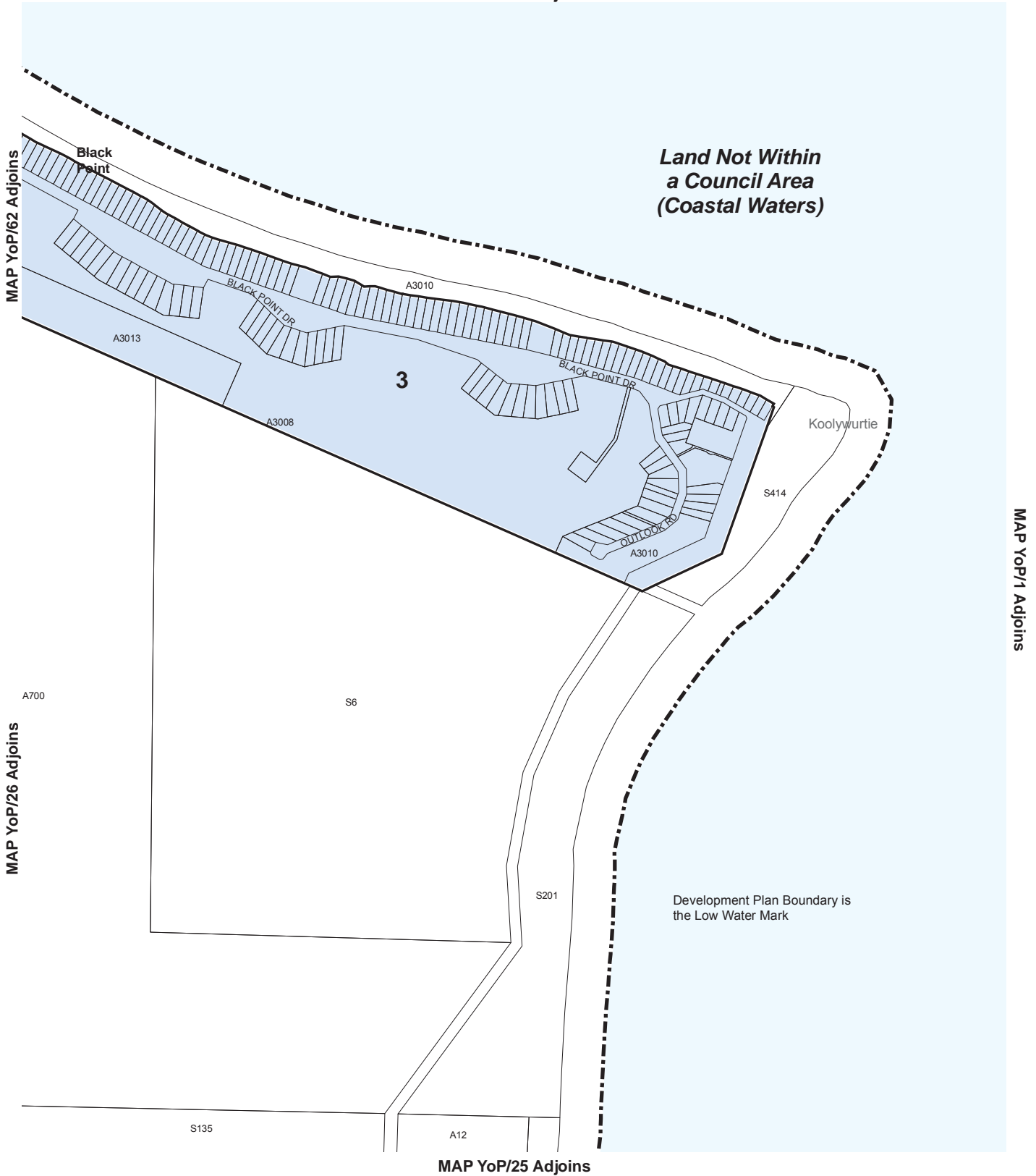
Development Plan Boundary is
the Low Water Mark

Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

BLACK POINT
Zone Map YoP/61



Lamberts Conformal Conic Projection, GDA94

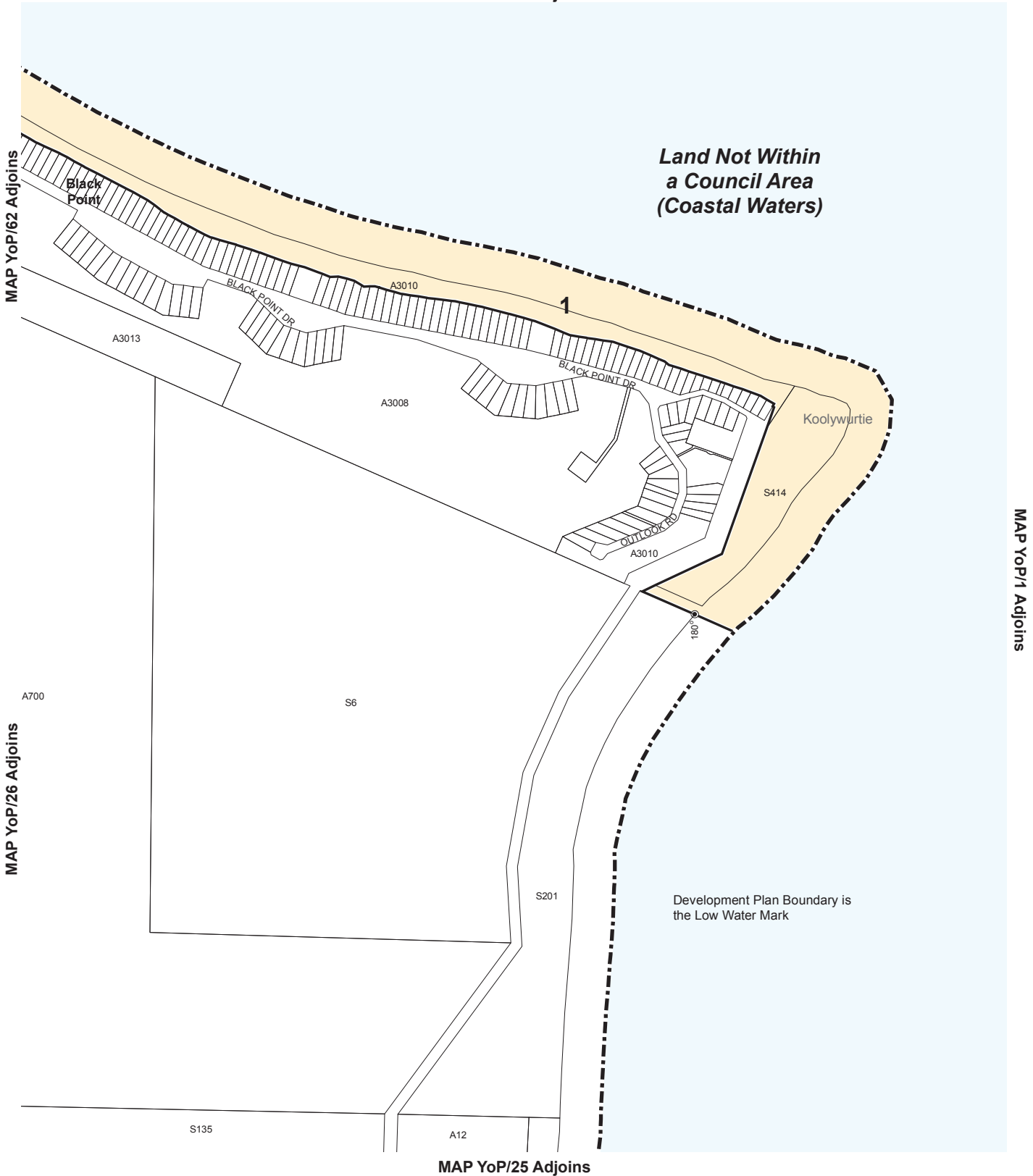
Policy Area
3 Black Point



BLACK POINT

Policy Area Map YoP/61

- Policy Area Boundary
- Development Plan Boundary



Lamberts Conformal Conic Projection, GDA94

Precinct
1 Black Point

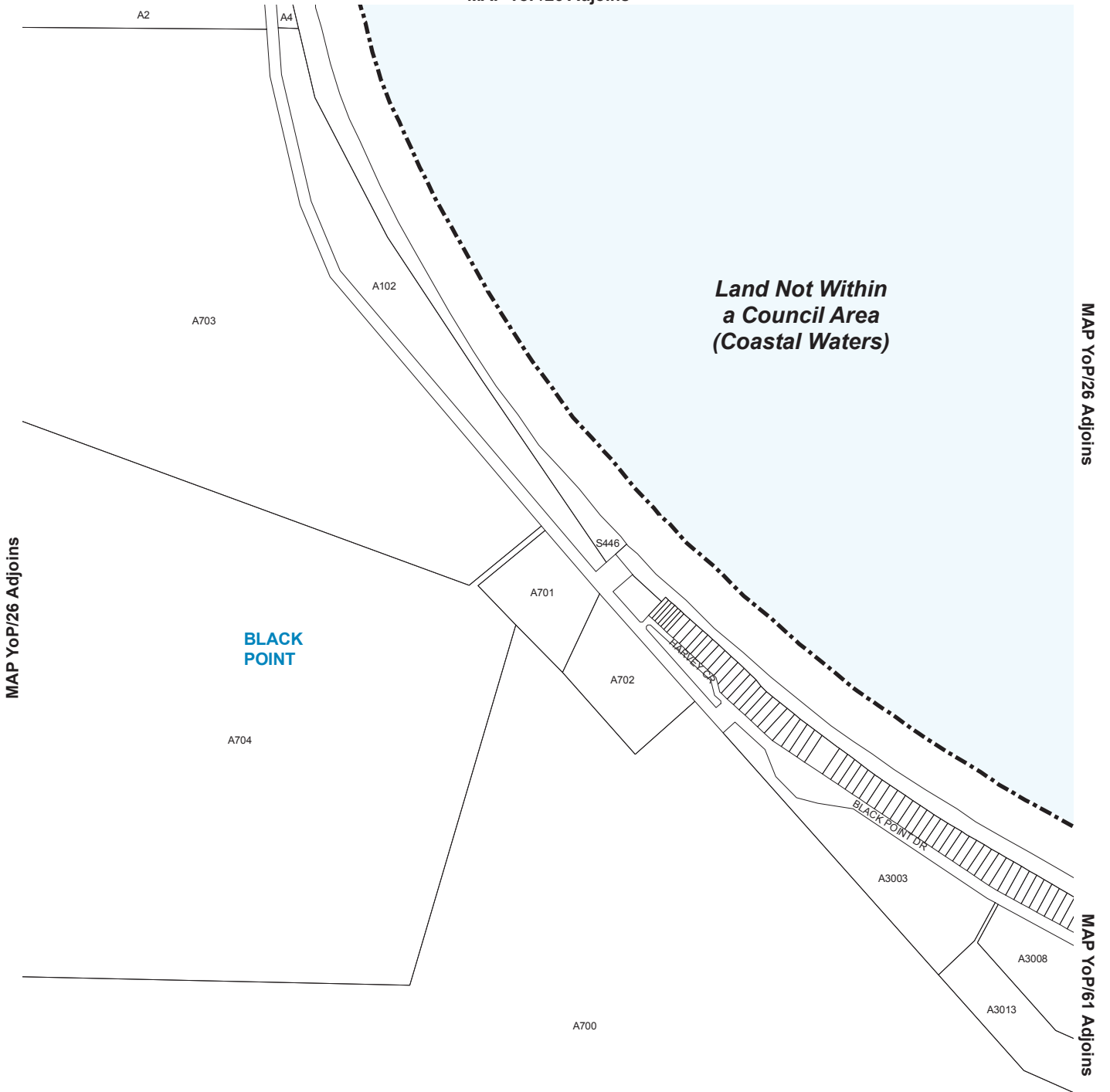


BLACK POINT

Precinct Map YoP/61

- Precinct Boundary
- Development Plan Boundary

MAP YoP/26 Adjoins



MAP YoP/26 Adjoins

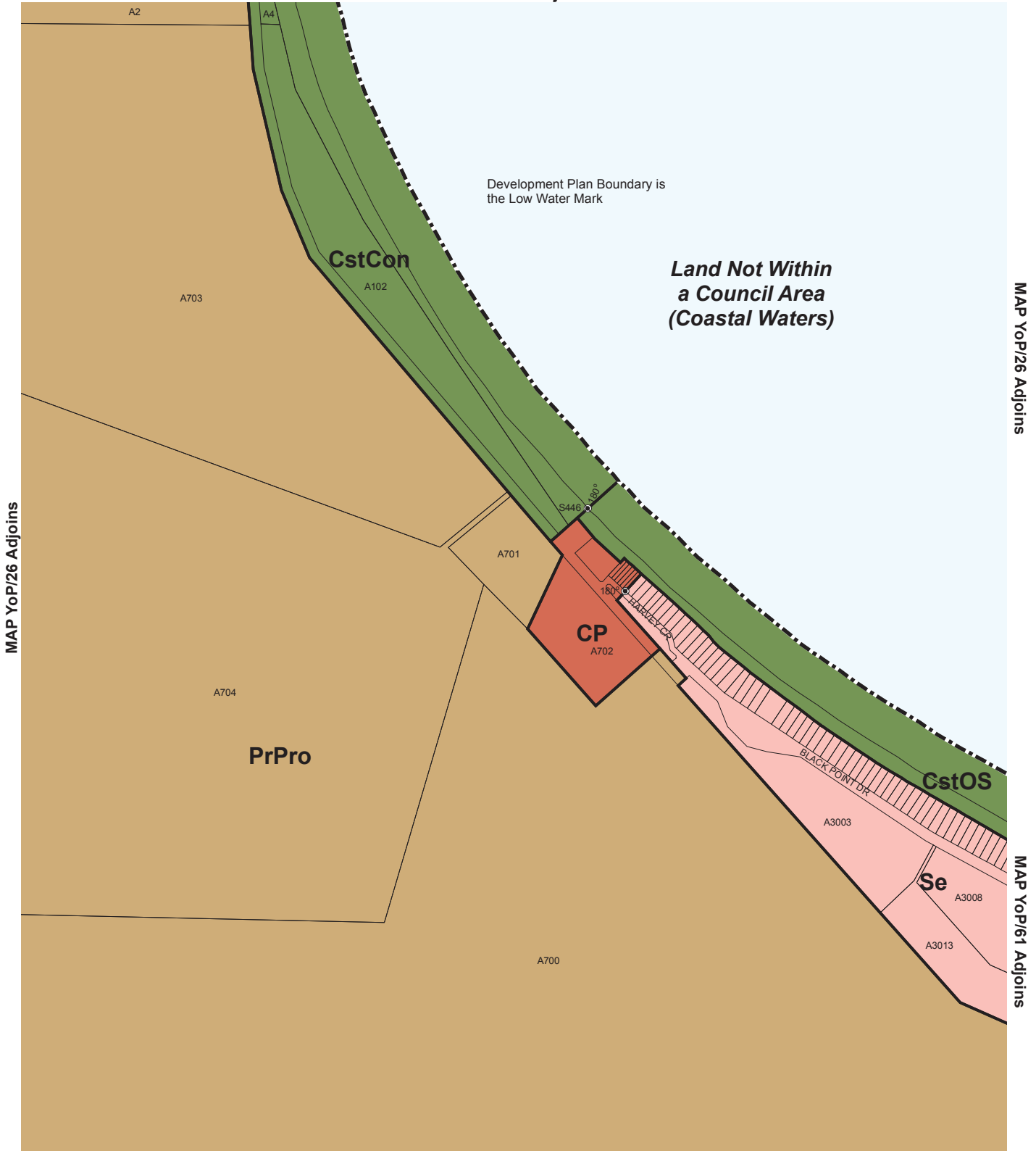


BLACK POINT

Location Map YoP/62

----- Development Plan Boundary

MAP YoP/26 Adjoins



MAP YoP/26 Adjoins

Lamberts Conformal Conic Projection, GDA94



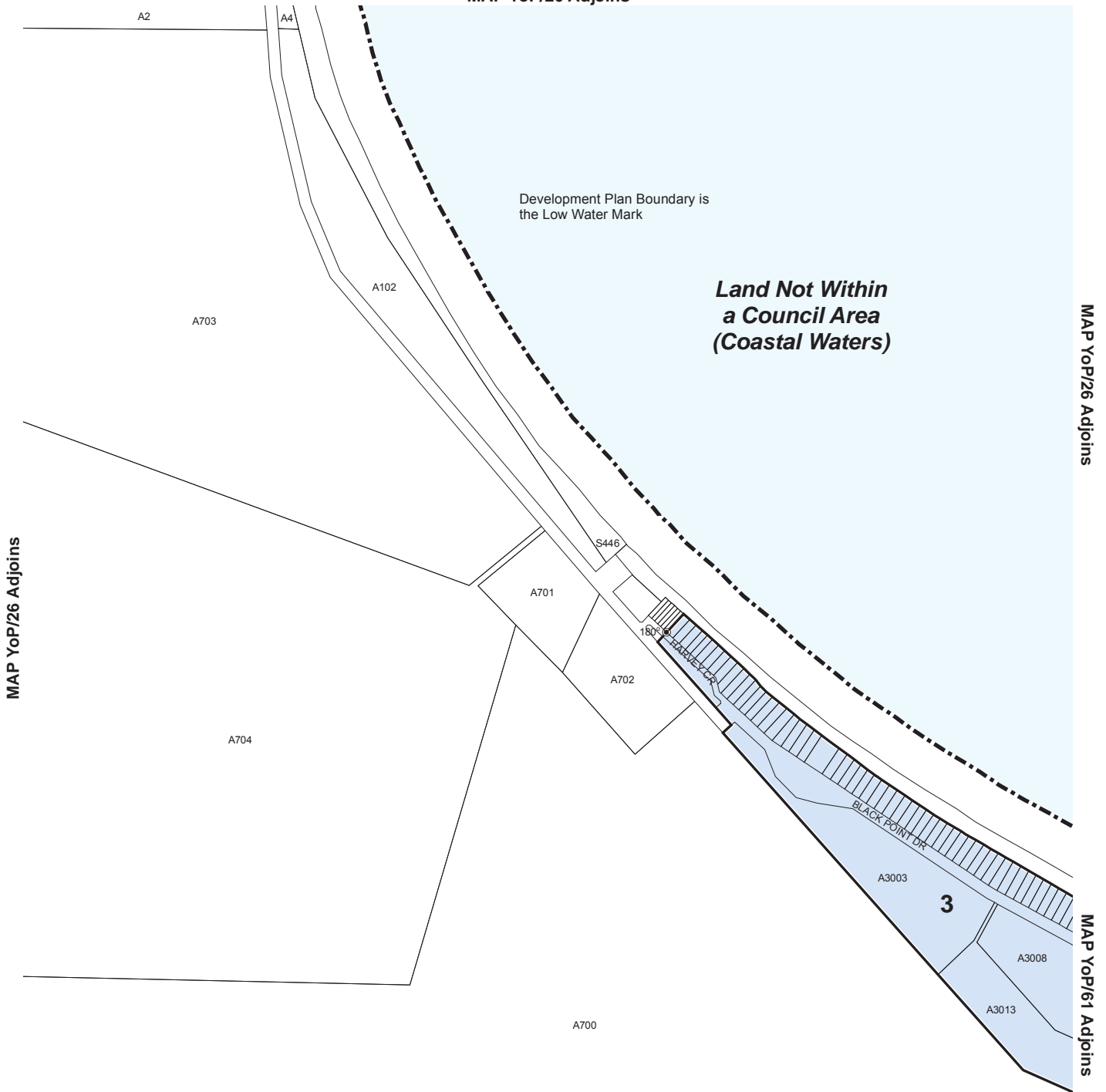
Zones

- CP Caravan and Tourist Park
- CstCon Coastal Conservation
- CstOS Coastal Open Space
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary

BLACK POINT

Zone Map YoP/62

MAP YoP/26 Adjoins



**Land Not Within
a Council Area
(Coastal Waters)**

MAP YoP/26 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
3 Black Point

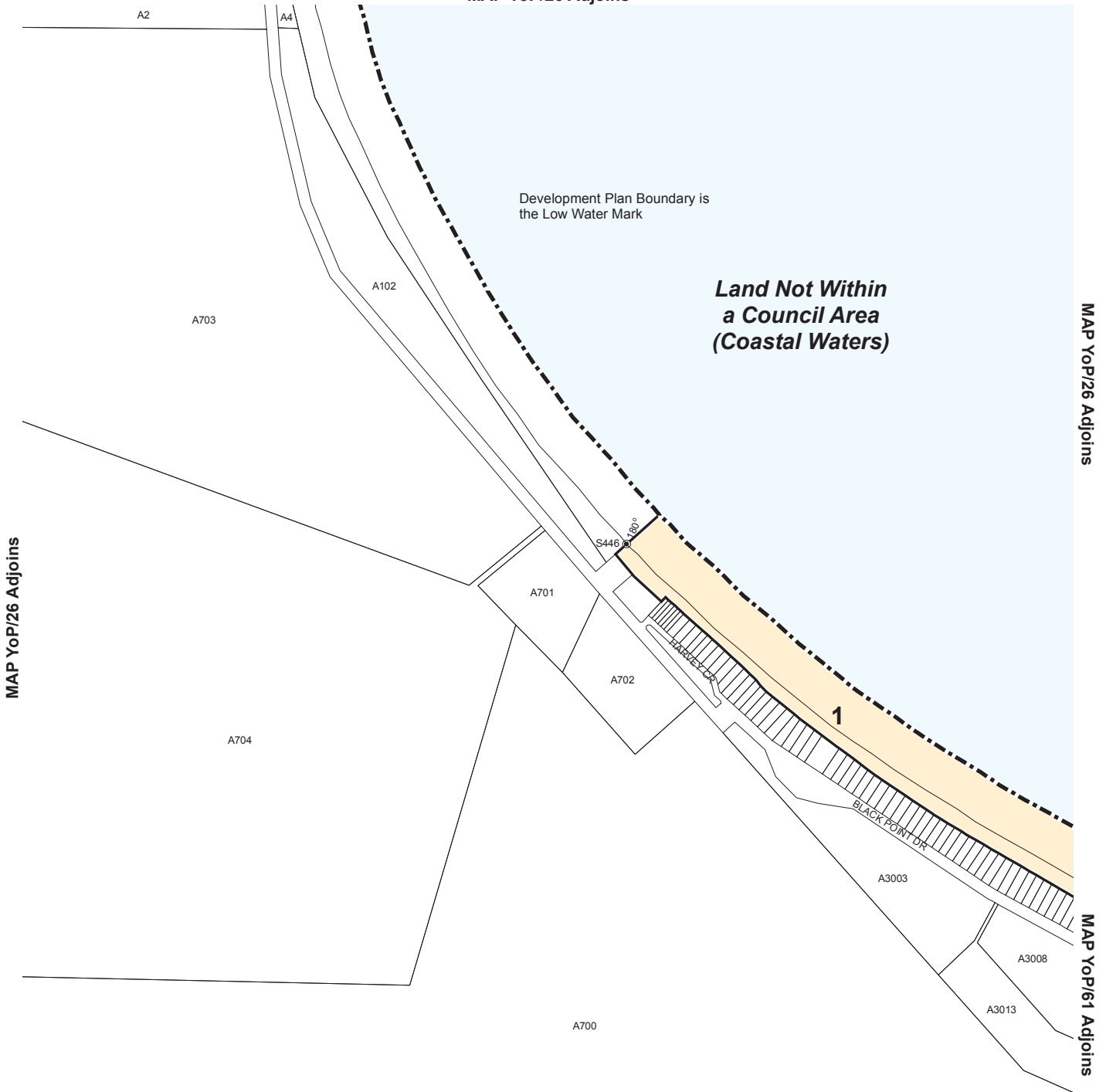


BLACK POINT

Policy Area Map YoP/62

- Policy Area Boundary
- Development Plan Boundary

MAP YoP/26 Adjoins



MAP YoP/26 Adjoins


Lamberts Conformal Conic Projection, GDA94

Precinct
1 Black Point



BLACK POINT

Precinct Map YoP/62

-  Precinct Boundary
-  Development Plan Boundary



PINE POINT

Location Map YoP/63

----- Development Plan Boundary



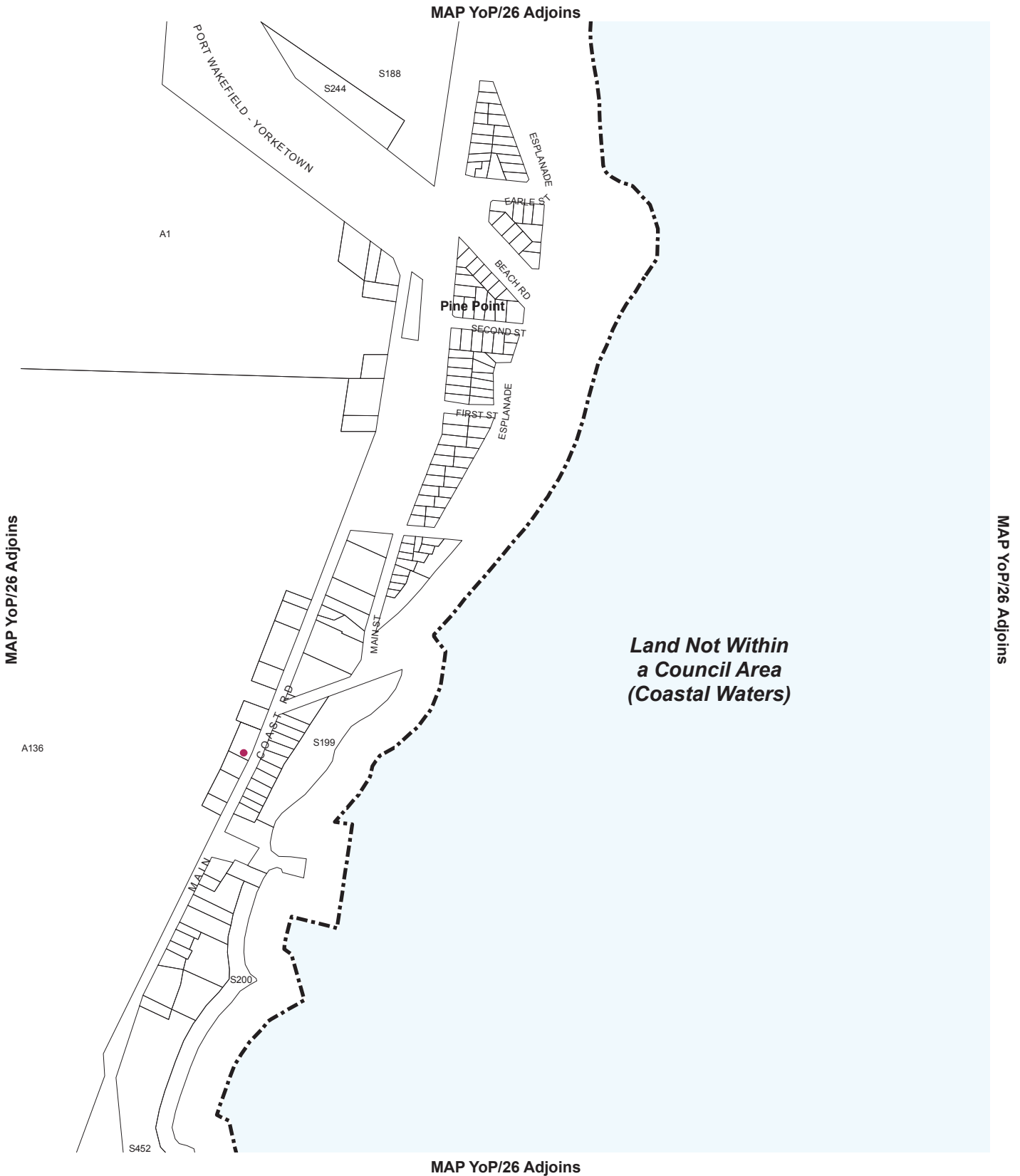
- Secondary Arterial Roads
- - - - - Development Plan Boundary



PINE POINT

Overlay Map YoP/63

TRANSPORT



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



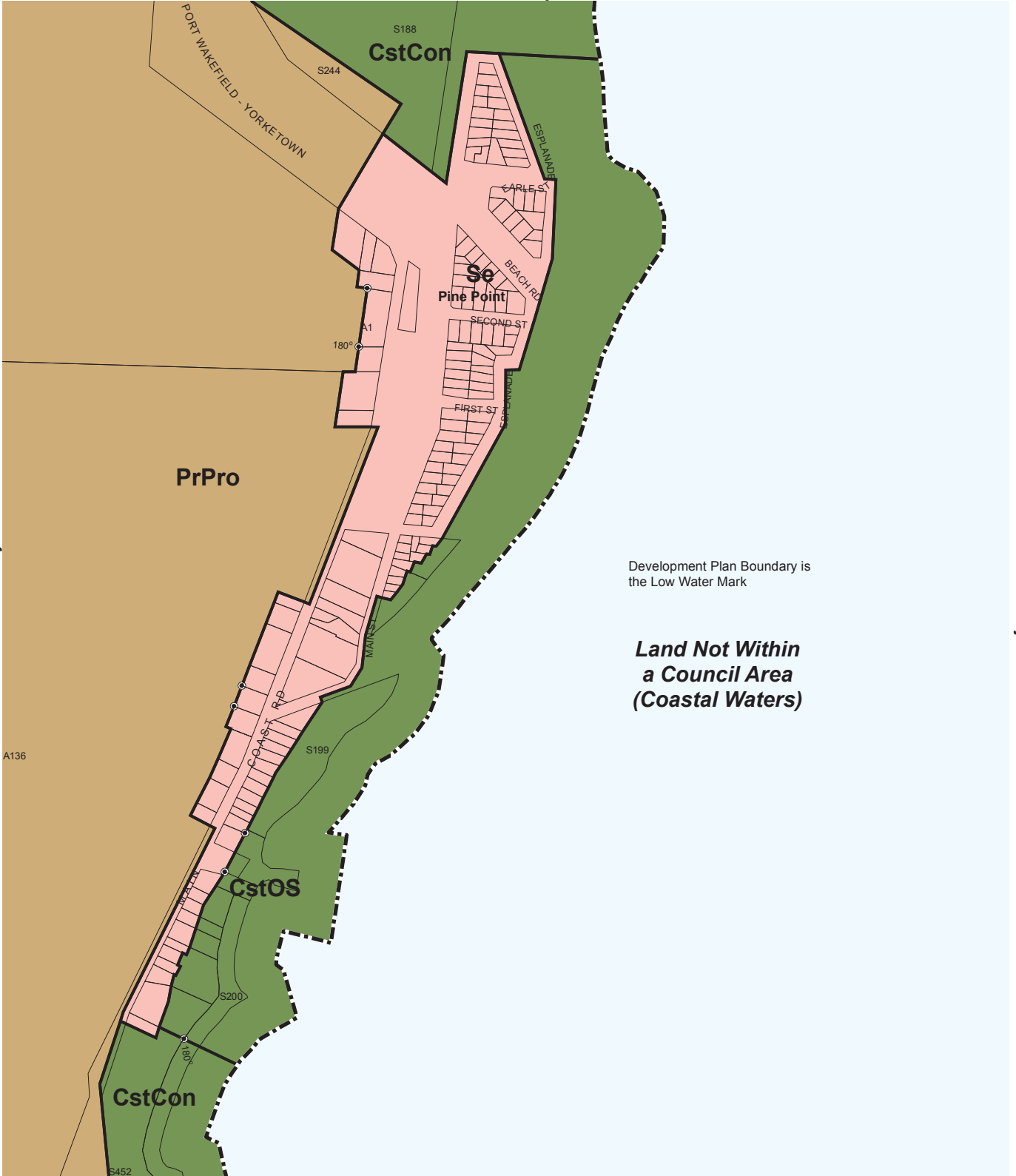
PINE POINT

Overlay Map YoP/63 HERITAGE

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018

- State heritage place
- Development Plan Boundary

MAP YoP/26 Adjoins



MAP YoP/26 Adjoins

Lamberts Conformal Conic Projection, GDA94



PINE POINT

Zone Map YoP/63

- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - PrPro Primary Production
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary

MAP YoP/27 Adjoins

ARDROSSAN

S19

A3

S455

S359

James Well

JAMES WELL RD

JAMES WELL RD

S60

PORT VINCENT-ARDROSSAN RD

S406

JAMES WELL RD

A21

S408

S295

MAP YoP/27 Adjoins

S59

SANDILANDS

JAMES WELL

MAP YoP/27 Adjoins

ROGUES POINT

A18

S409

A174

WAKEFIELD - YORKTOWN

A177

ROGUES POINT

Land Not Within a Council Area (Coastal Waters)

PORT

A176

Rogues Point

CHARMANT RD

A39

MAP YoP/27 Adjoins

S186



0 500m

JAMES WELL & ROGUES POINT

Location Map YoP/64

----- Development Plan Boundary

MAP YoP/27 Adjoins



MAP YoP/27 Adjoins



JAMES WELL & ROGUES POINT

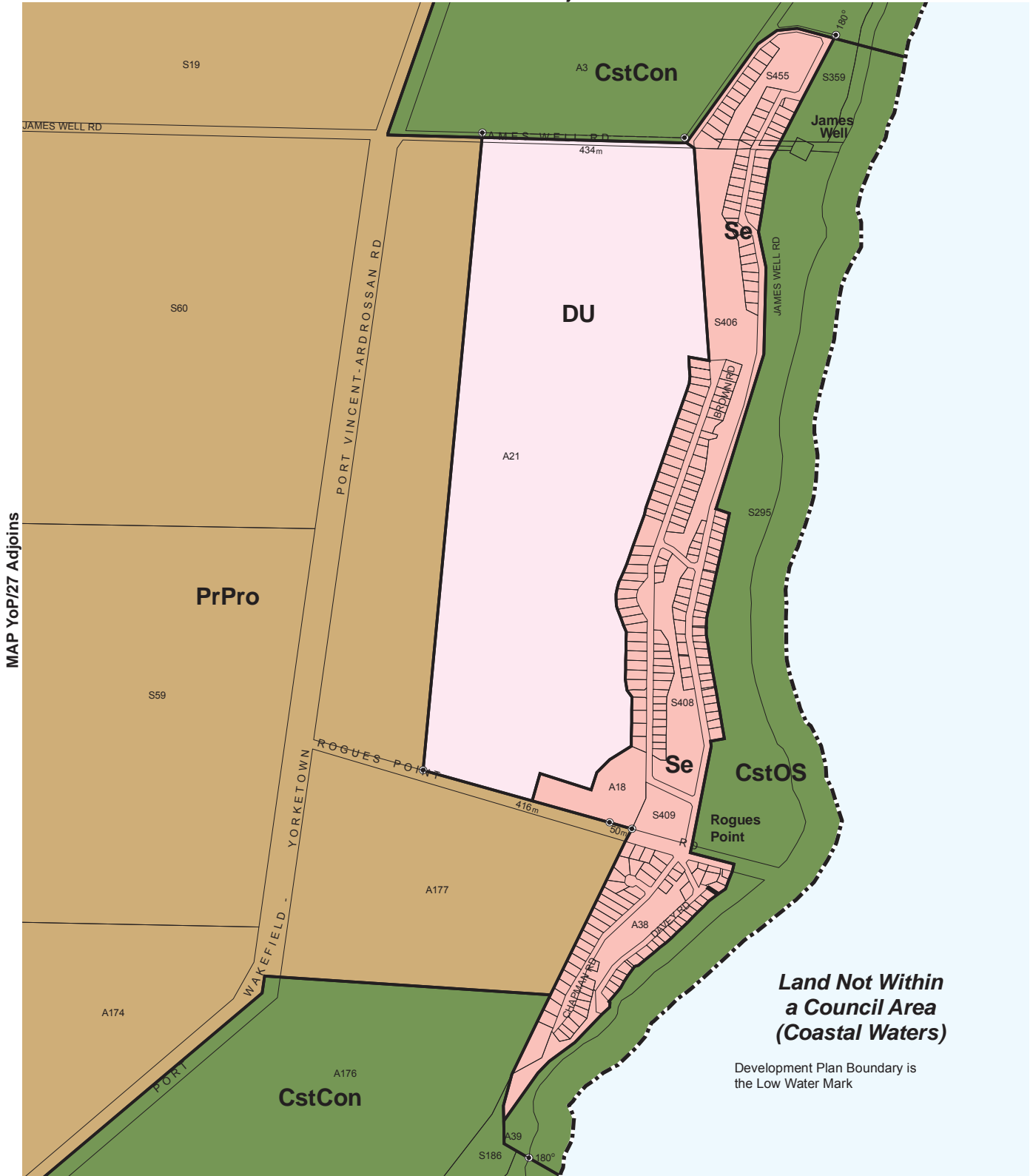
Overlay Map YoP/64

TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/27 Adjoins



MAP YoP/27 Adjoins

Lamberts Conformal Conic Projection, GDA94



JAMES WELL & ROGUES POINT

Zone Map YoP/64

Zones

- CstCon Coastal Conservation
- CstOS Coastal Open Space
- DU Deferred Urban
- PrPro Primary Production
- Se Settlement
- Zone Boundary
- Development Plan Boundary

MAP YoP/28 Adjoins

MAP YoP/66 Adjoins



MAP YoP/28 Adjoins

MAP YoP/28 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*



ARDROSSAN

Location Map YoP/65

- S** School
- L** Public Library
- H** Other Health Services
- H** Hospital
- P** Police Station

----- Development Plan Boundary

MAP YoP/28 Adjoins

MAP YoP/66 Adjoins



Land Not Within a Council Area (Coastal Waters)



ARDROSSAN

Overlay Map YoP/65 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Secondary Arterial Roads
- Development Plan Boundary

MAP YoP/28 Adjoins



----- Development Plan Boundary

Location Map YoP/66

MAP YoP/28 Adjoins



MAP YoP/65 Adjoins



MAP YoP/28 Adjoins



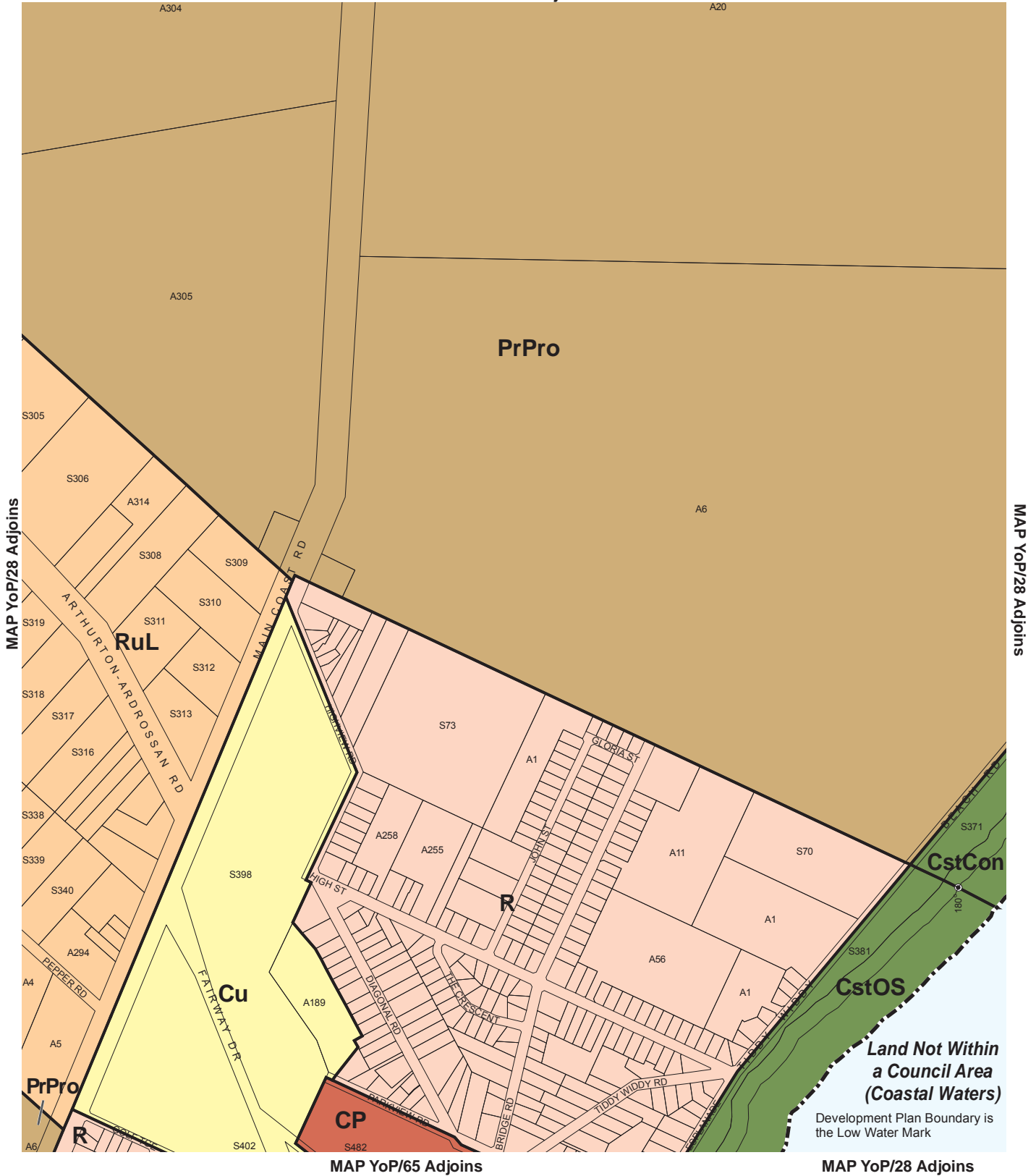
ARDROSSAN

Overlay Map YoP/66 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

-  Secondary Arterial Roads
-  Development Plan Boundary

MAP YoP/28 Adjoins



Lamberts Conformal Conic Projection, GDA94

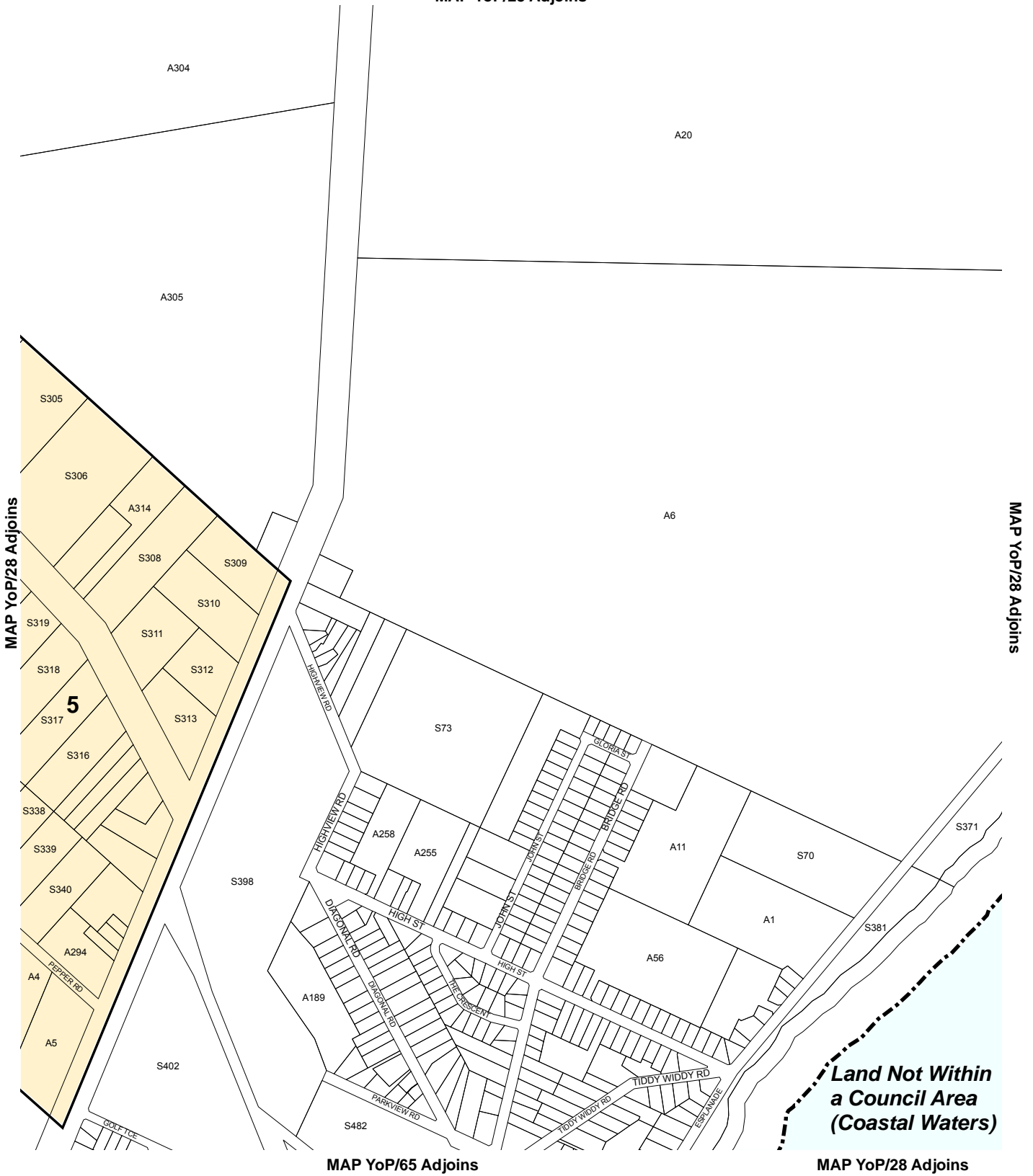
- Zones**
- CP Caravan and Tourist Park
 - CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - Cu Community
 - PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - Zone Boundary
 - Development Plan Boundary



ARDROSSAN

Zone Map YoP/66

MAP YoP/28 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct 5 Ardrossan Rural Living

MAP YoP/28 Adjoins



ARDROSSAN

Precinct Map YoP/66

- Precinct Boundary
- Development Plan Boundary

MAP YoP/30 Adjoins



PRICE

Location Map YoP/67




PRICE

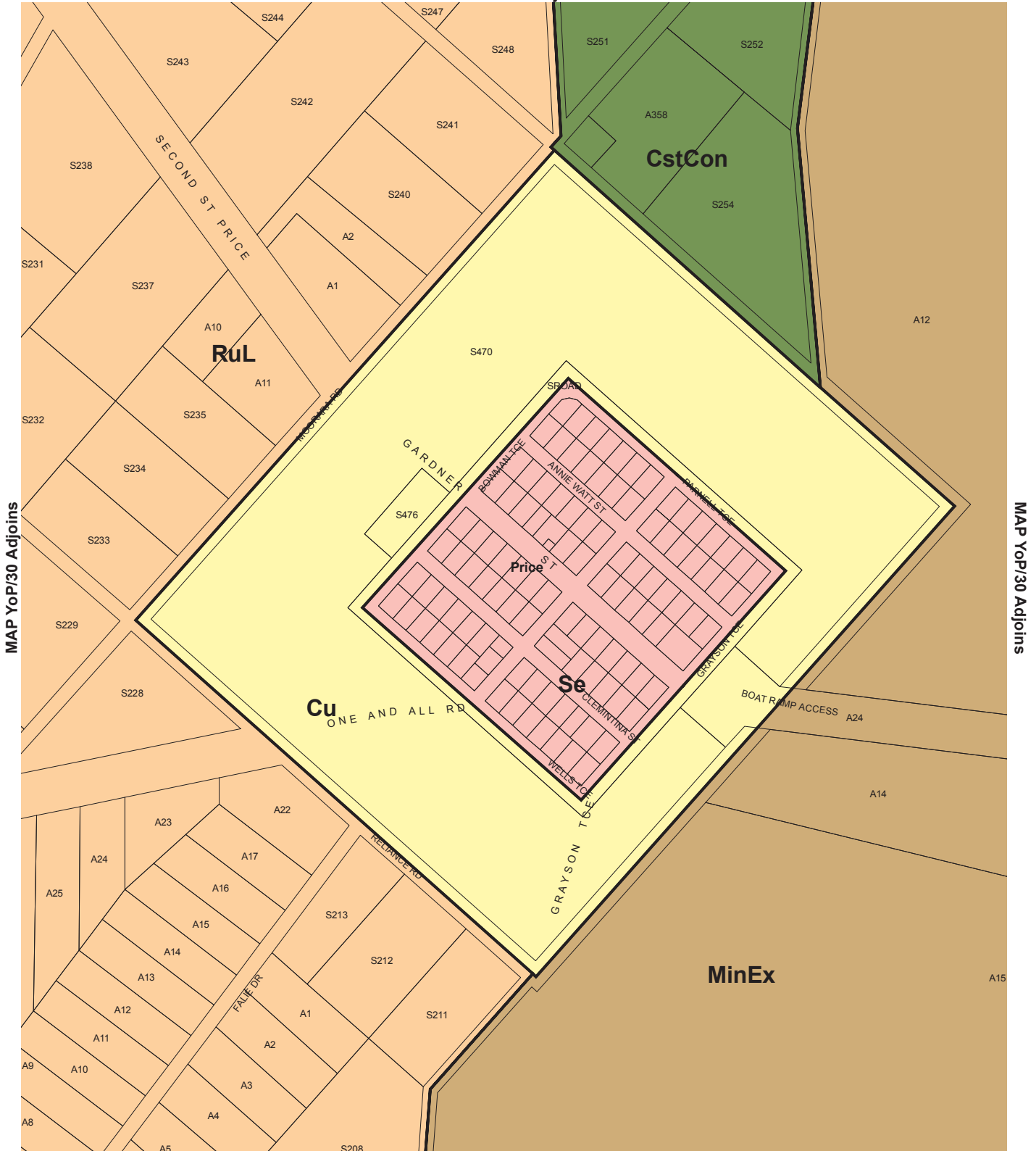
Overlay Map YoP/67

NATURAL RESOURCES

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

 Wetlands of National Importance

MAP YoP/30 Adjoins



MAP YoP/30 Adjoins

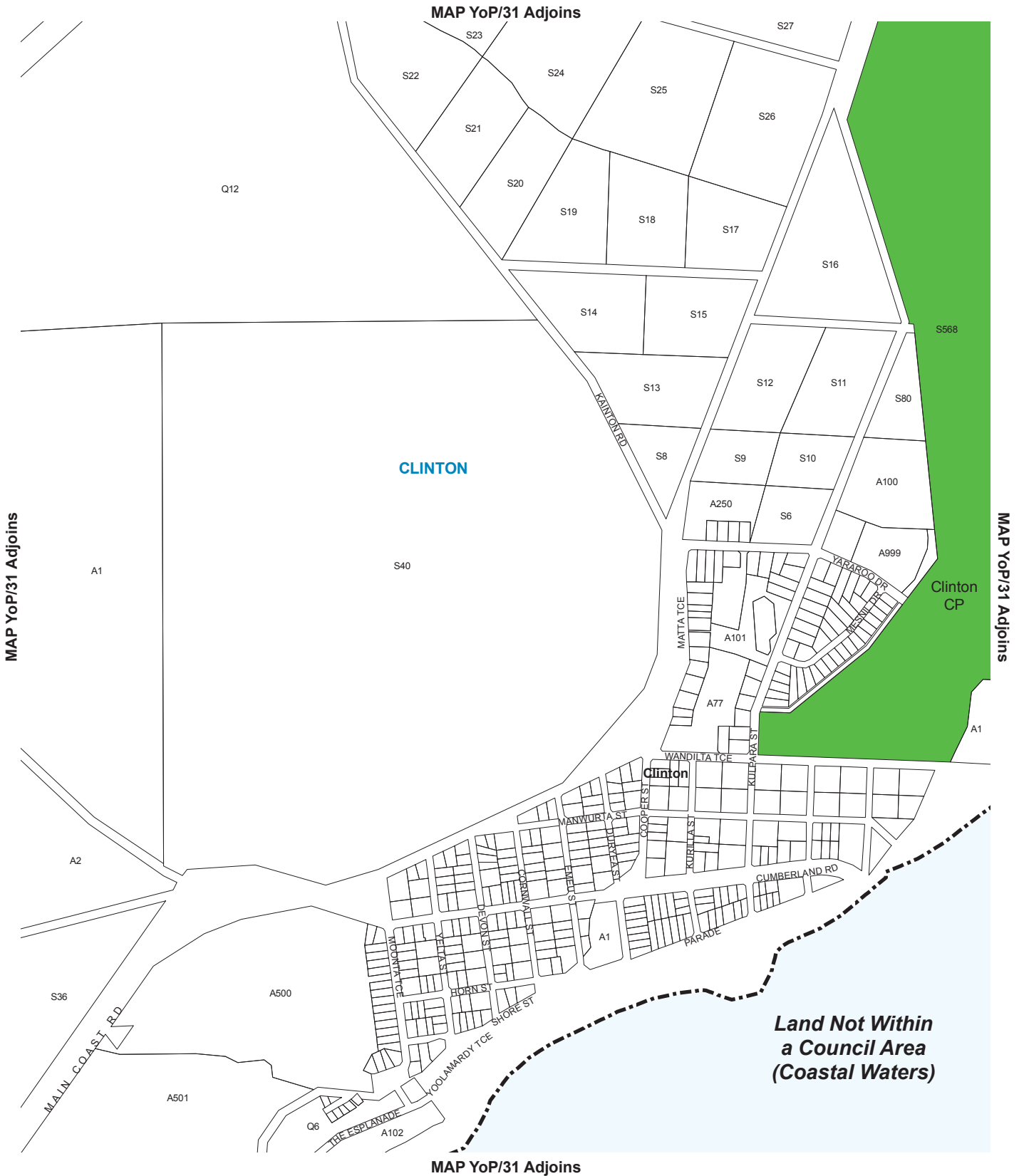
Lamberts Conformal Conic Projection, GDA94



- Zones**
- CstCon Coastal Conservation
 - Cu Community
 - MinEx Mineral Extraction
 - RuL Rural Living
 - Se Settlement
 - Zone Boundary

PRICE

Zone Map YoP/67



**Land Not Within
a Council Area
(Coastal Waters)**

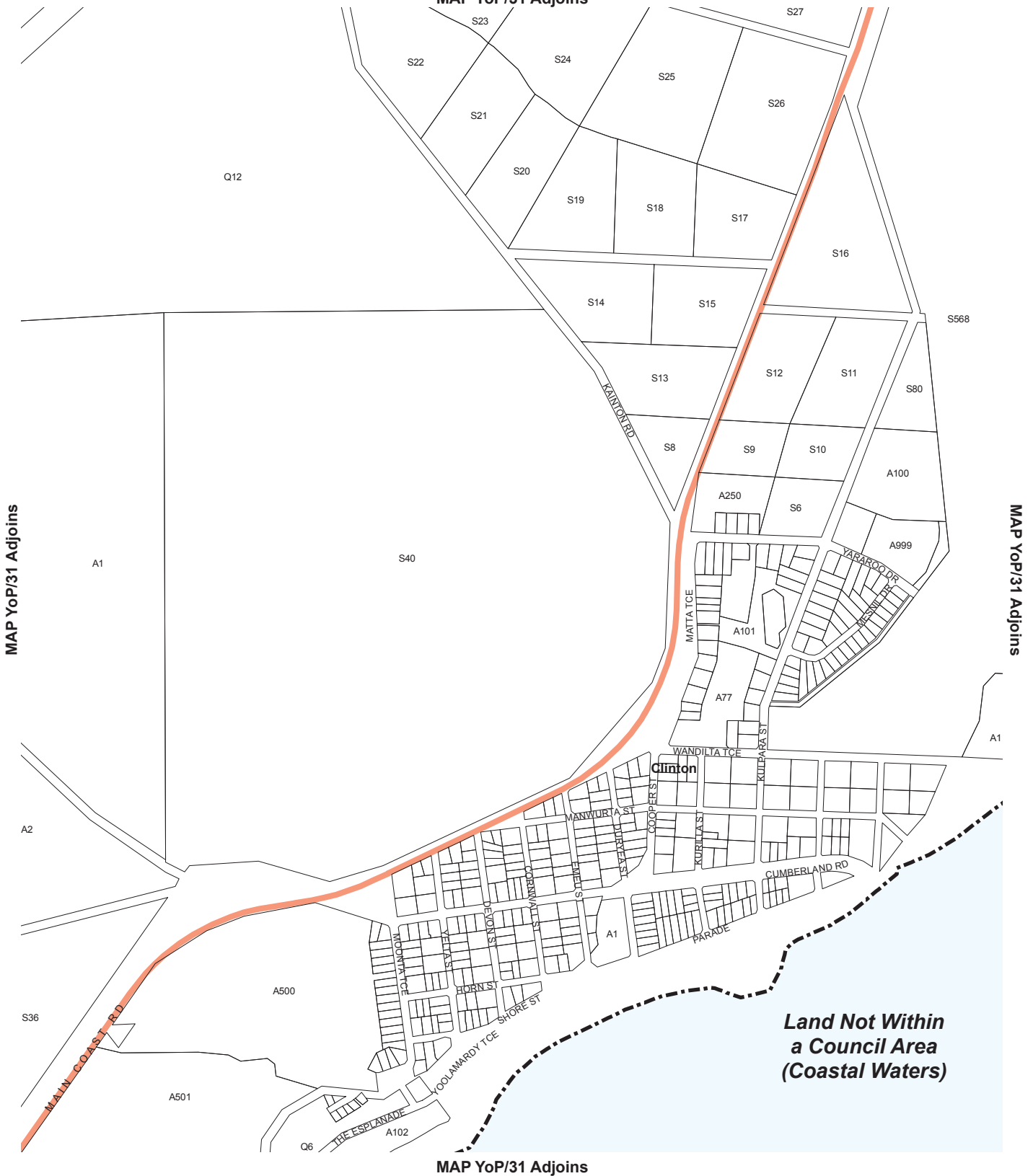


CLINTON

Location Map YoP/68

- Conservation Park
- Development Plan Boundary

MAP YoP/31 Adjoins



Land Not Within a Council Area (Coastal Waters)



MAP YoP/31 Adjoins

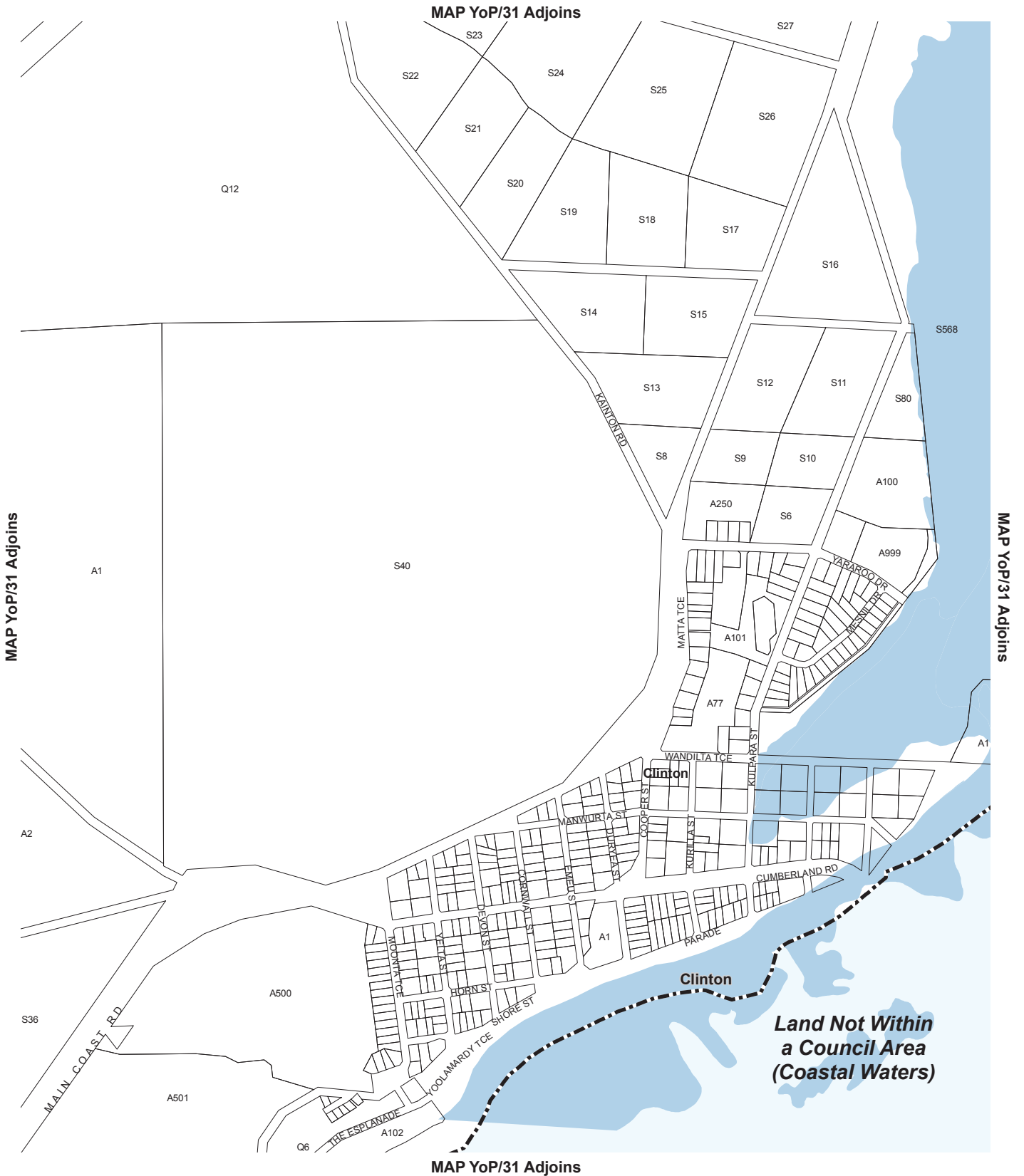


CLINTON

Overlay Map YoP/68 TRANSPORT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

-  Secondary Arterial Roads
-  Development Plan Boundary



CLINTON

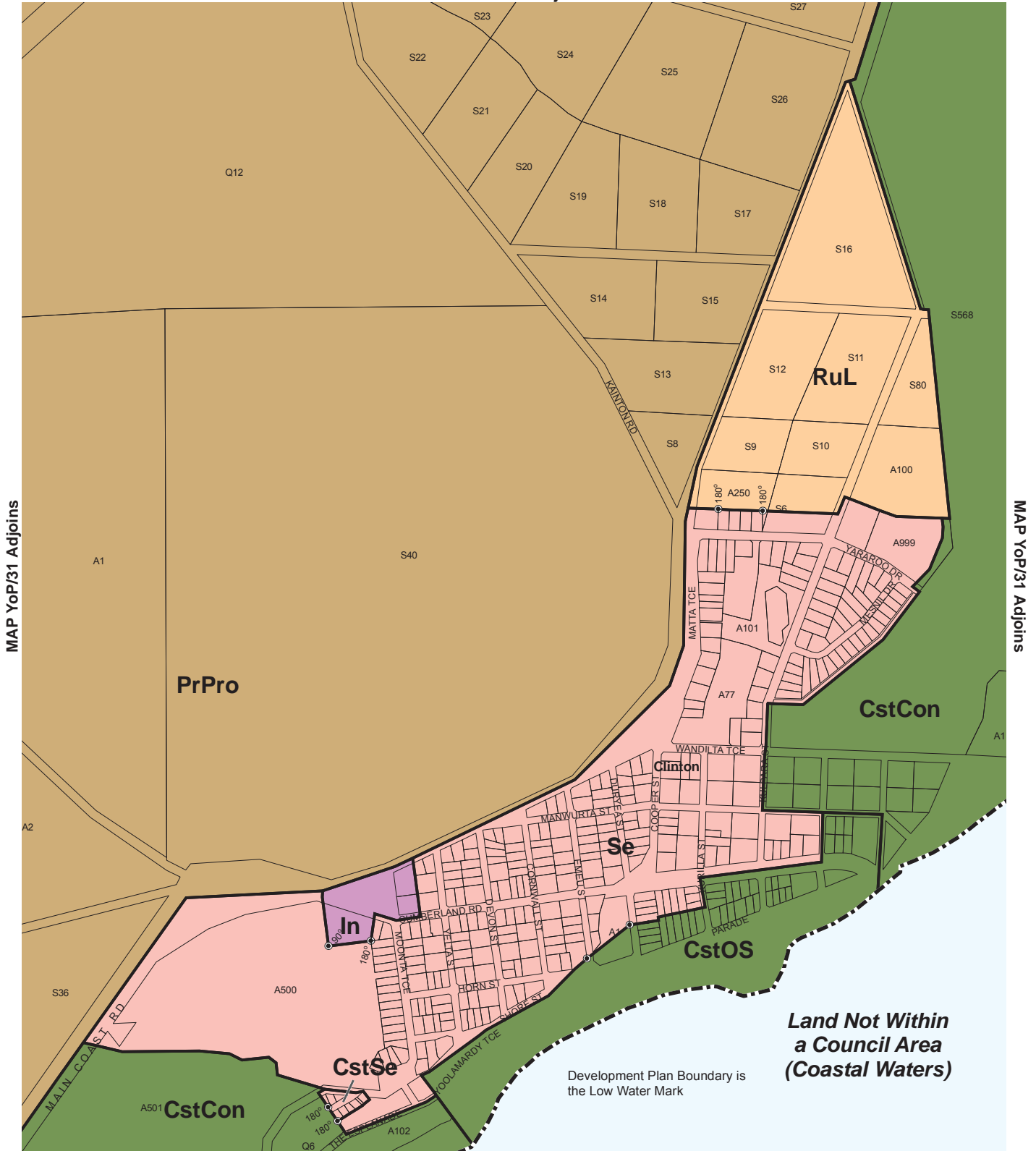
Overlay Map YoP/68

NATURAL RESOURCES

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

- Wetlands of National Importance
- Development Plan Boundary

MAP YoP/31 Adjoins



MAP YoP/31 Adjoins

Lamberts Conformal Conic Projection, GDA94

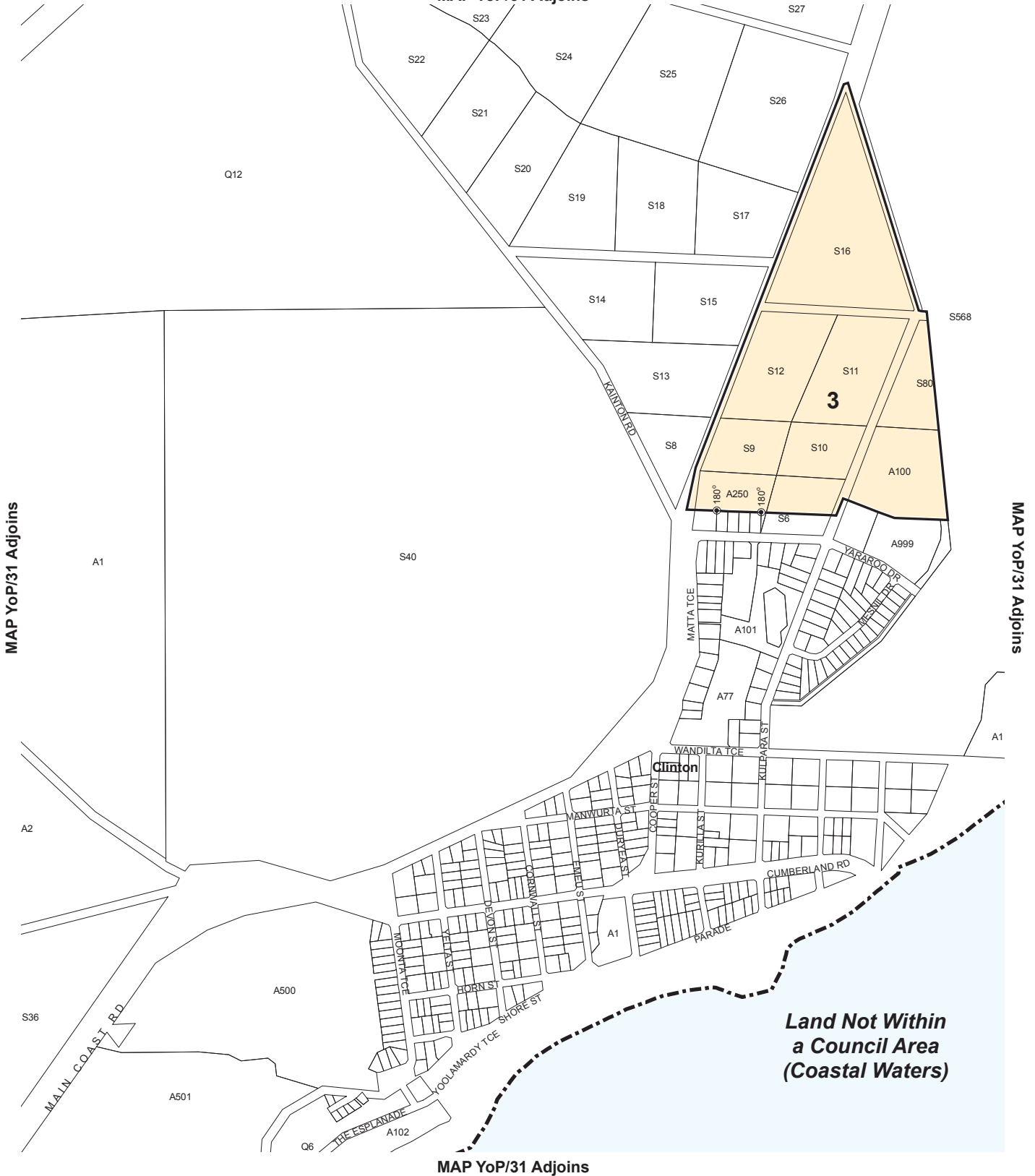
- Zones**
- CstCon Coastal Conservation
 - CstOS Coastal Open Space
 - CstSe Coastal Settlement
 - In Industry
 - PrPro Primary Production
 - RuL Rural Living
 - Se Settlement
 - Zone Boundary
 - Development Plan Boundary



CLINTON

Zone Map YoP/68

MAP YoP/31 Adjoins



MAP YoP/31 Adjoins

Lamberts Conformal Conic Projection, GDA94

Precinct
3 Limited Subdivision

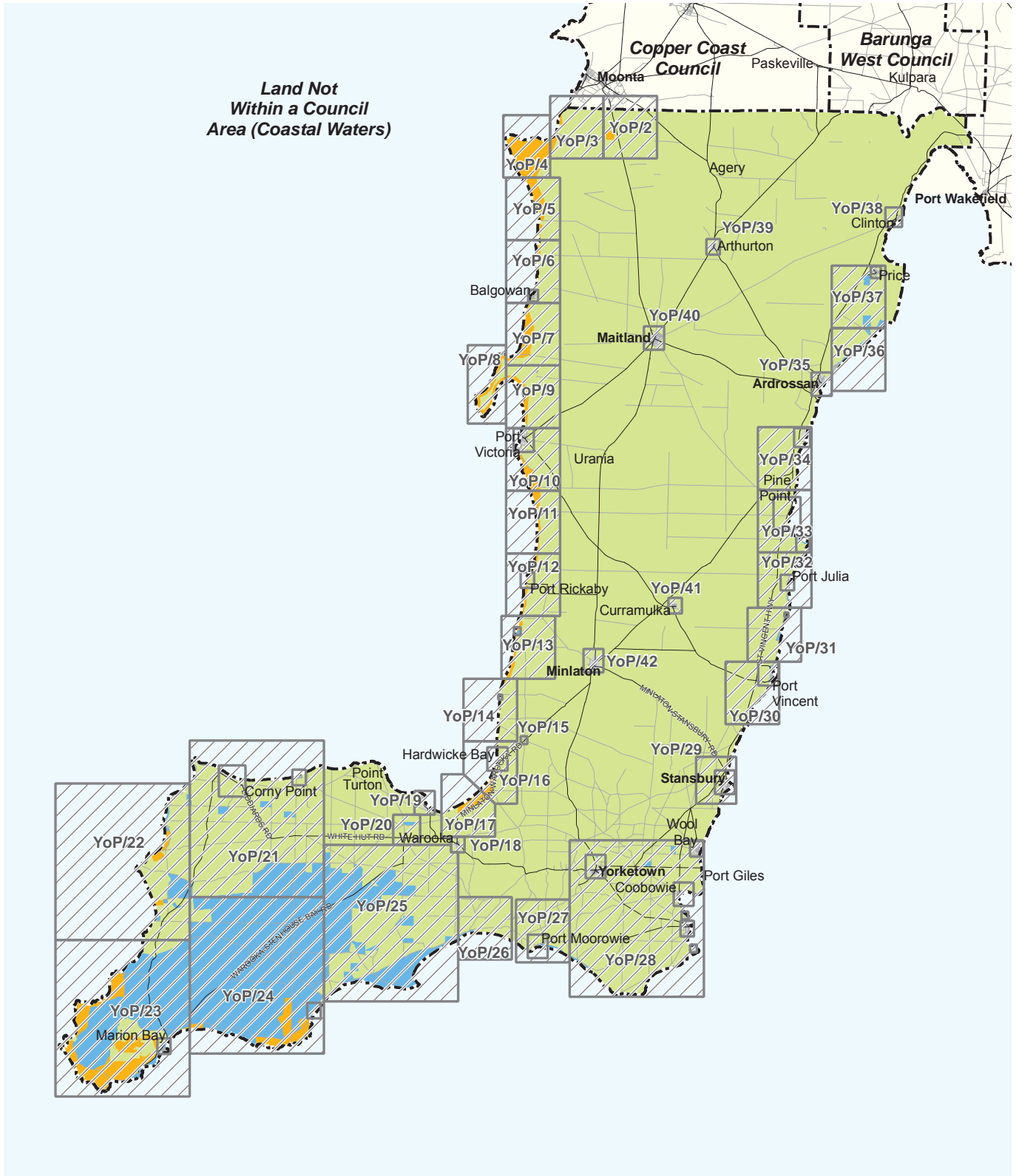


CLINTON

Precinct Map YoP/68

- Precinct Boundary
- Development Plan Boundary

Bushfire Risk BPA Maps



See enlargement map for accurate representation.



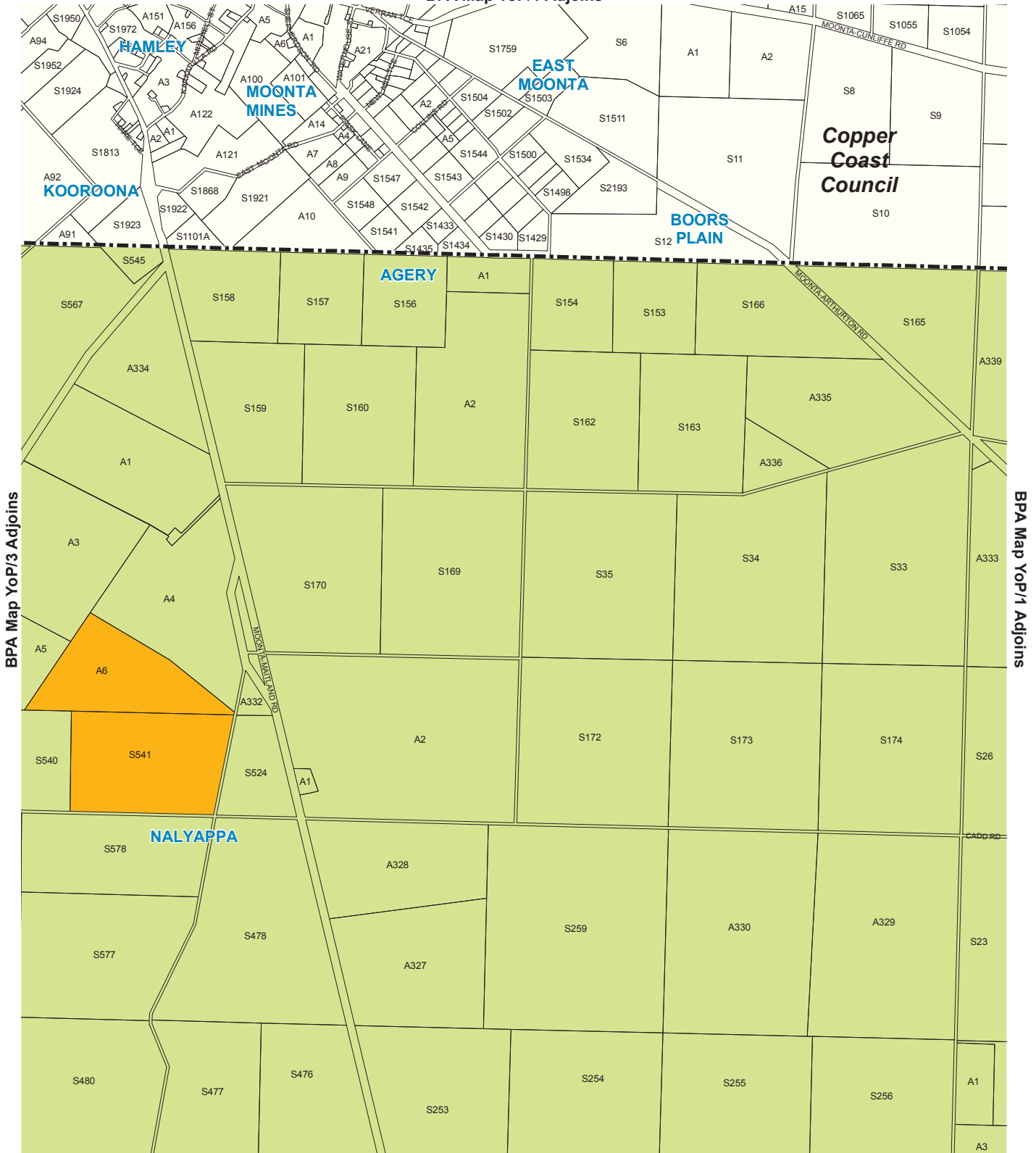
Bushfire Protection Area

BPA Map YoP/1

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

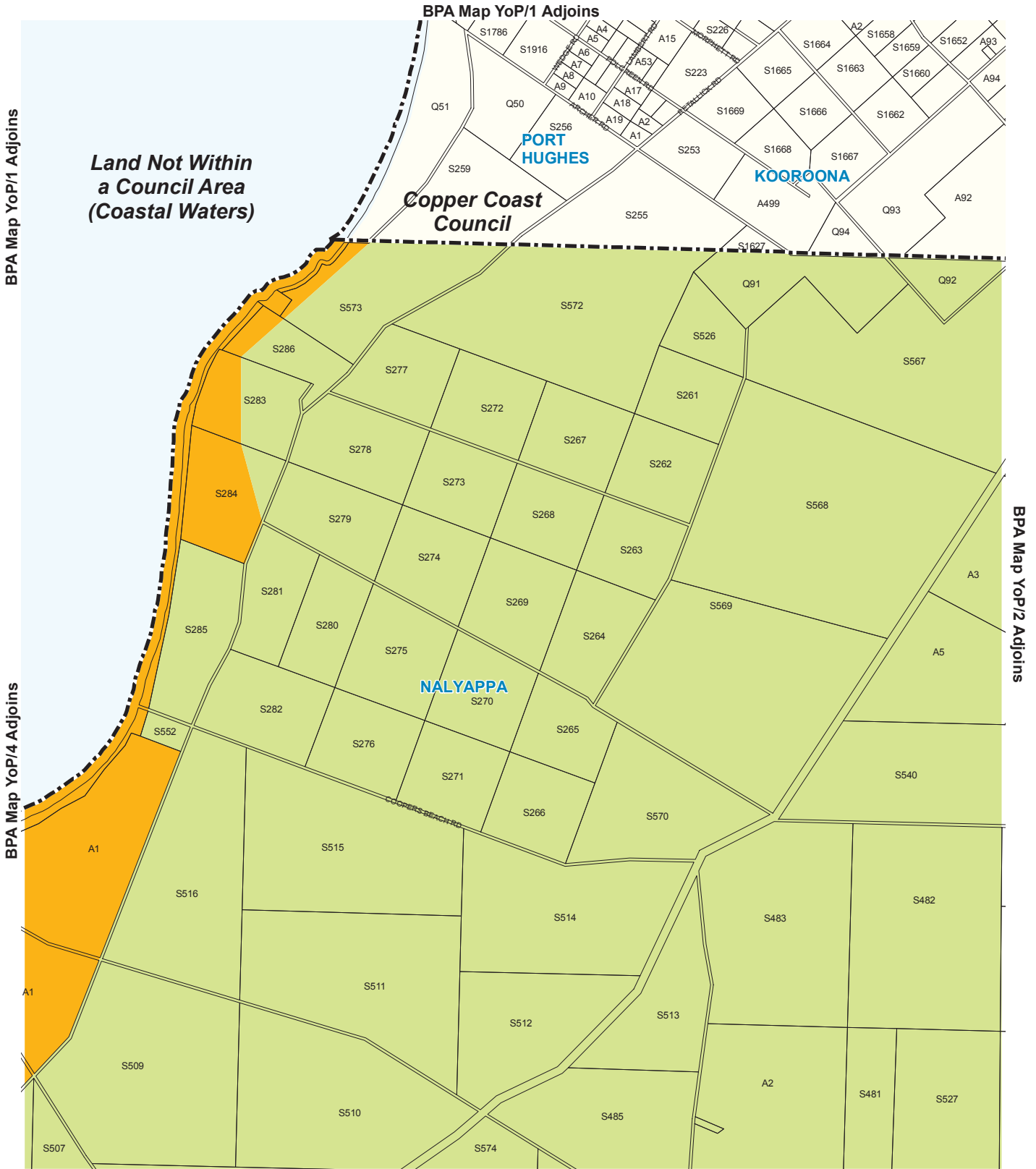


Bushfire Protection Area

BPA Map YoP/2

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



BPA Map YoP/1 Adjoins

BPA Map YoP/4 Adjoins

BPA Map YoP/2 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

BPA Map YoP/1 Adjoins

BPA Map YoP/1 Adjoins



Bushfire Protection Area

BPA Map YoP/3

BUSHFIRE RISK

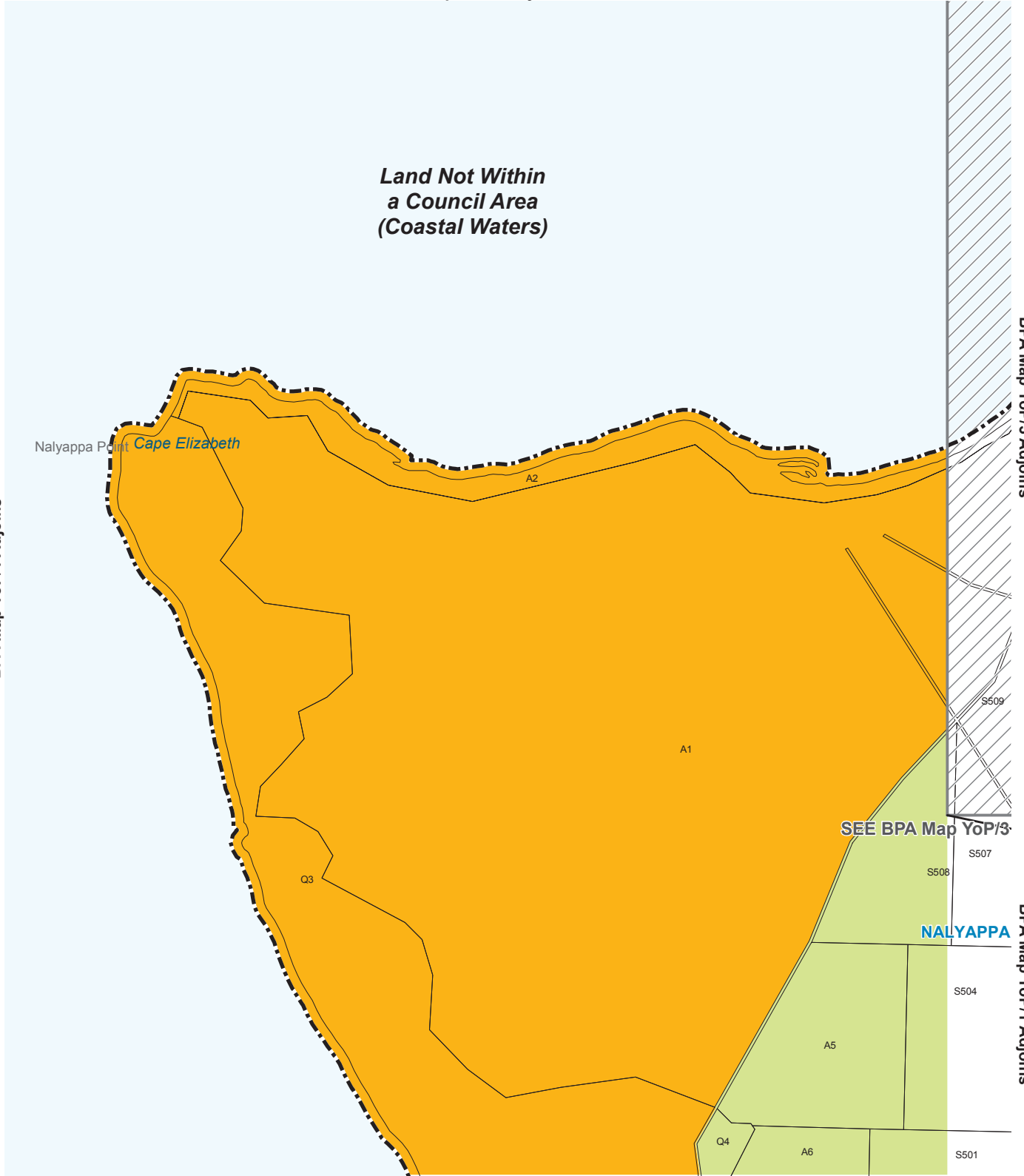
- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/1 Adjoins

BPA Map YoP/3 Adjoins

BPA Map YoP/1 Adjoins



BPA Map YoP/5 Adjoins

See enlargement map for accurate representation.

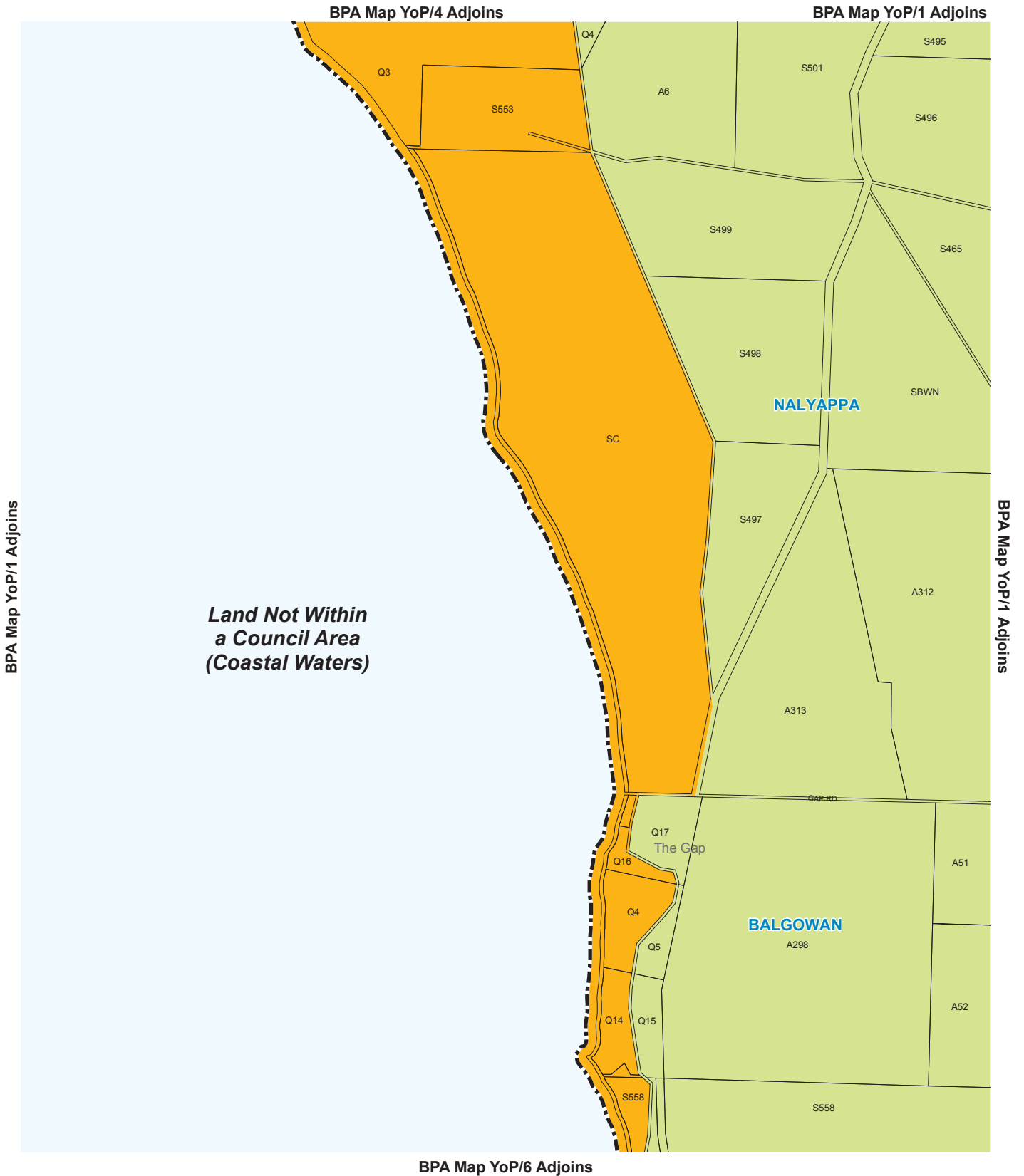


Bushfire Protection Area

BPA Map YoP/4

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



Bushfire Protection Area

BPA Map YoP/5

BUSHFIRE RISK

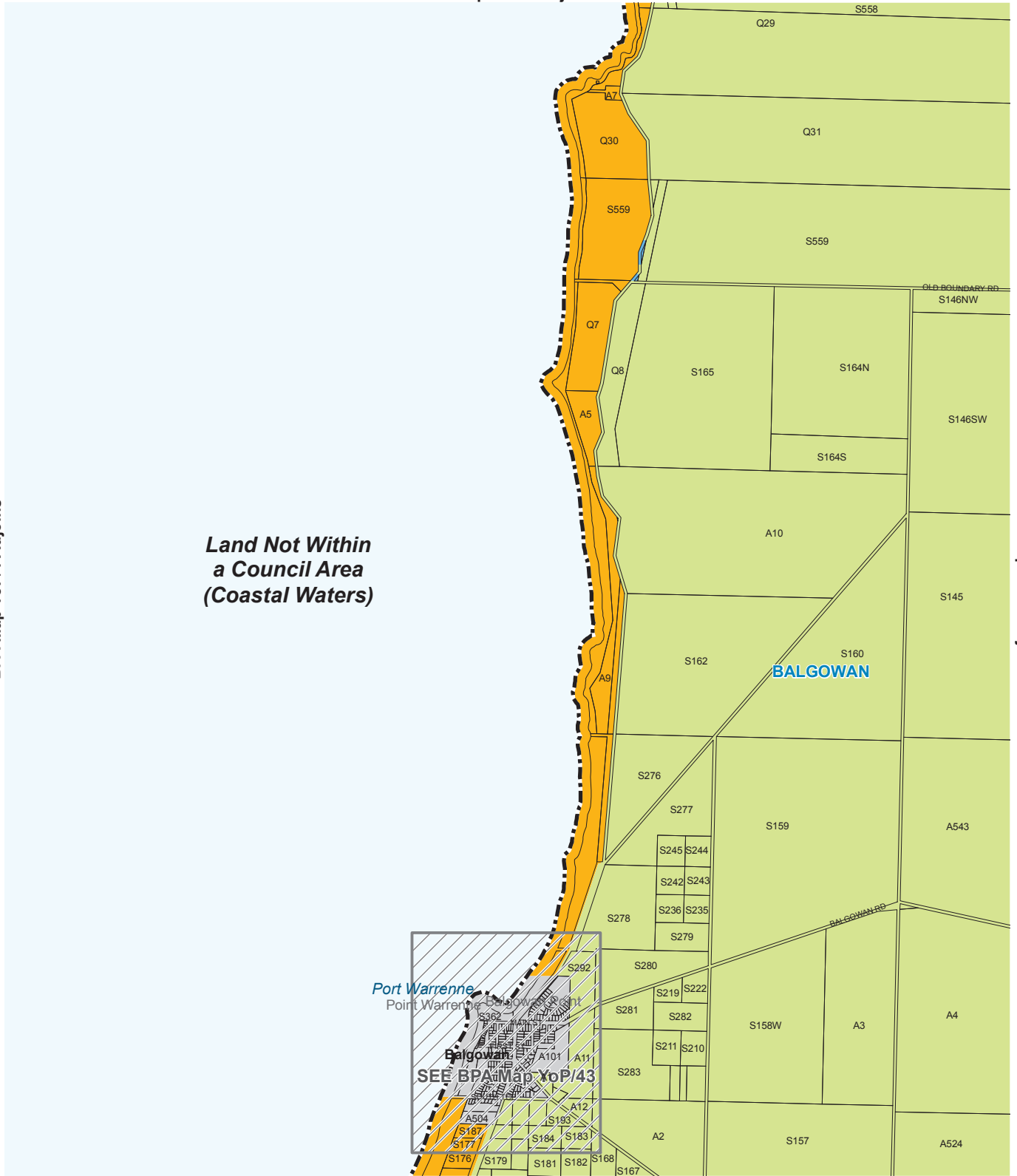
- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/5 Adjoins

BPA Map YoP/1 Adjoins

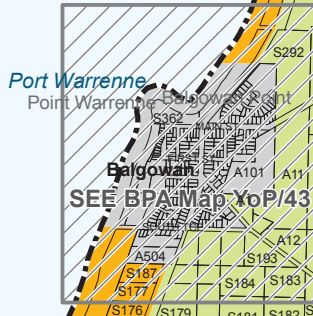
Land Not Within
a Council Area
(Coastal Waters)

BPA Map YoP/1 Adjoins



BPA Map YoP/7 Adjoins

See enlargement map for accurate representation.



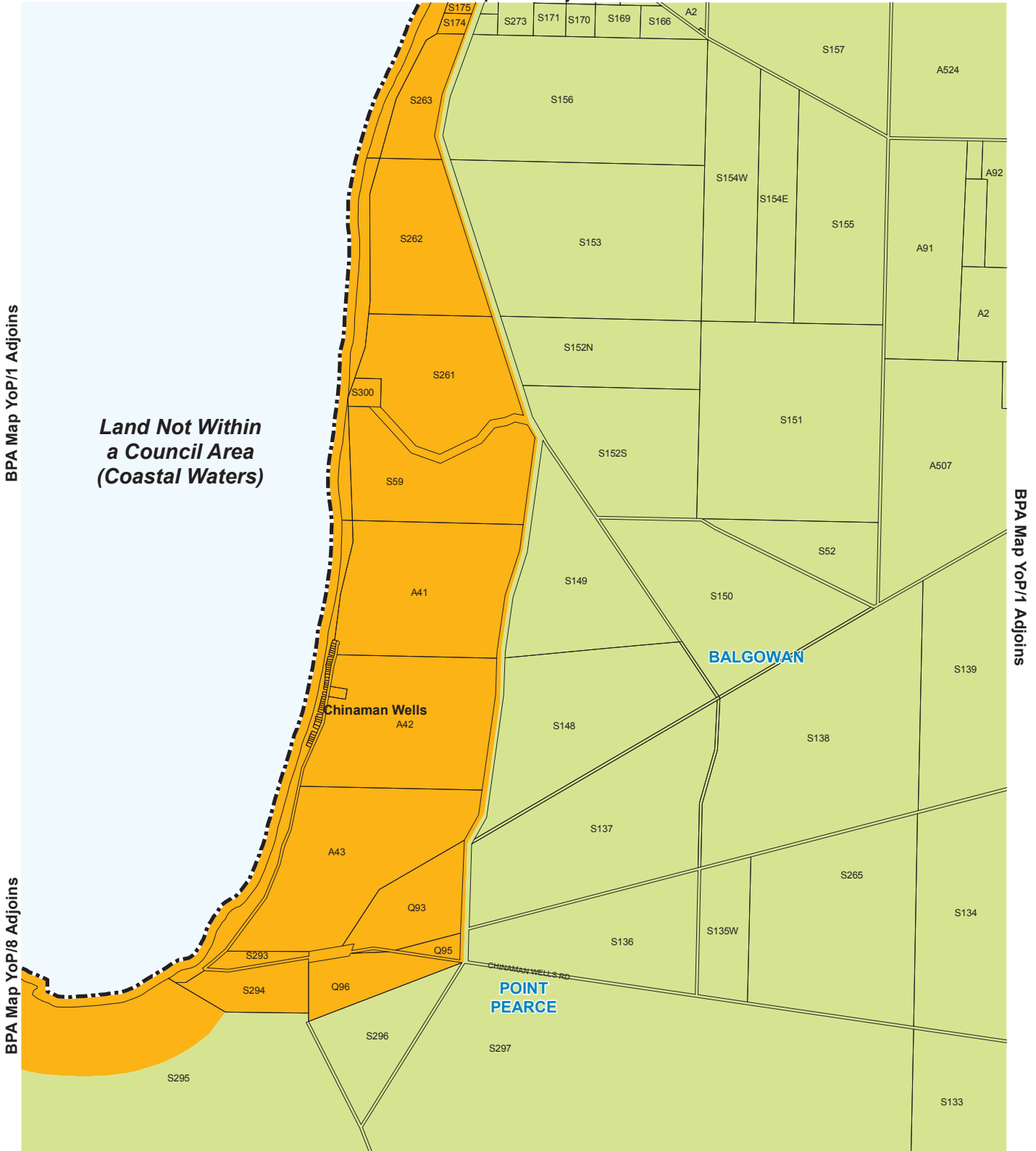
Bushfire Protection Area

BPA Map YoP/6

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/6 Adjoins



BPA Map YoP/9 Adjoins



Bushfire Protection Area

BPA Map YoP/7

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/1 Adjoins

BPA Map YoP/7 Adjoins

BPA Map YoP/1 Adjoins

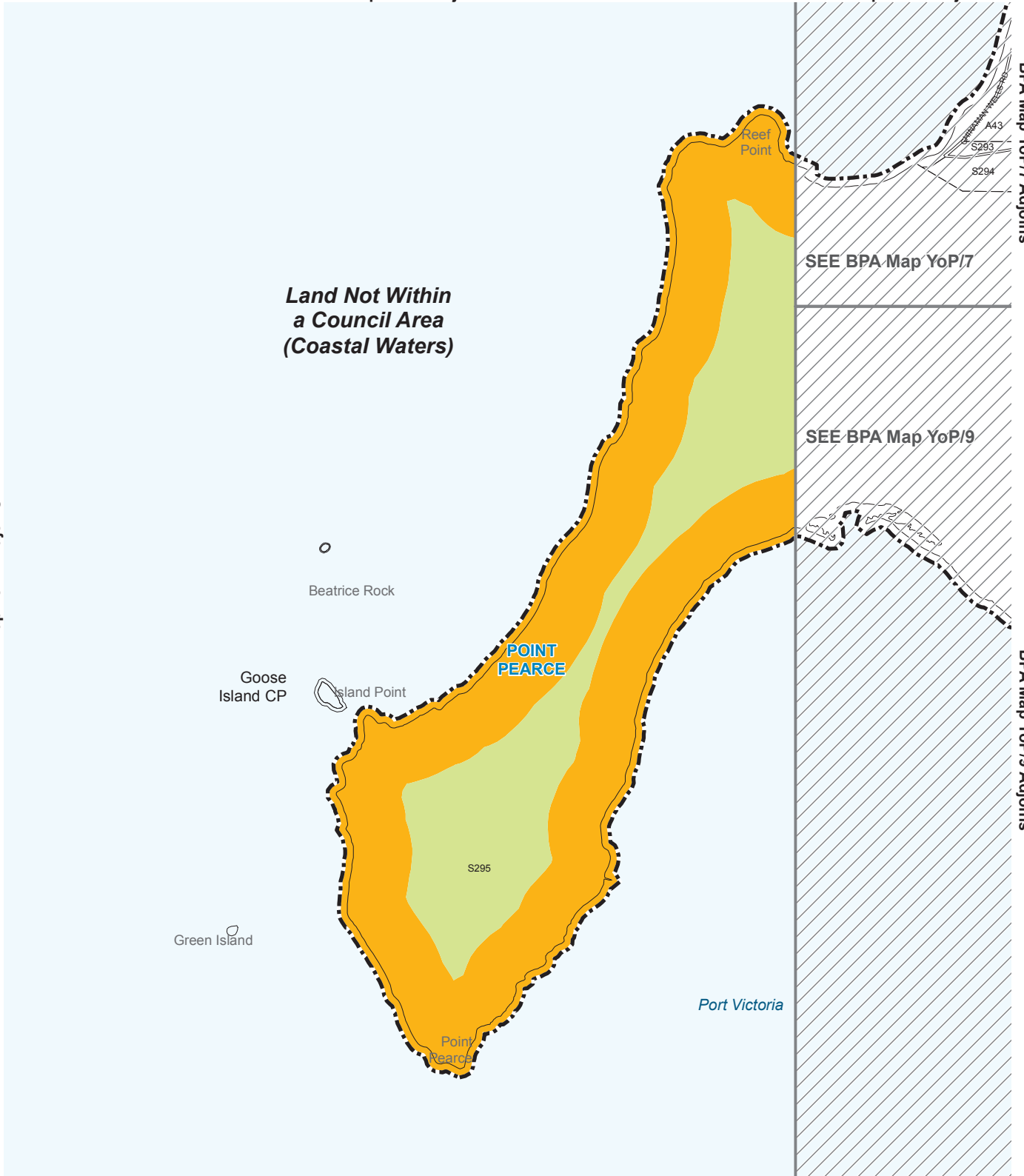
BPA Map YoP/7 Adjoins

BPA Map YoP/9 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

SEE BPA Map YoP/7

SEE BPA Map YoP/9



BPA Map YoP/1 Adjoins

BPA Map YoP/9 Adjoins

See enlargement map for accurate representation.

0

5 km

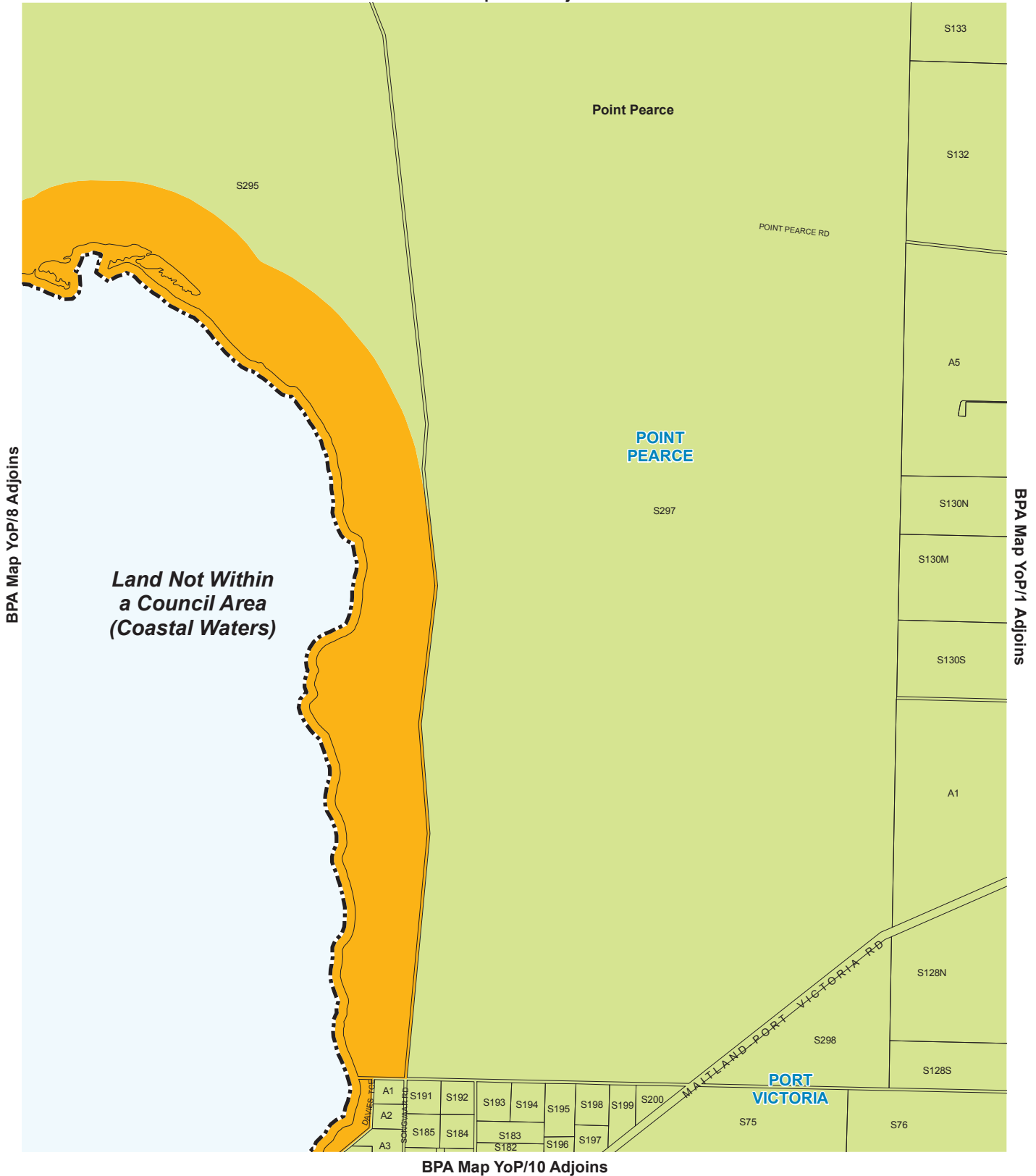


Bushfire Protection Area

BPA Map YoP/8

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



BPA Map YoP/10 Adjoins



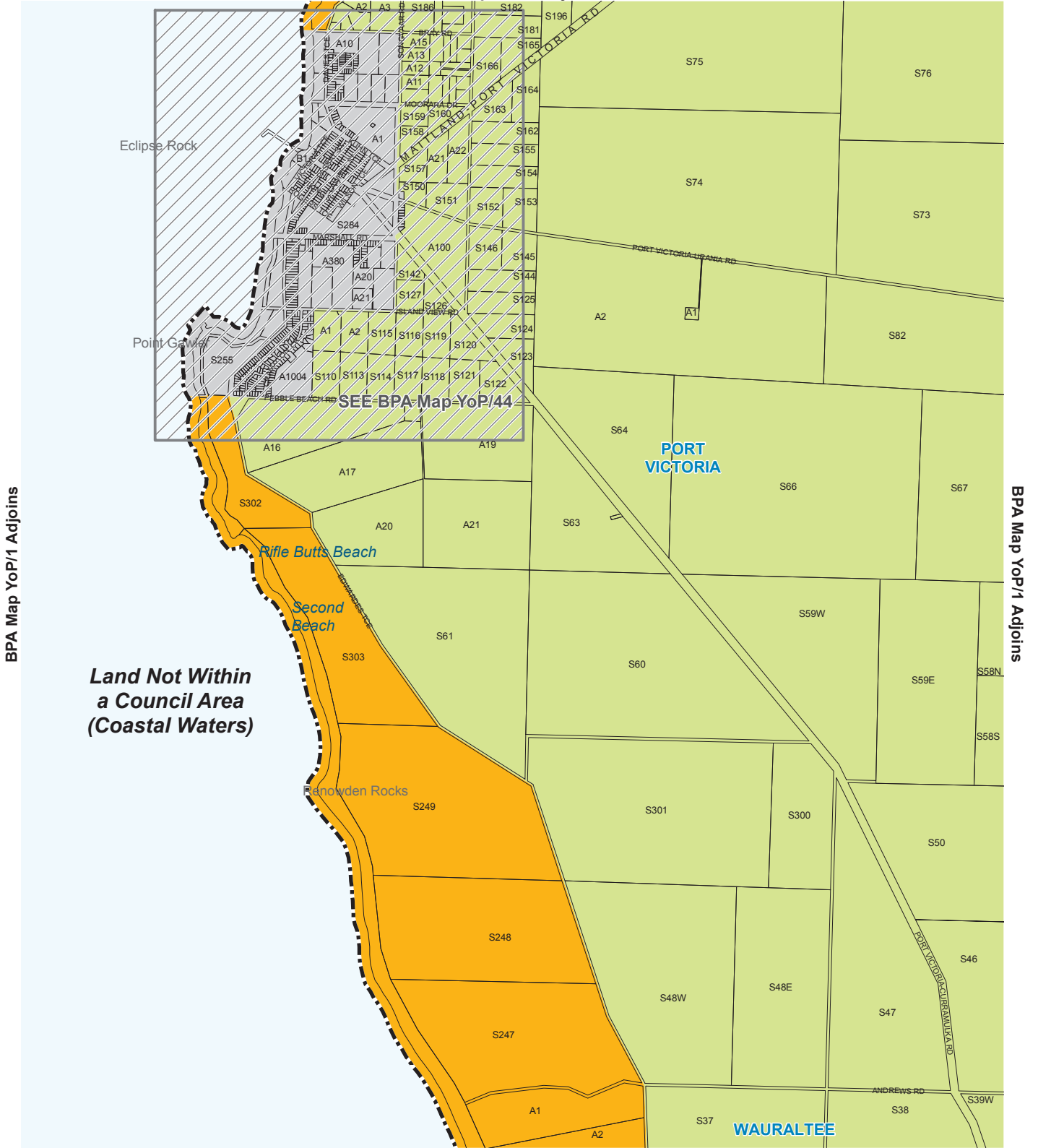
Bushfire Protection Area

BPA Map YoP/9

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/9 Adjoins



BPA Map YoP/11 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area

BPA Map YoP/10

BUSHFIRE RISK

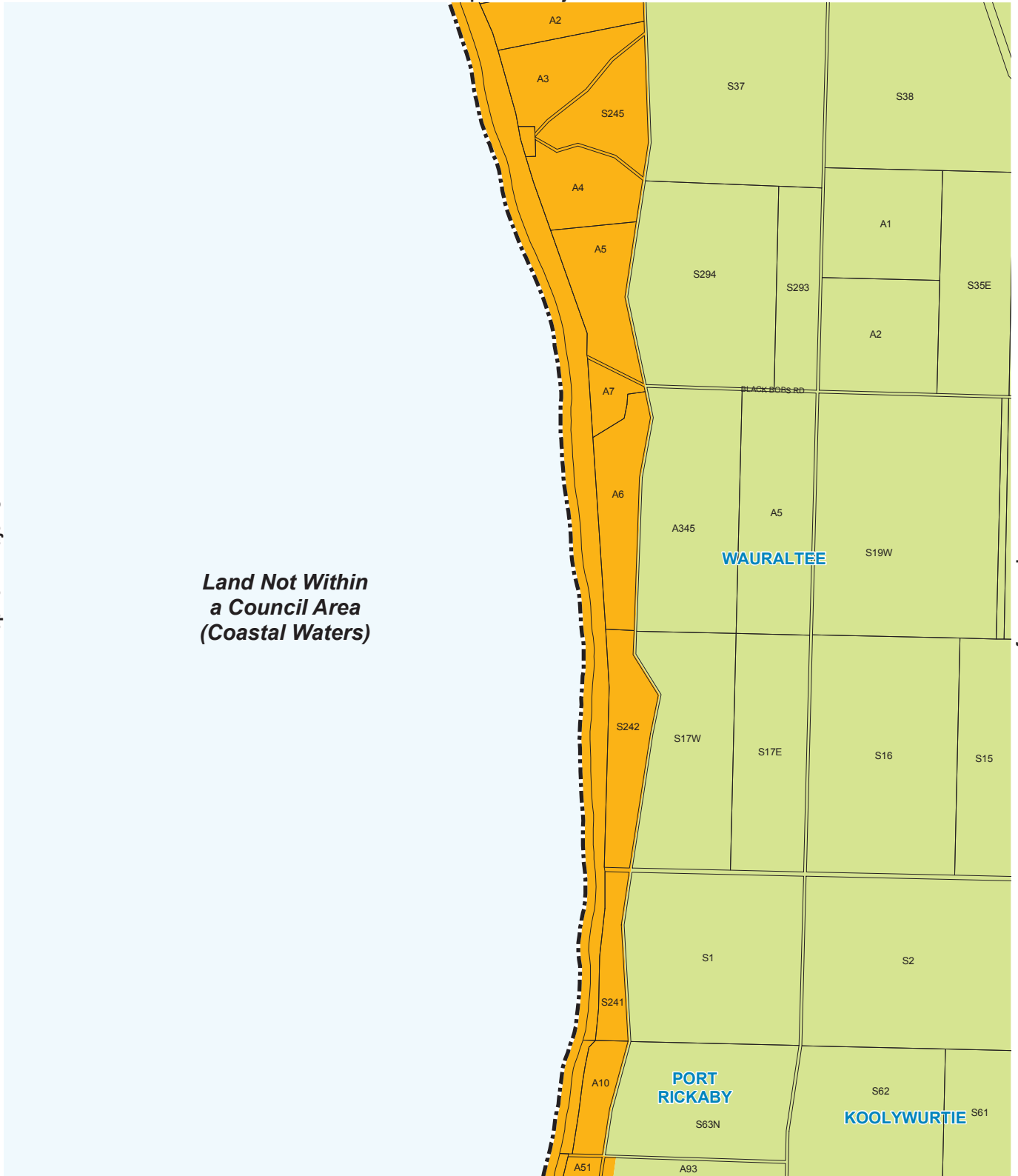
- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/10 Adjoins

BPA Map YoP/1 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/1 Adjoins



BPA Map YoP/12 Adjoins

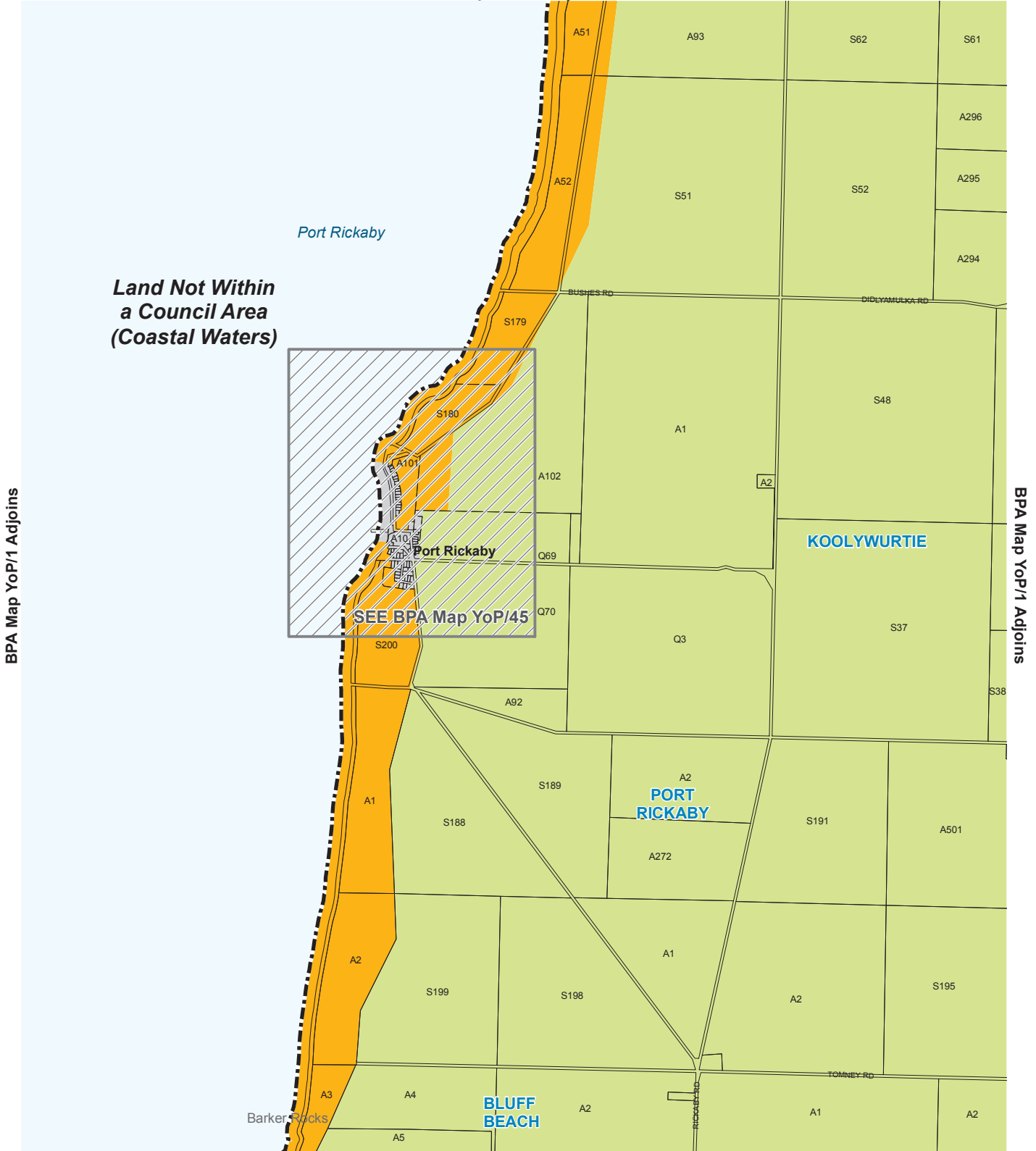


0 2,000m

Bushfire Protection Area BPA Map YoP/11 BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/11 Adjoins



Land Not Within a Council Area (Coastal Waters)

SEE BPA Map YoP/45

PORT RICKABY

BLUFF BEACH

KOOLYWURTIE

BPA Map YoP/13 Adjoins

See enlargement map for accurate representation.



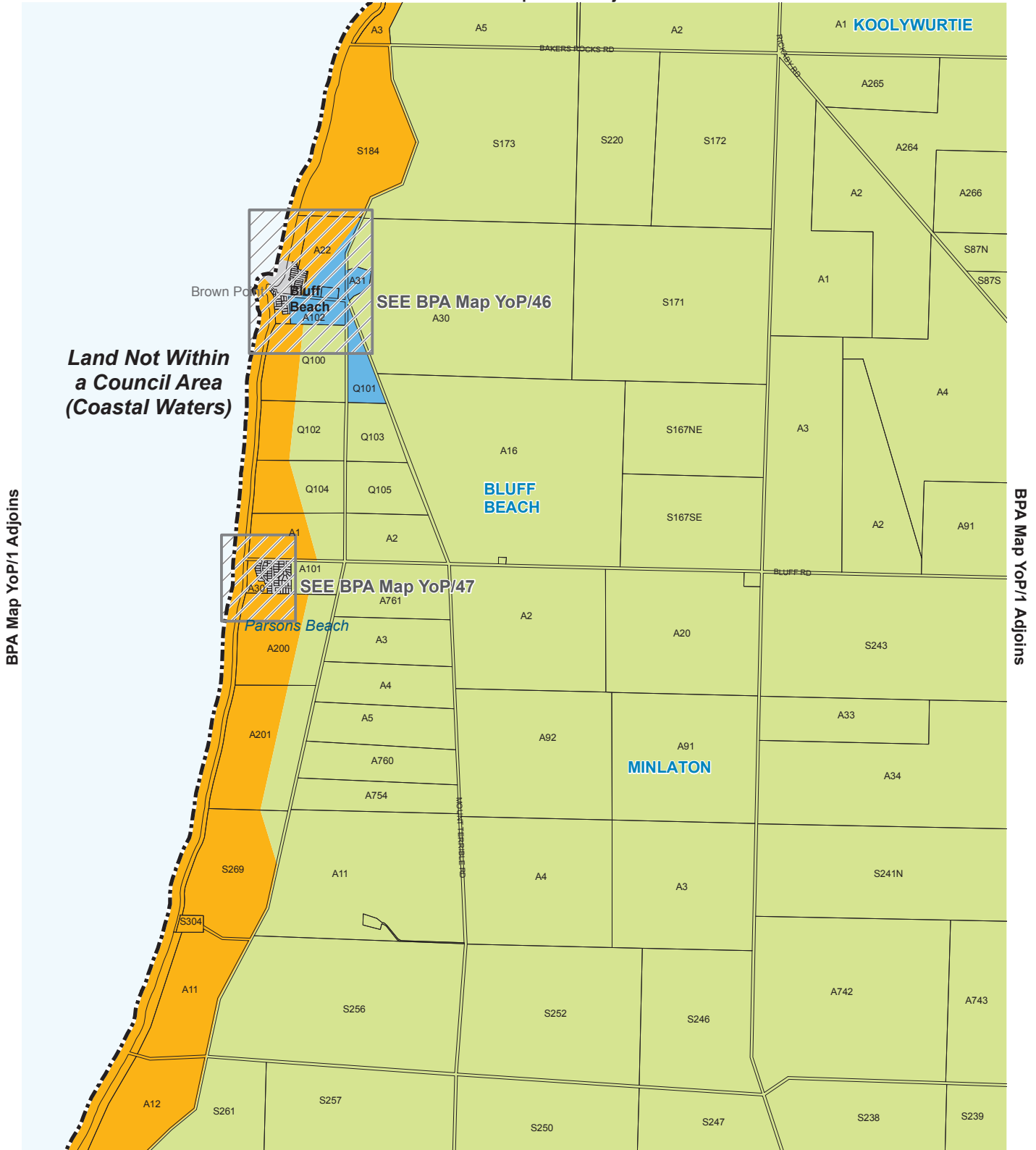
Bushfire Protection Area

BPA Map YoP/12

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/12 Adjoins



BPA Map YoP/14 Adjoins

BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area

BPA Map YoP/13

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins

BPA Map YoP/13 Adjoins

BPA Map YoP/1 Adjoins

BPA Map YoP/1 Adjoins

**Land Not Within
a Council Area
(Coastal Waters)**

Port Minlacowie



SEE BPA Map YoP/48

MINLATON





BRENTWOOD

BPA Map YoP/16 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area BPA Map YoP/14 BUSHFIRE RISK

-  High Bushfire Risk
-  General Bushfire Risk
-  Excluded area from bushfire protection planning provisions
-  Development Plan Boundary

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018



BPA Map YoP/1 Adjoins

BPA Map YoP/1 Adjoins

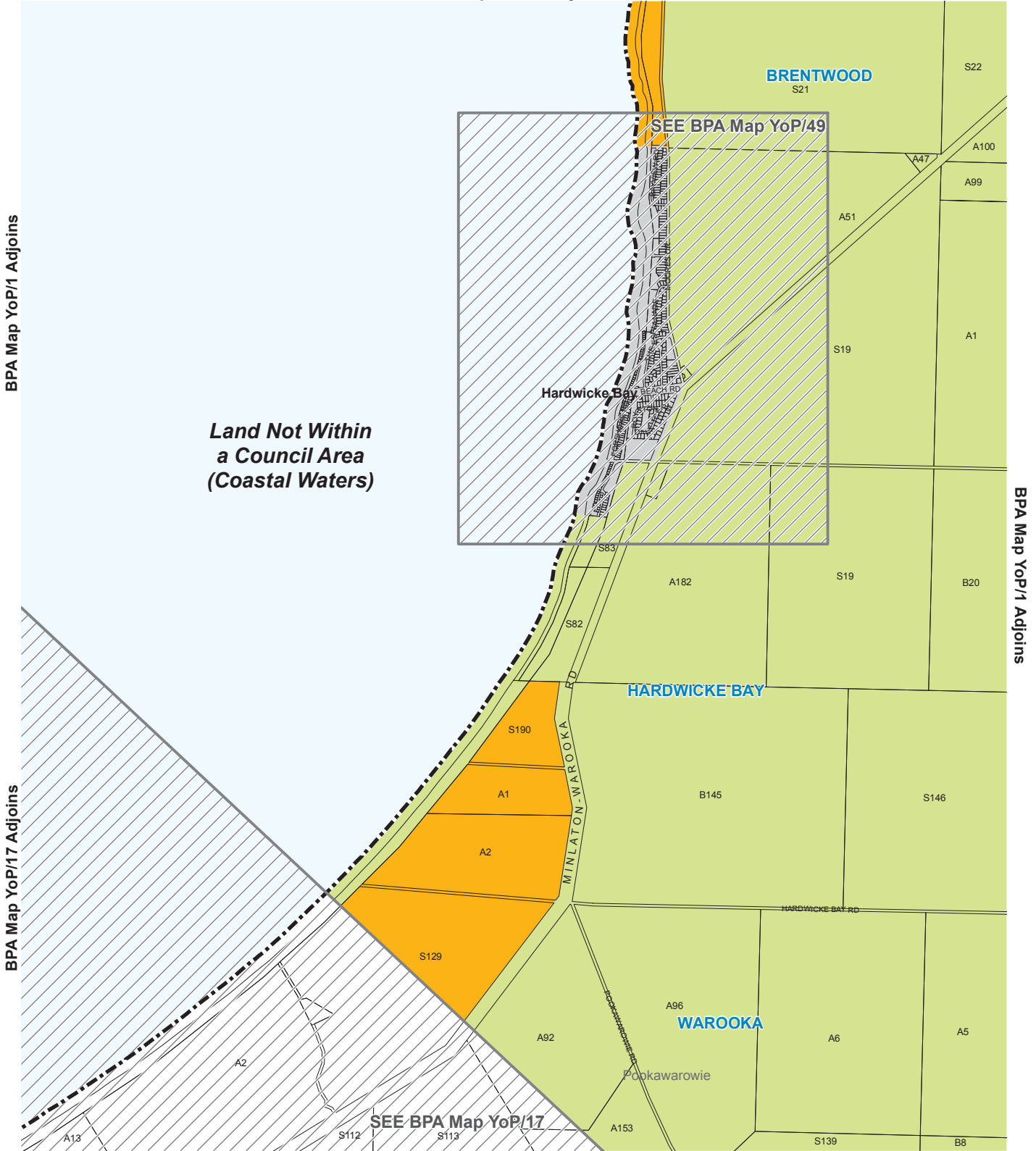


Bushfire Protection Area

BPA Map YoP/15

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



See enlargement map for accurate representation.



Bushfire Protection Area

BPA Map YoP/16

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins

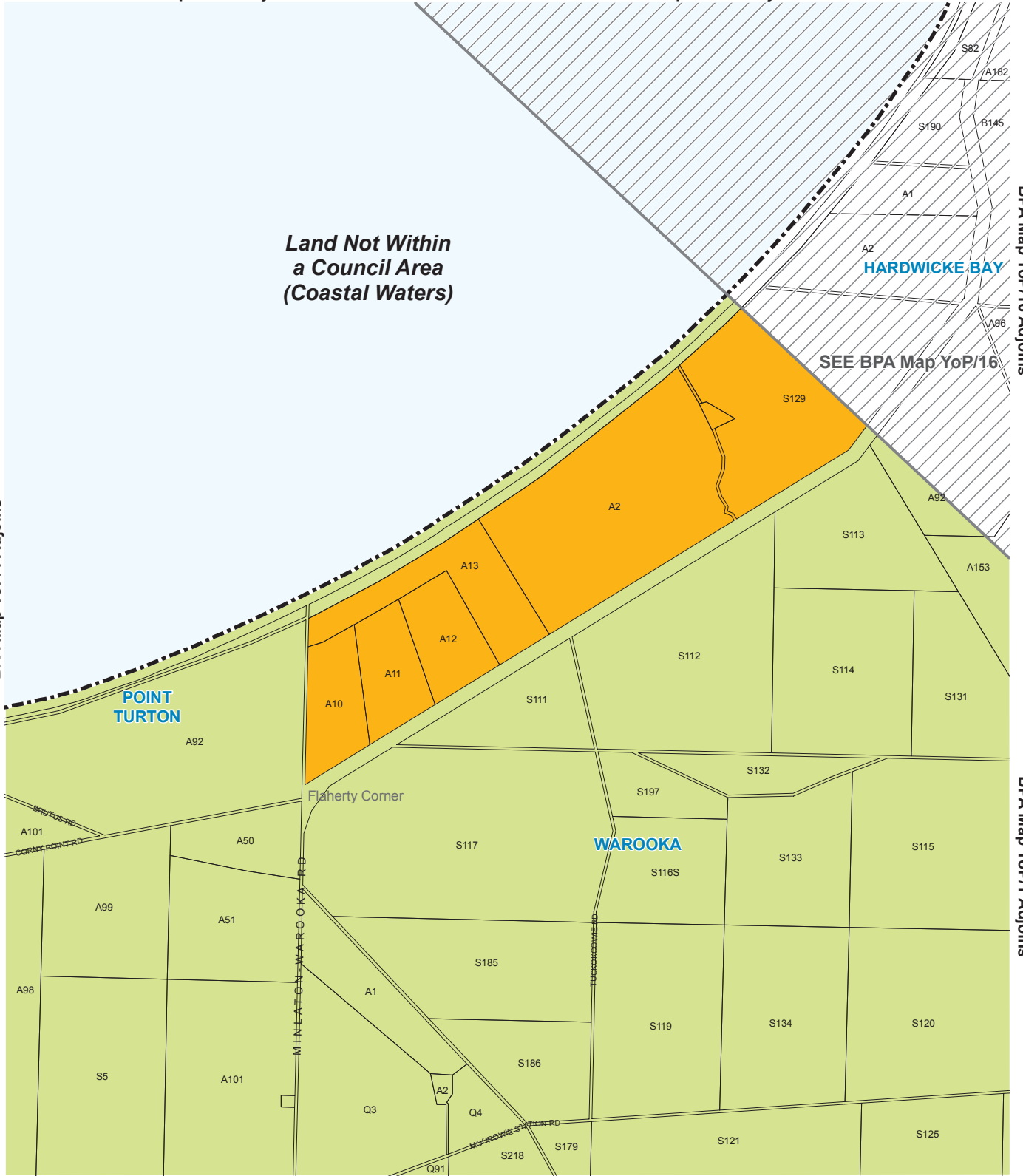
BPA Map YoP/16 Adjoins

Land Not Within
a Council Area
(Coastal Waters)

BPA Map YoP/1 Adjoins

BPA Map YoP/16 Adjoins

BPA Map YoP/1 Adjoins



BPA Map YoP/18 Adjoins

BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.



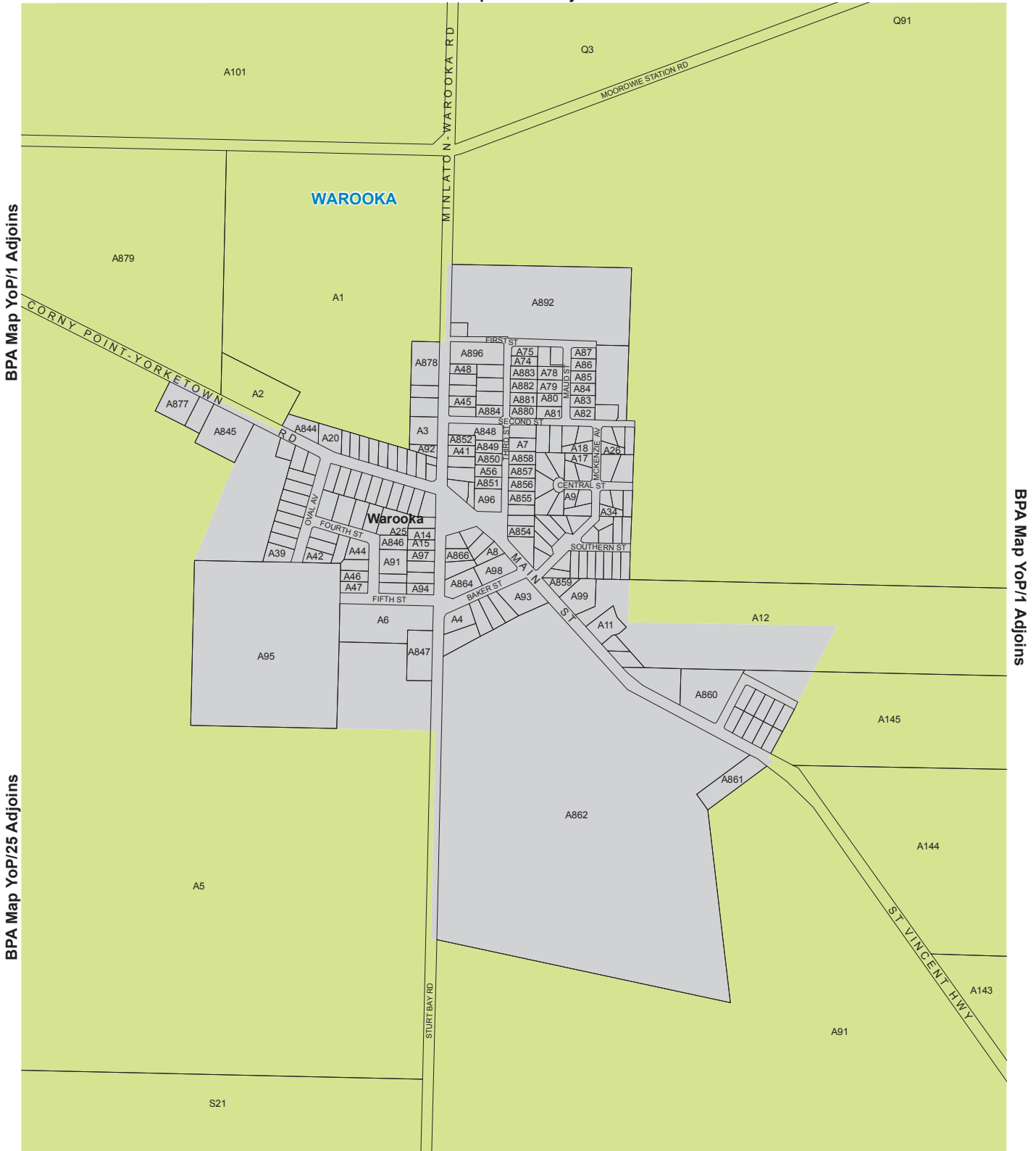
Bushfire Protection Area

BPA Map YoP/17

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/17 Adjoins



BPA Map YoP/25 Adjoins

BPA Map YoP/1 Adjoins



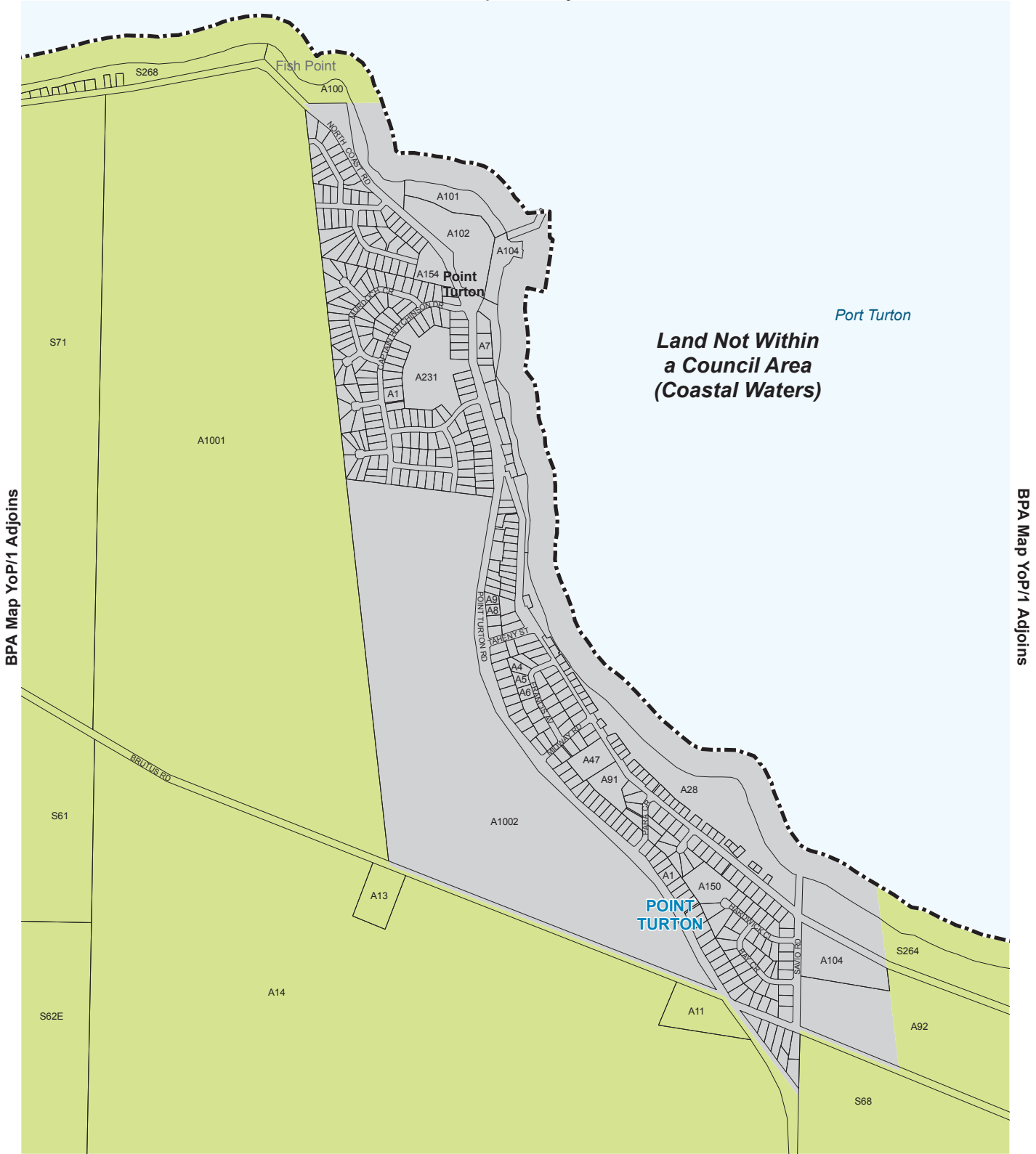
Bushfire Protection Area

BPA Map YoP/18

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map YoP/1 Adjoins



BPA Map YoP/20 Adjoins

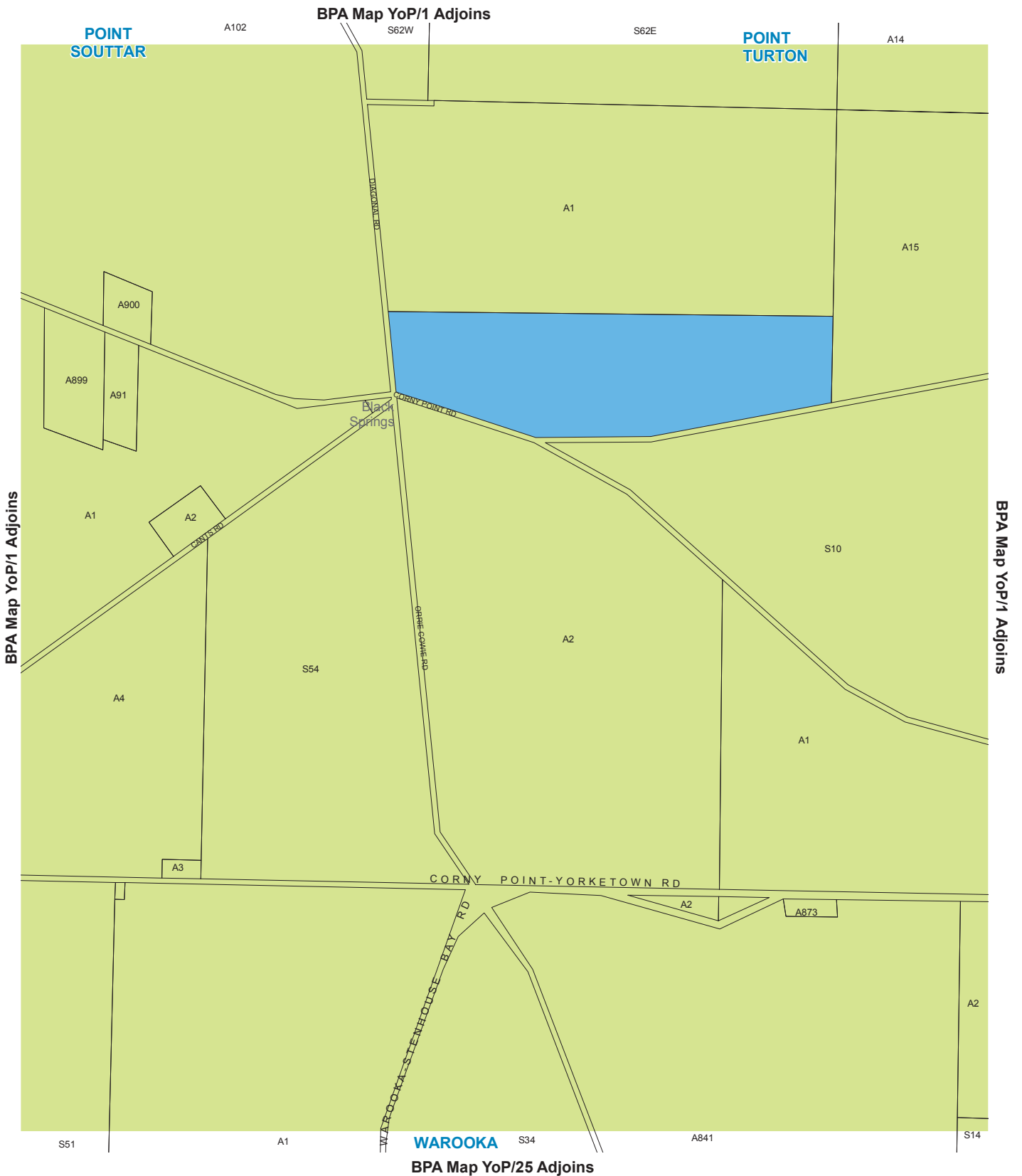
BPA Map YoP/1 Adjoins

Bushfire Protection Area

BPA Map YoP/19

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



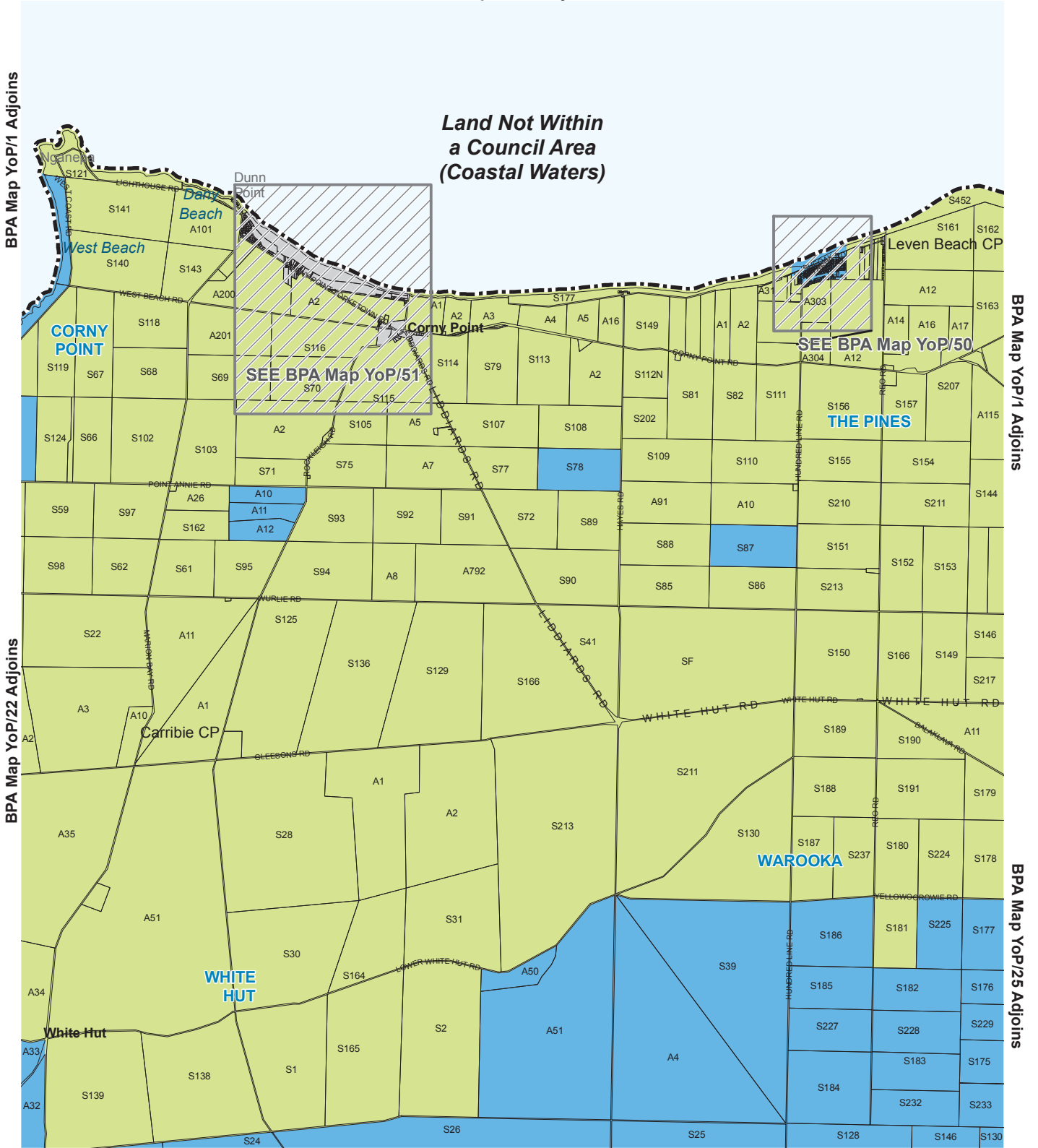
Bushfire Protection Area

BPA Map YoP/20

BUSHFIRE RISK

Medium Bushfire Risk
 General Bushfire Risk

YORKE PENINSULA COUNCIL
 Consolidated - 29 November 2018



BPA Map YoP/24 Adjoins

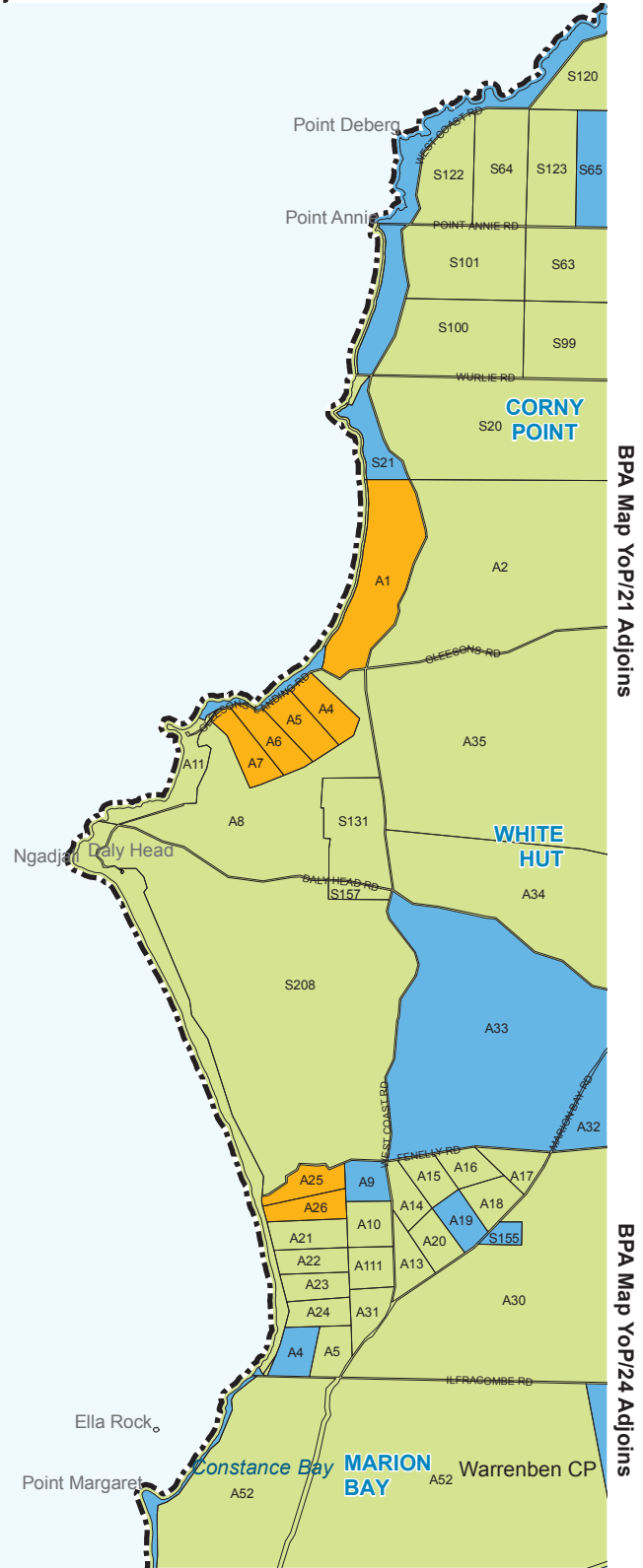
See enlargement map for accurate representation.



Bushfire Protection Area BPA Map YoP/21 BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)



Bushfire Protection Area

BPA Map YoP/22

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/22 Adjoins

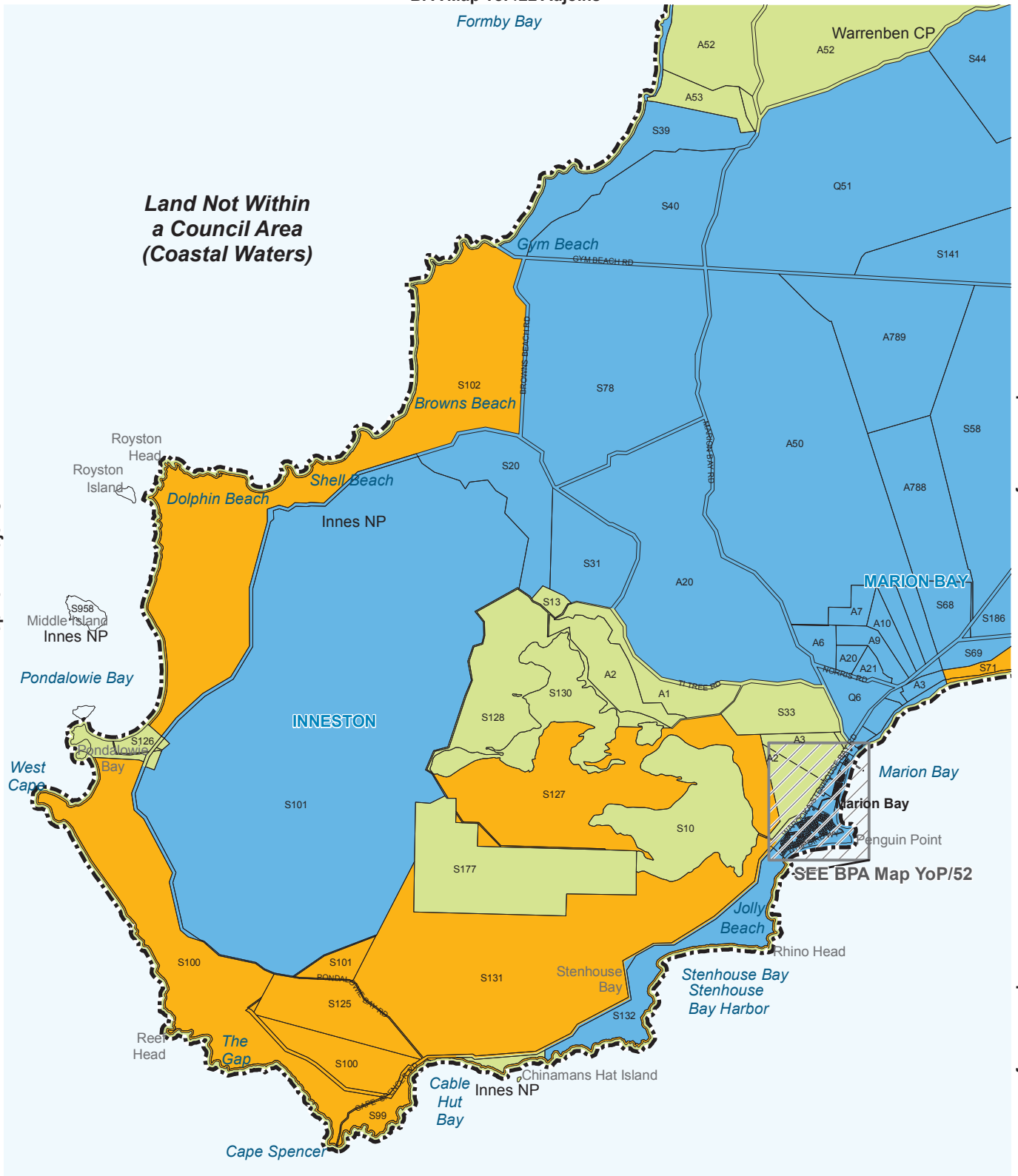
Formby Bay

Land Not Within
a Council Area
(Coastal Waters)

BPA Map YoP/1 Adjoins

BPA Map YoP/24 Adjoins

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.



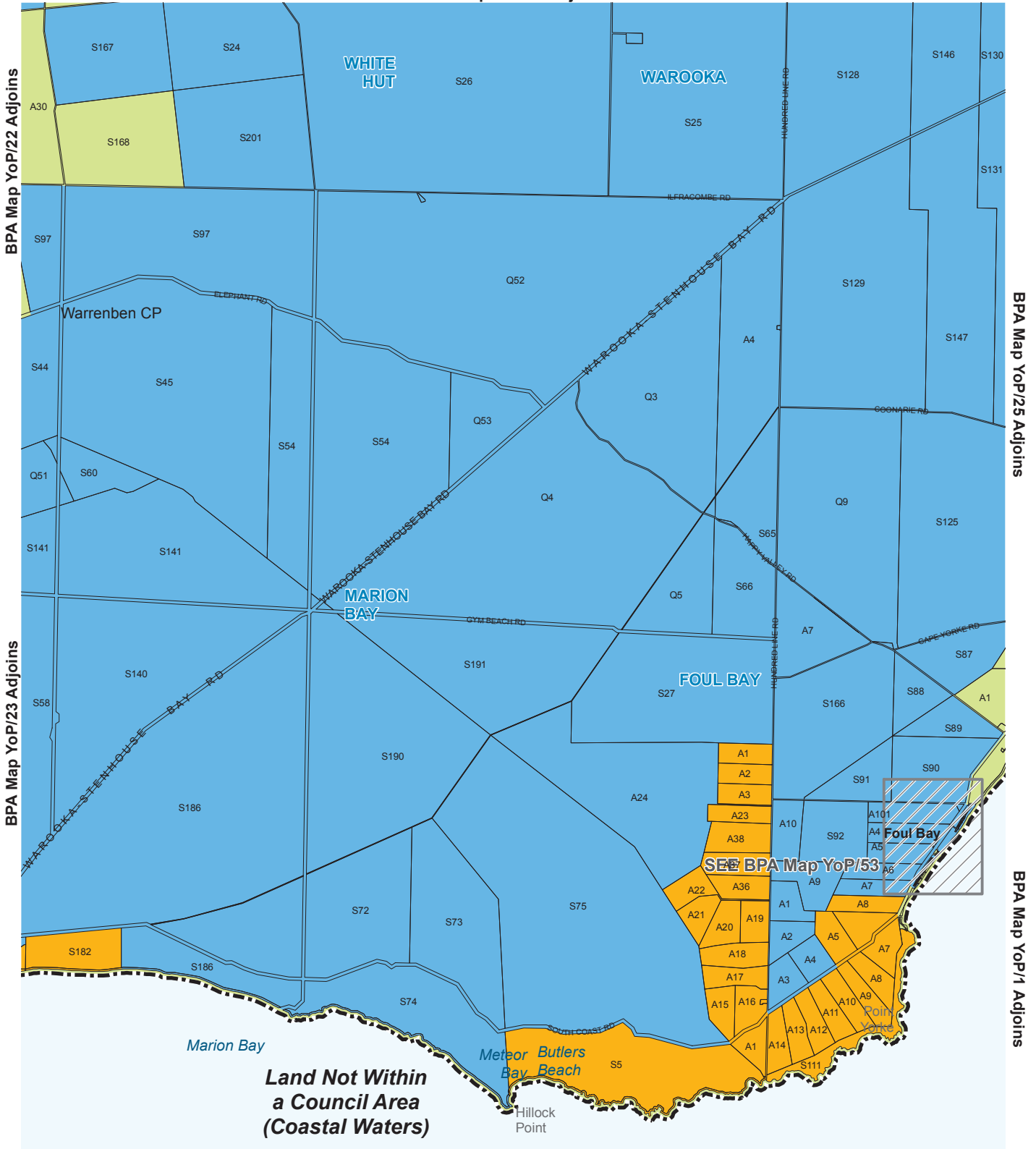
Bushfire Protection Area

BPA Map YoP/23

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/21 Adjoints



BPA Map YoP/1 Adjoints

See enlargement map for accurate representation.

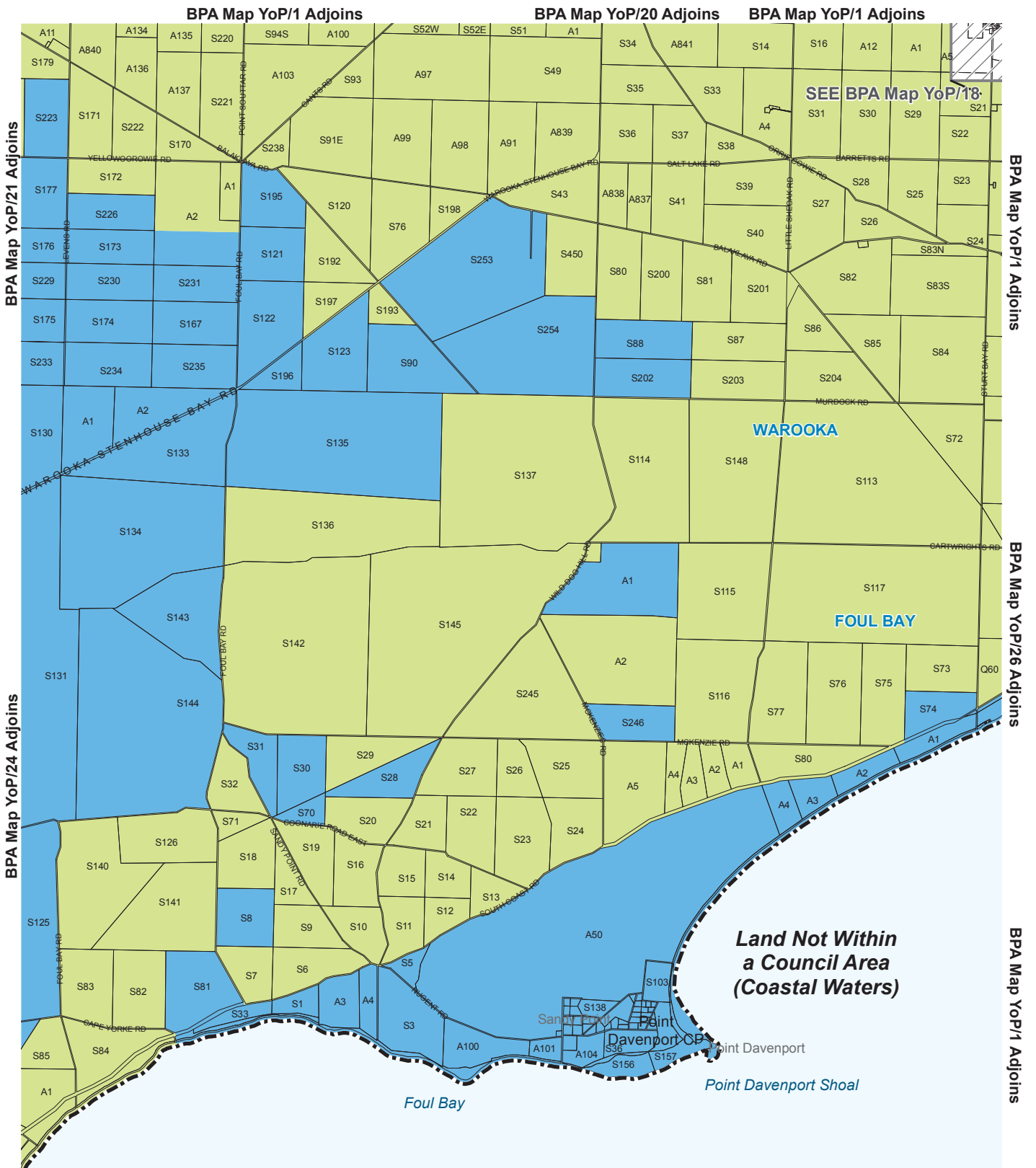


Bushfire Protection Area

BPA Map YoP/24

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary



BPA Map YoP/1 Adjoints

See enlargement map for accurate representation.



Bushfire Protection Area

BPA Map YoP/25

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins



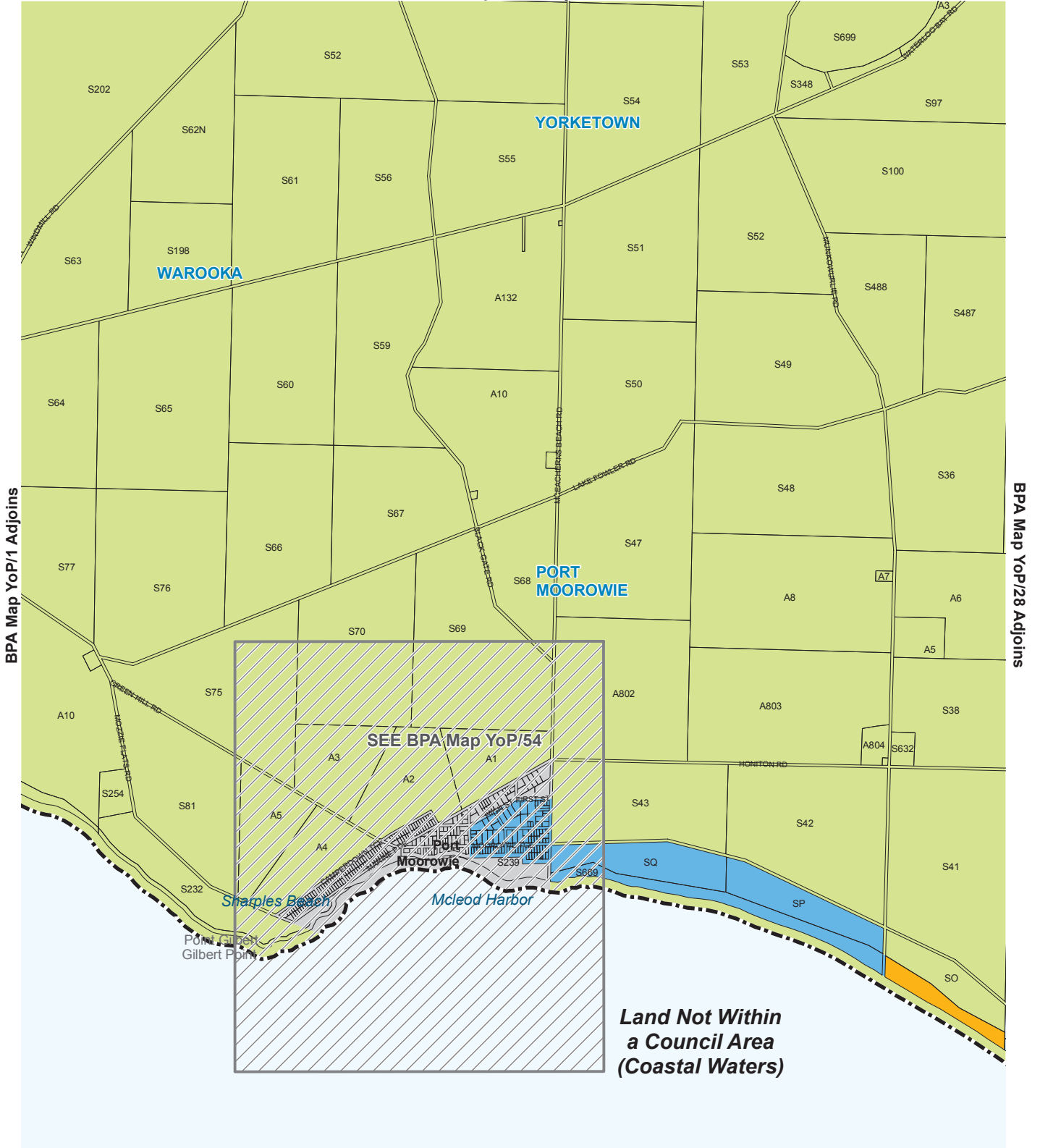
Bushfire Protection Area

BPA Map YoP/26

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.



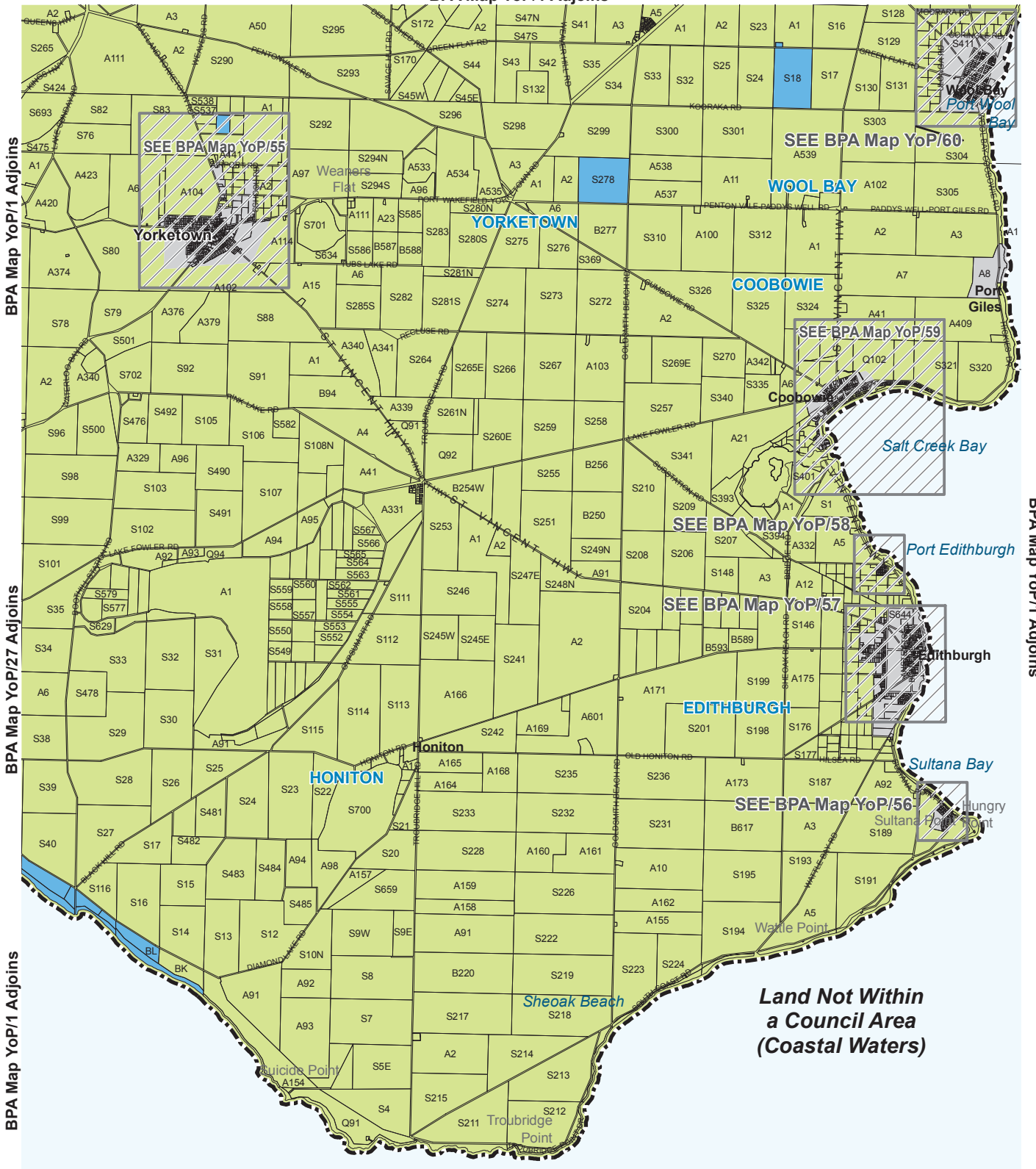
Bushfire Protection Area

BPA Map YoP/27

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.



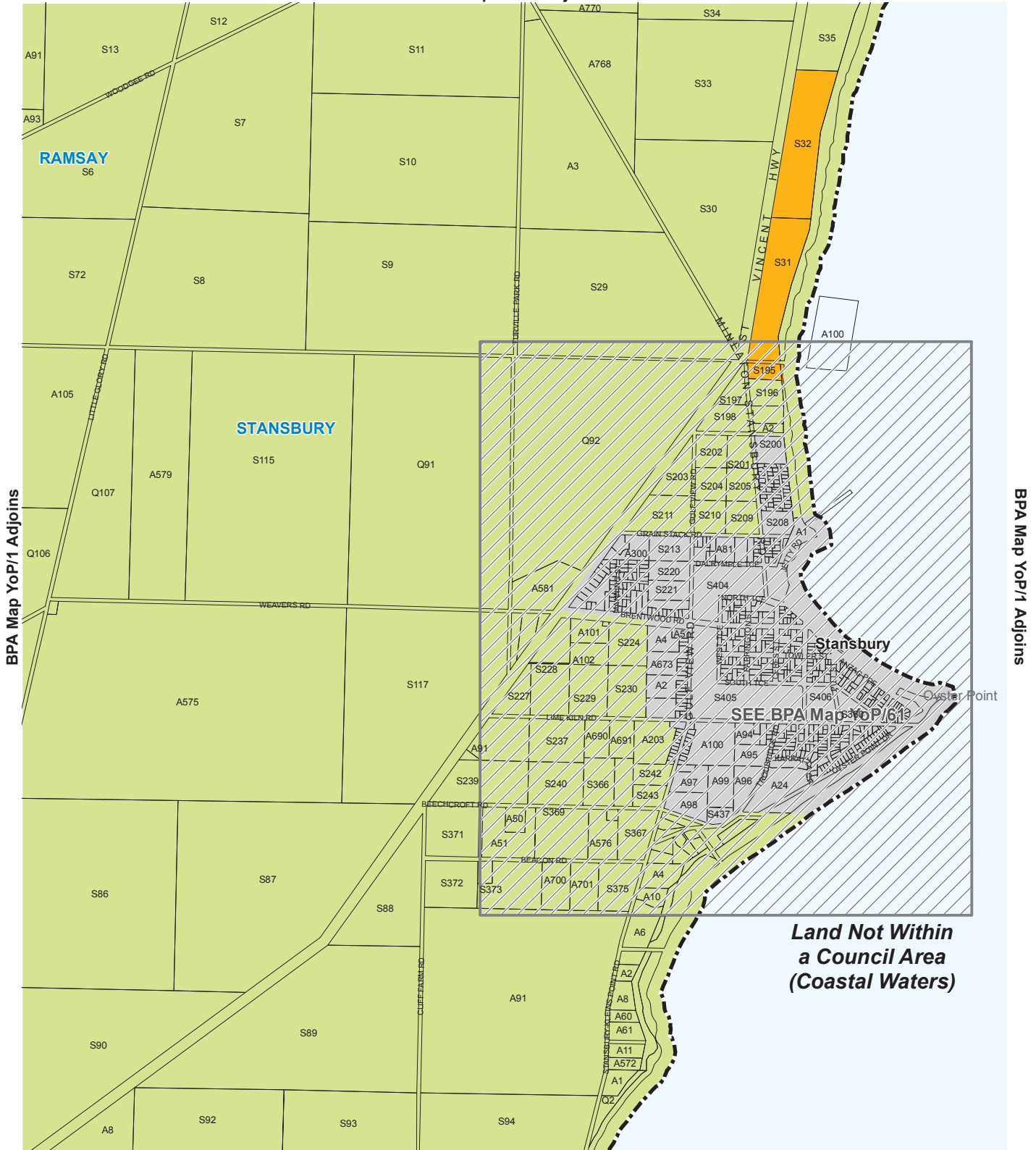
Bushfire Protection Area

BPA Map YoP/28

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

See enlargement map for accurate representation.

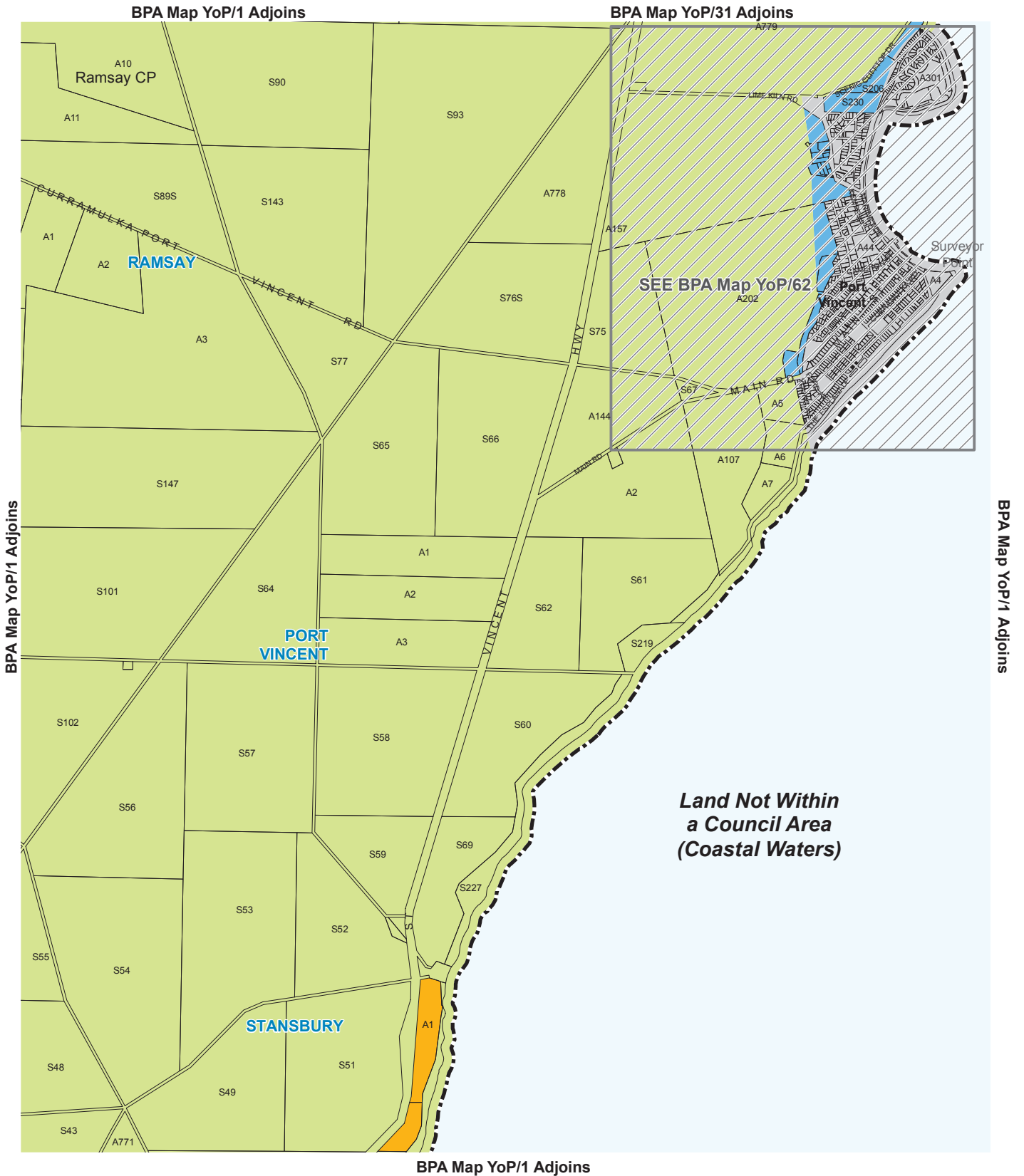


Bushfire Protection Area

BPA Map YoP/29

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



See enlargement map for accurate representation.

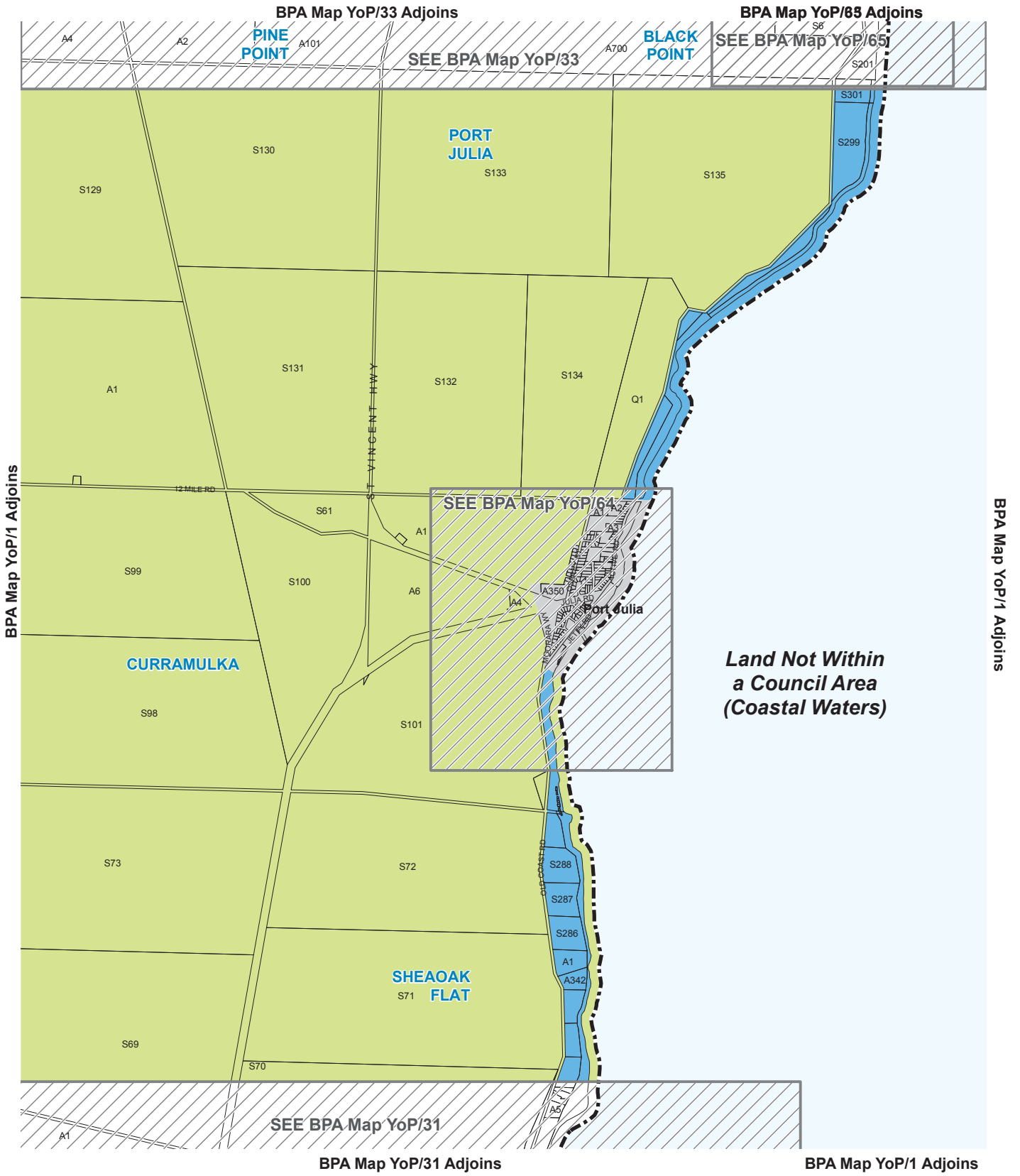


Bushfire Protection Area

BPA Map YoP/30

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



See enlargement map for accurate representation.

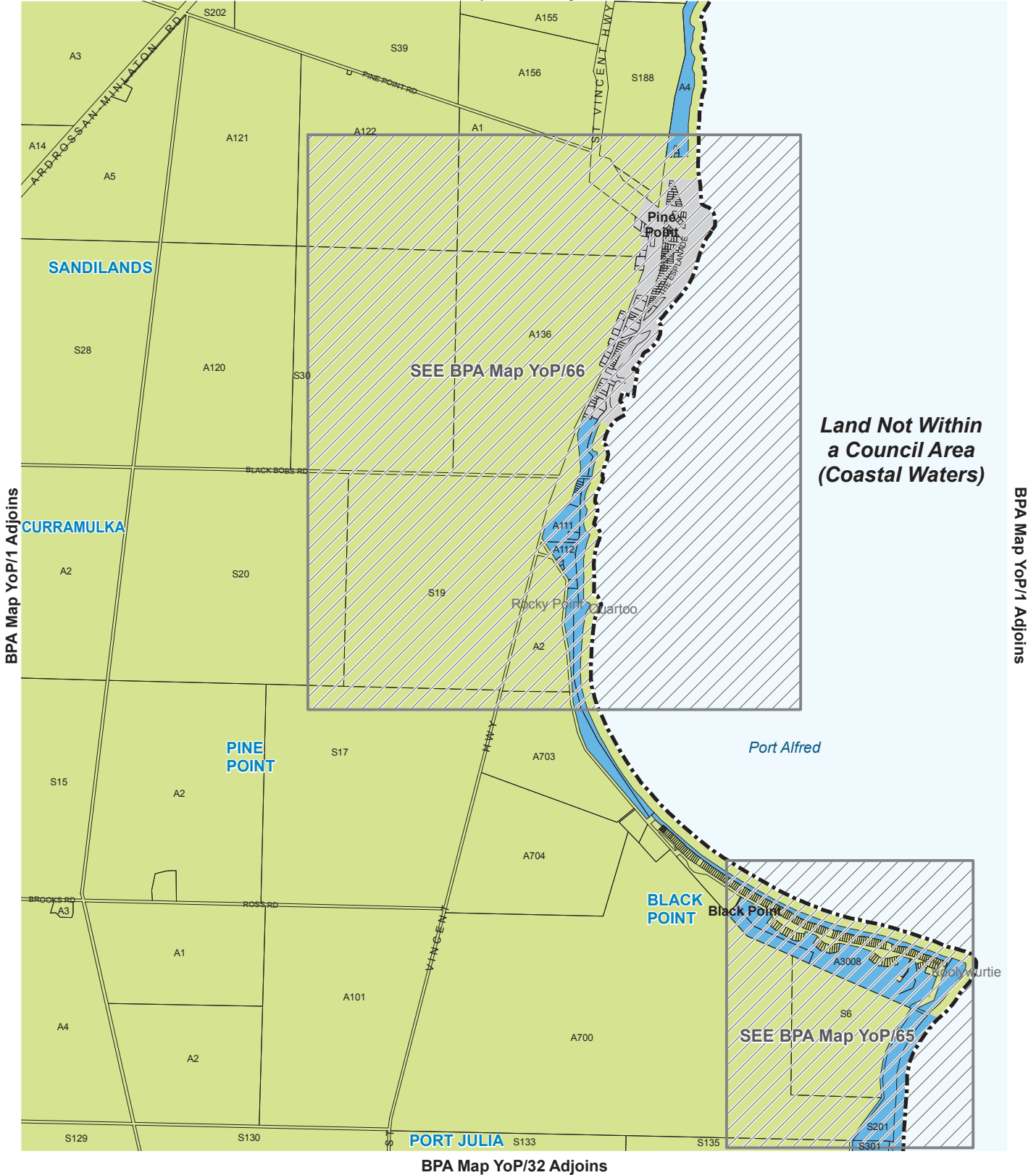
Bushfire Protection Area

BPA Map YoP/32

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/34 Adjoins



See enlargement map for accurate representation.



BPA Map YoP/32 Adjoins

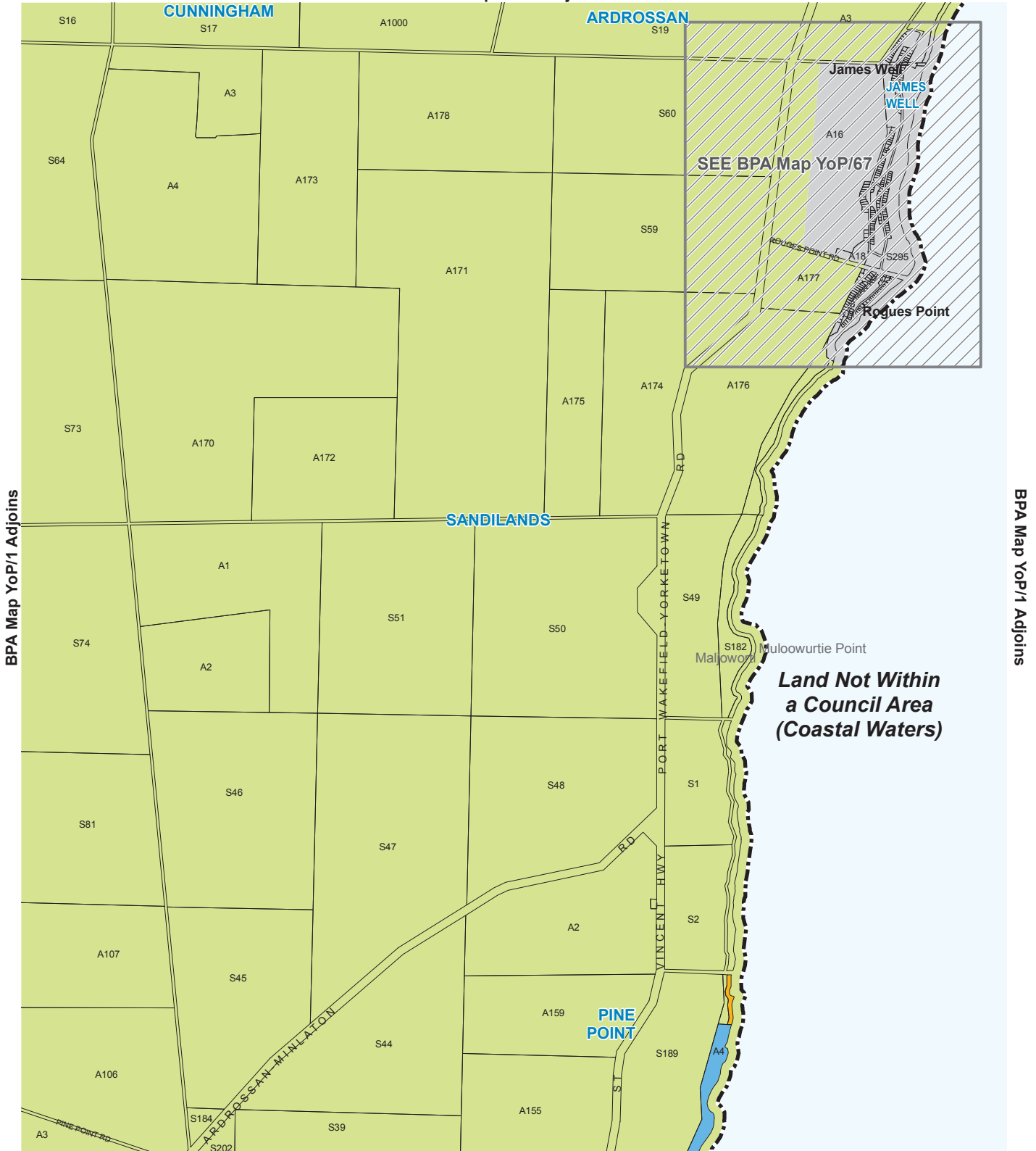
Bushfire Protection Area

BPA Map YoP/33

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/33 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area

BPA Map YoP/34

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

BPA Map YoP/36 Adjoins

BPA Map YoP/1 Adjoins

BPA Map YoP/1 Adjoins



Bushfire Protection Area

BPA Map YoP/35

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/37 Adjoins



*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/1 Adjoins



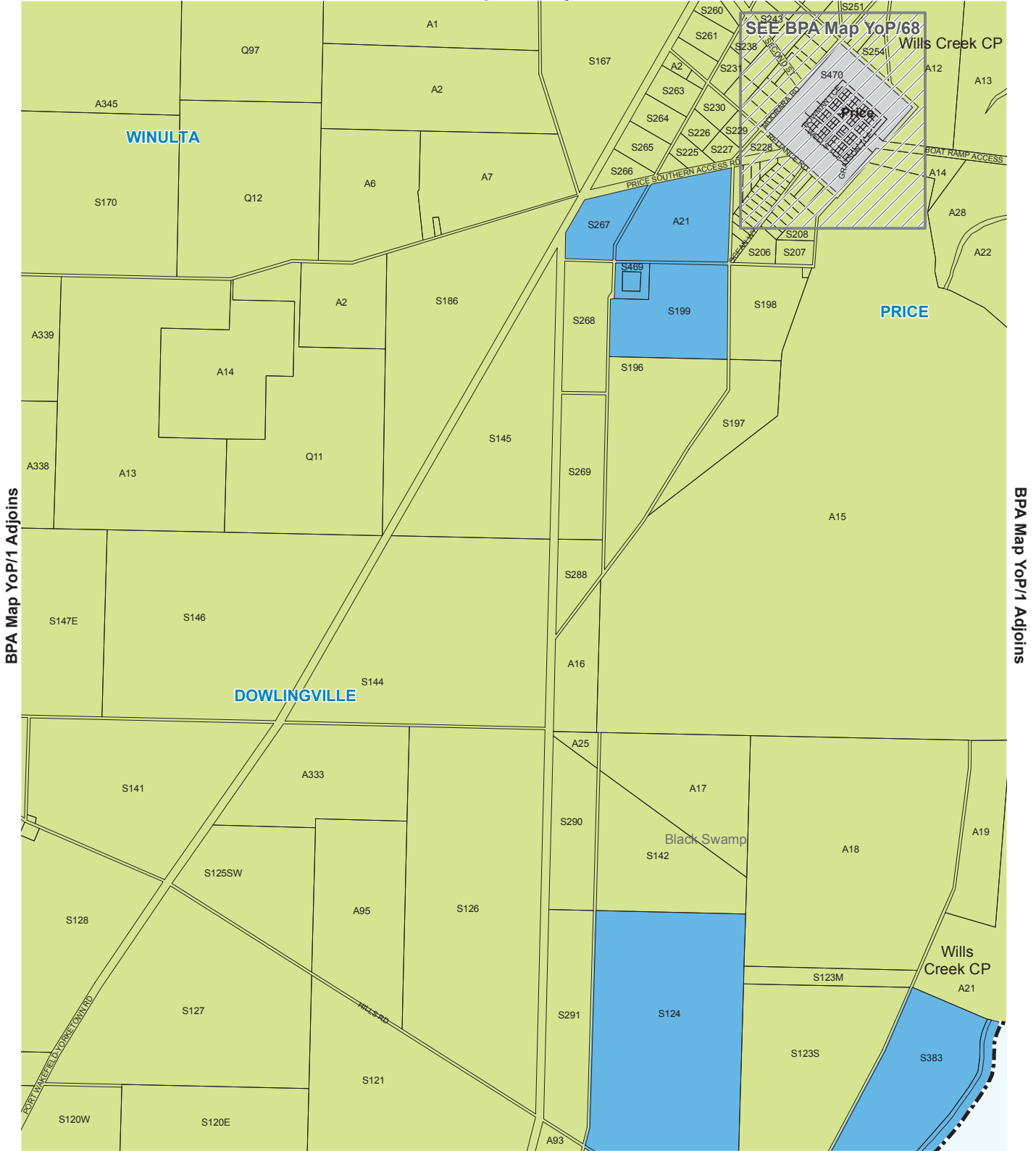
Bushfire Protection Area

BPA Map YoP/36

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/36 Adjoins

See enlargement map for accurate representation.



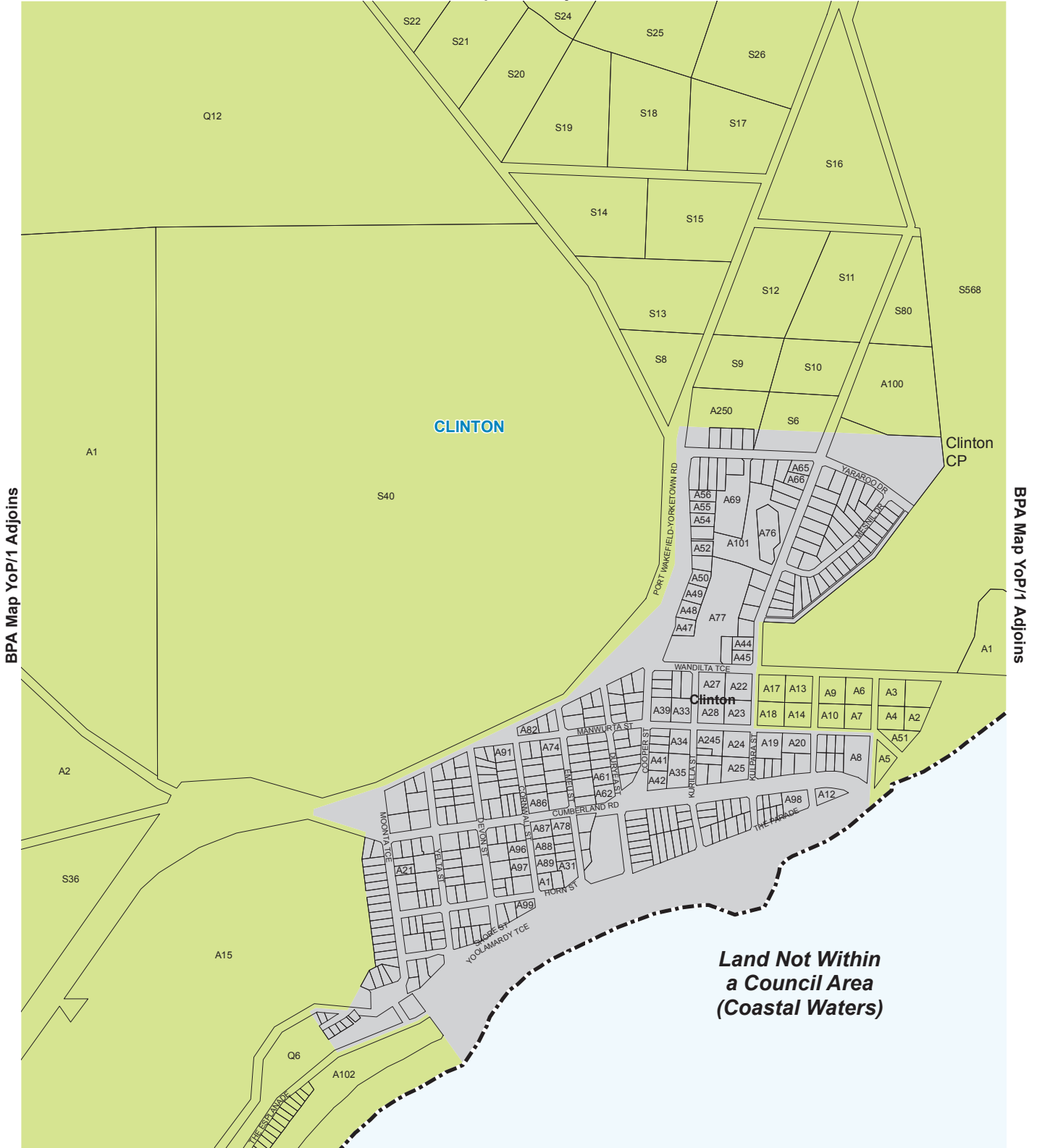
Bushfire Protection Area

BPA Map YoP/37

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins



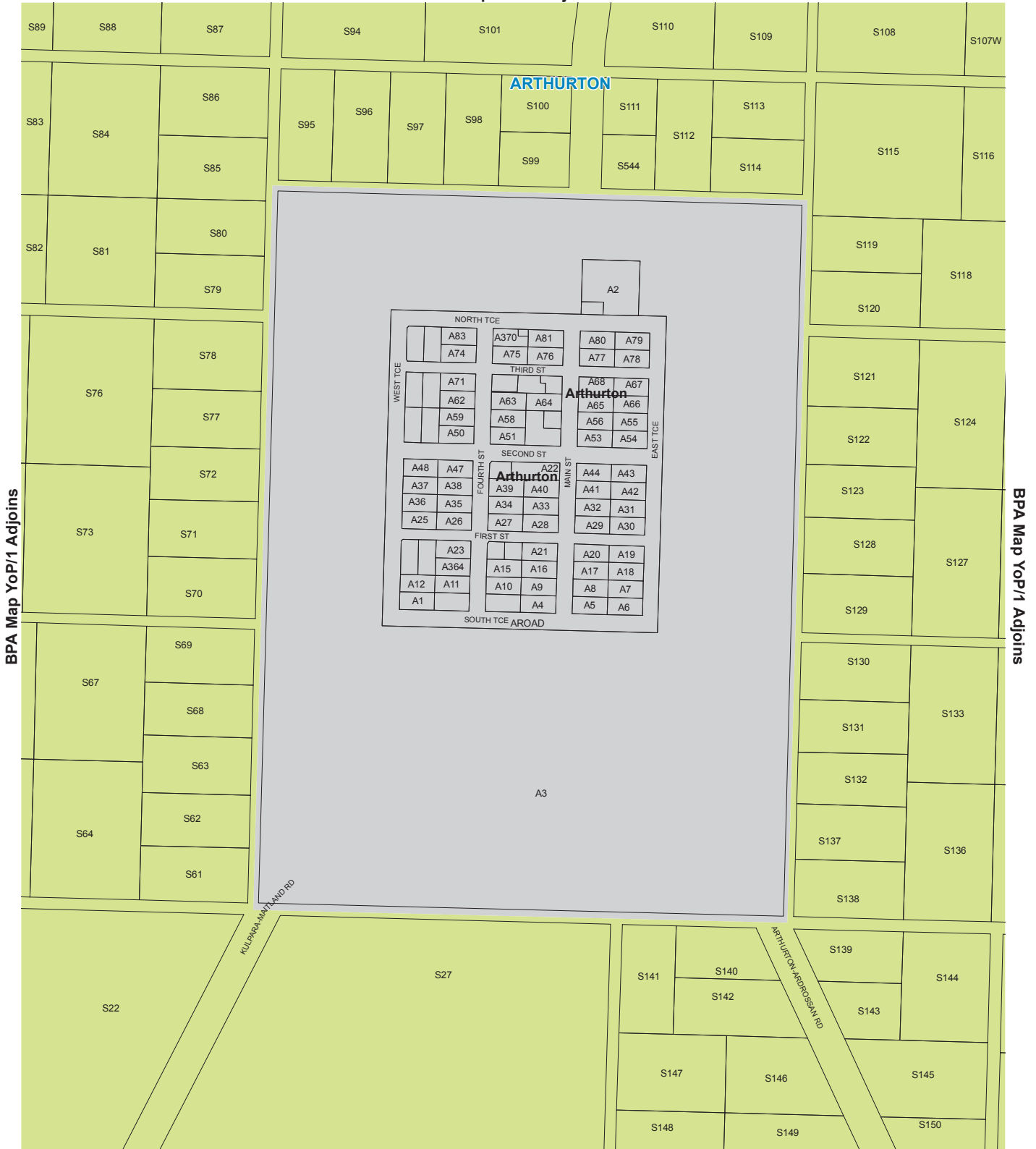
Bushfire Protection Area

BPA Map YoP/38

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins



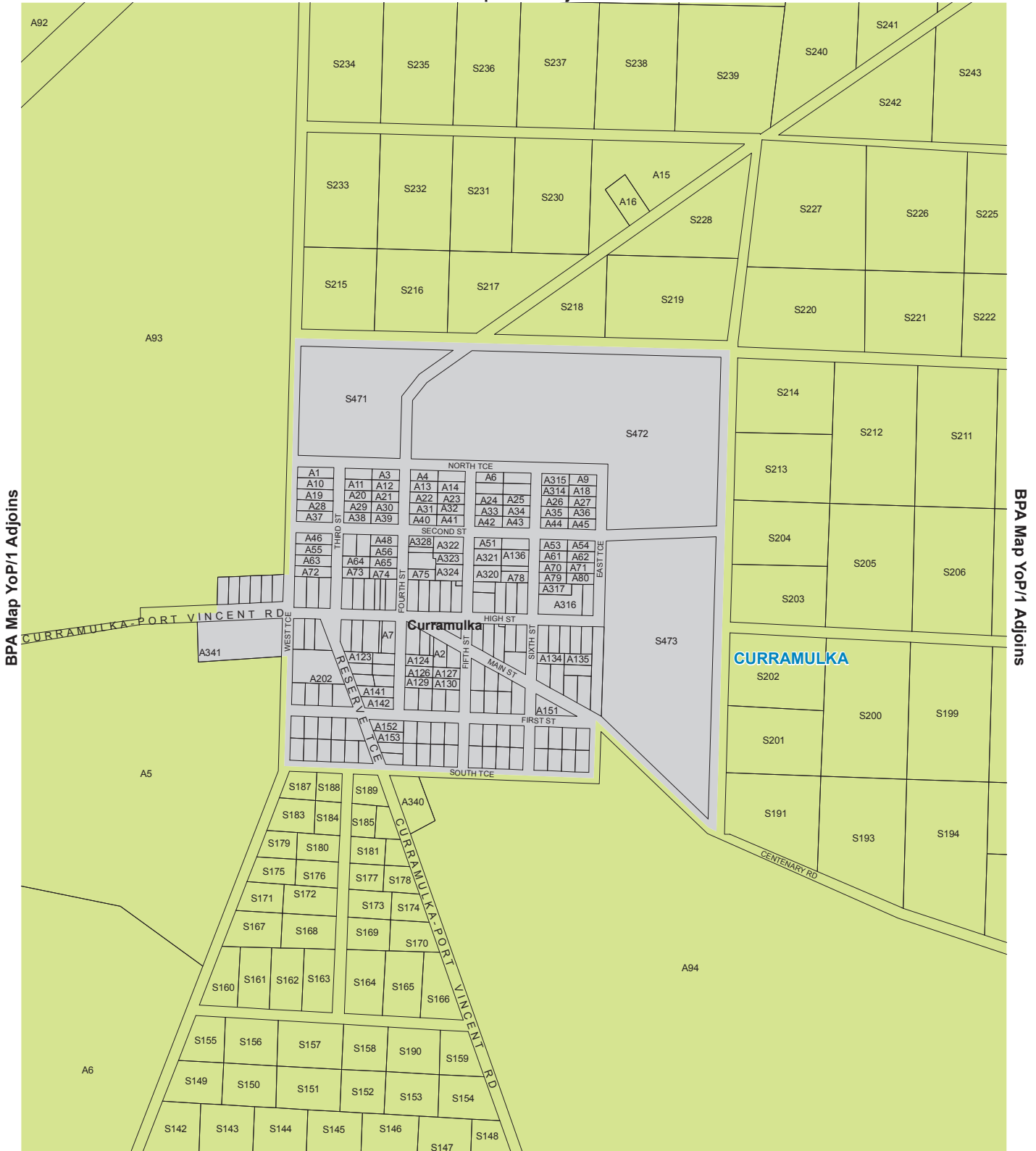
Bushfire Protection Area

BPA Map YoP/39

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins



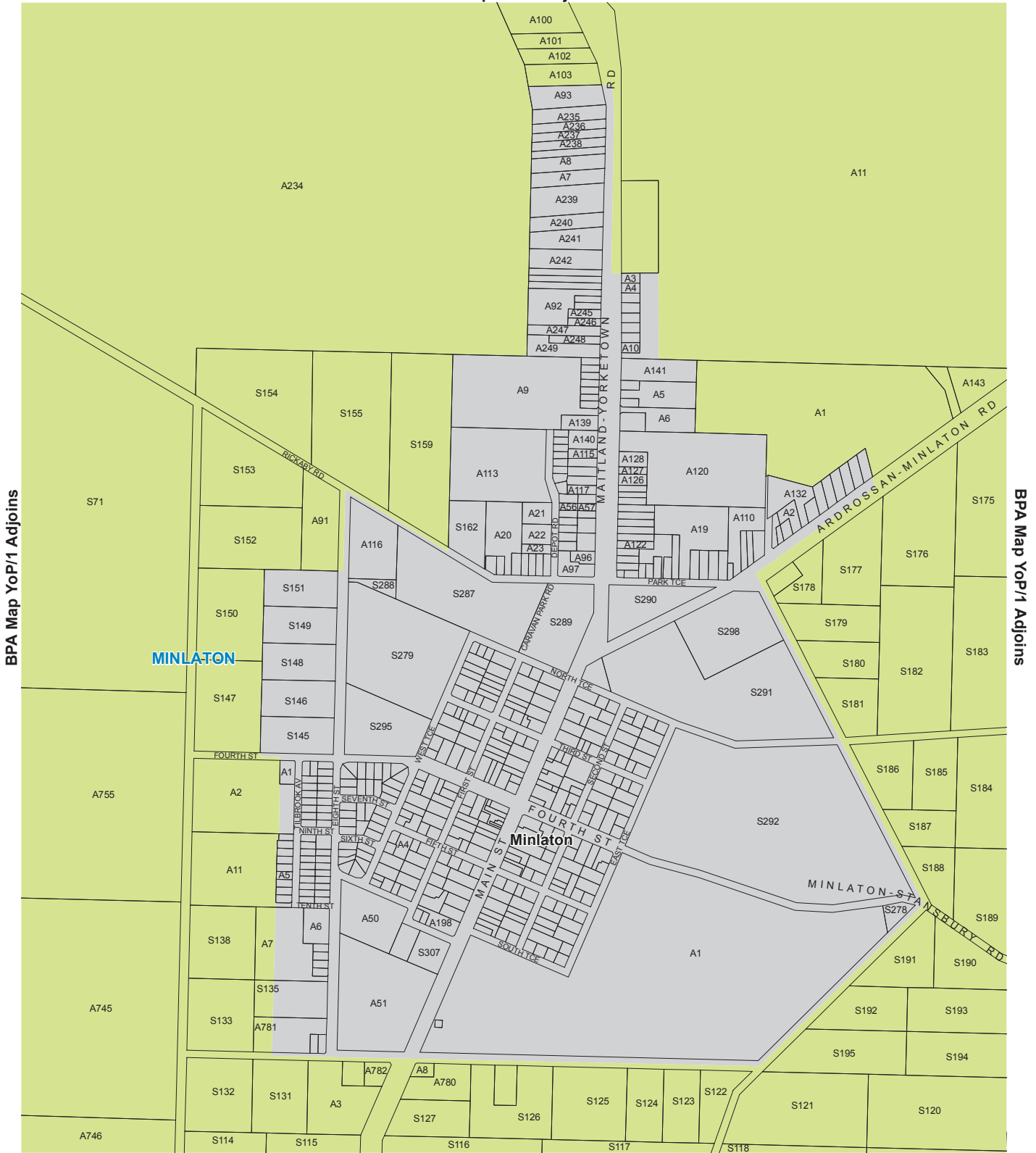
Bushfire Protection Area

BPA Map YoP/41

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map YoP/1 Adjoins



BPA Map YoP/1 Adjoins

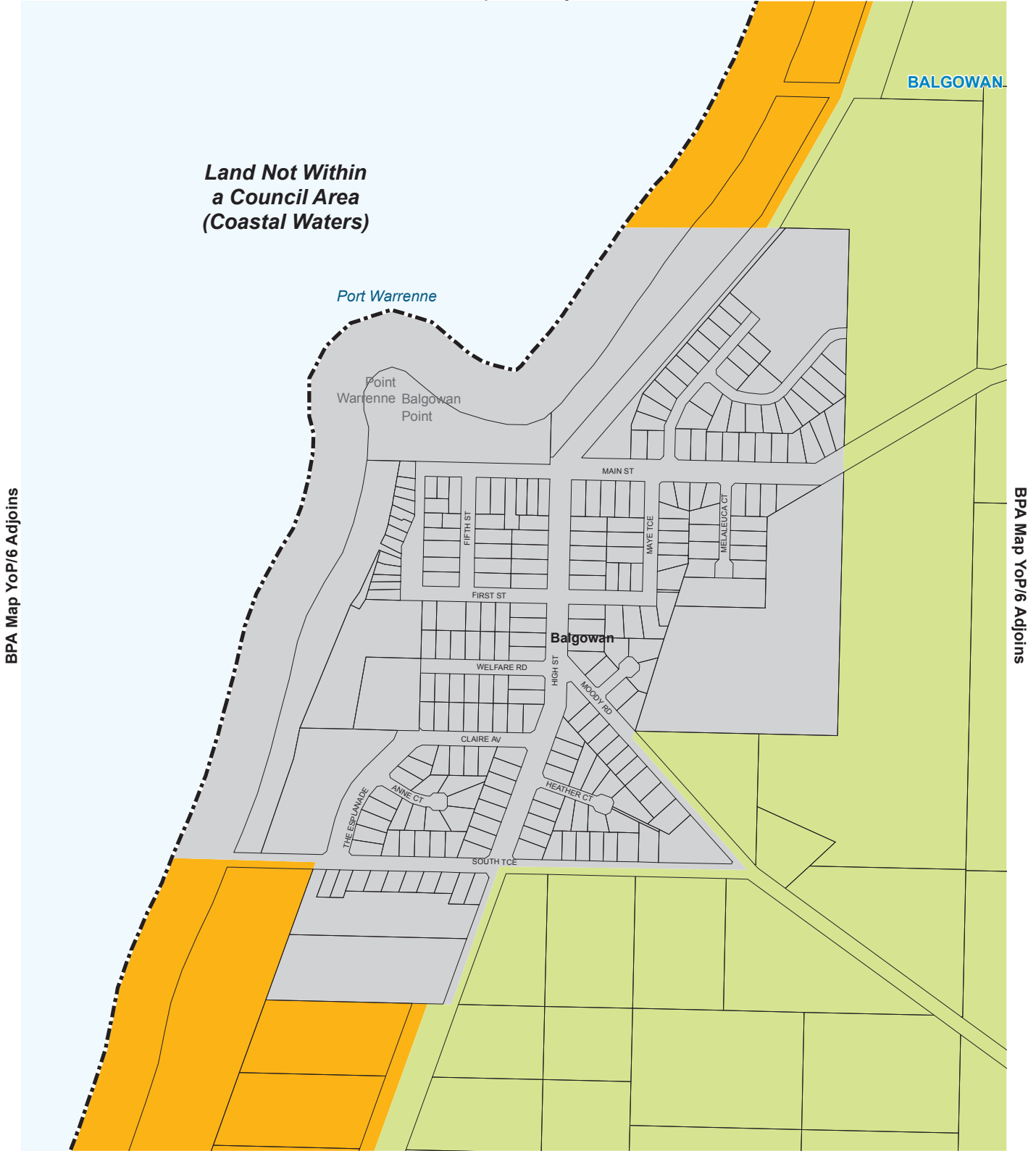


Bushfire Protection Area

BPA Map YoP/42

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



**Land Not Within
a Council Area
(Coastal Waters)**

BPA Map YoP/6 Adjoins

BPA Map YoP/6 Adjoins



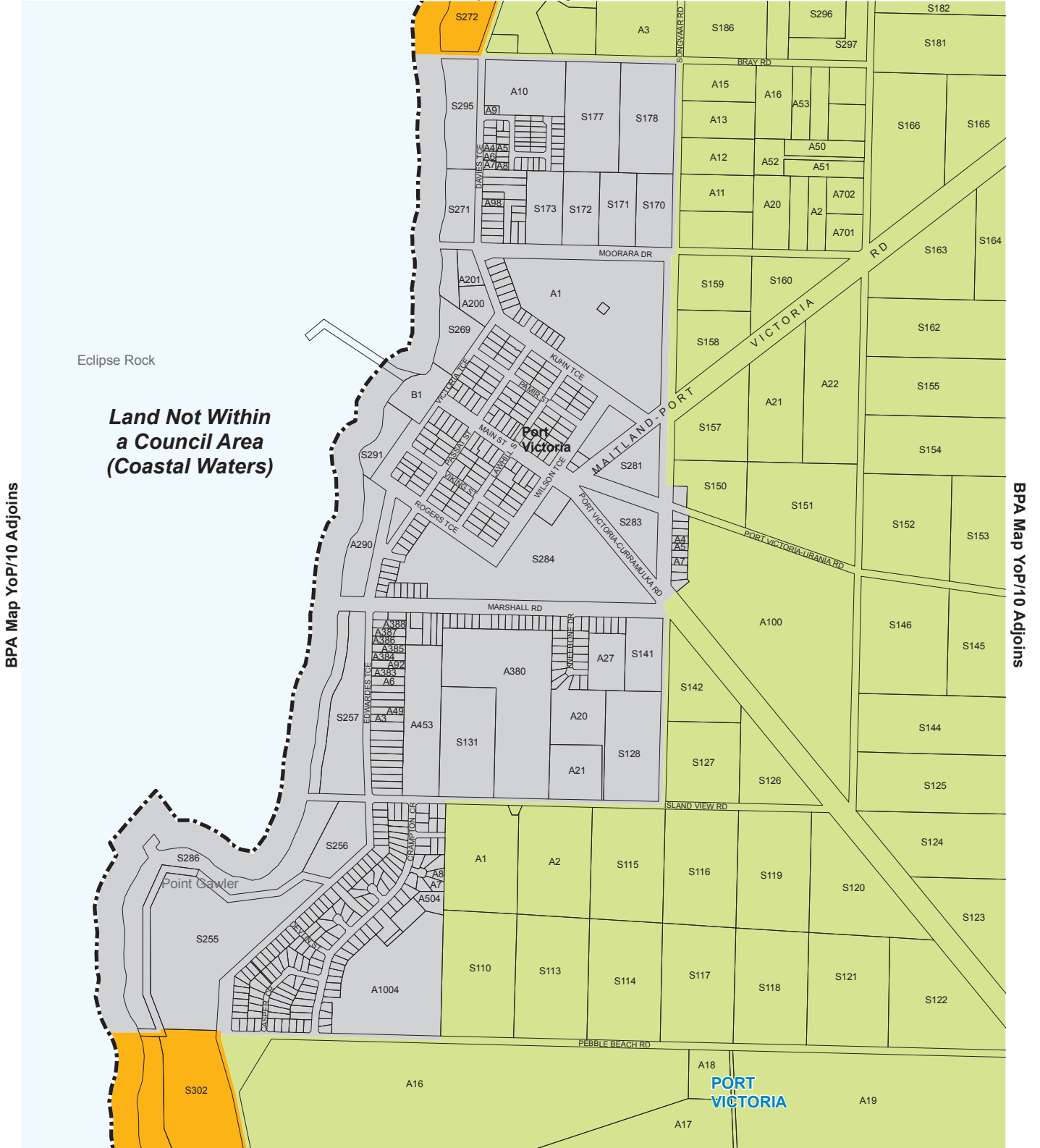
Bushfire Protection Area

BPA Map YoP/43

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/10 Adjoins



BPA Map YoP/10 Adjoins



Bushfire Protection Area

BPA Map YoP/44

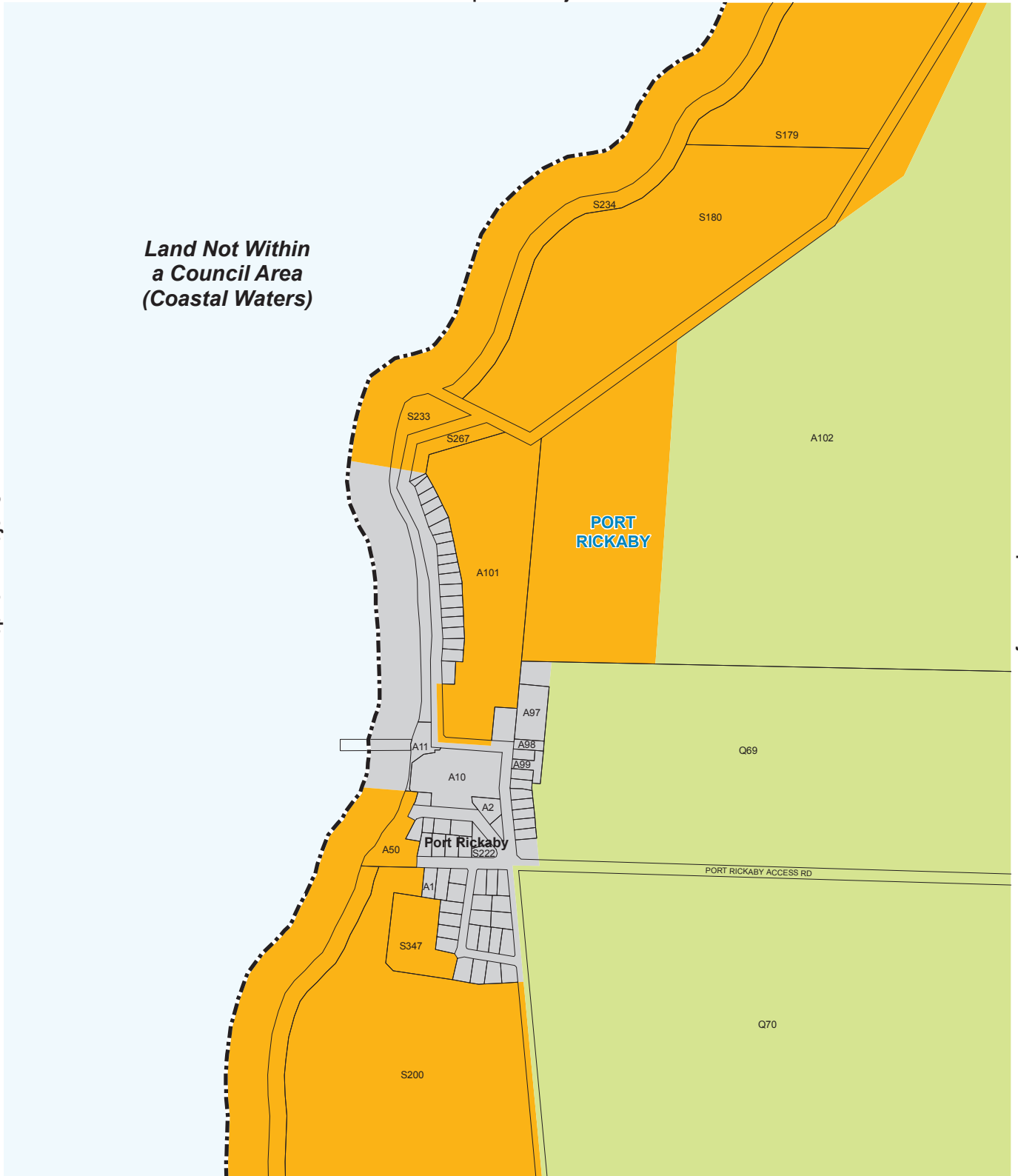
BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/12 Adjoins

BPA Map YoP/12 Adjoins



Bushfire Protection Area

BPA Map YoP/45

BUSHFIRE RISK

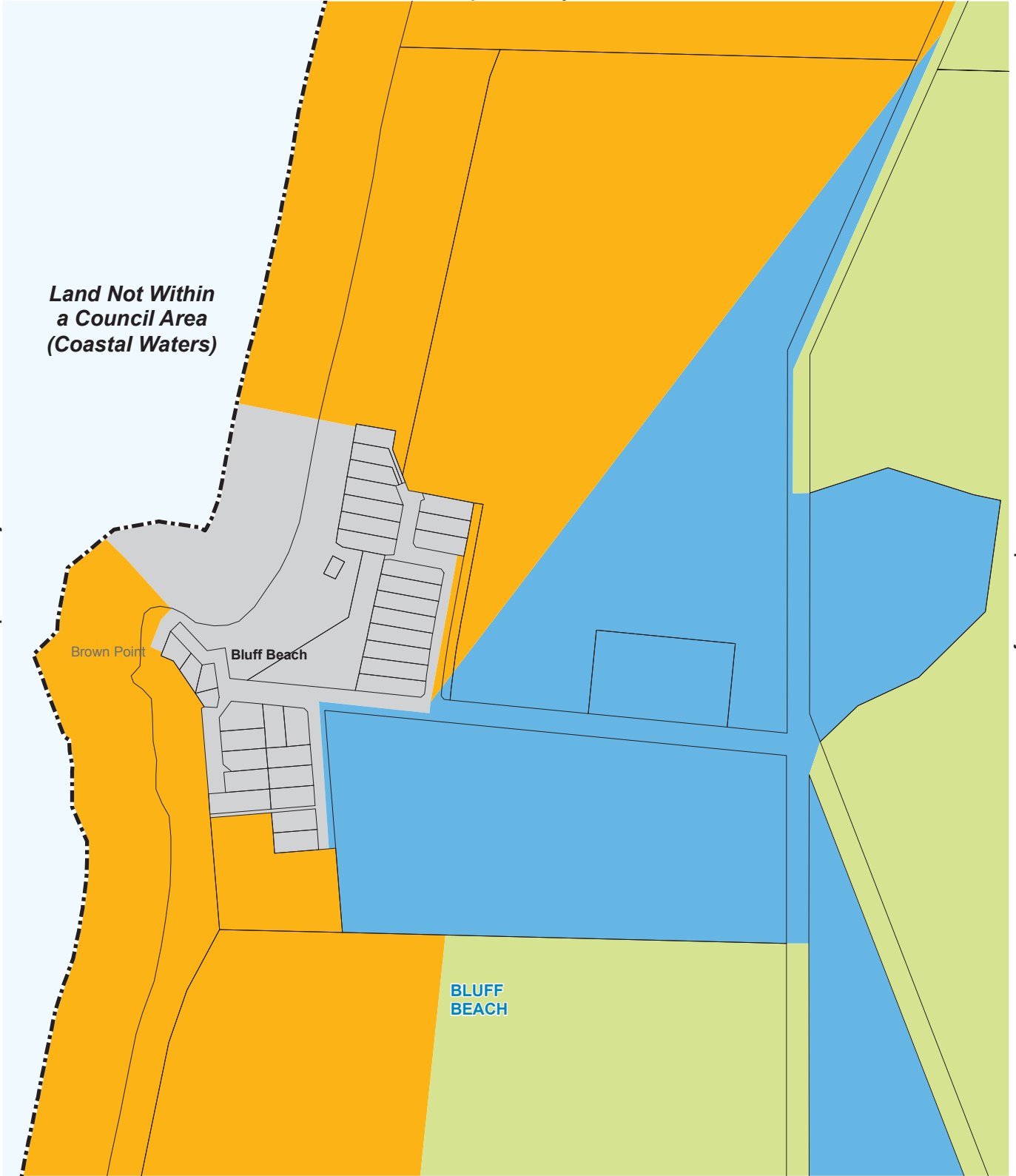
- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/13 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/13 Adjoins

BPA Map YoP/13 Adjoins



BPA Map YoP/13 Adjoins

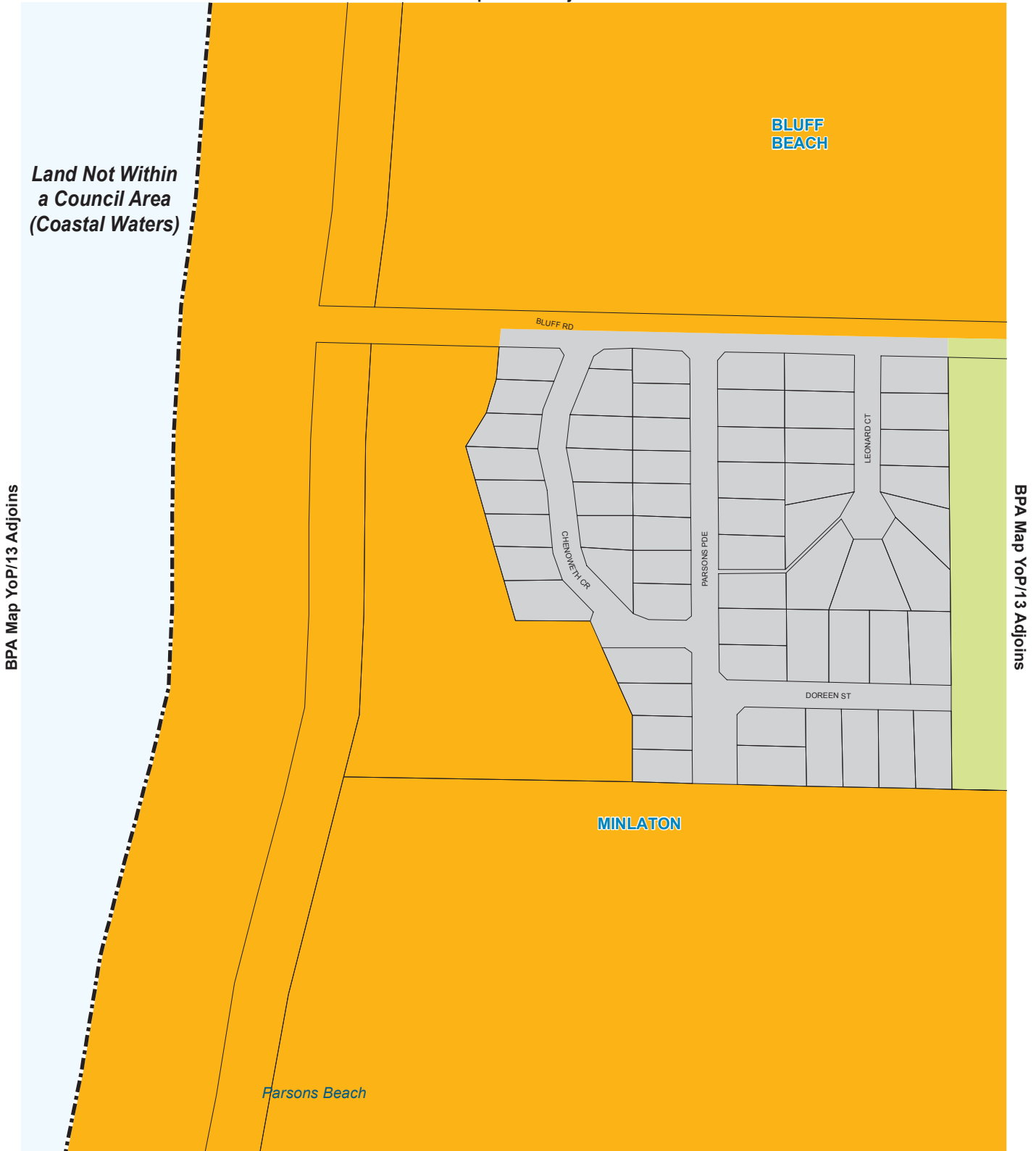


Bushfire Protection Area

BPA Map YoP/46

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



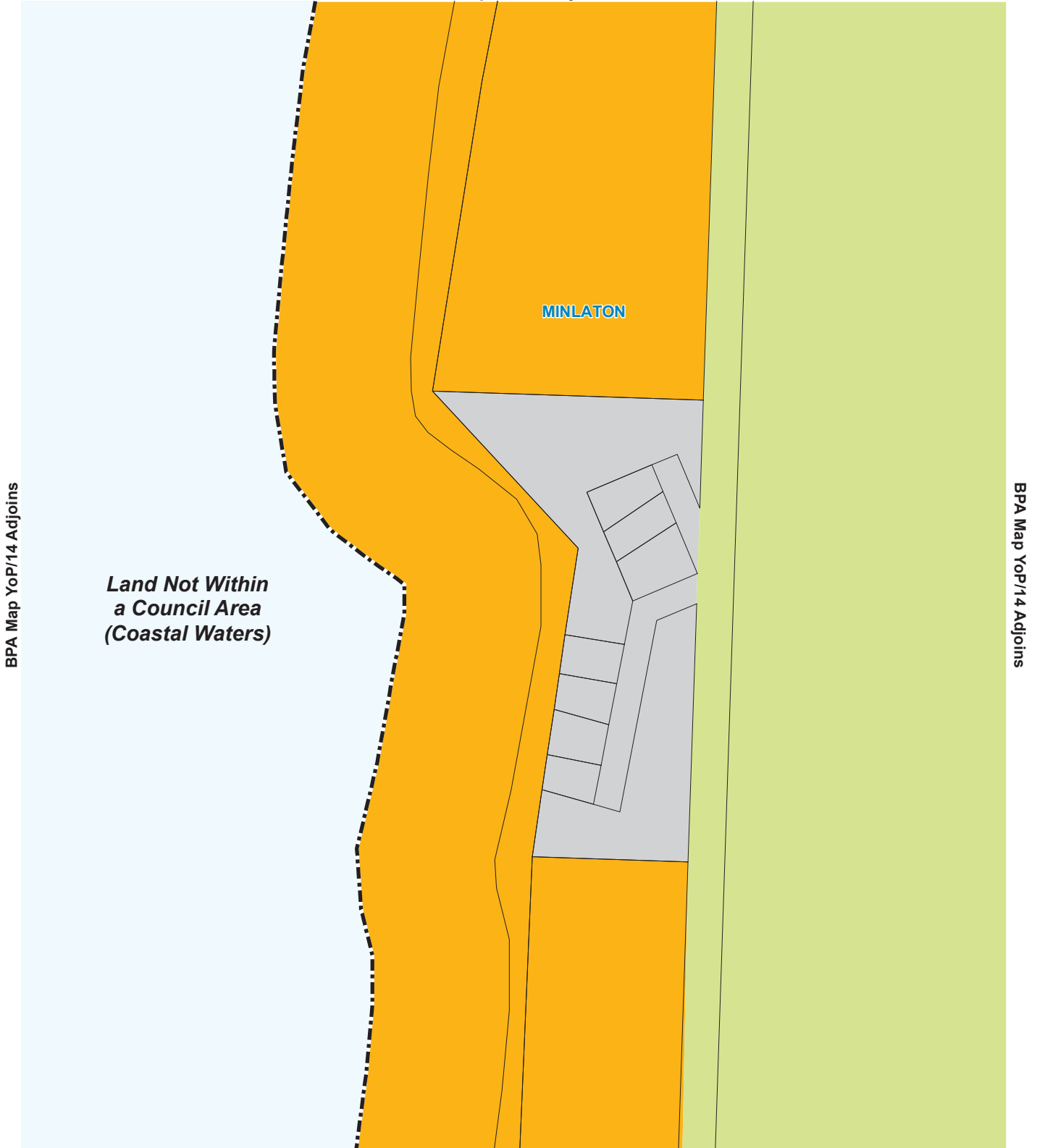
Bushfire Protection Area

BPA Map YoP/47

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/14 Adjoins



BPA Map YoP/14 Adjoins



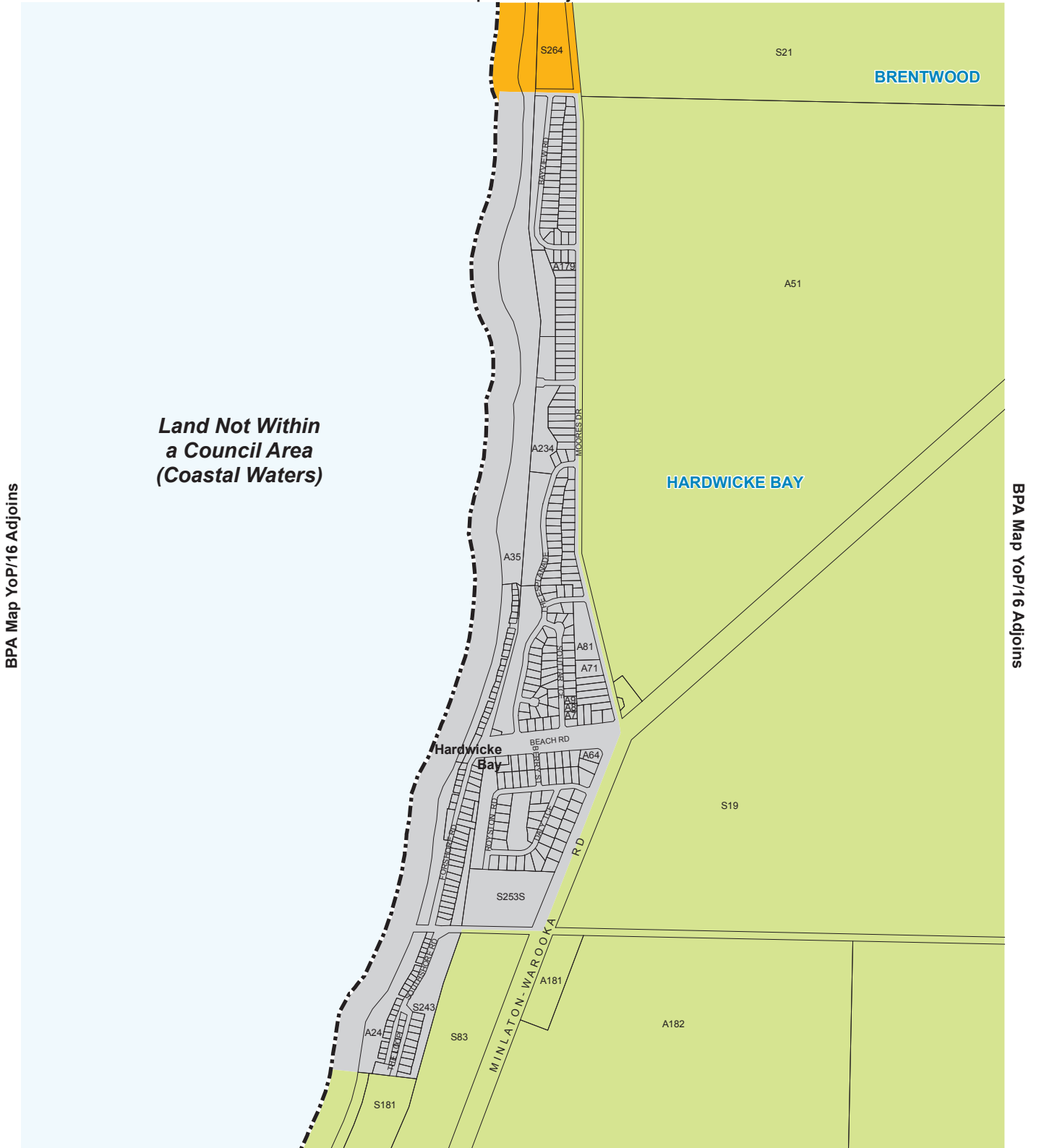
Bushfire Protection Area

BPA Map YoP/48

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/16 Adjoins



BPA Map YoP/16 Adjoins

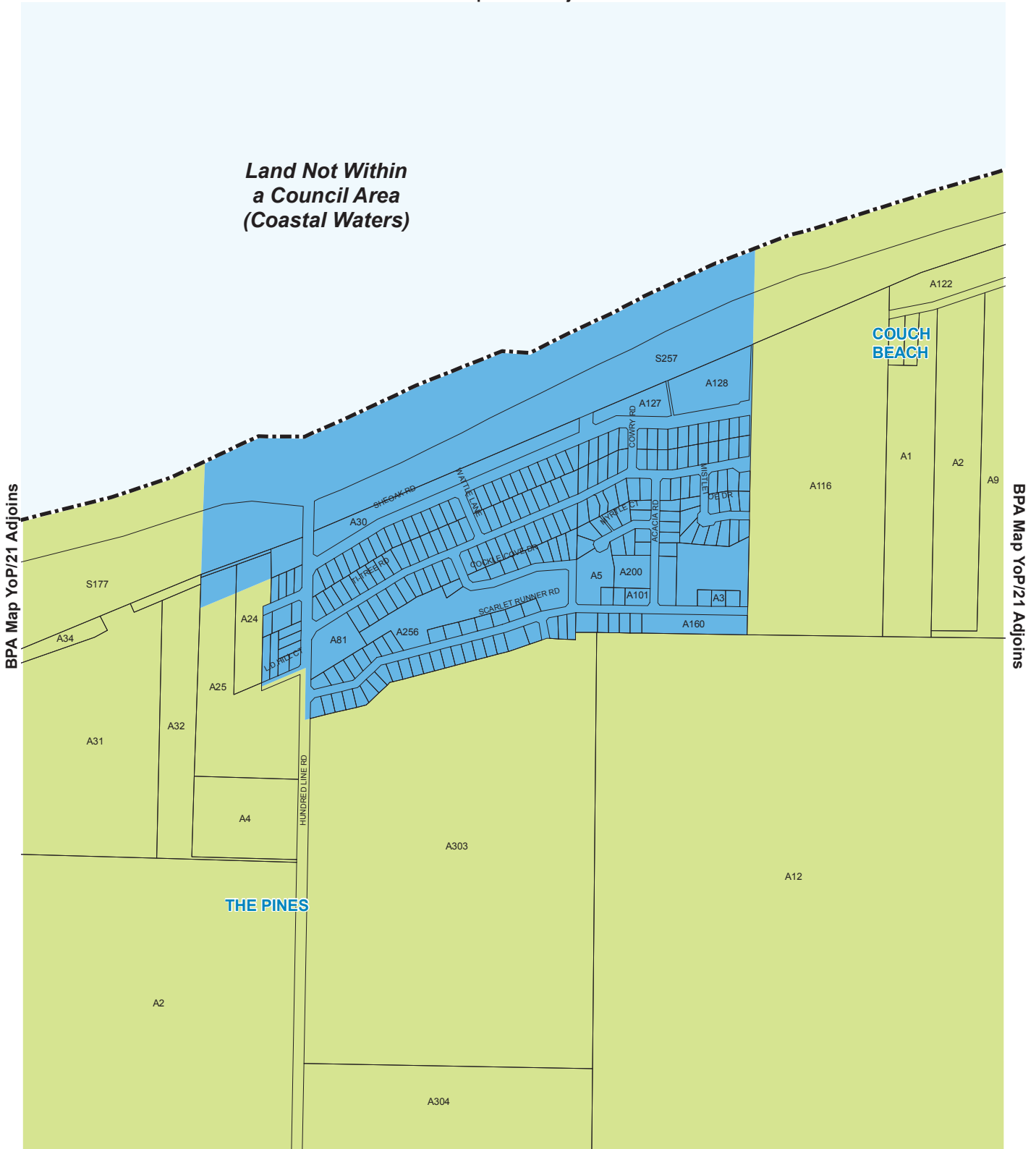


Bushfire Protection Area

BPA Map YoP/49

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary






BPA Map YoP/21 Adjoins



Bushfire Protection Area

BPA Map YoP/50

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk
-  Development Plan Boundary

Land Not Within
a Council Area
(Coastal Waters)

BPA Map YoP/21 Adjoins

BPA Map YoP/21 Adjoins

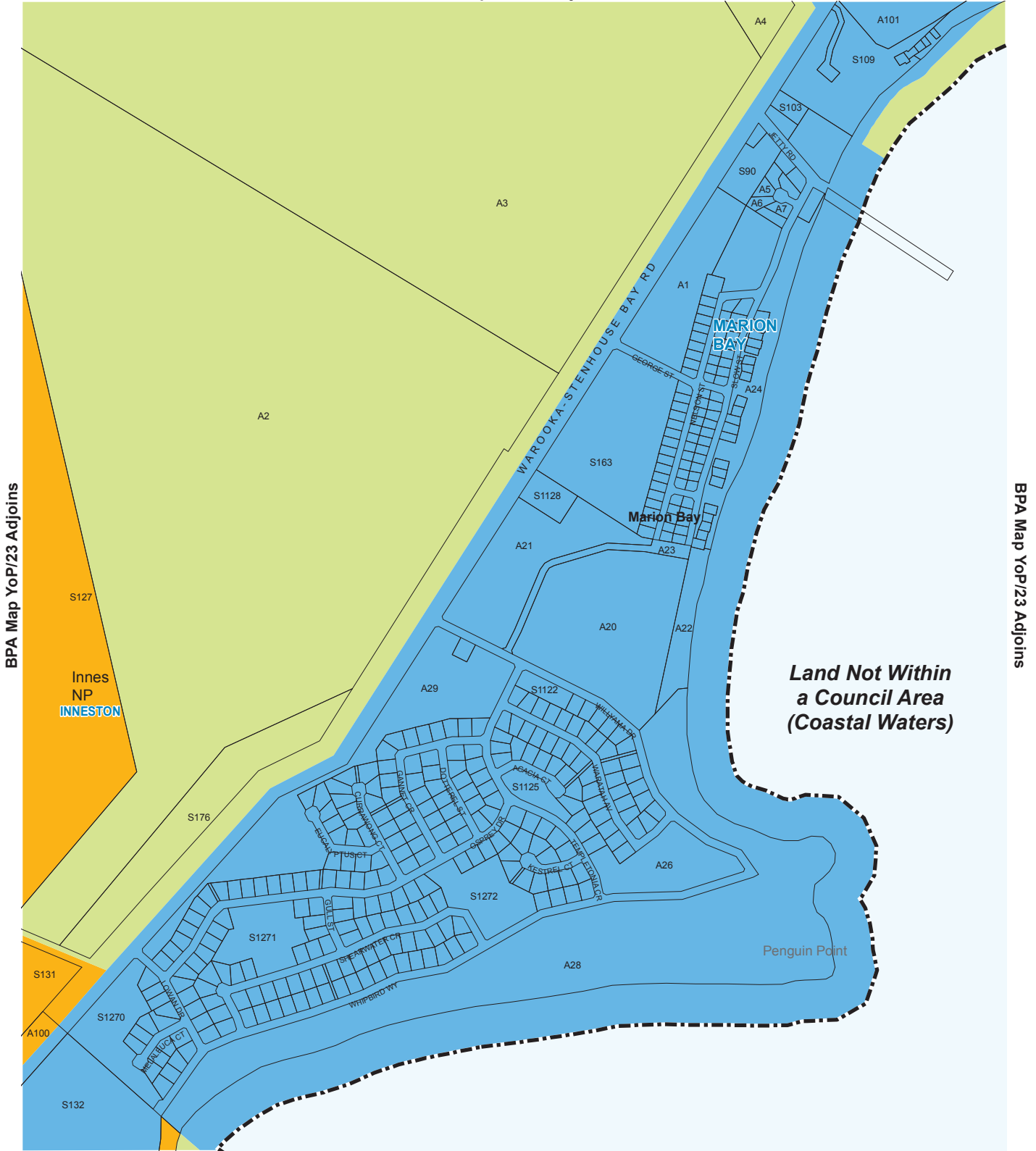


Bushfire Protection Area

BPA Map YoP/51

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



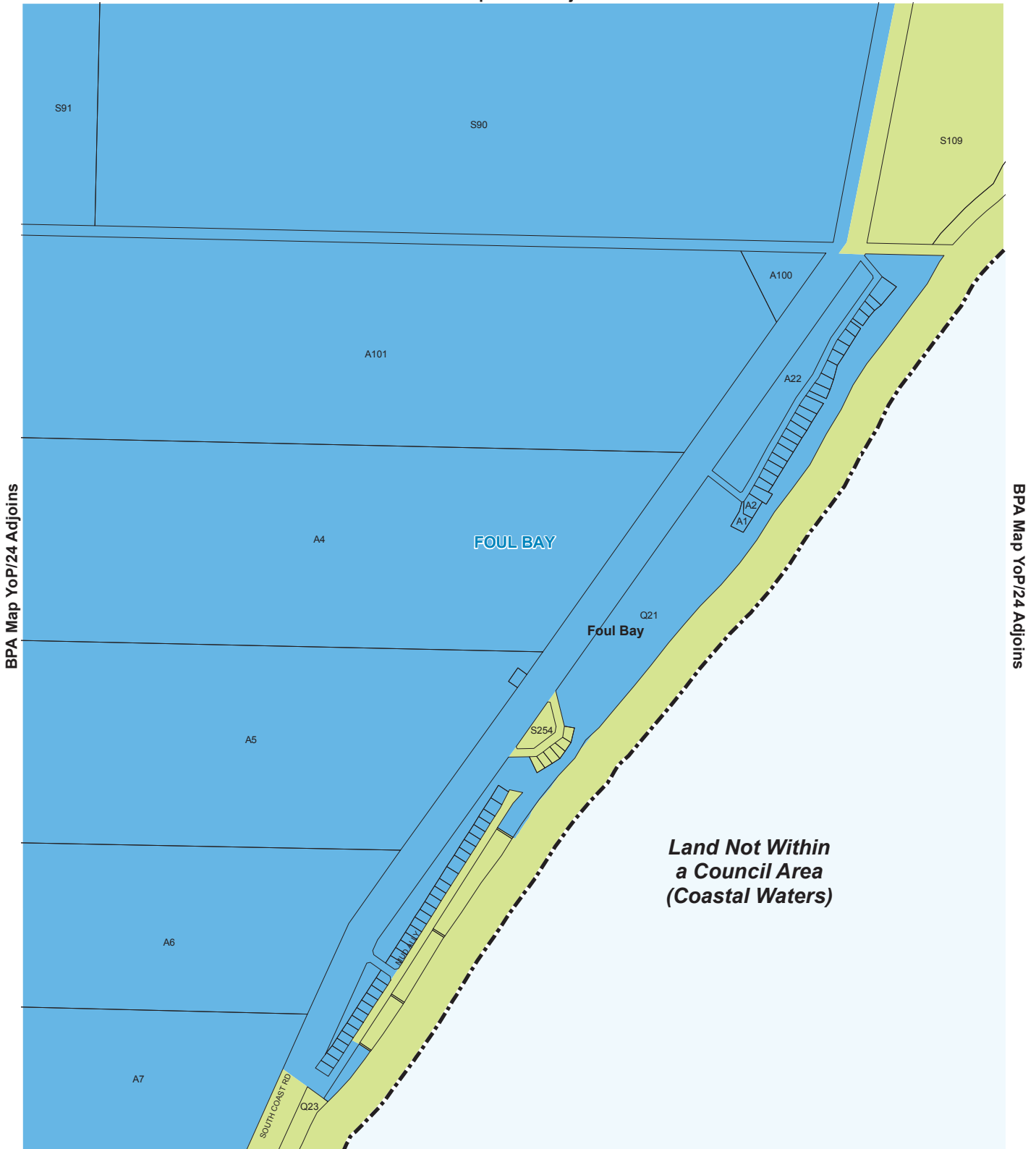
Bushfire Protection Area

BPA Map YoP/52

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map YoP/24 Adjoins






BPA Map YoP/24 Adjoins



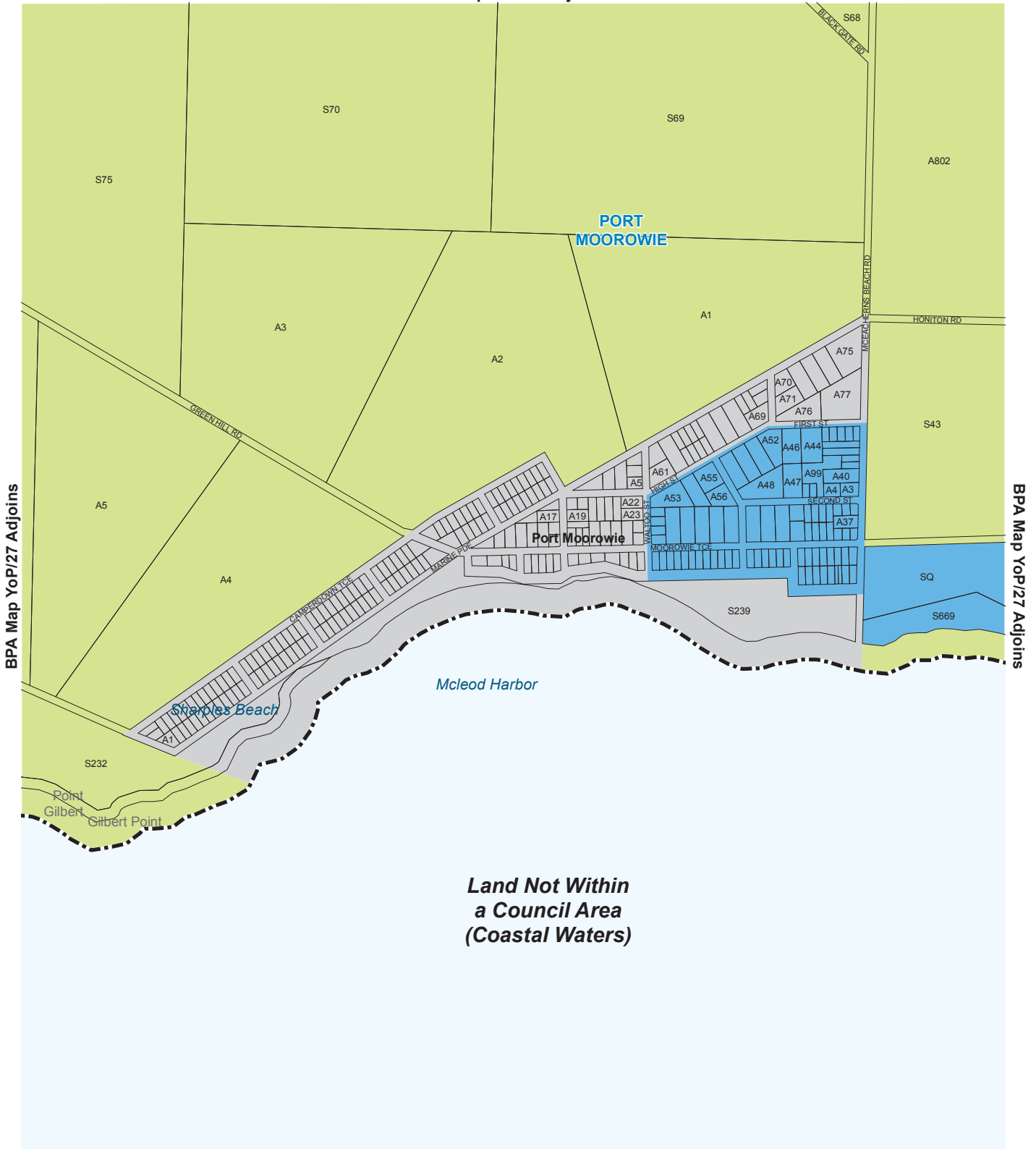
Bushfire Protection Area

BPA Map YoP/53

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk
-  Development Plan Boundary

BPA Map YoP/27 Adjoins



BPA Map YoP/27 Adjoins



Bushfire Protection Area

BPA Map YoP/54

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



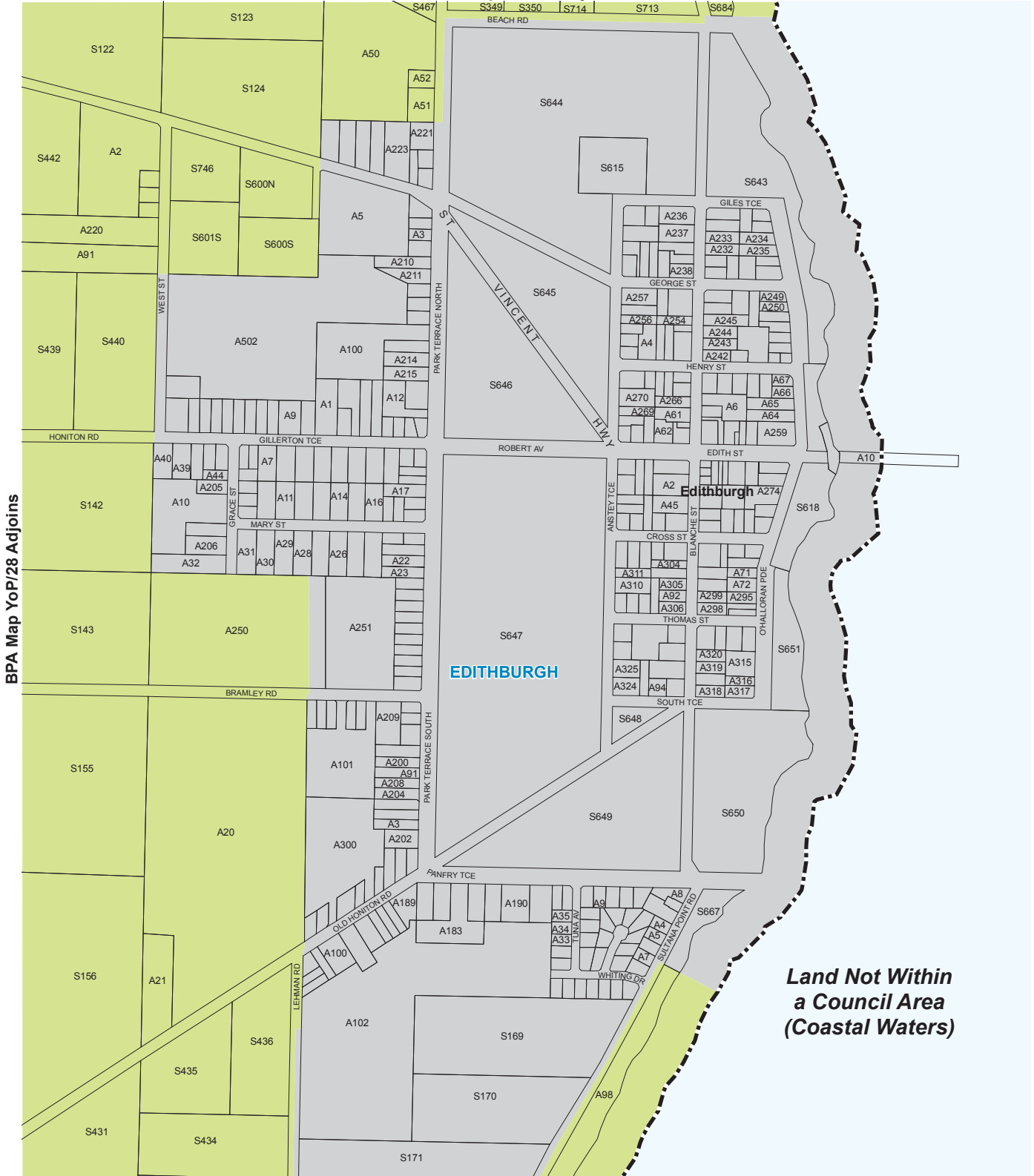
Bushfire Protection Area

BPA Map YoP/56

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/28 Adjoins



BPA Map YoP/28 Adjoins

BPA Map YoP/28 Adjoins

BPA Map YoP/28 Adjoins



Bushfire Protection Area

BPA Map YoP/57

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

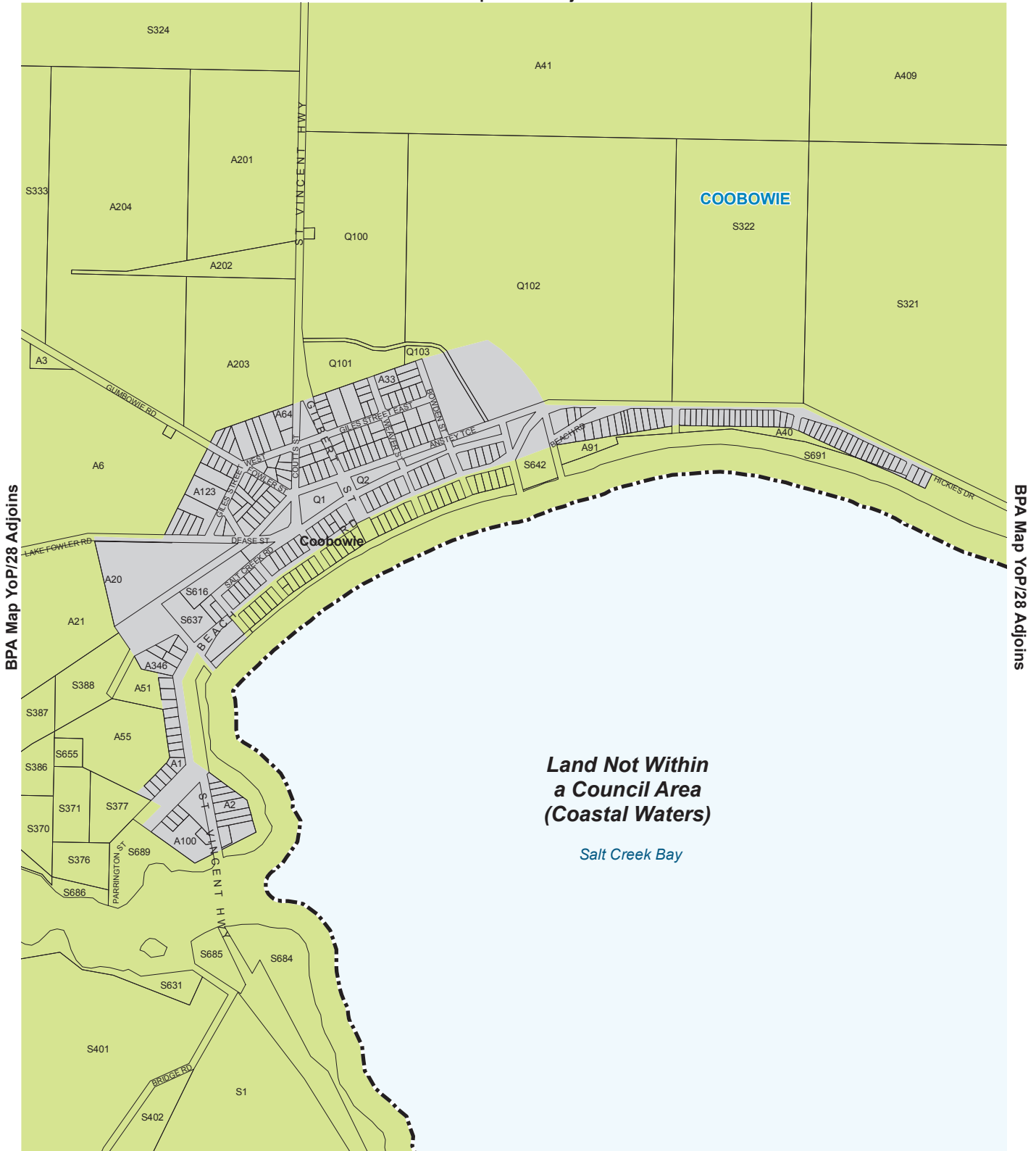


Bushfire Protection Area

BPA Map YoP/58

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



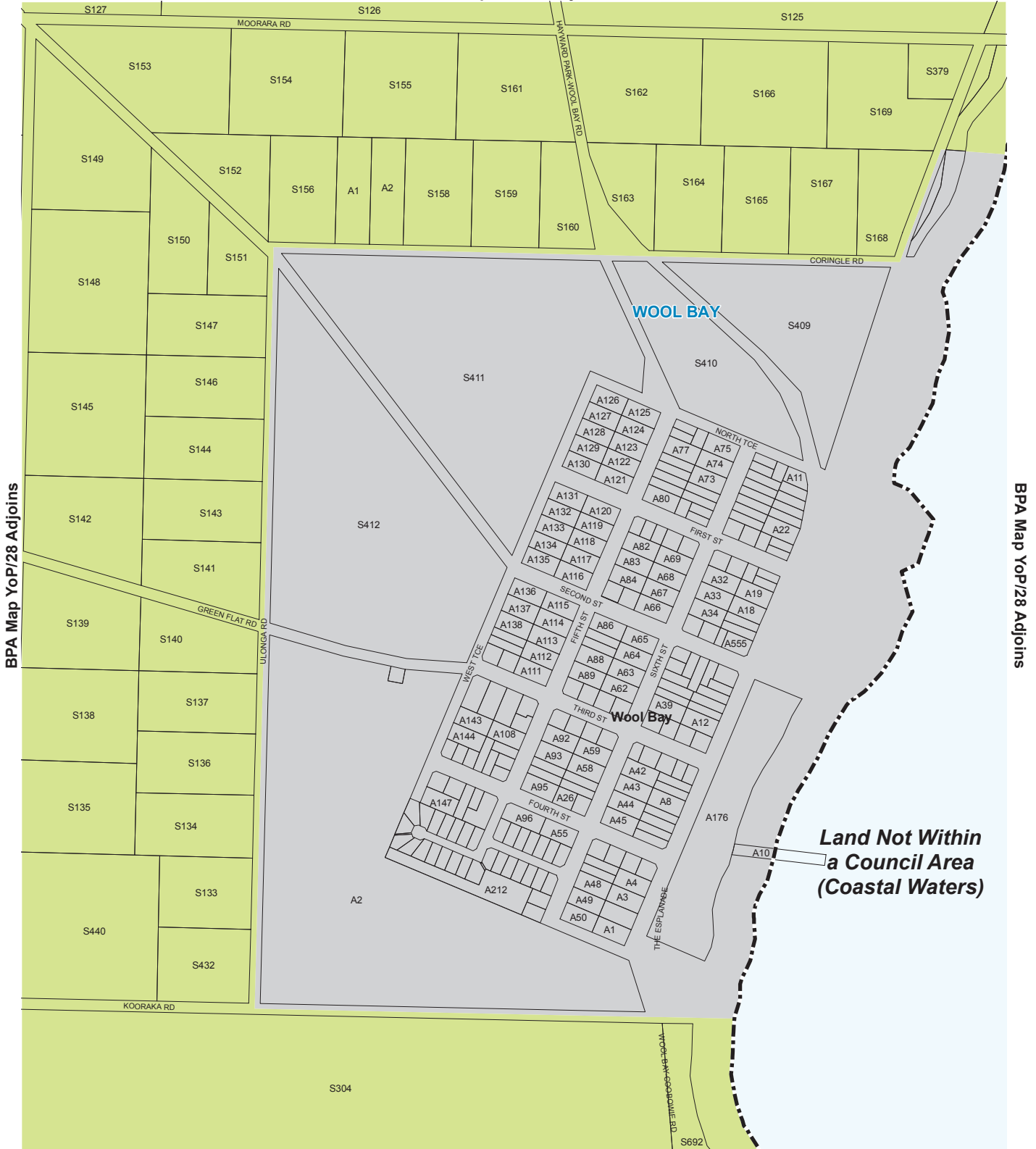
Bushfire Protection Area

BPA Map YoP/59

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/28 Adjoins



BPA Map YoP/28 Adjoins



Bushfire Protection Area

BPA Map YoP/60

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/29 Adjoins



BPA Map YoP/29 Adjoins



Bushfire Protection Area

BPA Map YoP/61

BUSHFIRE RISK

- High Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/31 Adjoins



BPA Map YoP/31 Adjoins

BPA Map YoP/31 Adjoins

BPA Map YoP/31 Adjoins



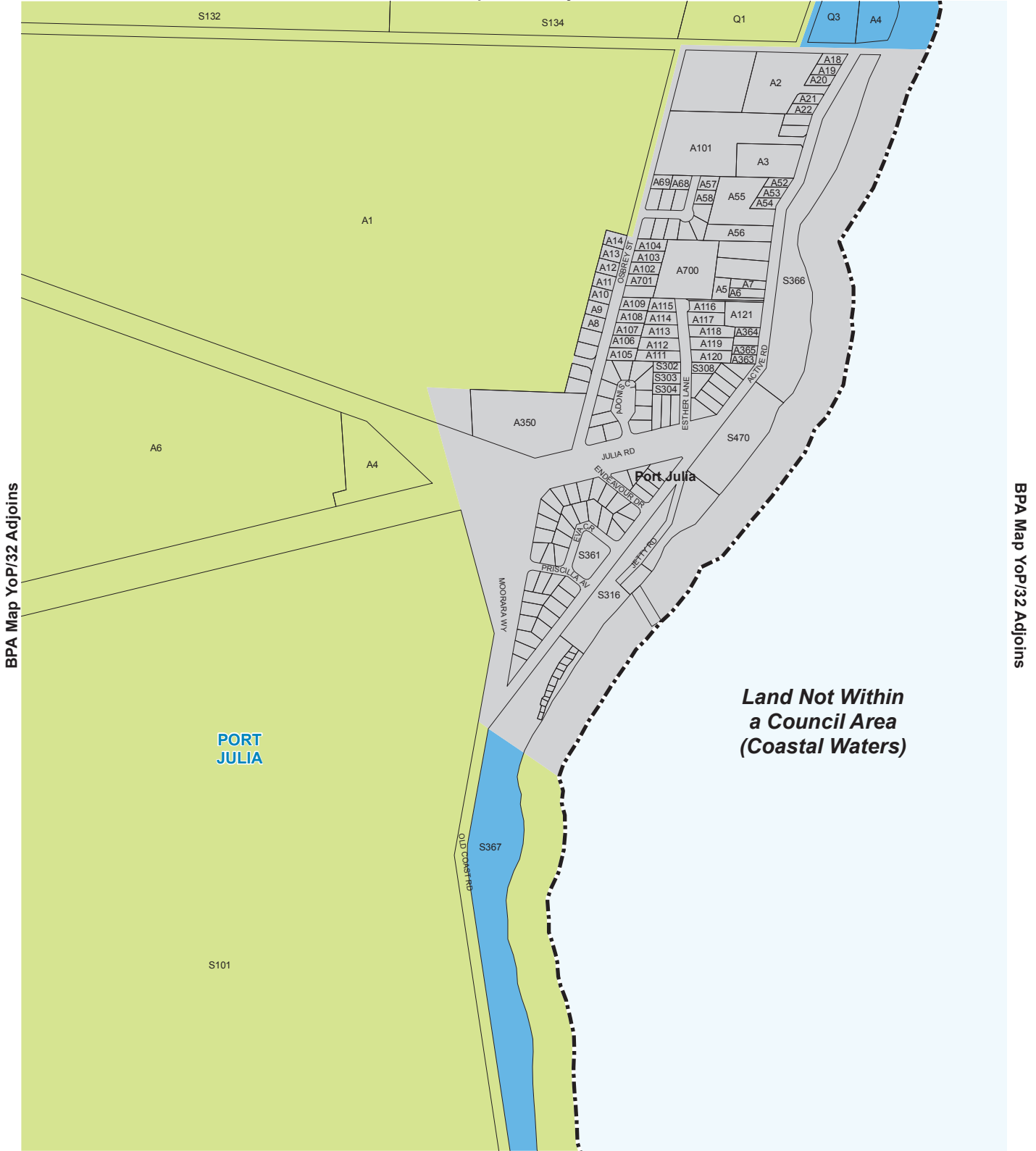
Bushfire Protection Area

BPA Map YoP/63

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/32 Adjoins



BPA Map YoP/32 Adjoins



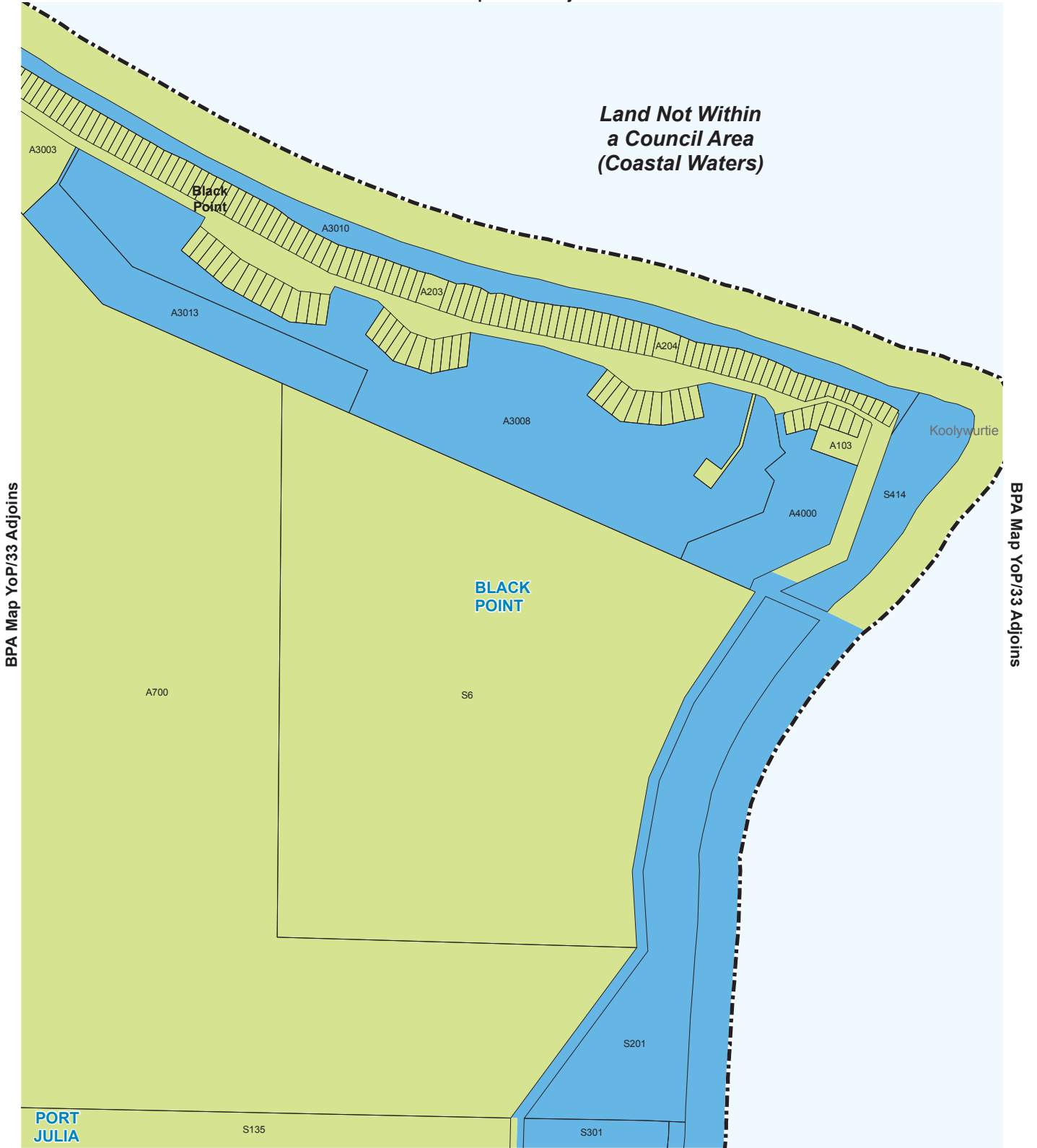
Bushfire Protection Area

BPA Map YoP/64

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary




*Land Not Within
a Council Area
(Coastal Waters)*



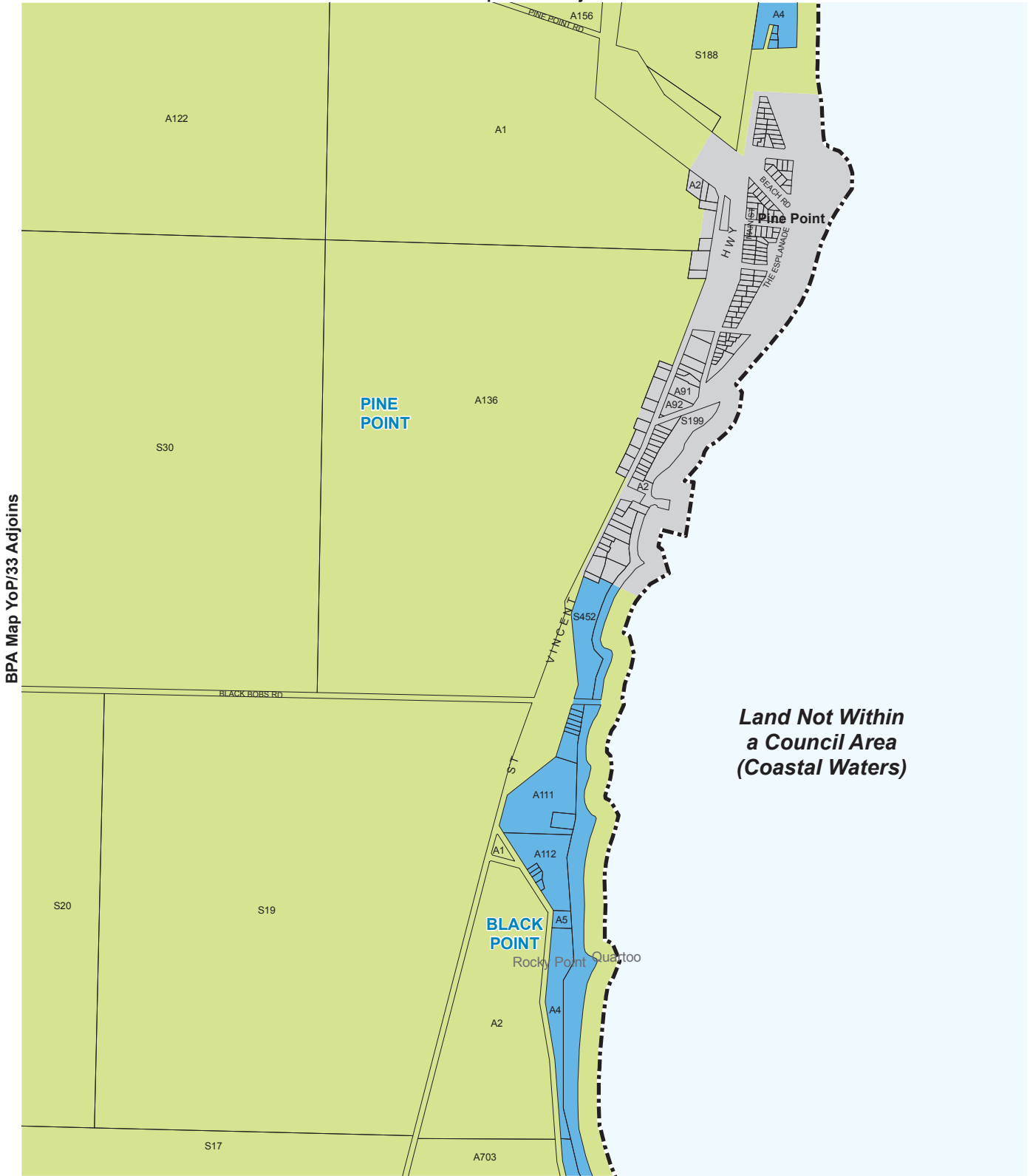
Bushfire Protection Area

BPA Map YoP/65

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk
-  Development Plan Boundary

BPA Map YoP/33 Adjoins



BPA Map YoP/33 Adjoins

BPA Map YoP/33 Adjoins

*Land Not Within
a Council Area
(Coastal Waters)*

BPA Map YoP/33 Adjoins



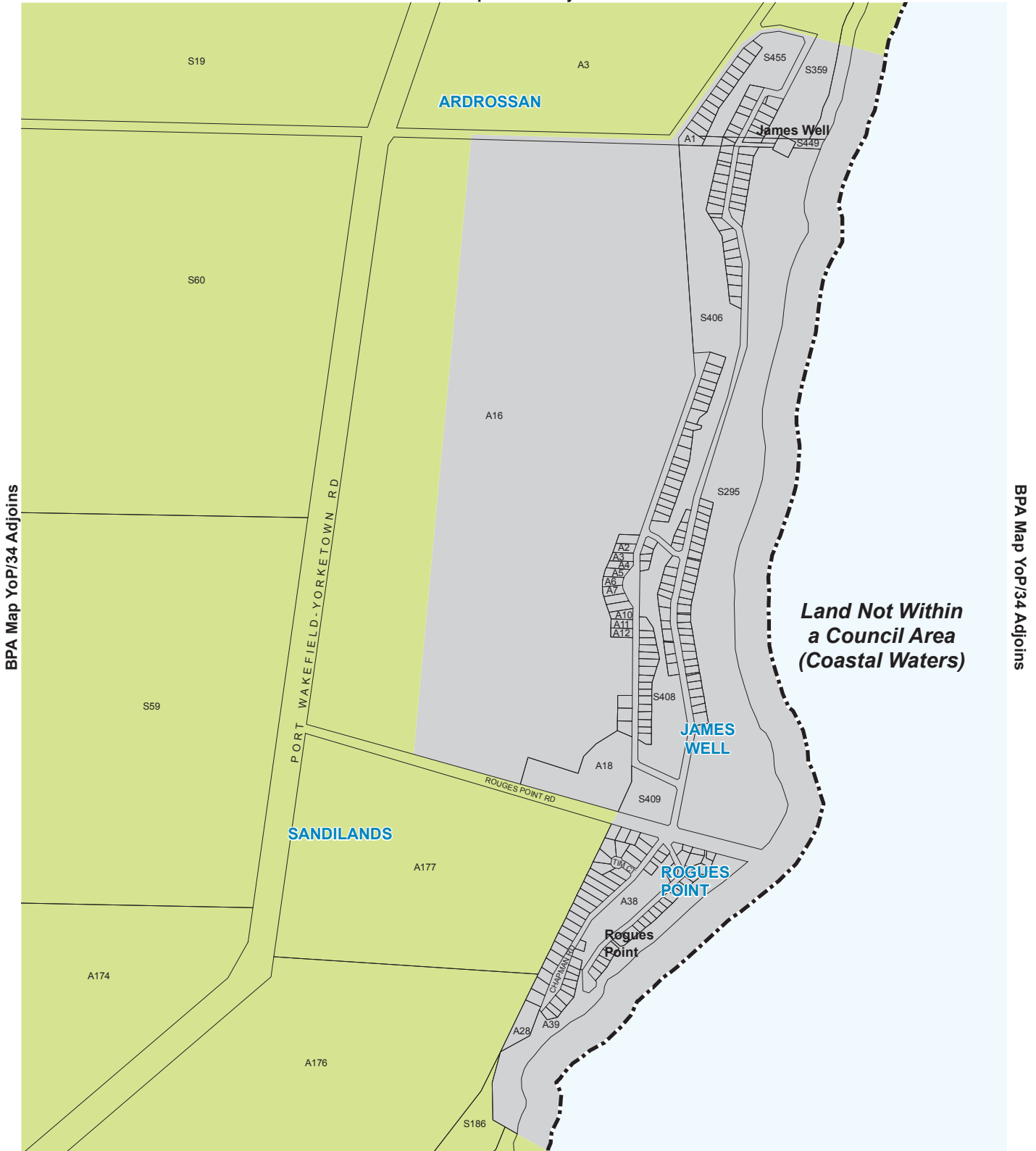
Bushfire Protection Area

BPA Map YoP/66

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map YoP/34 Adjoins



BPA Map YoP/34 Adjoins

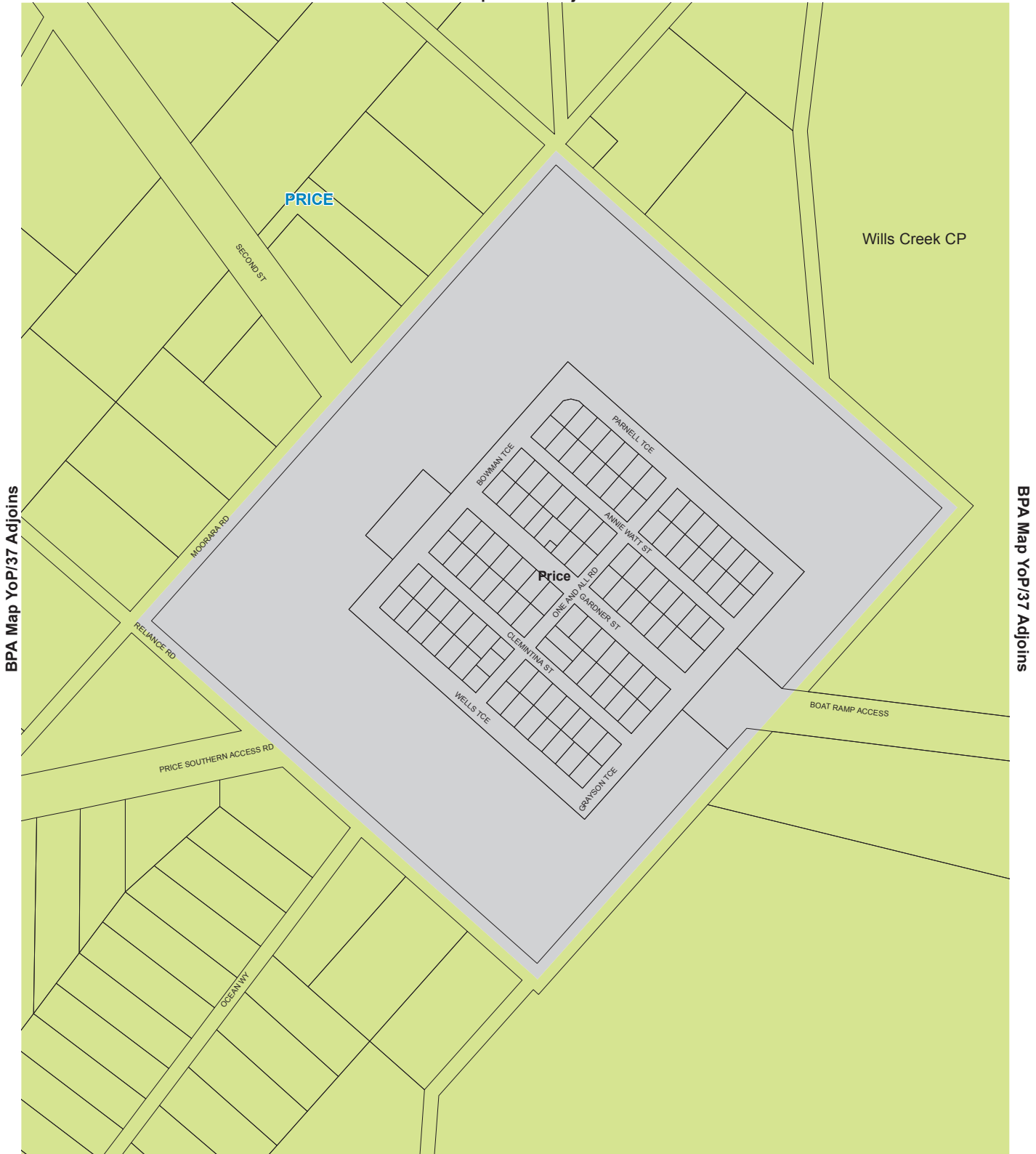


Bushfire Protection Area

BPA Map YoP/67

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary



Bushfire Protection Area

BPA Map YoP/68

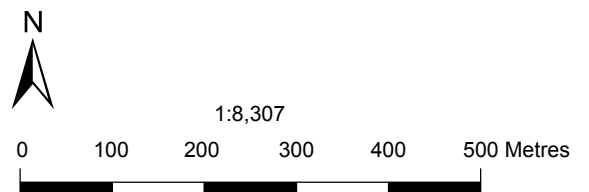
BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

Concept Plan Maps



- Future Industry
- Road Widening
- Existing Stormwater Detention
- Future Stormwater Detention
- Existing Bulk Handling
- Future Expansion
- Existing Access
- Future Access
- Existing Landscaping
- Future Landscaping/Buffer
- Concept Plan Boundary











Concept Plan Map YoP/1

MAITLAND BULK HANDLING

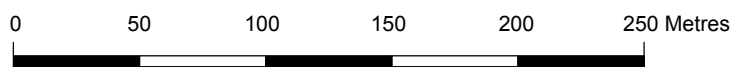


GULF ST VINCENT

-  Residential
-  Boat Ramp Car-parking
-  Landscaped Open Space
-  Landscaped Buffer
-  Pedestrian Access
-  Road
-  Vehicle Access
-  Concept Plan Boundary



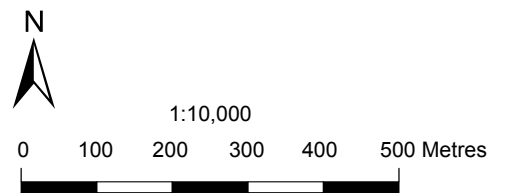
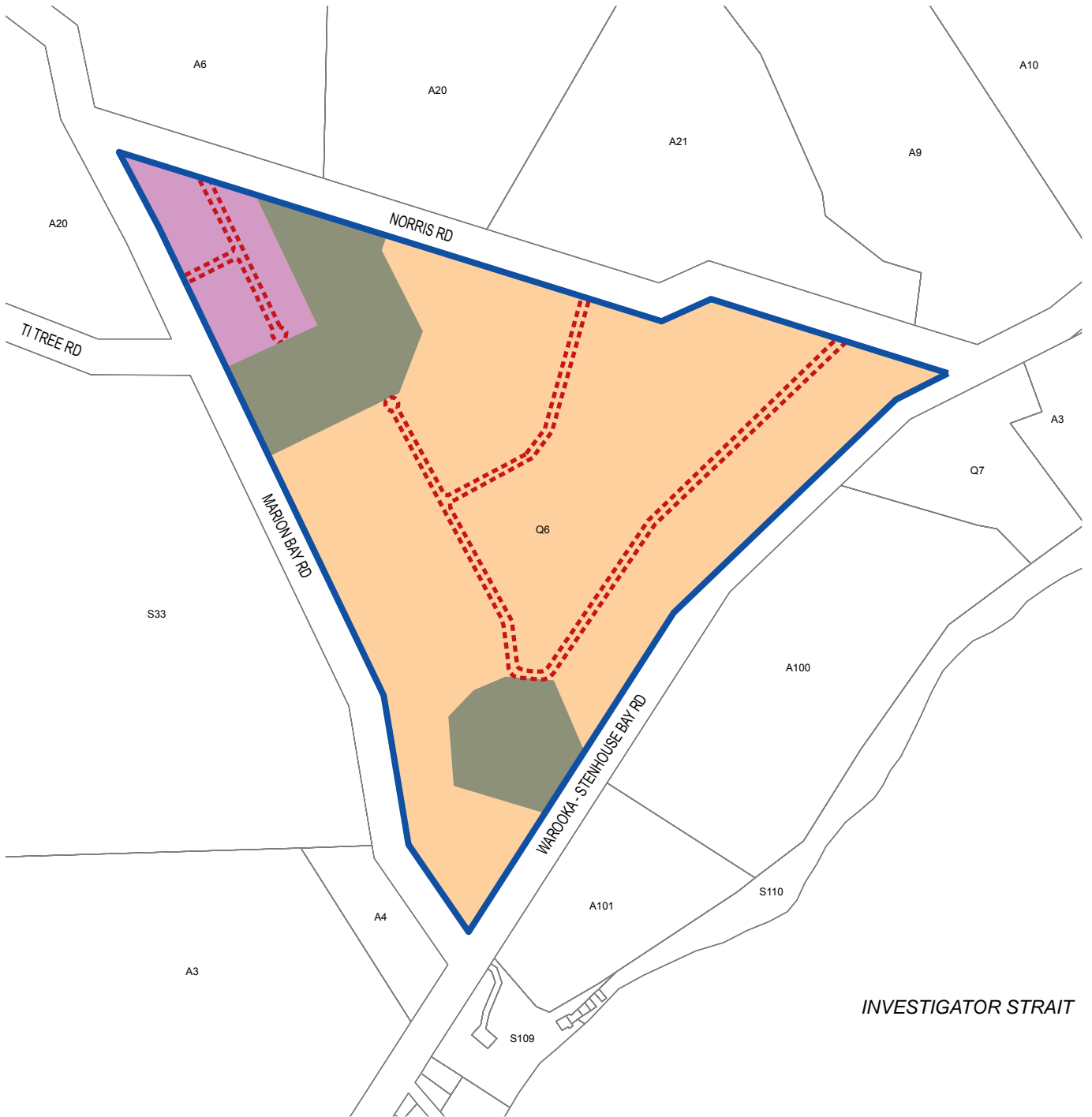
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Concept Plan Map YoP/2

BLACK POINT

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018









- Open Space/Reserve
- Commerce Industry
- Rural Living
- Indicative Road Layout
- Concept Plan Boundary

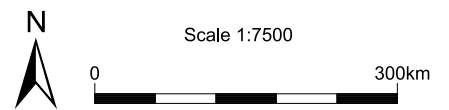
Concept Plan Map YoP/3

MARION BAY

YORKE PENINSULA COUNCIL
Consolidated - 29 November 2018

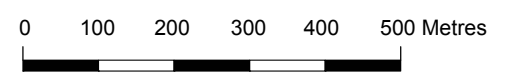
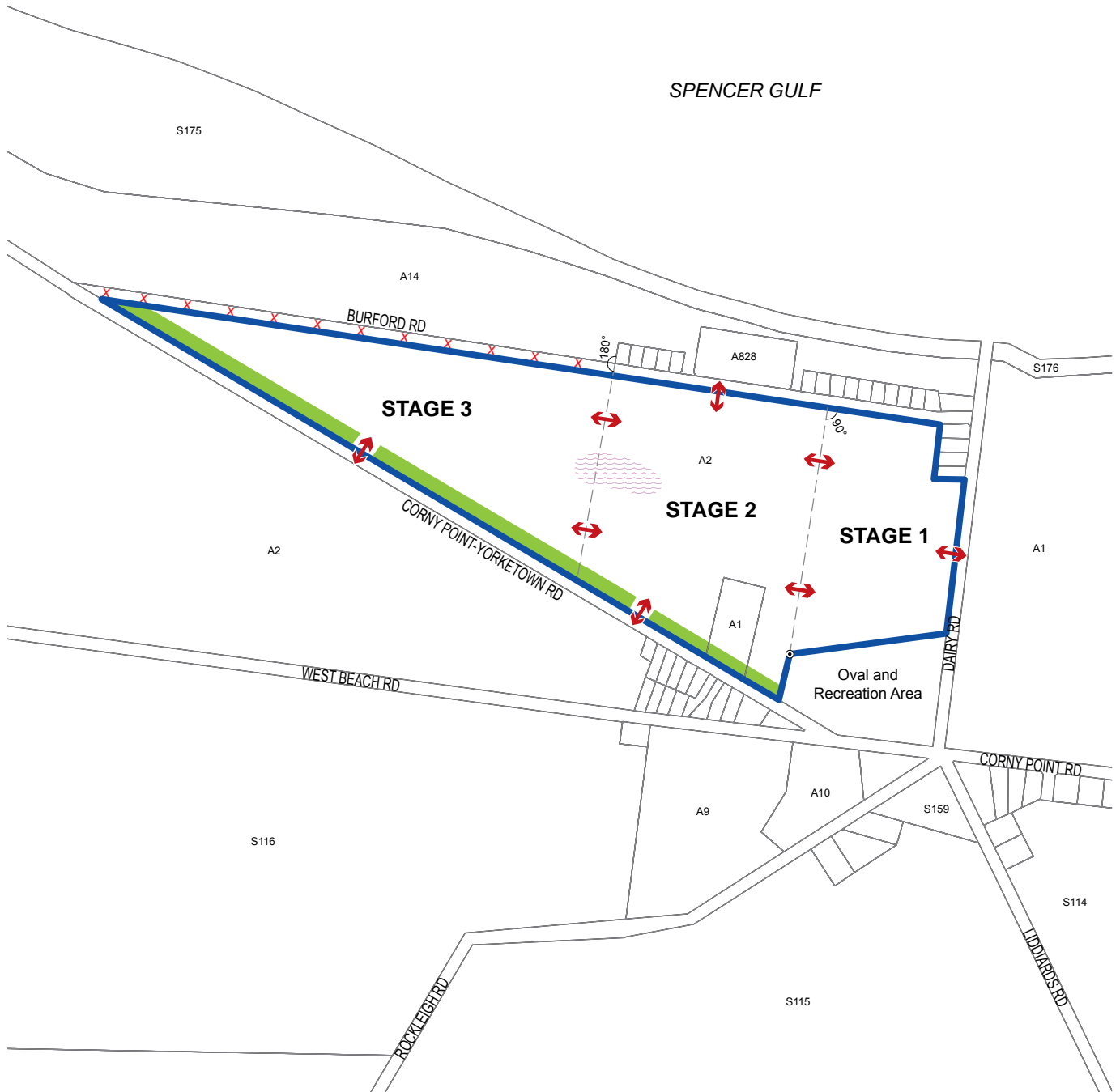






-  Preferred Road Access
-  Reserve/Ponding Basin
-  10 metre wide Landscape Buffer
-  No direct access to 2nd Beach Road
-  Development Plan Boundary
-  Concept Plan Boundary



Concept Plan Map YoP/4

PORT VICTORIA RESIDENTIAL



- STAGE 1** Development Staging
-  Vehicle Access
-  Landscape Buffer
-  Stormwater Ponding Basin
-  Concept Plan Boundary

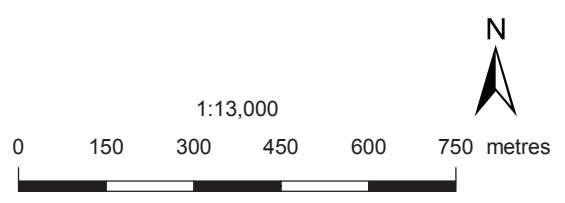
Concept Plan Map YoP/5

CORYN POINT



- Roads
- Proposed roads & future access
- Access / egress points
- Stage number & stage boundary
- Residential
- Light Industry
- Open space/vegetation buffer
- Effluent irrigation
- Concept plan boundary

- Development Plan Boundary
- Commercial
- Environmental Constraint
- Miscellaneous
- Primary Production / Mining
- Residential



Concept Plan Map YoP/6

PORT VINCENT RESIDENTIAL